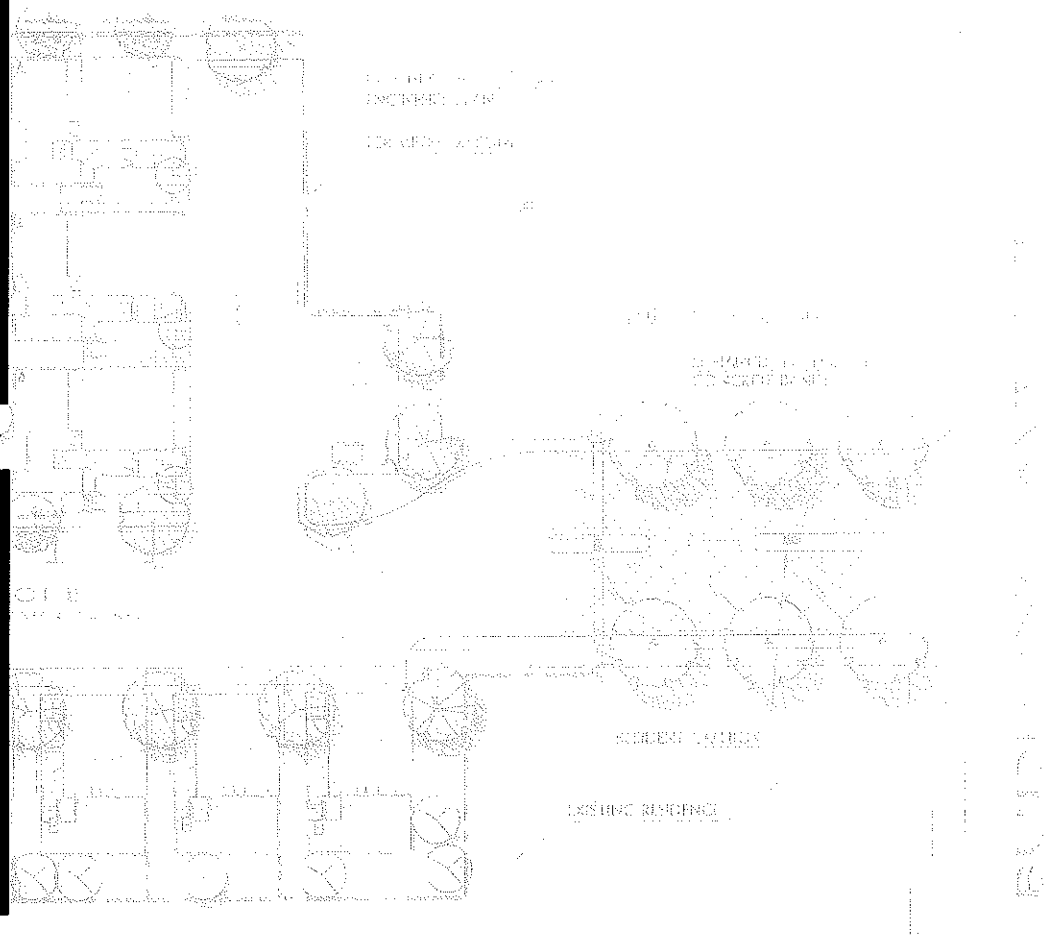


Specific Plan



December 9, 2003

Cottage Place

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COMMUNITY DEVELOPMENT

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Cottage Place

I. INTRODUCTION

A. Project Summary

The Cottage Place Specific Plan Project is presented by South Coast Investment Properties, LLC, in conjunction with the property owners. The site is located in the northeast portion of the City of Gardena and consists of a gated residential community on approximately 2.48 acres. The community is accessed via Budlong Avenue and contains 35 single-family detached residential units. Two types of single-family detached home products are offered at Cottage Place. Homes within the development range from a minimum 1,684 square feet to 2,061 square feet.

1. Project Team

Applicant

South Coast Investment Properties, LLC
17411 Irvine Blvd. Suite O
Tustin, CA 92780

Architect/Planner

Withee Malcolm Architects, LLP
1983 W. 190th, Suite 200
Torrance, CA 90504

Civil Engineer

The Keith Companies
19 Technology Dr.
Irvine, CA 92618

Landscape Architect

Pinaroc/Cirello & Associates
21 Oak Knoll
Coto de Caza, CA 92679

Geotechnical Engineer

Leighton and Associates, Inc.
14125 Telephone Ave, Suite 1
Chino, CA 91710

Environmental Engineer

IWS Environmental, Inc.
5211 Hartford Way
Westminster, CA 92683

2. Acknowledgements

City of Gardena Community Development Department

1700 West 162nd Street
Gardena, CA 90247

City of Gardena Department of Public Works

1717 West 162nd Street
Gardena, CA 90247-3778

B. Purpose and Intent

The Housing Element of the General Plan for the City of Gardena identifies Specific Plans as the preferred method of implementing new housing developments within the City. Section 5 C.7 of The Housing Element encourages the use of Specific Plans to promote residential development within the City where existing zoning requirements may not sufficiently accommodate the desired development. The use of Specific Plans provides flexibility in implementing design and development standards within the plan area.

This document serves as a Specific Plan for the development of Cottage Place. This Specific Plan provides a comprehensive set of plans, design standards, public improvements, and implementation programs to ensure the orderly development of Cottage Place in conformance with the City of Gardena General Plan and other adopted policies.

Cottage Place

The Cottage Place Specific Plan will further provide a pattern to guide development of quality in-fill housing by the establishment of land use and design guidelines through a focused set of zoning regulations. When approved by the City, the Specific Plan will serve both planning and regulatory functions

C. Site Location, Brief Description and Maps

As shown in Figure 1, *Regional Map*, the project is located in the City of Gardena, north of the City of Torrance and west of the City of Los Angeles. Regional access to the project site is provided by three major Southern California freeways: San Diego Freeway (Interstate 405), Harbor Freeway (Interstate 110) and Artesia Freeway (State Route 91). Cottage Place's proximity to these three freeways facilitates commuter access to and from the Los Angeles Metropolitan area.

As shown in Figure 2, *Vicinity Map*, several major roadways are located near the project site, including Normandie Avenue to the west, Vermont Avenue to the east, Rosecrans Avenue to the north, and Redondo Beach Boulevard to the south. Access to the project will be from Budlong Avenue. An aerial view of the project site is enclosed as Figure 3, *Aerial Photo of Site*.

D. Project History / Background

The site is approximately 2.48 acres and currently consists of two single-family residences and a commercial container nursery operation in an exclusively residential neighborhood. One of the residences will remain.

E. Relationship to Neighboring Jurisdictions

The project is located in the eastern portion of the City, adjacent to the cities of Los Angeles to the east and Torrance to the south. The site is surrounded by single-family detached and multifamily residential dwellings and is in close proximity to commercial properties along Rosecrans Avenue and Normandie Avenue. Cottage Place will be a gated community designed to provide both private access and a sense of security to its residents. Parking for Cottage Place residents and their

guests will be available on site within the gated community to avoid impacting existing residents.

F. Environmental Assessment

A Phase I Environmental Site Assessment was conducted for Cottage Place by The Keith Companies, Inc. The purpose of this assessment was to identify potential environmental liabilities associated with the use, storage and disposal of hazardous materials in the vicinity of the project site. The results of research by Keith Companies, in its Phase I Environmental Site Assessment (ESA), indicate that a low probability exists that the site contains any recognized environmental conditions relative to hazardous materials. However, due to the presence of recognized environmental conditions in the surrounding area, and the classification of the adjoining site as a "brownfield site" by the City, Keith Companies recommended that soil samples be taken onsite to confirm the conclusion that the site has a low probability for contamination by hazardous materials.

Phase II soil sampling and testing was performed by IWS Environmental and Enviro-Chem, respectively. A Phase II summary reported dated June 20, 2003 was prepared by IWS Environmental that detailed the location and testing protocols for the Phase II work on the site. After reviewing the summary report, Kent Norton, Director of Environmental Services for Keith Companies, concluded that the Phase II testing fulfilled the soil sampling recommendations in his Phase I ESA report. He further concluded that there are no contaminants in the soil samples that are actionable or exceed the preliminary remediation goals (PRG) established by the U.S. EPA. On-site soils can be safely reused during grading without any special remediation procedures, blending, or disposal. The Keith Companies does not recommend additional testing or other environmental work.

