

P L A T I N U M R O W

Specific Plan



G a r d e n a , C a l i f o r n i a

January 2015

Platinum Row

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Platinum Row

I. INTRODUCTION

A. Project Summary

This Platinum Row Specific Plan was authored by South Coast Communities, LLC, the project developer. The site is located at 14504 South Normandie Avenue, in the northeast portion of the City of Gardena. Platinum Row will consist of a gated residential community on approximately 4.69 acres. The community will be accessed via Normandie Avenue and feature up to 96 attached townhome units. Homes within the development will range from a minimum of 1,718 square feet to 1,880 square feet.

1. Project Team

Applicant

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2. Acknowledgements

City of Gardena Community Development Department

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Gardena, CA 90247

Platinum Row

City of Gardena Department of Public Works
1717 West 162nd Street
Gardena, CA 90247

B. Specific Plan Purpose and Intent

This document serves as a specific plan for the development of Platinum Row. It provides a comprehensive set of plans, design standards, public improvements, and implementation programs to ensure the orderly development of Platinum Row in conformance with the City of Gardena General Plan and other adopted policies.

Chapter 18.39 of the Gardena Municipal Code (“GMC”) provides procedures for consideration of specific plans as authorized by Government Code Section 65450 et seq. and other applicable provisions of law. The Housing Element of the General Plan for the City of Gardena identifies specific plans as the preferred method of implementing new housing developments within the City. Section 5.C.7 of The City’s Housing Plan encourages the use of Specific Plans to promote residential development within the City where existing zoning requirements may not sufficiently accommodate the desired development.

The Platinum Row Specific Plan (the “Specific Plan”) will provide a pattern to guide development of quality in-fill housing by the establishment of land use and design guidelines through a focused set of zoning regulations. When approved by the City, the Specific Plan will serve both planning and regulatory functions. The project is referenced in this document as “Platinum Row”, but may be renamed in the future for marketing purposes.

C. Site Location

As shown in Figure 1, *Regional Map*, the project is located in the north-eastern portion of Gardena. Regional access to the project site is provided by three major Southern California freeways: San Diego Freeway (Interstate 405), Harbor Freeway (Interstate 110) and Artesia Freeway

(State Route 91). Platinum Row's proximity to these three freeways facilitates commuter access to and from the Los Angeles Metropolitan area.

As shown in Figure 2, *Vicinity Map*, several major roadways are located near the project site, including Rosecrans Avenue to the north, Redondo Beach Boulevard to the south, Vermont Avenue to the east, and Normandie Avenue to the west. Primary access to the project will be via Normandie Avenue. An aerial view of the project site is enclosed as Figure 3, *Aerial Photo of Site*.

The site is bounded by a neighborhood retail center to the north, Normandie Avenue to the west, multifamily residential to the south, and detached townhomes to the east (Cottage Place Specific Plan).

D. Project History / Background

The site is approximately 4.69 acres and is currently occupied by a commercial nursery. Historical photos and permit records reveal that the site was used primarily for agricultural purposes until the mid-1900’s, when it was converted to a nursery. The site is improved with a small office and miscellaneous work sheds.

E. Relationship to Neighboring Jurisdictions

The project is located in the north-eastern portion of the City, adjacent to the cities of Los Angeles to the north, Hawthorne and Lawndale to the east, and Torrance to the south. Platinum Row will be a gated community designed to provide both private access and a sense of security to its residents. Parking for Platinum Row residents and their guests will be provided on site to avoid impacting neighboring residents.

F. Environmental Matters

Environmental Initial Study - As the lead agency, the City of Gardena prepared an Environmental Initial Study and determined that the Project

Platinum Row

could meet CEQA Guidelines through a Mitigated Negative Declaration (“MND”), which was prepared by GRC Associates. Please reference the MND (not included herein) for Project-specific mitigation measures.

Traffic Impact Study - Traffic Design, Inc. prepared a Traffic Impact Study on September 11, 2014. The purposes of the study were to:

- document existing traffic conditions in the vicinity of the project;
- determine future conditions with and without the Project;
- assess Project-related impacts to the circulation system; and
- identify mitigation measures to reduce any significant traffic impacts to a level of insignificance.

The Traffic Impact Study concluded that the Project would not significantly impact any of the key intersections analyzed in the surrounding roadways. No off-site mitigation measures were necessary for the development of Project.

Phase I/Phase II - A Phase I Environmental Site Assessment (“ESA”) was prepared by IWS Environmental, Inc. (“IWS”) on March 3, 2014. The purpose of the ESA was to identify any recognized environmental conditions or historically recognized environmental conditions that may limit or inhibit future residential development. The ESA identified the following potential issues:

- Potential for pesticides from agricultural uses prior to early 1950’s;
- Potential contamination from two underground storage tanks (USTs), which were installed in 1980 and removed in 1989 with County of Los Angeles certification;
- Potential for groundwater contamination associated with the retail development to the north; and
- Potential asbestos containing materials (ACM) and lead-based paint (LBP) within the onsite structures.

Given these concerns, IWS performed a Phase II investigation that included a soil gas survey to test for groundwater-associated volatile organic compounds (“VOCs”) and soils sampling to test for herbicides

and pesticides.