Cottage Place

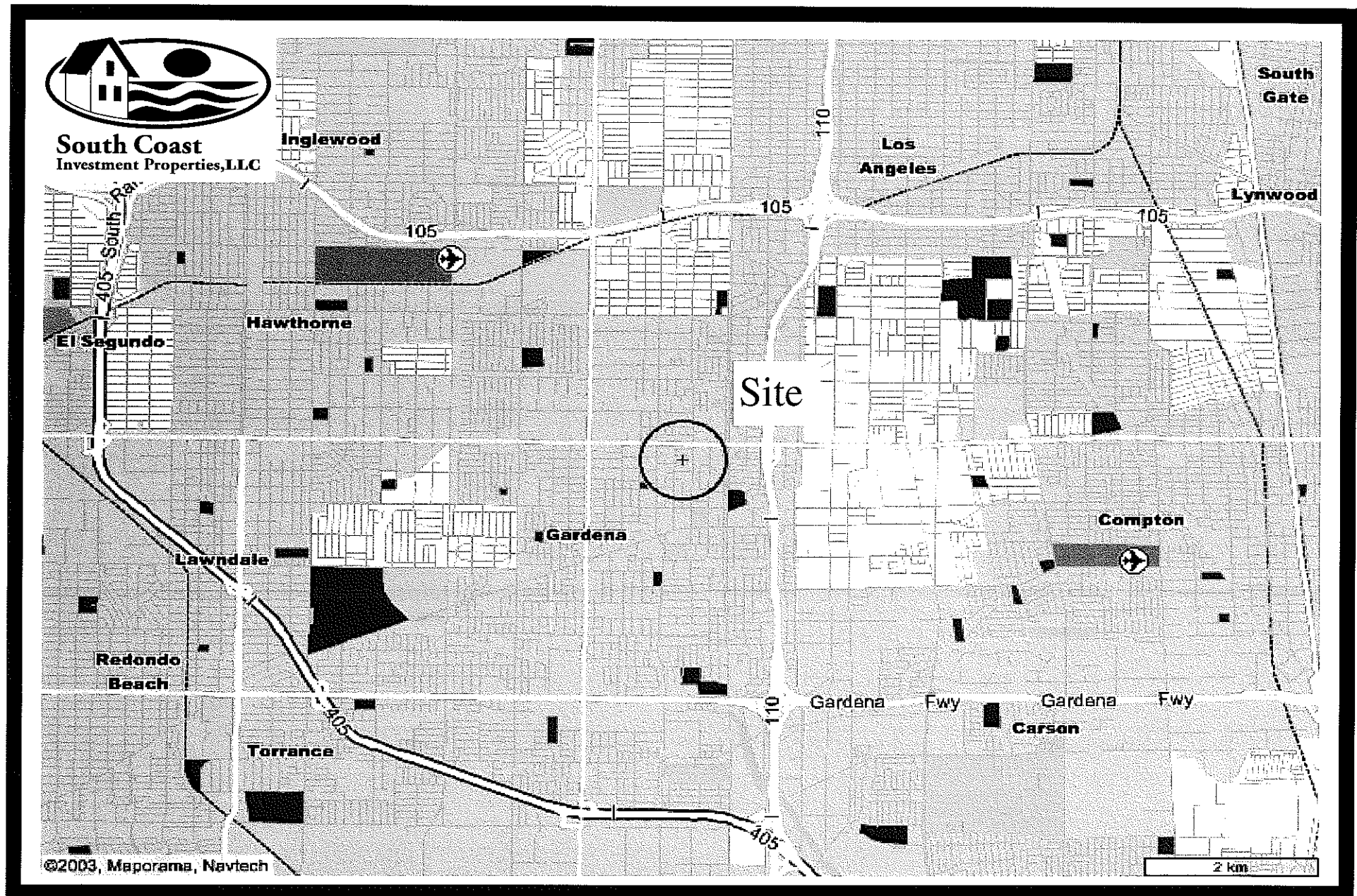


Figure 1, Regional Map

Cottage Place



South Coast
Investment Properties, LLC

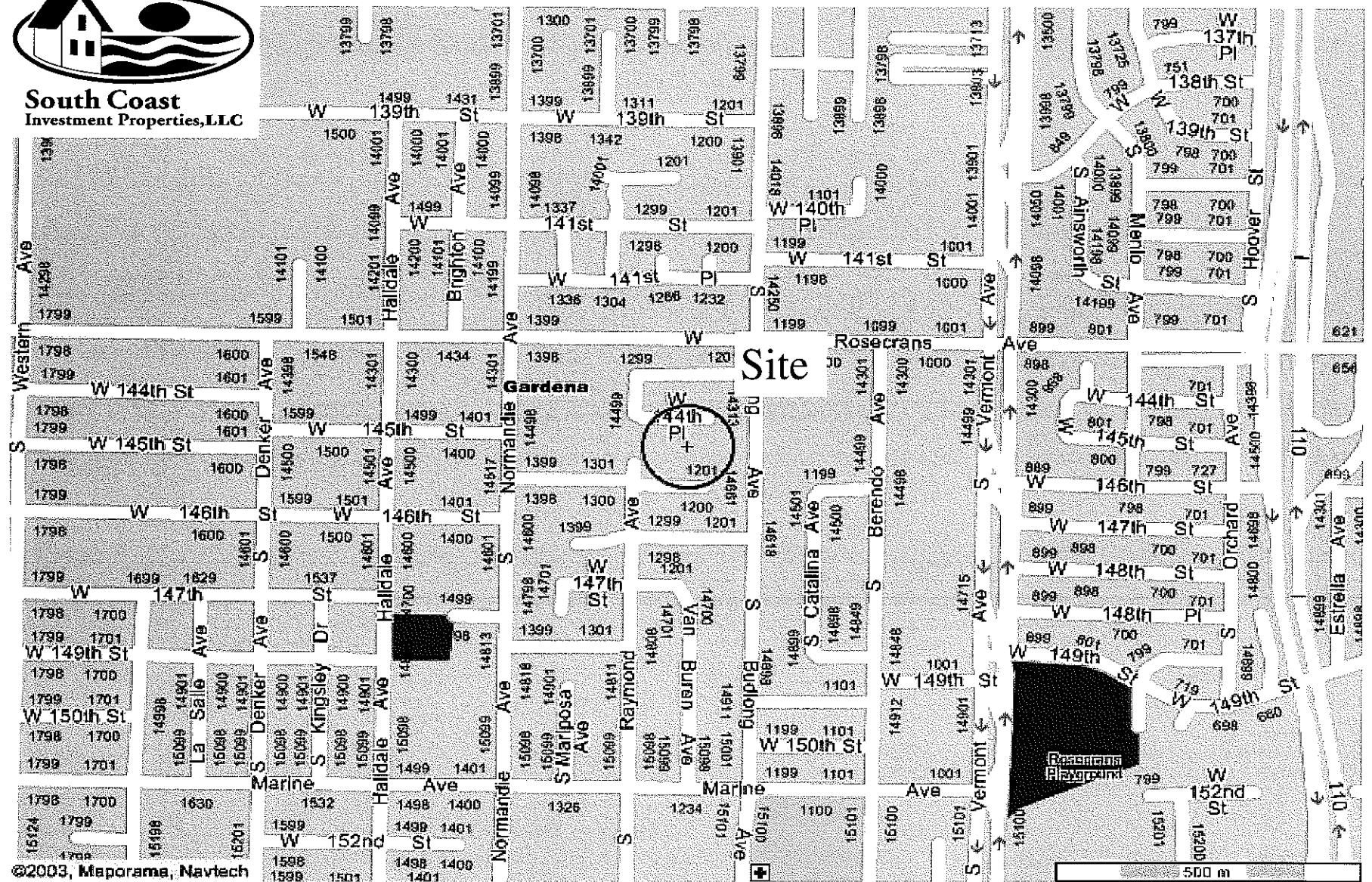


Figure 2, Vicinity Map

Cottage Place

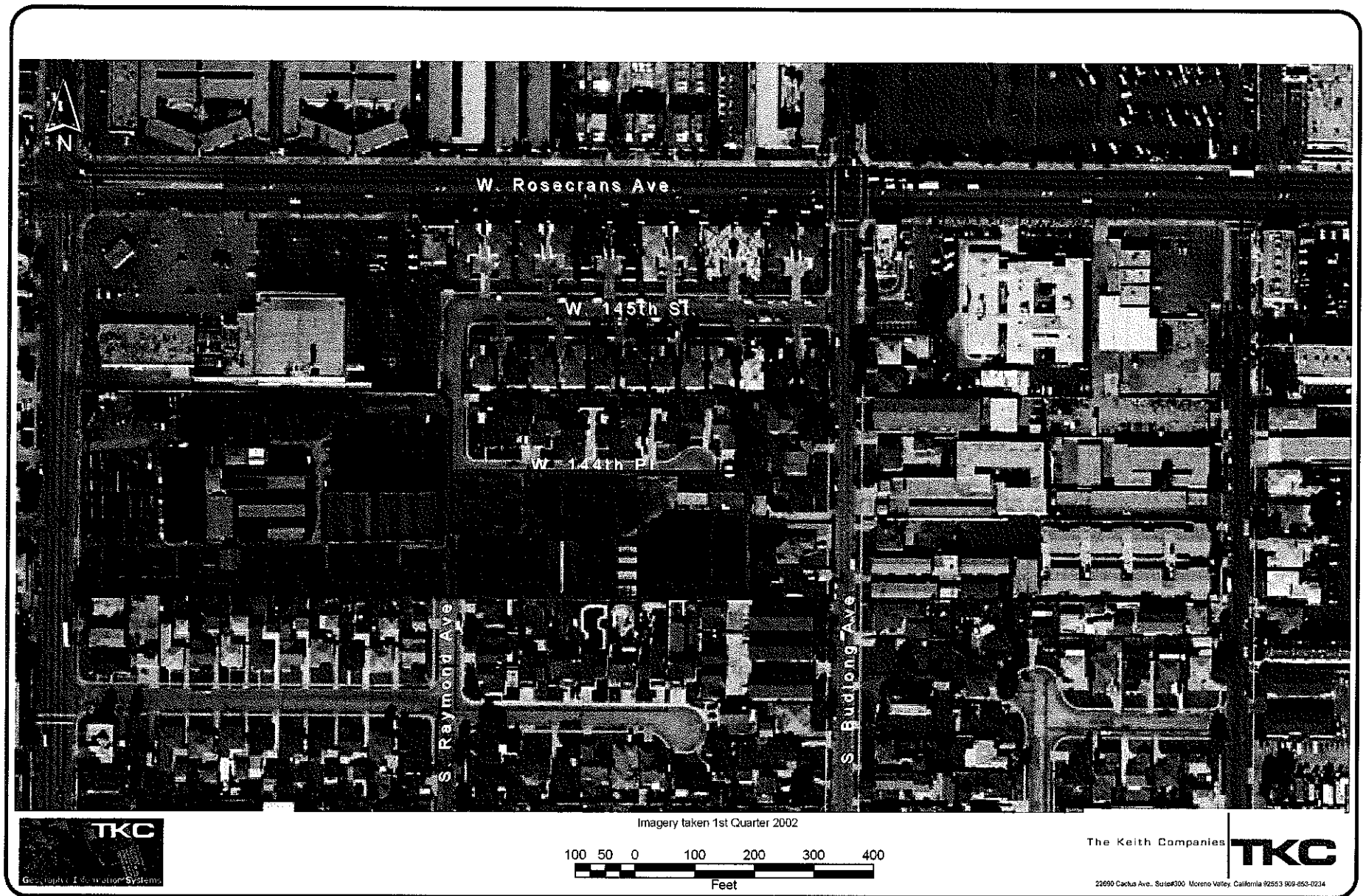


Figure 3, Aerial Photograph

C o t t a g e P l a c e

G. Related Applications and Documents

Other applications relating to the Cottage Place project include a General Plan Amendment, Change of Zone, Site Plan Review and Vested Tentative Tract Map.

In addition to these applications, other documents have been prepared to study the suitability of the site for the proposed development, these documents include: Phase I Environmental Site Assessment, Phase II Environmental Testing, Geotechnical Report, Hydrology Report, Schematic Landscape Plan and Architectural Designs.

Cottage Place

II. DETAILED DESCRIPTION OF SITE

A. Topography

The U.S. Geological Survey (USGS) topographical map of "Inglewood", California, 7.5-Minute Quadrangle was used to provide topographic data on the subject site. According to that map, elevations onsite range from a low of 52.5 feet above mean sea level (amsl) at the northwest corner to 55.5 feet amsl at the southeast corner, representing a 0.5 percent slope to the northwest across the property. A topographic map of the project site is enclosed as *Figure 4, Existing Topography*.

B. Geology/Soils

An investigation of the proposed Cottage Place development was conducted by Leighton & Associates, Inc., Project No. 020950-001, dated June 6, 2003. The purpose of this investigation was to explore the subsurface conditions, to evaluate the general soil characteristics onsite, and to provide preliminary geotechnical recommendations for design and construction of the proposed project. The scope of the investigation included the following:

- ÷ Review of relevant geotechnical literature, reports and aerial photographs of the site vicinity available from Leighton & Associates' in-house library.

- ÷ Excavation, logging and sample of three (3) hollow-stem auger borings to evaluate soils conditions at the site. The borings ranged in depth from 21.5 to 51.5 feet below the existing ground surface. Representative samples were collected and tested.

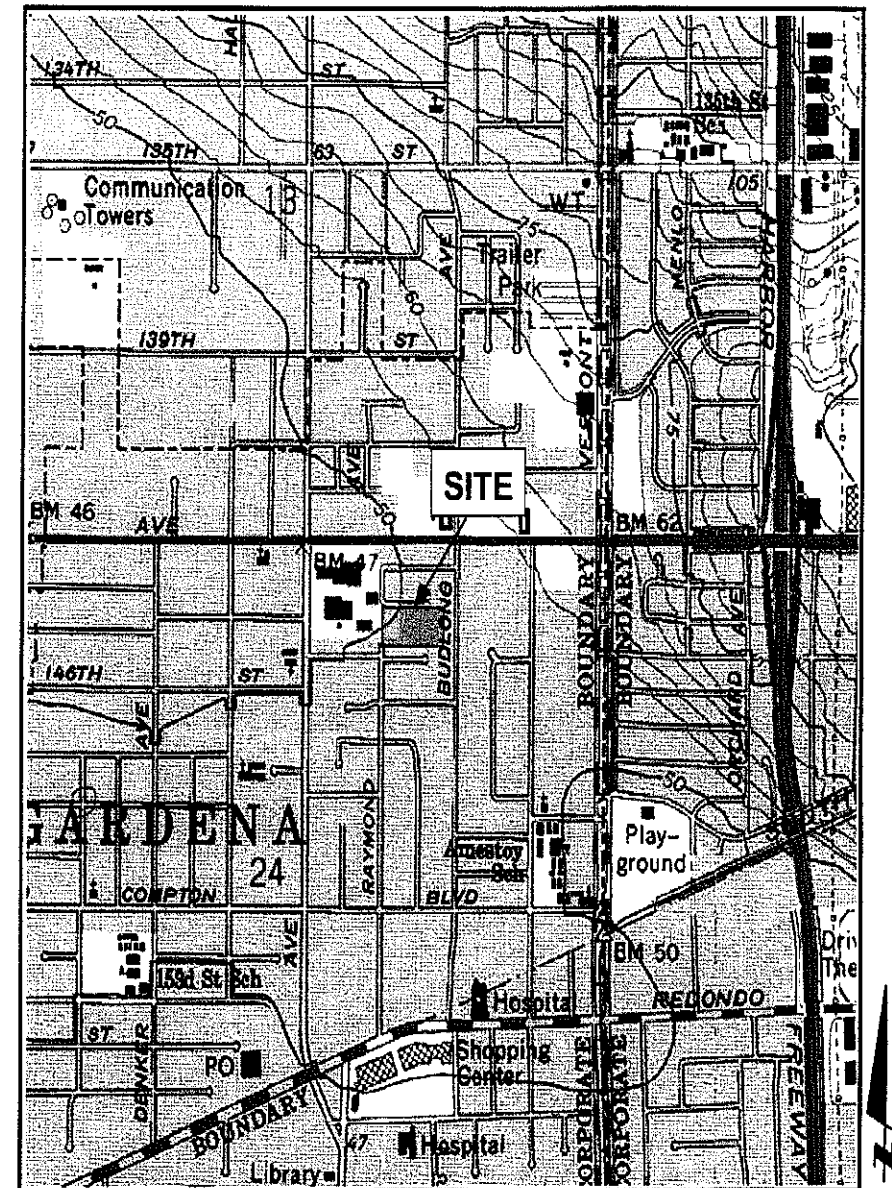


Figure 4, Existing Topography

BASE MAP: TOPOI. INTERACTIVE MAPS ON CD-ROM, 1997

NO SCALE

Cottage Place

! + The data obtained from the background review, field exploration and laboratory-testing program was evaluated and analyzed by Professional Engineers and Certified Engineering Geologists with Leighton & Associates in order to provide the conclusions and geotechnical recommendations in the report. Based upon this investigation, Leighton & Associates concludes that the proposed development is feasible from a geotechnical standpoint. Leighton & Associates found no geologic or soil-related hazards or constraints that would preclude development. As part of its Phase I Environmental Site Assessment, The Keith Companies prepared a review of the geology underlying the development. According to geology maps from the California Geological Survey, the subject property is situated in the Peninsular Ranges geomorphic province of California. This portion of the Los Angeles Basin has surficial soils comprised of Quaternary sediment deposits, which overlie Tertiary sedimentary rocks. The site is located within the Franciscan Formation Complex which consists of Tertiary and Quaternary unconsolidated sediments and sedimentary rocks that overlie igneous and metamorphic rock formations from the Mesozoic period. Consolidated formations of marine sediments include siltstone, sandstone, mudstone, diatomite, and silicious shale. Tertiary rocks contained within the basin include Monterey Shale, Repetto Formation, and Pico Formation while Quaternary sediments consist of the San Pedro Formation, Lakewood Formation, Older Sand Dune and alluvial deposits. The entire southern California region is seismically active and crossed by many faults, and the Newport-Inglewood Fault is only a few miles northeast of the site. However, no characteristics of the local geology would preclude the development of housing at Cottage Place.

In sum, Leighton & Associates and The Keith Companies found no conditions related to either soils or geology that would preclude residential development at Cottage Place.

C. Hydrology

The site is relatively flat with a gentle slope of 0.5 percent to the north-

west across the property. The site is not located in any specified flood zone area, and there is no evidence of runoff (i.e., erosion) on the site.

Project storm drainage will be carried from the site in the private street, with the exception of a small area of the entry at Budlong Avenue. The site surface drains westerly to Raymond Avenue. Surface runoff will then flow northerly to 144th Street to existing drainage facilities. It is anticipated that the 100-year storm event runoff will be approximately 5 cfs.

In the area of the site, the historically highest groundwater level was on the order of 25 feet below the ground surface per Leighton & Associates' June 6, 2003, report and investigation. This level coincides with the current depth to groundwater as observed in on-site conditions.

D. Biological Resources

Review of aerial photographs indicates that the property has been utilized for field agriculture dating back to 1927. Subsequent to the agricultural uses, the property has been an active container nursery. Accordingly, the property has been highly disturbed for decades and no native vegetation or wildlife species occur on site.

E. Land Use

Cottage Place is a residential development consisting of 35 single-family detached homes. The area surrounding the project site is a mix of single-family and multi-family residential dwellings. The eastern portion of the property is currently designated R-3 and is adjacent to both single-family and multi-family dwellings. There are single-family homes to the north and south of Cottage Place. The western portion of the property is currently designated R-1 and is adjacent to an existing commercial nursery and various single-family dwellings. The residential development of Cottage Place is consistent with the overall land use pattern for the area and is compatible with the existing residential neighborhoods.

Cottage Place

There are three single-family homes on the east portion of the project site fronting on Budlong Avenue. Ancillary commercial service structures and shade covers exist at various locations associated with the container nursery will be removed. Only two of the existing single-family homes will remain upon the completion of Cottage Place and will remain outside the project site. Other on-site improvements are comprised of underground sewer, water and telephone service systems.

F. General Plan and Zoning Designations

The City of Gardena General Plan designates the project site as partially Low Density Residential and partially Medium Density Residential. Medium Density is defined by the General Plan as "single, duplexes, multiple-family residences with a net density between nine (9) to thirty (30) dwelling units per net acre."

The Cottage Place Specific Plan is consistent with the Housing Element of the General Plan. The project site is identified in the Housing Element as a potential residential development accommodating up to 56 units. The site is referenced as Site 7 in Table 26 of the Residential Site Inventory. Furthermore, the Housing Element states that in instances where sites contain mixed zoning, e.g., R-1 and R-3, the City is committed to supporting development at the higher density. The project site is zoned R-3 and R-1 according to the Zoning Map for the City of Gardena.

G. Circulation

Regionally, Cottage Place is located south of Rosecrans Avenue and east of Normandie Avenue. Access to the Harbor Freeway is via Rosecrans Avenue. Access to the San Diego Freeway is via Normandie Avenue or the Harbor Freeway interchange. The site is also in close proximity to the Artesia Freeway. Cottage Place is bounded by Budlong Avenue to the east, 144th Place to the north, and the future Raymond Avenue to the west. As part of this development, the future 144th Place

and Raymond Avenue right of ways will be dedicated to the City. Access to Cottage Place is by means of a gated private entry along Budlong Avenue. The project will also contain a secondary emergency vehicle egress to the future Raymond Avenue. The private interior street system will adequately serve all units. Each garage will have its own access to a private street.

H. Cultural Resources

The current facilities located at the property were constructed in the late 1950's and largely consist of fabricated metal and wood green houses and shade covers, and have no relevant architectural or historical value. Because of the highly intrusive nature of field agriculture, no other cultural resources occur on site.

I. Public Services

Public services are those functions which serve residents on a community-wide basis, such as fire and police protection and primary and secondary educational facilities. Cottage Place is an infill project in an otherwise developed area. Public services including fire, police, schools, libraries and solid waste disposal, which currently serve the existing residential neighborhoods, would be extended to serve project residents.

School Facilities - The Los Angeles Unified School District will serve the Cottage Place project site. These schools include Amestoy Elementary School at 1048 W. 149th Street, less than a quarter-mile from the site, Peary Middle School at 1415 W. Gardena Boulevard, and Gardena High School at 1301 W. 182nd Street. The elementary school is within walking distance of the site and the junior high and high schools are approximately 1 ½ and 2 ½ miles south of the site, respectively. It is anticipated that the proposed project will generate some school-aged children. Project impacts to the Los Angeles Unified School District will be mitigated by payment of fees at the time building permits are issued in conformance with State law.

Cottage Place

Police and Fire Services - Police protection is provided by the City of Gardena Police Department. Fire service is provided by the County of Los Angeles Fire Department. The police department is located at 1718 W. 162nd Street, approximately 1 ½ miles from the project. The closest fire station is located at 1650 W. 162nd Street, approximately 1 ½ miles from the project.

Library Services - A number of libraries are located in the vicinity of the project. These libraries include the Masao Satow Library at 14433 S. Crenshaw Boulevard, just south of Rosecrans and the Mayme Dear Public Library, located at 1731 W. Gardena Blvd. at Hobart Boulevard.

Solid Waste Disposal - Solid Waste services will be provided to the residents of Cottage Place by Waste Resources of Gardena.

J. Utilities

Public utilities such as gas, water, electric, telephone and cable television will be supplied by existing public utility providers who currently serve the surrounding residential neighborhoods. Gas service will be provided by Southern California Gas Company. Proposed development on site will require a connection to the existing gas distribution lines in the project vicinity. Electrical service will be provided by Southern California Edison. SBC will provide telephone service to the project site. Cable service will be provided by Time Warner and RCN. Easements and utility lines will be relocated to accommodate the site plan. Any relocation will be undertaken without cost or service interruption to residents of the existing neighborhood.

All utilities lines and conduit will be located underground.

K. Site Summary

Cottage Place is consistent with the City of Gardena General Plan designation for a medium density residential project site and is identified in the Housing Element as a residential development opportunity. The project consists of thirty-five (35) dwelling units on approximately 2.48 acres. This results in a gross residential density of 14.1 dwellings per acre which is within the nine (9) to thirty (30) dwelling per acre permitted under the medium density residential designation.

The physical characteristics of the site are conducive to the type of residential development proposed under the Cottage Place Specific Plan. The site is bounded on three sides by a variety of residential land uses and will require minimal amounts of grading. Because of the infill nature of the site, utilities required to serve the development are all located in the adjacent right of way. Any relocation will be undertaken without cost or service interruption to the residents or the City of Gardena.

Cottage Place

111. SPECIFIC PLAN CONCEPTS

A. Project Goals and Objectives

One of the goals of the Cottage Place Specific Plan is to provide high quality residential development in an urban location while providing much needed housing stock for area residents. This development provides a source of housing to encourage retention of residents and attraction of new families looking to locate within the City. The plans goals can be expressed as follows:

- ! ÷ Provide additional home ownership opportunities.
- ! ÷ Provide housing with increased floor areas
- ! ÷ Assist in meeting the regional housing needs.
- ! ÷ Provide revitalization in the Rosecrans Corridor

B. Opportunities and Constraints

An opportunities and constraints analysis is a study of the factors that effect a project. These factors can either be beneficial or provide challenges to a proposed project. Upon the initiation of the project, many factors are studied to determine a project's feasibility.

The opportunity for residential development of this site is optimal not only because the City's General Plan Land Use Map and Zoning Map both designate the project site as residential, but also because much of the infrastructure required to sustain an additional residential neighborhood is already in place. Furthermore, because of the agricultural nature of the existing site, minimal grading will be required.

The primary design challenge is the existence of single-family and multi-family residential dwellings in the adjoining neighborhoods to the north and south which are one and two-story configurations with 27'

height limits. The westerly border of the site is an existing commercial nursery. This nursery is also designated for future residential development in the Housing Element of the General Plan. Site investigations have not revealed any other significant constraints to the type of residential development proposed in this Specific Plan.

Overall, the site will provide much needed detached housing to the community and is consistent with the Housing Element of the General Plan which identifies this site as Site 7 in Table 26 of the City's Residential Site Inventory.

Cottage Place

C. Conceptual Site Plan/Land Use Plan

The Cottage Place development consists entirely of residential uses with a landscaped parkway along Budlong Avenue and landscaped perimeter areas along 144th Place and Raymond Avenue. As is depicted in *Figure 5, Land Use Plan/Site Plan*, the plan consists of two different single-family detached product types ranging from approximately 1,684 square feet to 2,061 square feet. A summary of the residential products offered in Cottage Place is reflected in *Table III-1, Residential Land Use Summary*.

The gross residential density is 14.1 dwelling units per acre (du/ac), which falls within the medium density residential range of 9-30 du/ac. Building coverage at the site is approximately 0.80 acres or 30% of the site. Private open area (rear yards) amounts to approximately 0.35 acres or 15% of the site. Hardscape, comprised of both streets and walkways, amounts to approximately 0.78 acres or 33% of the site. Finally, common landscape amounts to approximately 0.11 acres or 5% of the site.

The design of this housing type is meant to encourage useable interior living space and functional exclusive use open space. The design achieves this goal by the use of three levels of floor space. The results of these designs have three floors.

RESIDENTIAL LAND USE SUMMARY

FLOOR AREA RATIO

House Type	Square Feet	Total Units	Total Area
Plan A	2061	14	28,854
Plan B	1684	21	35,364
Total		35	64,218
Land Area			107,945
FAR			59%

BUILDING COVERAGE RATIO

House Type	Square Feet	Total Units	Total Area
Plan A	1058	14	14,812
Plan B	786	21	16,506
Total		35	31,318
Land Area			107,945
BCR			29%

Table III-1. This table graphically describes the floor area ratio and the building coverage ratio.

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Cottage Place

D. Transportation/Circulation Plan

Neighborhood streets are the heart of the public space within a community. They are designed to provide convenient and safe vehicular and pedestrian access within a community and adjoining communities and cities. Neighborhood streets further provide quality public spaces that residents can attach to through front doors, windows and semi-public front yards. The street types contemplated in Cottage Place support and complement traditional house types encouraging social interaction between neighbors based on location within a gated community and grouped mailboxes

1. **Private** – All on-site streets will be privately owned and maintained by the Cottage Place Homeowners Association. The main through street will provide convenient parking for visitors. As referenced in Figure 6, Private Street Section.
2. **Public** – Primary access to Cottage Place is via Budlong Avenue. The continuation of Raymond Avenue will be dedicated and improved, but will not be open to the public use until such time as the remainder of Raymond is dedicated and improved. Secondary emergency vehicle egress will be available from the future Raymond Avenue. As referenced in Figure 7 Public Street Section.
3. **Internal and Affected External** – The primary access road will be 36 feet in width and allows for guest parking on one side of the private street running from Budlong Avenue to Raymond Avenue. Double loaded drives will be 26 feet in width and will not permit drive way or on street parking. CC&Rs will further specify that residents and guests may otherwise only park in designated guest parking spaces that can accommodate parked cars without blocking the internal private streets.
4. **Pedestrian, Vehicular and Mass Transit** – Internal pedestrian access will be provided via the main gate along Budlong Avenue. Mass transit is available via Normandie Avenue and Rosecrans Avenue and will provide easy access to the mass transit systems serving the immediate community. A Park & Ride facility is located near the intersection of Rosecrans Avenue and the Harbor Freeway.

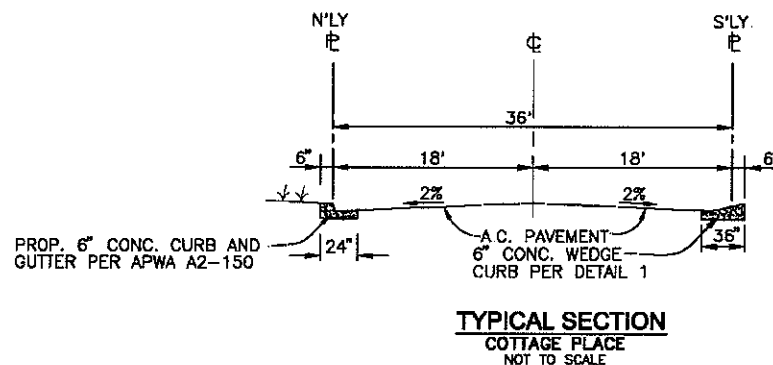


Figure 6, Private Street Section

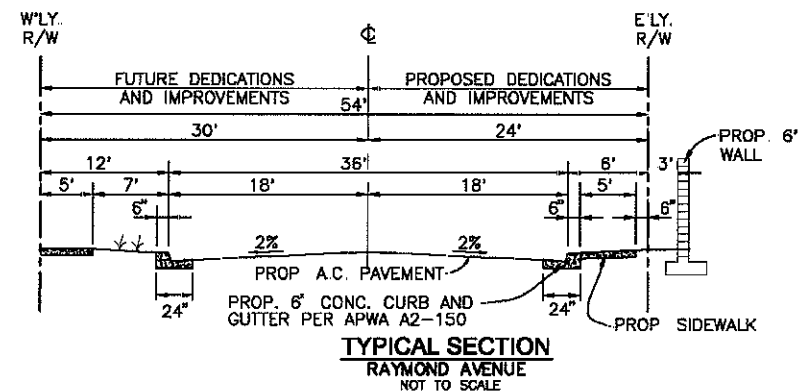


Figure 7, Raymond Street Section

Cottage Place

E. Grading Plan

Grading to create pads, streets, and positive drainage will occur on the project site. All grading activities will be in compliance with the Gardena Municipal Code and the Uniform Building Code (UBC). There will be a minimal difference in elevation between the proposed pads and existing adjacent properties. It is anticipated approximately 8200 cubic yards of over-excavation will be required to prepare the site to accept fills of approximately two (2) feet. Seven (7) foot high walls will be constructed along the perimeter.

Figure 8, Conceptual Grading Plan, illustrates the grading concept for Cottage Place. Minimal cut and fill is required to accommodate residential development at Cottage Place.

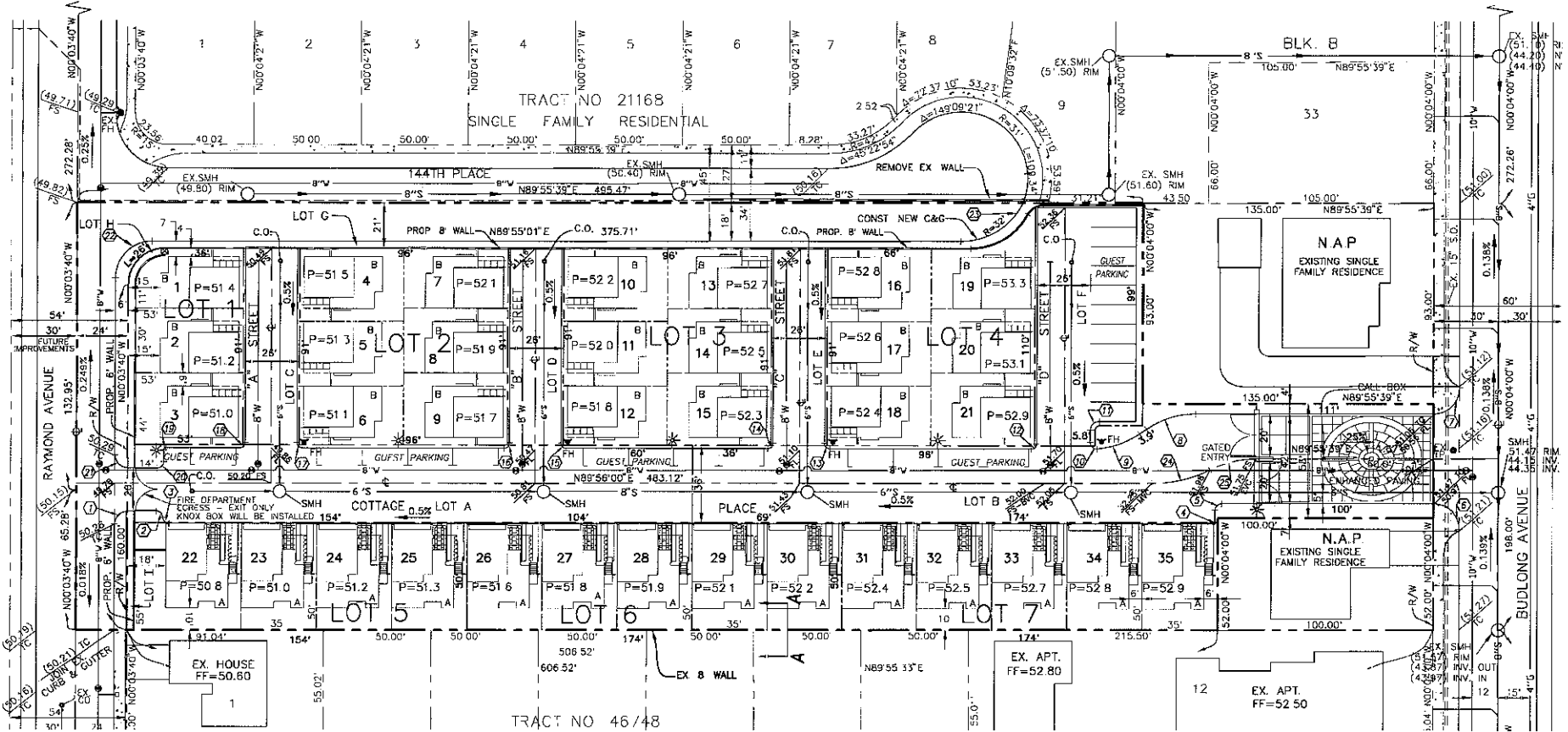


Figure 8, Conceptual Grading Plan

Cottage Place

F. Public Facilities/Utilities

1. **Sewer Plan:** Sanitary sewer lines serving the Cottage Place development will consist of a series of sewer mains on site, which will connect to larger off site sewer mains in Budlong Avenue operated by the Los Angeles County Sanitation District (LACSD). All on-site sewer will be offered for dedication to the LACSD or will alternatively be maintained by the Homeowners Association. Easements and sewer lines will be relocated to accommodate the Cottage Place site plan. Any relocation will be undertaken without cost or service interruption to the residents of the existing neighborhood. This project proposes to construct an 8" sewer main line that will tie into the existing line in Budlong Avenue approximately 397 feet south of 144th Street.
2. **Water Plan:** Water service will be provided to Cottage Place by the Southern California Water Company. There are currently water lines on site which would either be utilized in their existing locations or relocated to accommodate the proposed development. Any relocation will be undertaken without cost or service interruption to residents of the existing neighborhood. It is anticipated the project will connect to an existing 8" main in Budlong Avenue, a second connection will be to an existing 8" main on Raymond Avenue at 144th Place, and a third connection will be on Raymond Avenue approximately 160 feet north of 145th Place.
3. **Drainage Plan:** Prior to the recordation of the final map for Cottage Place, a Storm Water Pollution Plan will be prepared to comply with Regional Water Quality Control Board requirements. The property will sheet flow into onsite curb and gutter, which will channel flow offsite to the public drainage system.
4. **Solid Waste:** Solid waste services will be provided to the residents of Cottage Place by Waste Resources of Gardena, a joint public-private company.

5. **Energy Plan:** Proposed development on site will require a connection to the existing gas distribution lines in the project vicinity. Electrical service will be provided by Southern California Edison.
6. **Utilities Plan:** Cottage Place will relocate existing gas, power, telephone and cable television facilities in the project vicinity as needed.

G. Recreation and Open Space Plan

1. **Open Space:** Buildings cover approximately 0.73 acres or 30% of the overall project site. The remaining 70% of the site is dedicated to rear yards, private interior roadways, driveways and open space in the form of common landscaped areas. The private open space area covers approximately 0.35 acres (15%) of the overall project site. Common landscape areas amount to approximately 0.11 acres (5%) of the site. These open space areas are categorized as private open space and open space areas maintained by the Cottage Place Homeowners Association. The private open space areas include the backyards of each individual residence. Common open space areas are located along the gated entry along Budlong Avenue, internal street frontages and as a landscape buffer along 144th Place.
2. **Recreation:** A n in lieu park fee will be paid to the City prior to issuance of any building permits to mitigate additional burden on parks and recreation resulting from the additional residents of Cottage Place. A number of public parks and recreational facilities are in close proximity to Cottage Place. The closest city park to the project site is Vincent Bell Memorial Park at 14708 South Halldale Avenue, less than one mile west of the project site. Rosecrans Recreational Center at 840 W. 149th Street in the city of Los Angeles is less than one mile south of the project site. Facilities include picnic and children's play areas, lighted baseball field, two volleyball courts, indoor and outdoor basketball courts, meeting room and gymnastic area. The 17.1 acre Rowley Park is located nearby at 13220 S. Van Ness Avenue. Facilities include four lighted baseball

Cottage Place

fields, four lighted tennis courts, wading pool, three children's play and picnic areas, lighted basketball and handball courts, activity building, auditorium and weight room. Other parks in the project vicinity include the 2.3-acre Thornburg Park, which is located just north of Marine Avenue and near the corner of Van Ness and 134th Street. Facilities include extensive recreational facilities. In addition to the public parks, school outdoor play areas also are located near the project site.

Other recreational facilities are located at George Freeman Park, Primm Memorial Pool, Rush Memorial Gymnasium, and South Gardena Park near the project site. The City of Gardena Municipal swimming pool, Harvard Parkette, and the Community Center are also near the project site. No onsite recreational facilities will be provided.

H. Fire Protection/ Fuel Modification Plan

Because the Cottage Place development is located in an existing developed community, there is no native vegetation adjoining the property that would require a fuel modification zone.

The Cottage Place development will have one-point of ingress and two-points of egress. This will provide ample emergency access to the site. Additionally, two (2) fire hydrants will be provided throughout the project and one (1) fire hydrant will be placed adjacent to the site on 144th Place. Furthermore, the Cottage Place site plan will conform to all applicable Los Angeles County fire standards for new development.

I. Natural and Man Made Resources Protection

As the site has been the focus of commercial agricultural use for many decades, there are no known natural or man-made features that would require protection.

J. Phasing Program

Perimeter walls and landscaping will be constructed prior to construction of the units. Construction of the units will begin with those units located closest to Budlong Avenue and culminating with the completion of the homes located along Raymond Avenue.

K. Homeowners Association

Cottage Place will be served by a homeowners' association that will be comprised of residents living with the development in accordance with the CC&R's. Prior to the issuance of building permits, the builder will obtain approval of the CC&R's by the City and the California Department of Real Estate. The Cottage Place Home Owners Association will be responsible for maintaining the perimeter walls, automated irrigation and landscape areas, private roadways and common areas of the development. Common areas include landscaping along 144th Place, Budlong Avenue, Raymond Avenue, as well as the front yards of each residence and the landscaping associated with the project entry.

Cottage Place

L. Landscape Plan

A landscape plan will be prepared by a licensed architect to has been prepared to implement the landscape plan concept as set forth in *Figure 9* of this document

Following are recommended plant palettes and guidelines which establish the desired character of Cottage Place. Plants have been selected to enhance the project entry, common area, adjoining homes and streets, and to provide landscaping relief to soften architecture. Special attention has been paid to the selection of plants that are horticulturally adaptive to the characteristics of an in-fill housing site and are suited to the climate, soils, and irrigation water.

1. All plant materials shall be served by an automatic underground irrigation system utilizing backflow devices, controllers, and other irrigation elements shall be screened.
2. All new trees shall be staked or provided with a greater support design
3. Ground cover shall be spaced to ensure total infill within six months of planting.
4. Only live plant materials (not simulated) shall be used in landscaped areas (trees, shrubs, and ground cover).
5. Selection of plant materials shall be based on year-round beauty (deciduous color, spring flower, branching patterns) as well as form, texture, shape, and ultimate growth.
6. Plant species shall be tolerant of the local environmental conditions and relatively free from pests and disease.
7. Plant species which are native or well-adapted to local climatic conditions are recommended because they require less water and maintenance.

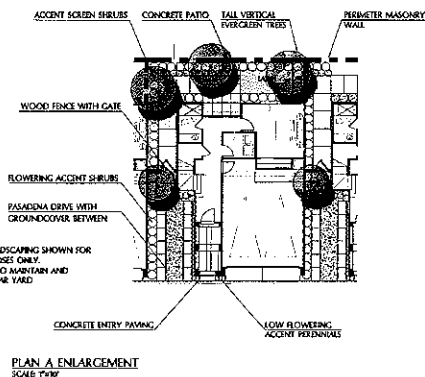
8. All street trees shall be deep-rooted, canopy-type trees suited to urban conditions.

9. Street trees shall be a minimum of 24 inch box size. All other on-site trees shall be a minimum of 15 gallon container size. Shrubs not used as ground cover shall be a minimum of five gallon container size.

10. Landscaping shall generally be provided to soften architecture and hardscape

11. Planting shall occur around building perimeters to reduce building scale and to integrate development into surrounding neighborhood.

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[illegible]

MASONRY PROPERTY WALL
 ACCENT SCREEN SHRUB
 FLOWERING SHRUB TREE
 CONCRETE PATIO
 TALL VERTICAL ACCENT TREES
 SIDEYARD WITH CIRCUMFERENCE AND FOUNDATION SHRUBS
 EVERGREEN BACKGROUNDS SHRUB
 LOW FLOWERING ACCENT PERENNIALS
 VERTICAL ACCENT SHRUB
 CONCRETE ENTRY PAVING
 ACCENT STREET TREE
 EVERGREEN FLOWERING VINES

REAR YARD LANDSCAPING SHOWN FOR GRAPHIC PURPOSES ONLY.
 HOMEOWNER TO HARKMAN AND INSTALL ANY REAR YARD IMPROVEMENTS.

PLAN 8 ENLARGEMENT
 SCALE 7"=10'

GRAPHIC SCALE
 (1 IN FEET)

Gardena, California

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Cottage Place

IV. DEVELOPMENT REGULATIONS AND STANDARDS

A. Development Standards and Regulations

The standards contained in this section shall apply to all land and buildings within the Cottage Place Specific Plan area, as depicted in *Figure 5, Land Use / Site Plan*. The project features detached single-family homes that will be developed under a multiple lot condominium plan. Typical residential plotting is reflected in *Figures 10 and 11* for Plans A and B, respectively. The development standards for Cottage Place are based on Chapter 18.12 Single Family Residential Zone of the Gardena Municipal Code except as provided in the standards below and as referenced in the Tentative Tract Map. The project shall be governed by the provisions of Zone R-1, Chapter 18.12 of the Gardena Municipal Code unless otherwise noted in this document or the associated Tentative Tract Map.

1. Single Family Residential Zone: Cottage Place is intended as a medium density single family residential development. Accordingly, this Specific Plan allows for the following standards:

Density: A maximum of one dwelling unit per twenty-seven hundred (2,750) square feet or 16 dwelling units per gross acre.

Dwelling Unit Size: Minimum of 1,684 square feet.

Building height: The maximum building height shall not exceed thirty-two (32) feet.

Distances between buildings: A minimum of six (6) feet for side yard setbacks. A minimum of twenty-four (24) feet separation between buildings facing front to front. A minimum of twenty (20) feet for buildings back to back. Notwithstanding the foregoing, architectural pop-outs including fireplaces, balconies, bay windows and eave overhangs shall be allowed to project into the aforementioned setbacks up to a maximum of three (3) feet for front and rear set backs and two (2) foot for

side setback from adjacent buildings. Refer to *Figures 10 and 11, Typical Plotting*, for a graphic example.

2. Uses Permitted: All uses permitted in the R-1 zone, pursuant to the City of Gardena Zoning code.
3. Uses Permitted Subject to a Conditional Use Permit: Other uses may be permitted in this zone, subject to the issuance of a conditional use permit as set forth in Section 18.12.030, pursuant to the City of Gardena Zoning Code Section 18.46.
4. Property Development Standards: The proposed development standards set forth in this section shall apply to all land and buildings in the Cottage Place Specific Plan:

The Cottage Place Specific Plan is a detached condominium project and as such there are no individually owned lots. The homes within the project are sited on common interest lots. Common interest lots are legal lots where one or more homes are located. In addition to the common interest lots, which are numbered, there are common area lots for landscaping, streets and open space. There are seven common interest lots, numbered 1 through 7, and 10 common area lots lettered 'A' through 'J'.

5. Fences: The provisions of Section 18.42.070 of the Gardena Municipal Code shall apply, except that:

- a. Perimeter fencing facing on public streets shall be in the form of decorative concrete block wall or stuccoed surface of similar material, specifically along Raymond Avenue and 144th Place. Such fencing shall not exceed seven (7) feet in height and be setback a minimum of one (3) feet from the property line. The only exception shall be along the south perimeter of the project area where an eight (8) foot wall will be constructed to match the height of the existing wall on the adjoining properties.

Cottage Place

b Perimeter fencing adjoining existing residences shall be in the form of a concrete block wall or similar material. Such fencing shall not exceed eight (8) feet in height.

c Within the project, interior wood fencing shall be allowed in side or rear private areas, but shall not exceed six (6) feet in height.

d All fencing shall be maintained by the Cottage Place Homeowner's Association.

e No fences, except those walls shown on *Figures 10 and 11, Typical Plotting*, shall be permitted in the front common area of each unit.

6 Swimming Pool Areas: The provisions of Section 18.42.090 of the Gardena Municipal Code shall apply, except swimming pools shall be permitted within five (5) feet of any fence or wall.

7 Structures: No enclosed, permanent attached or freestanding accessory buildings are allowed. Building expansions or additions are not allowed. Open patio covers of wood or plastic or open gazebos are allowed provided that it does not exceed twelve (12) feet in height and is set back a minimum of five (5) feet from the side or rear yard fence. Any such structure shall be subject to conformance with the standards and requirements of the Cottage Place CC&Rs.

8 Satellite Antennae: Satellite antennae shall be installed only in private rear yard areas of residences and shall not be visible from public rights of way or from private roadways within Cottage Place. Location and screening shall conform with Section 18.42.030 of the Gardena Municipal Code. Installation of satellite antennae are also subject to conformance with the standards and requirements of the Cottage Place CC&Rs.

9. Floor Area Ratio: The floor area ratio for Cottage Place shall not exceed 70%. No dwellings shall be built, modified or remodeled in any way, which will result in additional floor area.

B. Recreation and Open Space Standards

Each unit will have an Exclusive Use Easement for its rear yard and at least one side yard. These Exclusive Use Easements will provide the homeowners with private and semi-private open space. The front landscaped portions of the units will be maintained by the Homeowners Association, while the rear yards will be the maintenance requirement of the individual homeowner and subject the CC&R's.

A minimum of four hundred and fifty (450) square feet of useable open space and recreation area shall be provided for each unit, subject to the following provisions:

1. A minimum of fifty percent (50%) of the required usable open space shall be private and directly accessible from individual dwelling units.
2. All common area, excluding hardscape and streets, shall be landscaped. Specifically excluded as usable open space are all open and enclosed parking areas, garages, driveways, automobile turning aisles, storage areas, refuse storage areas and any area fenced or otherwise inaccessible to the residents;

C. Parking

The provisions of Chapter 18.40 of the City of Gardena Municipal Code shall apply except as follows:

The Cottage Place Specific Plan provides for two covered parking spaces per dwelling unit and an additional thirty-eight (38) guest parking spaces. The Cottage Place development is designed for three (3) spaces per unit. Twenty-four (24) of the thirty-eight (38) guest parking spaces shall be for the common use of all residents ("Common

Cottage Place

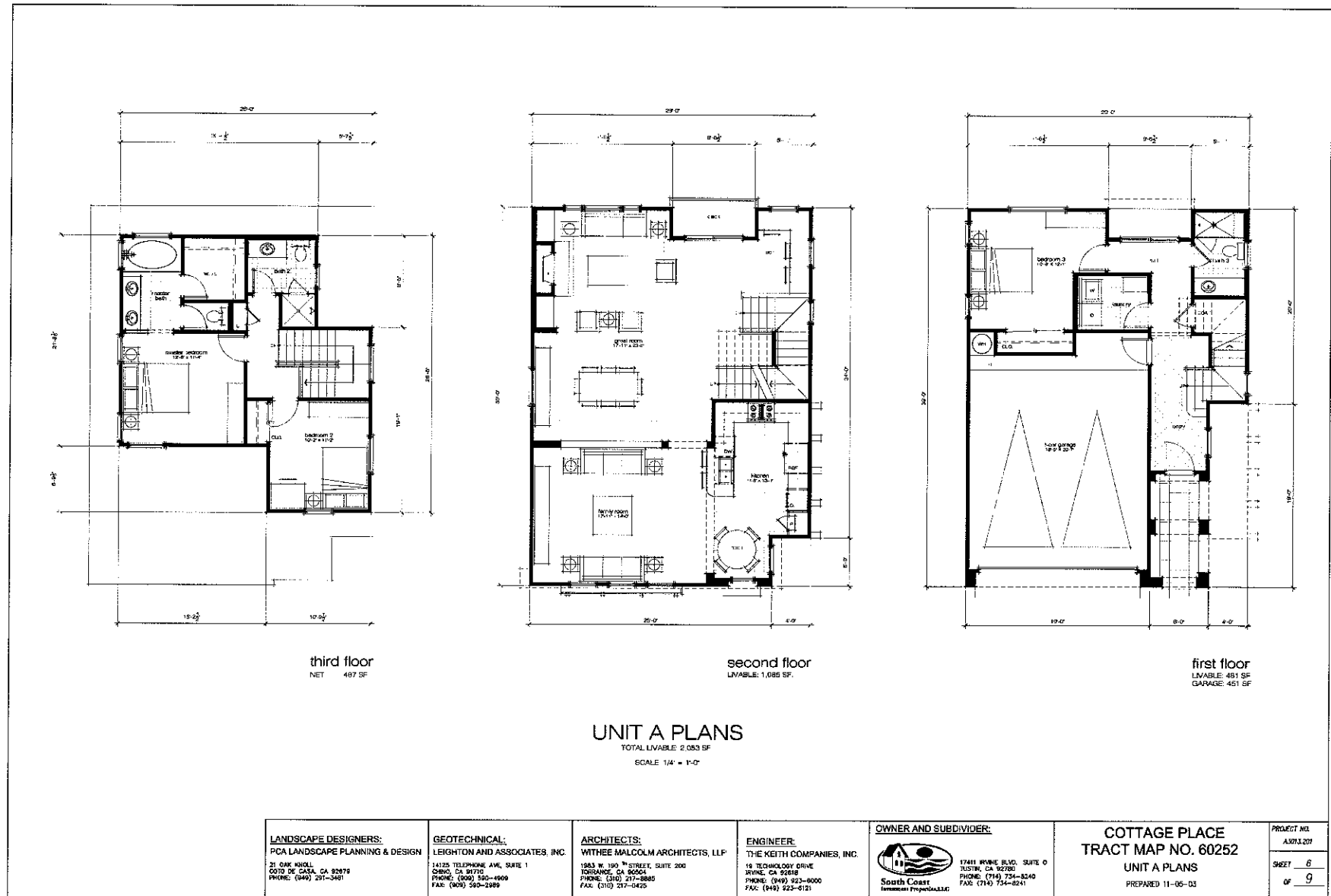


Figure 10, Typical Plot Plan A

Cottage Place

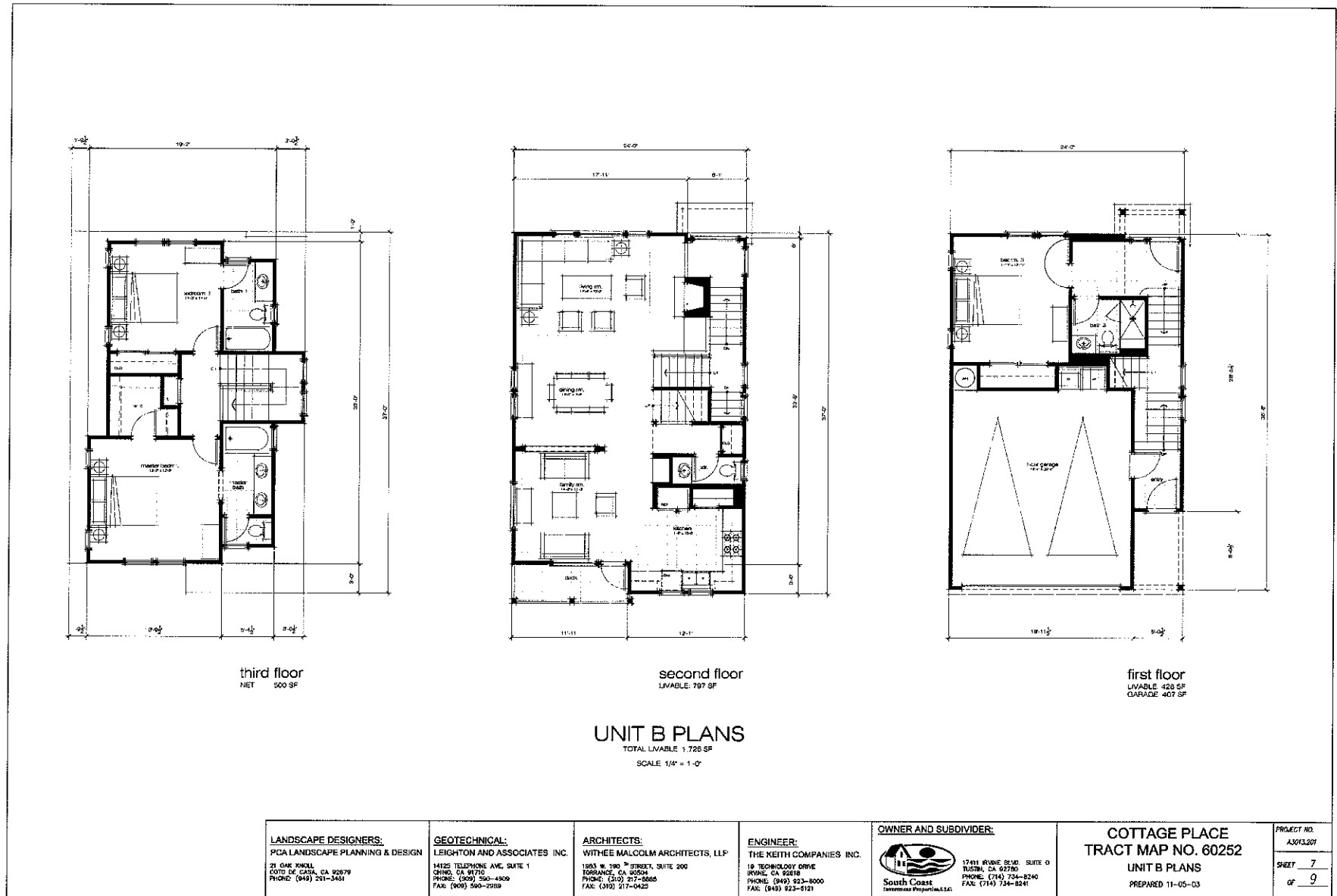


Figure 11, Typical Plot Plan B

Cottage Place

Area Parking”). Of the total Common Area Parking, twenty-one (21) will be nine (9) feet by twenty-two (22) feet and three (3) will be eight (8) feet by nineteen (19) feet and designated as “compact spaces.” The remaining fourteen (14) guest spaces are located within the exclusive use easements of Plan A units. The residents of these units shall have exclusive use of the guest parking within their exclusive use easement. Refer to Table IV –1 for a summary of parking.

Parking spaces within garages shall be a minimum of nine (9) feet wide by nineteen (19) feet deep. Garages shall be equipped with a roll-up garage door and an automatic garage door opener. A minimum of two hundred (200) cubic feet of storage space shall be provided in the garage of each dwelling unit.

D. Non-Conformities

Any non-conforming land uses will be subject to Section VII, Implementation.

E. Lighting Standards

Streets and other public spaces in Cottage Place shall be lighted. Streetlights will be located at regular intervals along the main access to Cottage Place. Appropriate lighting such as street lamps and spot lights will be utilized at the project entry for safety and aesthetic purposes. However, all lighting within the community will be located in such a manner as to reduce impact to the adjoining residents.

F. Sign Program

The provision of Chapter 18.58 of the Gardena Municipal Code shall apply. Address numbers will be lighted for safety and aesthetic purposes.

G. Maintenance Standards

All trash containers shall be stored in such a manner so they are not visible from the public right-of-way and private roadways. Otherwise, the provisions of Section 18.42.130 of the Gardena Municipal Code shall apply.

H. Standards for Accessory Structures

Subsections 7 and 9 of Chapter IV, Section A of this Specific Plan shall apply regarding standards for accessory structures. Notwithstanding the foregoing, any structures that are allowed shall be finished in such a manner as to complement the color scheme and architectural style of the adjoining structure.

Cottage Place

V. DESIGN GUIDELINES

A. Architecture

A uniform design standard will be maintained throughout the development, which will guarantee continuity. The residential architectural design guidelines for Cottage Place have been developed to provide general design criteria and guidance for development of residential homes in the Cottage Place development. These guidelines have been developed to establish a high level of product quality, to assure both variety and compatibility, and to enhance the community's overall aesthetic value. In addition to City review of projects for conformance with the Specific Plan, the Cottage Place Homeowner's Association will establish CC&Rs that create detailed additional architectural controls for Cottage Place.

The proposed development is in an urban in-fill site with approximately 2.48 acres of land bordered by one and two-story single family homes. The design of the enclave consists of two plan types with two varying exterior elevations, taking its precedence from the early California influences of Spanish Architecture, including Spanish and Monterey styles for each model type. Finish textures will be varied to improve the overall aesthetic appeal of the project.

The plans are three bedroom, two and one-half baths, on three-story on-grade format, ranging in size from 1,684 to 2,061 square feet. Each of the plans are stacked with the garages and utilitarian functions on the first floor, common spaces and bedrooms on the mid-level and additional bedroom space on the top. Examples of the architectural styles which are appropriate for Cottage Place are depicted in *Figures 12 and 13, Typical Architecture*.

The exterior detailing is composed of traditional Spanish architecture detailing with two-piece tiled roofs of varying color tones, accentuates gabled ends, exposed rafter tails, textured stucco exterior finish with deep color tones and plaster finished foam trims. Additional details on

the guardrails and framed entry create a personalized level of detailing and uniqueness to each home.

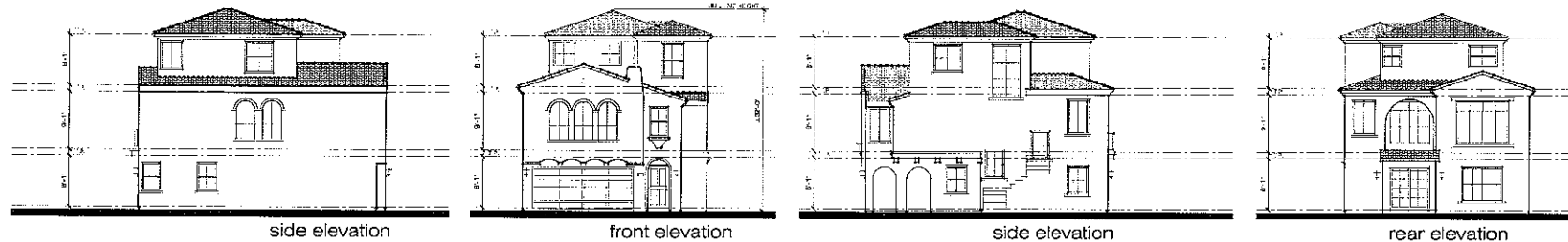
Guidelines for all house types and architectural styles are given below and shall help define the Cottage Place project, graphic examples are illustrated in *Figures 12 and 13*:

1. Building Elements:

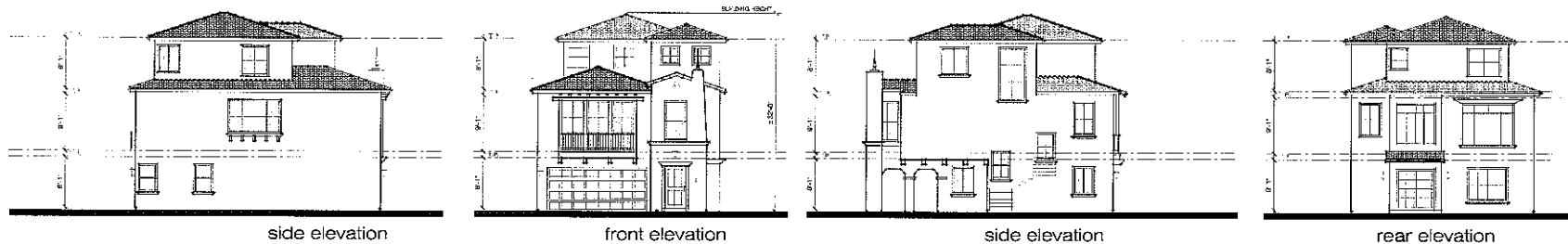
REQUIRED PARKING			
Parking Type	Required Spaces	Units	Subtotal
Single Family Residences	2 per unit	35	70
Guest Parking	20% of required		14
	Total Required		84
PARKING PROVIDED			
Parking Type	Spaces Provided	Units	Subtotal
Single Family Residences	2 per unit	35	70
Plan A Guest Parking	1 per unit	14	14
Common Area Parking	24		24
	Total Provided		108

Table IV - 1 Parking Summary

Cottage Place



elevation A - spanish



elevation A - monterey

EXTERIOR ELEVATIONS - UNIT A -

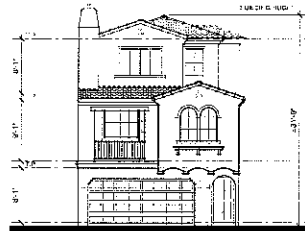
SCALE 1/8" = 1'-0"

LANDSCAPE DESIGNERS: PCA LANDSCAPE PLANNING & DESIGN 21 OAK KNOLL COYO DE CASA, CA 92579 PHONE: (949) 251-3481	GEOTECHNICAL: LEIGHTON AND ASSOCIATES, INC. 14125 TELEPHONE AVE, SUITE 1 CHINO, CA 91710 PHONE: (909) 590-4008 FAX: (909) 590-2888	ARCHITECTS: WITHEE MALCOLM ARCHITECTS LLP 1983 W. 196 TH STREET, SUITE 200 TORRANCE, CA 90504 PHONE: (310) 217-9885 FAX: (310) 217-0425	ENGINEER: THE KEITH COMPANIES, INC. 19 TECHNOLOGY DRIVE IRVINE, CA 92618 PHONE: (949) 923-8000 FAX: (949) 923-9121	OWNER AND SUBDIVIDER:  17411 IRVINE BLVD., SUITE 0 TUSTIN, CA 92780 PHONE: (714) 734-5240 FAX: (714) 734-5241	COTTAGE PLACE TRACT MAP NO 60252 EXTERIOR ELEVATIONS - UNIT A PREPARED 12-02-03	PROJECT NO. A3012.201 SHEET 8 OF 9
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Cottage Place



side elevation



front elevation



side elevation

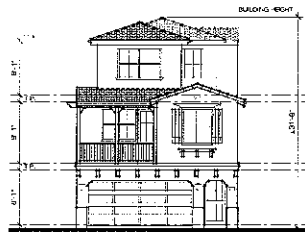


rear elevation

elevation B - spanish



side elevation



front elevation



side elevation



rear elevation

elevation B - monterey

EXTERIOR ELEVATIONS - UNIT B -

SCALE 1/8" = 1'-0"

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OWNER AND SUBDIVIDER:



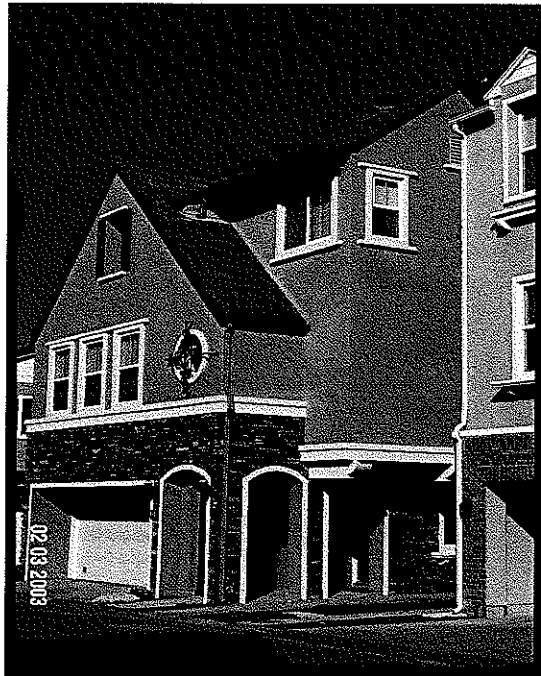
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**COTTAGE PLACE
TRACT MAP NO 60252
EXTERIOR ELEVATIONS - UNIT B**

PREPARED 12-02-03

PROJECT NO.
A3013.201
SHEET 9
OF 9

Cottage Place



↑ Architecture will incorporate several exterior finishes and textures.



← Spanish and Monterey architecture are the themes for the community

Elevations:

- ÷! Front elevations will be varied by architectural theme. Design elements will be included to provide interest, unique character and relief. These may include picture windows, shutters, posts, spindles, balusters, portholes, accent moldings, balconies, overhangs, stone columns and covered entries.
- ÷! Side elevations may contain architectural relief and projections. Windows shall be located to allow for maximum light exposure while providing privacy to adjoining residences.
- ÷! Rear elevations should provide windows for light to enter the structure.

Building Projections:

Subject to Chapter IV, Section A (Design Standards) of this document, building projections will be encouraged and are defined further graphically in this plan. All projections shall be designed to complement the main building.

Doors and Windows:

Windows and doors shall be made of wood, vinyl, vinyl clad wood, steel or factory painted aluminum. Glazing shall be clear glass with no more than ten percent day light reduction, except as is allowed in the design guidelines for the Cottage Place CC & R's. Windows may be accessorized through the use of shutters and awnings.

Gutters and Downspouts:

Gutters shall be colored to match the adjacent trim and fascia of the home. Downspouts shall be colored to match the surfaces

Cottage Place

to which they are attached. Vents, pipes, gutters and flashing will be painted to match the adjoining exterior finish color, e.g. roof color or stucco color.

Garages:

All homes shall have a roll-up garage door. A secondary trim color may be used to provide contrasting accents to the garage and adjoining trim. The garages shall have a minimum dimension of 18 x 9 for parking purposes.

Roofs and Chimneys:

Roofs shall complement the style, materials and scale of the building. Roof overhangs are encouraged because they provide shade and are aesthetically pleasing. Acceptable roofing materials may include, but are not limited to, flat clay tile, concrete tile and composition shingles, or other materials that meet minimum fire resistant criteria and are consistent with the architecture. Pitched roofs are required. Flat roofs are not allowed. If chimneys are provided, they should complement the architectural theme and be constructed of materials compatible with the structure's building materials.

2 Building Materials:

Stucco, plaster, brick, stone and veneer shall be the primary building wall and facade treatments. Limited use of wood is permitted, particularly for structural elements such as door frames, posts, and beams. Stucco finishes may be either roughly textured or smooth.

3 Colors:

Paints and stains shall be subdued and limited primarily to soft pastels, neutral colors, grays, whites, off whites and light to medium earth tones. Bolder accent colors shall be limited to moldings, doors, window frames, fascias, awnings, shutters, cornices, accent trim, and other



Interior spaces will be bright and useable

appropriate features.

B. Landscape and Streetscape Concept

This section will describe the minimum landscape requirements that shall be met in the design of all improvements within the Cottage Place Specific Plan area. The attached landscape concept plan, *Figure 9*, shall be used as a guide for the landscape implementation at the project.

Because of the nature and density of this project, it is essential that landscape and open space areas be thoughtfully designed. The intent of the plan is to soften the architecture and hardscape by the use of plants and trees that complement the adjoining structures. As an example, tall trees, such as Melaleucas, will be located near buildings while low evergreen shrubs, such as Juniper, will be located adjacent to walls and common areas to provide variation, color and further softening of the

Cottage Place

hardscape.

In addition, the landscape plan will endeavor to provide visual and noise buffers where required, and create a recognizable neighborhood through the use of a common landscape theme. As an added amenity to Cottage Place, a landscaped entry monument will be located along Budlong Avenue at the project entrance.

C. Views

The project can be viewed primarily from Budlong Avenue where entry monumentation will be provided in such a manner as to enhance the adjoining neighborhood in a subtle fashion.

The Budlong entrance will be gated with decorative wrought iron gates with an enhanced entry paving. Trees will be carefully placed to frame the entrance while not impacting adjoining homes.

Homes to the north of the project, along 144th Place and along the future dedication of Raymond Avenue will be buffered from the project by a landscape planter located along the length of the northern project boundary and western project boundary. These planters will be maintained by the Cottage Place Homeowners Association.

D. Performance Standards

Performance standards provided are those set forth in Leighton & Associates' report dated June 6, 2003.

Conventional Foundations

The following minimum design parameters should be used for conventional continuous and isolated spread footings founded in firm, compacted fill material. Foundations should be designed in accordance with Section 1815 of the UBC for soils with a low to medium expansion potential.

Continuous Footings:

Minimum Footing Depth: (below lowest adjacent grade)	18 inches
---	-----------

Minimum Footing Width:	12 inches
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Allowable Bearing Pressure	1,800 psf
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Isolated Footings:

Minimum Footing Depth: (below lowest adjacent grade)	18 inches
---	-----------

Minimum Footing Width:	24 inches
------------------------	-----------

Allowable Bearing Pressure	2,000 psf
----------------------------	-----------

The allowable bearing value can be increased by 250 psf per foot increase in depth or width to a maximum allowable bearing pressure of 3,000 psf. The structural engineer should design the footing reinforcements.

The preceding allowable bearing pressures are for the total dead load and frequently applied live loads. These values may be increased by one third when considering loads of short duration such as those imposed by wind and seismic forces.

Cement Type and Corrosion Protection

Preliminary laboratory testing indicates that the on-site soil has negligible concentrations of soluble sulfates. For planning purposes, Type II cement will be acceptable for use in concrete in contact with the soils. Measures for corrosion control of steel or other metallic elements embedded in soil will be required.

Cottage Place

E. Irrigation

Design of irrigation systems for Cottage Place shall conform with City requirements. Each circuit within the landscape irrigation system shall be capable of meeting the minimum needs of the mature plant material during peak demands within a weekly irrigation schedule. When selecting plant materials for this project, species of similar moisture needs should be grouped together to minimize the need for redundant or highly complex irrigation systems.

Irrigation adjoining the public rights-of-way and common areas shall be accomplished by means of automatically controlled spray, bubbler, and drip irrigation systems. All irrigation systems shall be efficiently designed to reduce overspray onto walks, walls, pilasters, street and other non-landscaped areas.

F. Project Lighting

Streets and other public spaces in Cottage Place shall be lighted. The project will be required to provide street lights. Streetlights will be located at regular intervals along the main access to Cottage Place. Appropriate lighting such as street lamps and spot lights will be utilized at the project entry for safety and aesthetic purposes. However, all lighting within the community will be located in such a manner as to reduce impact to the adjoining residents.

Trees located at the project entry may be lighted for aesthetics. In such instances, lighting fixtures should be recessed or hidden by foliage so as not to be readily visible.

G. Walls and Fences

Multiple wall and fence types will be used throughout the Cottage Place development. They will be utilized for soil retention, privacy, sound attenuation, articulation and security purposes. A variety of materials

may be utilized for walls and fences, these include wood, stucco, brick, stone, concrete block, and painted metal such as wrought iron or aluminum. Prohibited fencing materials include barbed wire fencing and chain-link. The use of brightly colored walls or fencing is not permitted.

H. Mailboxes

Mailboxes shall meet the U.S. Postal Service standards. Mail will not be delivered to individual homes in Cottage Place but will be delivered to gang mailboxes provided by the US Postal Service. There will be a one gang mailbox near the entry along Budlong Avenue.

VI. GENERAL PLAN CONSISTENCY

Cottage Place

A. Applicable Goals and Policies

The Cottage Place Specific Plan is designed to be consistent with the City of Gardena's General Plan. The overall relationship between this plan and the Gardena General Plan is that the Specific Plan provides a site specific, detailed description of regulations, standards and guidelines for implementing the General Plan's goals and objectives for the subject site.

Pursuant to Government Code section 65451, a specific plan is required to contain a statement of the relationship of the specific plan to the general plan. Consistency with the General Plan is achieved when the land use(s) of the Specific Plan are compatible with the objectives, policies, general pattern of land uses and programs contained in the General Plan. Consistency is defined as "an action, program or project that is consistent with the General Plan if, considering all its aspects, it will further the objectives and policies of the General Plan and not obstruct their attainment." This statement from the Governor's Office of Planning and Research describes how a specific plan should be consistent with the General Plan.

A detailed discussion of Cottage Place's consistency with the General Plan is provided below.

B. Land Use Element

The purpose of the Land Use Element of the Gardena General Plan is to improve the use of land and the relationships between uses in the best interest of the health, safety, welfare and convenience of the general public. This Land Use Element is the foundation of the general plan system. Cottage Place's consistency with the Land Use Element's residential objectives is provided below:

1. *To preserve and protect existing single family residential developments.*

Consistency: The Cottage Place Specific Plan will not disrupt existing single-family residential developments and will encourage the development of much needed single-family housing on property partially zoned for medium density multi-family housing. The site is identified for residential development as referenced in Table 26 of the General Plan, Residential Sites Inventory.

2. *To provide uniform and high-quality park and recreational opportunities to all areas of the City.*

Consistency: Residents of the Cottage Place Specific Plan will have access to existing public parks located in the vicinity of the site. Vincent Bell Memorial Park and Rosecrans Recreational Center, the nearest public parks, are located approximately one mile southwest and southeast, respectively, from the Specific Plan area. Additionally, the Cottage Place Specific Plan enhances the park and recreational opportunities in the City of Gardena through the payment of park and recreational fees.

3. *To preserve and maintain the City's low and low-medium density residential and low building height profile and character.*

Consistency: Residential uses in Cottage Place fall into the low to medium end of the density range for medium residential density land use as designated in the General Plan Land Use Map. The project abuts low density single family residential development but is in a larger area of higher density, attached multi-family residential properties, primarily along 144th Street and Budlong Avenue. The residences are all single and two-story in nature. The residences within Cottage Place are single-family detached structures, and will maintain a moderate-profile 3-Story elevation which will not exceed a maximum height of 32 feet.

4. *To promote construction of high-quality residential developments with ample open space, leisure, and recreation facilities.*

Cottage Place

Consistency: The Cottage Place development will provide a much needed source of high-quality and aesthetically pleasing homes for the City of Gardena. Approximately 0.46 acres of private and common open space, approximately 20% of the total project area (2.48 acres) will occur in Cottage Place. Each residence will have private backyard open space of at least 250 square feet for private leisure activities. Public parks located in the vicinity of the project will provide active recreational opportunities for residents.

- 5 *To foster the development of a variety of housing types and price ranges to meet the requirements and desires of the City's various age, income and ethnic groups.*

Consistency: Cottage Place will provide a medium density, detached product type. Cottage will provide two basic plan types, with a variety of unique facades and two complimentary architectural styles, Monterey and Spanish architect.

- 6 *To encourage the development of viable, attractive neighborhoods free from blight and deterioration*

Consistency: Cottage Place will provide for a newly constructed and visually attractive residential development on a property primarily housing a commercial container nursery operation in an exclusively residential neighborhood. Through the application of unique architectural features and enhanced landscape standards, the new development will improve the character of the surrounding vicinity.

C. Circulation and Scenic Highway Element

The Circulation and Scenic Highway Element provides guidelines for improving circulation of the automobile, truck, transit, bicycle, pedestrian, and rail. The Cottage Place Specific Plan area is located near the corner of Normandie Avenue to the west and Rosecrans Avenue to the north. Access to the project is from Budlong Avenue, with secondary emergency vehicle egress access available from the future Raymond

Avenue. Furtherance of the general goals of this Element by the Cottage Place Specific Plan is demonstrated below:

- 1 *Provide a system of streets and highways which will promote the safe and efficient movement of future traffic and goods throughout Gardena.*

Consistency: Access to Cottage Place will be provided via a private road connecting Budlong Avenue. Secondary emergency vehicle egress will be available from the future Raymond Avenue. The addition of this private entry and secondary emergency vehicle egress will not adversely affect the safety of traffic movement through the city.

- 2 *Develop a circulation system which is economically feasible and consistent with previous local and regional planning efforts.*

Consistency: Cottage Place's internal circulation and entry road will be constructed to accommodate local and regional planning efforts without any undue cost to or affect to the City of Gardena or surrounding neighborhoods. The City's circulation system economic feasibility and regional planning efforts will be unaffected by construction of this residential project.

- 3 *Discourage use of residential and local streets by through traffic.*

Consistency: The Cottage Place internal circulation system will have one gated access point at Budlong Avenue. No through traffic will occur within the project.

- 4 *Complement and reinforce the land use element wherever possible. It is most important that the circulation serve the proposed land use, rather than opposite.*

Consistency: The existing circulation system will adequately serve the project. Development of residential uses on the site is consistent with

Cottage Place

the property's proposed medium density residential land use designation.

5. *Establish policies which will improve mobility for the non-driving segments of Gardena's population.*

Consistency: Project residents will have access to existing transit opportunities in the project vicinity. Local transit access can be accessed via Normandie Avenue to west and Rosecrans Avenue to the north.

6. *Provide a circulation system which will have a favorable environmental impact upon the Gardena area.*

Consistency: The project's internal circulation system will be self-contained, and will have no adverse impacts on the Gardena area.

D. Housing Element

The Housing Element provides the City with guidelines for existing and future needs of the community, and includes policies and programs aimed at defining these goals. As stated in this element "a major impediment of future housing in Gardens is the limited supply of vacant or underutilized parcels suitable for residential zoning and/or development." Implementation of the Cottage Place Specific Plan will overcome this impediment by providing a new residential development on an underutilized parcel. Project consistency with the objectives of the Housing Element is provided below:

1. *To maintain and enhance the stability and quality of the City's housing stock and residential neighborhoods.*

Consistency: Cottage Place adds 35 single-family detached residences to the City's overall housing stock. This high quality gated residential neighborhood creates an attractive living environment for prospective home buyers in this residential area of Gardena.

2. *To provide opportunity for increasing the supply of affordable housing units within the City.*

Consistency: The medium density zoning, proposed at Cottage Place will provide a higher number of affordable homes than a lower density zoning would provide.

3. *To minimize the impact of governmental constraints on housing construction and costs.*

Consistency: Current traditional zoning regulations and standards would not accommodate more desirable residential development than proposed under this Specific Plan. The Specific Plan minimizes the impact of zoning constraints while positively contributing to the overall residential character of the City of Gardena.

4. *To encourage development of housing to meet the City's local housing needs and meet its share of regional needs to the extent possible.*

Consistency: The decreasing inventory of developable area in the more urbanized areas of the Los Angeles region threatens the region's ability to provide housing opportunities for the growing population. Cottage Place's contribution of housing will assist the City in meeting its share of regional housing needs.

E. Safety Element

The Safety Element identifies goals and objectives intended to protect the community from fire and geologic hazards. The primary fire hazards include urban or structural fire hazards and brush fire hazards. Geologic hazards include slope instability, general subsidence, differential settling, erosion, and other problems. Only one of the three identified hazards in this element, urban fires, could potentially impact the residents of Cottage Place. The extensive development which has occurred in the project vicinity reduces the potential for brush fires in the

Cottage Place

area, but increases the likelihood of structural fire. Geologic hazards are minimal due to the topographic character of the site and previous land uses. Project consistency with the Safety Element goals is described below:

1. *Protection of Life and Property.*

Consistency: Cottage Place meets all applicable fire department standards for new residential development. Strict adherence to such standards will protect project residents and their property from the risk of urban fire.

2. *Reduction of adverse economic, environmental and social conditions resulting from fires and geologic hazards.*

Consistency: To provide for public safety, all construction within Cottage Place will provide smoke detectors to reduce fire protection service levels within the city. The project also will observe and apply measures to reduce earthquake structural risk through implementation of City building and construction codes. Furthermore, the entrance to Cottage Place will allow for fast and easy access by emergency personnel (e.g., fire, police, paramedics) into all areas of the site.

F. Seismic Safety

The basic objective of the Seismic Safety Element of the City's General Plan is to *"reduce loss of life, injury, damage to property, and economic and social dislocation resulting from future earthquakes, but it is also concerned with slope stability problems and other soil related hazards.*

"1. To protect life, property, and public well being from seismic and other geologic hazards

Consistency: Prior to the issuance of building permits, all construction documents will be reviewed to ensure adherence to the applicable foundation recommendations contained in the project's geotechnical report

2. *To reduce adverse economic, social, and environmental impacts caused by geologic conditions.*

Consistency: The project will observe and apply measures to reduce earthquake structural risk through adherence to City building and construction codes.

G. Noise Element

The Noise element describes goals and objectives relating to environmental noise and the control of different noise sources within the community. This element provides criteria and guidelines to minimize noise conflicts between existing uses and new development. Applicable goals and policies contained in the Noise Element and project consistency with these goals are presented below

1. *Planned compatibility of commercial and industrial noise sources with present and future conforming noise sensitive land uses.*

Consistency: The development standards for Cottage Place residential structures will incorporate both State of California and City of Gardena interior and exterior noise standards for the development of residential areas. Proper sound attenuation will be provided by a combination of building setback, perimeter block walls and building type location throughout the site

2. *New residential developments, and other uses where noise affects quality of life, planned in conformance to adopted noise standards and criteria*

Consistency: The project will mitigate any noise impacts to a level of insignificance by providing innovative architectural design and the use of landscaping, perimeter block walls and setbacks.

3. *Reduction of environmental noise levels consistent with criteria requisite for health and quality of life*

Cottage Place

Consistency: The project will not create appreciable noise and will mitigate existing roadway noise impacts to a level of insignificance.

H. Open Space and Recreation Element

This element describes goals and objectives relating to Gardena's need for several city parks. Cottage Place has been designed as a single family detached project and provides private and common open space amounting to twenty-four percent (24%) of the project site. A one-time park and recreational in lieu fee assessed to the project will address the additional needs for recreational parkland created by the project.

VII. IMPLEMENTATION

A. Phasing Plan

The project will be phased in accordance with the approved Tentative Tract Map for Condominium Proposes. Generally, the project phasing will occur from east to west across the site. Building will occur nearest to Budlong Avenue and progress toward Raymond Avenue. Phasing under these guidelines allows for the separation of construction activities and new homeowners, e.g. as residents of Cottage Place move in construction will progress toward the western most boundary of the property.

B. Precise Plan Review Process

C o t t a g e P l a c e

The Cottage Specific Plan shall be revised as necessary to incorporate conditions of approval for the related Site Plan Review in conformance with Section 18.44 and Section 8-03 of the City of Gardena Municipal Code

C. Infrastructure Improvements/Coordination

All improvements required for the Cottage Place Specific Plan including but not limited to streets, sewer, water and utilities shall be provided and paid for by the developer subject to review and permitting by the appropriate city departments

D. Financing Measures

No public financing is required for development of this Specific Plan. All improvements will be privately funded.

E. Monitoring Programs

Mitigation measures will be monitored by the City in accord with project approvals and, subject to the discretion of the Community Development Director. Conditions of approval and mitigation measures shall be contained in the CC&R's.

F. Administration of Plan

The Cottage Place Specific Plan shall be delineated on the Gardena zoning map.

G. Amendment Procedures

1. Substantial Conformance

Specific Plans are meant to delineate the guidelines for development in a given area, however, at times it is necessary to maintain flexibility in the implementation of those plans. Any such amendment must remain in substantial conformance with the Cottage Place Specific Plan as de-

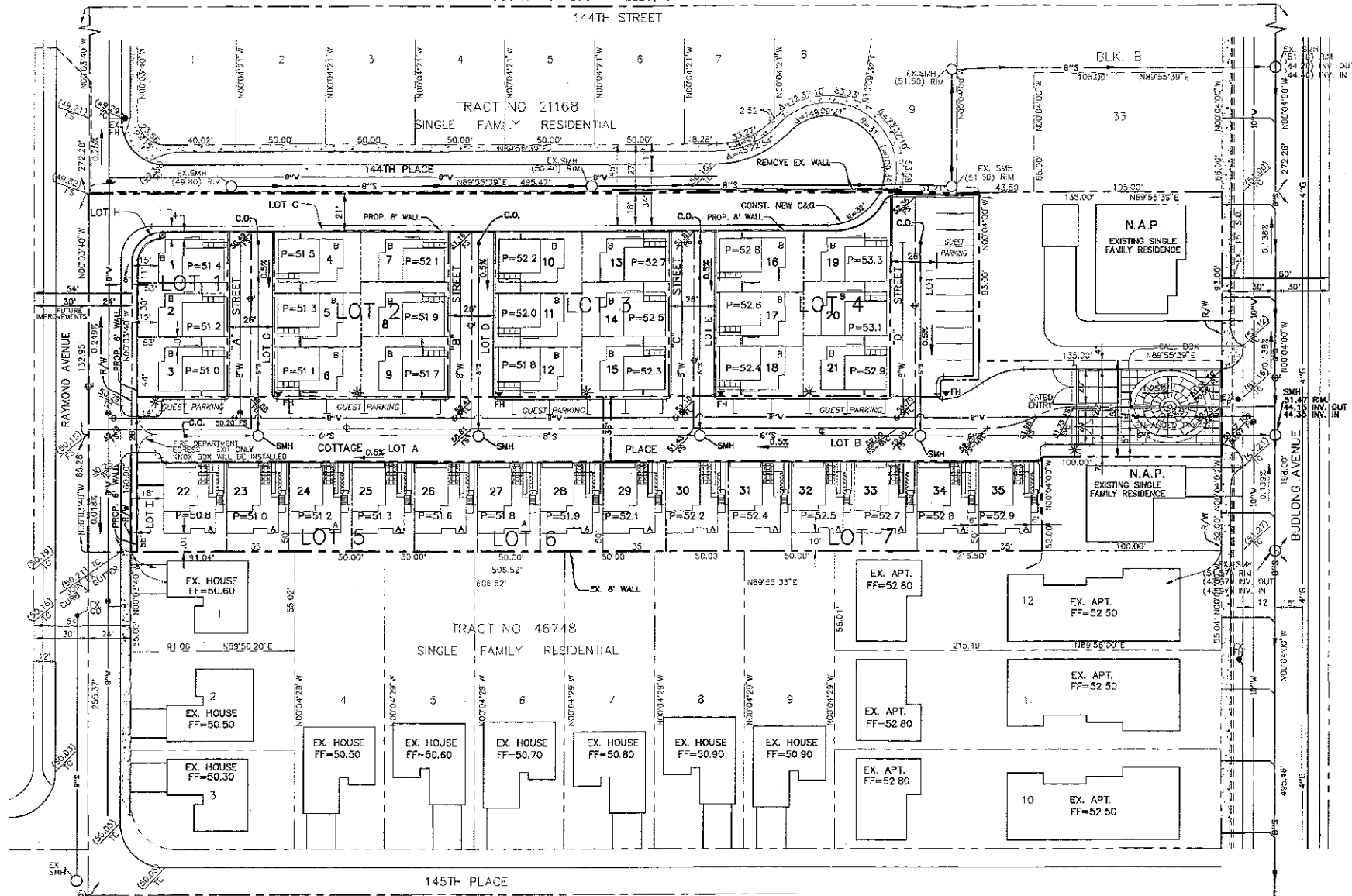
tailed in this document. When minor deviations are requested, the City of Gardena Community Development Department shall be responsible for approving changes. Example of deviations that would be in substantial conformance are as follows: 1) changes in color schemes; 2) building materials; 3) easement location; and 4) any other deviations deemed appropriate by Community development Department. Environmental review is not required for Substantial Conformance provided such changes are determined to be in accordance with the development concept of the adopted Specific Plan/Precise Plan.

2. Specific Plan Amendment

In the event that a proposed deviation to the Specific Plan is found to be in excess of the substantial conformance clause outlined above, a Specific Plan amendment will be required. Any amendment to this Specific Plan will be subject to review by the City of Gardena Planning Commission and City Council pursuant to California Government Code §65355. Such amendments must be consistent with the City of Gardena General Plan and shall require at least one public hearing prior to approval.

CONCEPTUAL SITE PLAN COTTAGE PLACE

IN THE CITY OF GARDENA
COUNTY OF LOS ANGELES, STATE OF CALIFORNIA
144TH STREET



LEGEND

- BOUNDARY
- LOT LINE
- UNIT EASEMENT
- STREET CENTERLINE
- EXISTING CHAIN LINK FENCE
- EXISTING WALL
- EXISTING TELEPHONE POLE
- EXISTING FIRE HYDRANT
- EXISTING SEWER CLEANOUT
- EXISTING SEWER MANHOLE
- EXISTING WATER LINE
- EXISTING GAS LINE
- PROPOSED 6" WALL
- PROPOSED SEWER MANHOLE
- PROPOSED SEWER CLEANOUT
- PROPOSED SEWER LINE
- PROPOSED WATER LINE
- FIRE HYDRANT
- STREET LIGHT
- WATER VALVE

UNIT DATA

NO.	LOT NO.	BUILDING	BUILDING S.F.	UNIT S.F.
1	1	B	782	1,428
2	1	B	782	1,595
3	1	B	782	1,759
4	2	B	782	1,640
5	2	B	782	1,446
6	2	B	782	1,316
7	2	B	782	1,349
8	2	B	782	1,445
9	2	B	782	1,607
10	3	B	782	1,640
11	3	B	782	1,445
12	3	B	782	1,324
13	3	B	782	1,349
14	3	B	782	1,446
15	3	B	782	1,617
16	4	B	782	1,640
17	4	B	782	1,446
18	4	B	782	1,330
19	4	B	782	1,534

TOTAL A UNITS = 14
TOTAL B UNITS = 21

LOT DATA

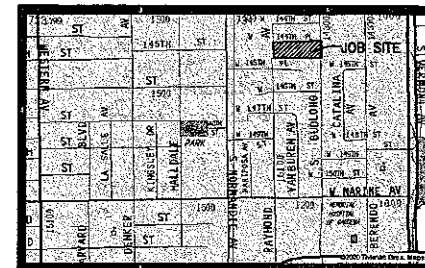
LOT NO.	AREA S.F.
1	4,492
2	8,802
3	8,802
4	9,022
5	7,727
6	8,722
7	8,728

LOT DATA

LOT NO.	AREA S.F.
A	9,439
B	14,839
C	2,366
D	2,370
E	2,374
F	5,380
G	1,442
H	295
I	150

NOTES:

- SUBDIVIDE 4 LOTS INTO 7 LOTS CONSISTING OF 35 DETACHED UNITS.
- DEDICATE 24'-FT FOR RAYMOND AVENUE.
- LOTS A, B, C, D, E AND F TO BE USED FOR INGRESS/EGRESS AND UTILITY PURPOSES.
- LOT G, H & I WILL BE A 3-FOOT WIDE LANDSCAPE STRIP TO BE MAINTAINED BY THE H.O.A.
- DEDICATE 21'-FT FOR 144TH PLACE.



VICINITY MAP

NOT TO SCALE

LEGAL DESCRIPTION

REAL PROPERTY IN THE CITY OF GARDENA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 1: THE SOUTH 88 FEET OF THE NORTH 198 FEET OF THE SOUTH HALF OF LOT 33 IN BLOCK 8 OF THE STRAWBERRY PARK TRACT, IN THE CITY OF GARDENA, AS PER MAP RECORDED IN BOOK 4 PAGE 27 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, AREAS AND DISTANCES CALCULATED AND MEASURED TO THE CENTERS OF THE ADJOINING STREETS AS SHOWN ON SAID MAP.

PARCEL 2: THE WEST 130 FEET OF THE SOUTH HALF OF LOT 33 IN BLOCK 8 OF STRAWBERRY PARK TRACT, IN THE CITY OF GARDENA, AS PER MAP RECORDED IN BOOK 4 PAGES 27 AND 28 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, AREAS AND DISTANCES CALCULATED AND MEASURED TO THE CENTERS OF THE ADJOINING STREETS AS SHOWN ON SAID MAP.

EXCEPT THE NORTH 198 FEET THEREOF

PARCEL 3: THE SOUTH HALF OF LOT 33 IN BLOCK 8 OF STRAWBERRY PARK TRACT, IN THE CITY OF GARDENA, AS PER MAP RECORDED IN BOOK 4 PAGES 27 AND 28 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, AREAS AND DISTANCES CALCULATED AND MEASURED TO THE CENTERS OF THE ADJOINING STREETS AS SHOWN ON SAID MAP.

EXCEPT THE NORTH 198 FEET THEREOF AND EXCEPT THE WEST 330 FEET THEREOF

ALSO EXCEPT THEREFROM THE NORTH 52.50 FEET OF THE SOUTH 108 FEET OF THE EAST 105 FEET AND ALSO EXCEPT THEREFROM THE SOUTH 52.50 FEET OF THE EAST 105 FEET, SAID EAST 100 FEET AND EAST 105 FEET BEING MEASURED FROM THE WESTERLY LINE OF BUDLONG AVENUE 60.00 FEET WIDE

PARCEL 4: THE NORTH 52.50 FEET OF THE SOUTH 105 FEET OF THE EAST 105 FEET SAID EAST 105 FEET BEING MEASURED FROM THE WESTERLY LINE OF BUDLONG AVENUE 60 FEET IN WIDTH, OF LOT 33 IN BLOCK 8 OF STRAWBERRY PARK TRACT, IN THE CITY OF GARDENA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 4 PAGES 27 AND 28 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

ASSESSOR PARCEL NUMBERS

6114-018-014
6114-018-015
6114-018-016
6114-018-017

SETBACKS

REAR YARD SETBACK - 10' (MIN.)
BUILDING SEPARATION - 5'

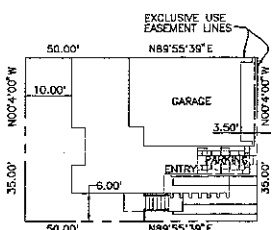
AREAS:

LOTS 1 TO 7 INCLUSIVE: 56,315 SQ. FT.
LOTS A-H: 38,755 SQ. FT.
AREA: 95,070 SQ. FT.
STREET DEDICATION: 12,130 SQ. FT.
TOTAL AREA: 107,200 SQ. FT.

PARKING SUMMARY:

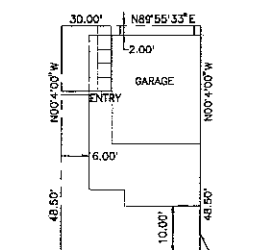
	RESIDENT	GUEST	TOTAL
REQUIRED	72	14	86
PROPOSED	70	24	94

* NOTE: OFF STREET PARKING = 70; ON STREET PARKING = 13; LOT F PARKING = 11



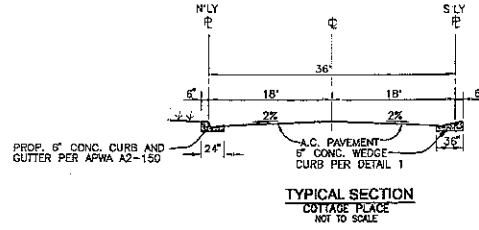
TYPICAL UNIT A

SCALE: 1"=10'



TYPICAL UNIT B

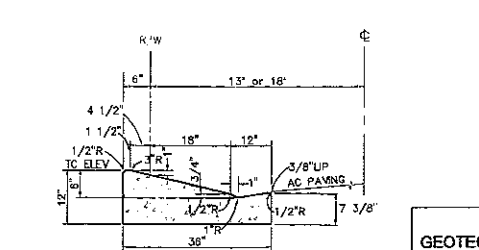
SCALE: 1"=15'



TYPICAL SECTION

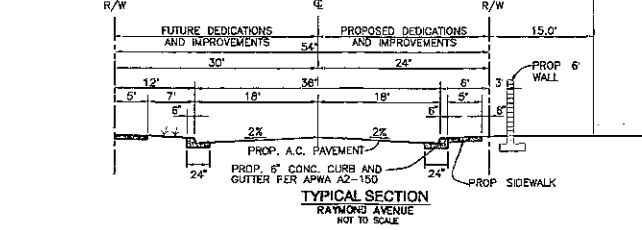
COTTAGE PLACE

NOT TO SCALE



WEDGE CURB DETAIL 1

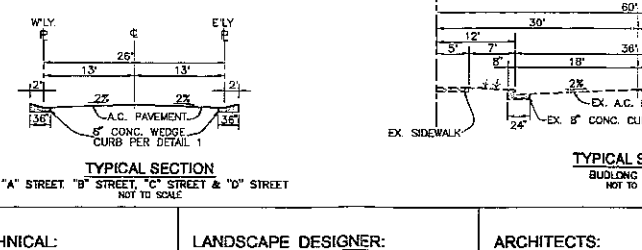
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TYPICAL SECTION

RAYMOND AVENUE

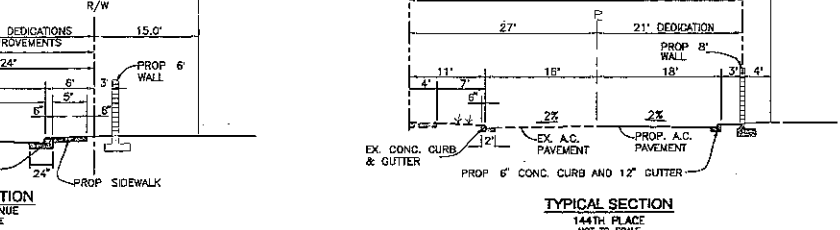
NOT TO SCALE



TYPICAL SECTION

"A" STREET "B" STREET, "C" STREET & "D" STREET

NOT TO SCALE



TYPICAL SECTION

BUDLONG AVENUE

NOT TO SCALE

GEOTECHNICAL:

LEIGHTON AND ASSOCIATES, INC.

14125 TELEPHONE AVE SUITE 1
CHINO, CA 91710
PHONE: (909) 590-4909
FAX: (909) 590-2989

LANDSCAPE DESIGNER:

PCA LANDSCAPE PLANNING & DESIGN

21 ONE KNOLL
COTO DE CASA, CA 92679
PHONE: (949) 291-3481

ARCHITECTS:

THE WITHEE MALCOLM PARTNERSHIP ARCHITECTS

1963 W. 190TH STREET SUITE 200
Torrance, CA 90504
PHONE: (310) 217-8885
FAX: (310) 217-0425

ENGINEER:

THE KEITH COMPANIES, INC.

19 TECHNOLOGY DRIVE
IRVINE, CA 92618
PHONE: (949) 923-6000
FAX: (949) 923-6121

OWNER AND SUBDIVIDER:



17411 IRVINE BLVD. SUITE D
TUSTIN, CA 92780
PHONE: (714) 734-8240
FAX: (714) 734-8241

COTTAGE PLACE

TRACT MAP NO. 60252

CONCEPTUAL SITE PLAN

PREPARED 12-02-03

PROJECT NO.

014067.00.000

SHEET

2

OF 9