The February 26, 2014 Phase II concluded the following:

- *Soil Gas Survey* - No VOCs or any chemicals potentially associated with gasoline/diesel leaks were found. Trace amounts of Freon-12 were found, but the readings were well below action levels.
- *Soils Sampling* - No chlorinated herbicides were detected. Trace levels of organochlorine pesticides were detected at sufficiently low levels, which were not considered an environmental or health concern. Trace levels of heavy metals were detected, but did not exceed U.S. EPA’s California Health and Safety screening levels for the intended residential use.

Based on these results, IWS did not recommend any additional environmental investigations or actions. *The foregoing is only an interpretation of the conclusions provided in the environmental documents. Please refer to the source documents for more details.*

G. Related Applications and Documents

Applications relating to the Platinum Row development include a General Plan Amendment, Change of Zone, Site Plan Review and Tentative Tract Map.

In addition to these applications, other documents have been prepared to study the suitability of the site for the proposed development, these documents include, but are not limited to: Phase I environmental site assessment, Phase II environmental testing, asbestos and lead paint survey, geotechnical studies, hydrology studies and grading analyses.

Platinum Row

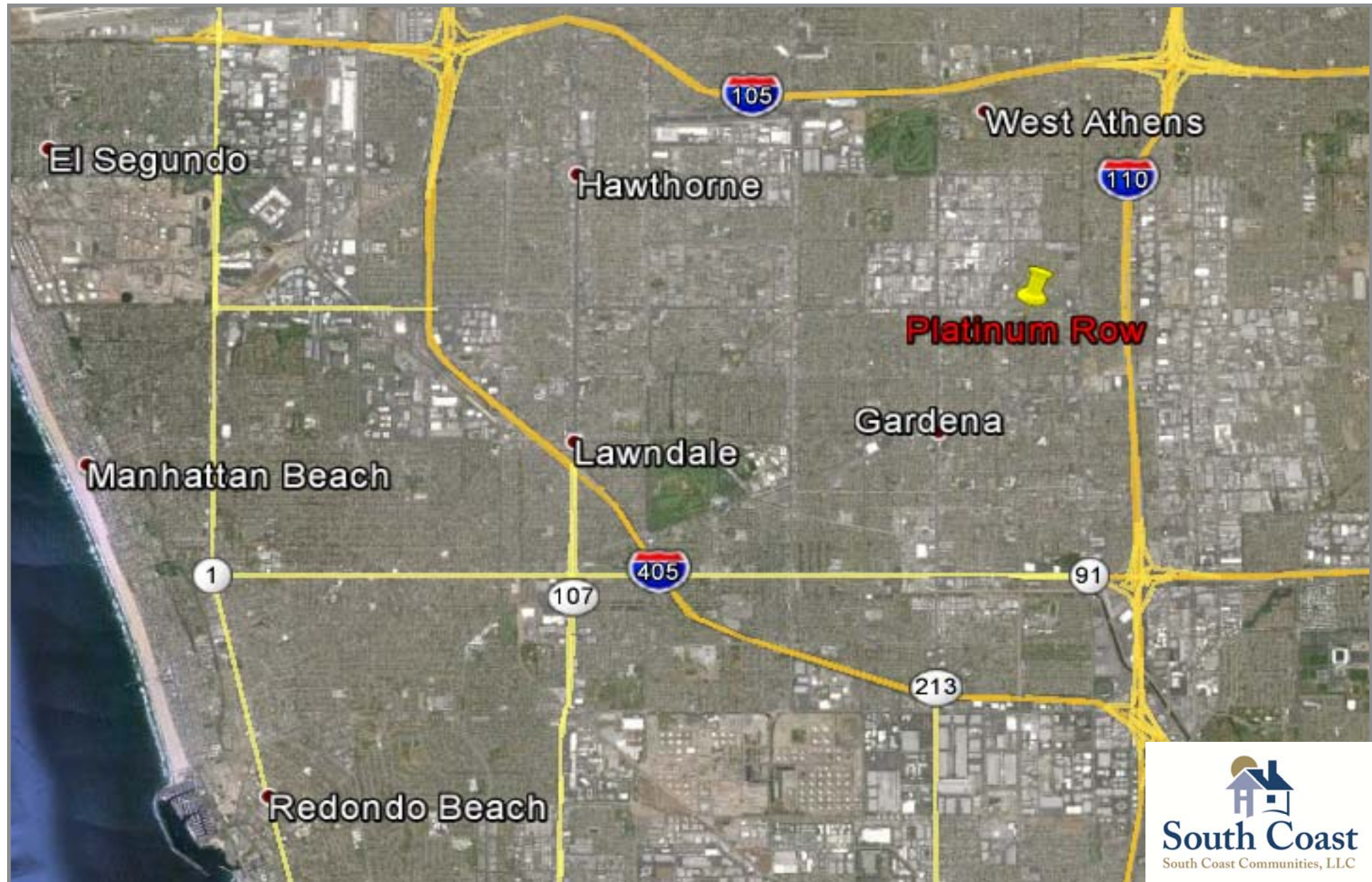


Figure 1, Regional Map

Platinum Row

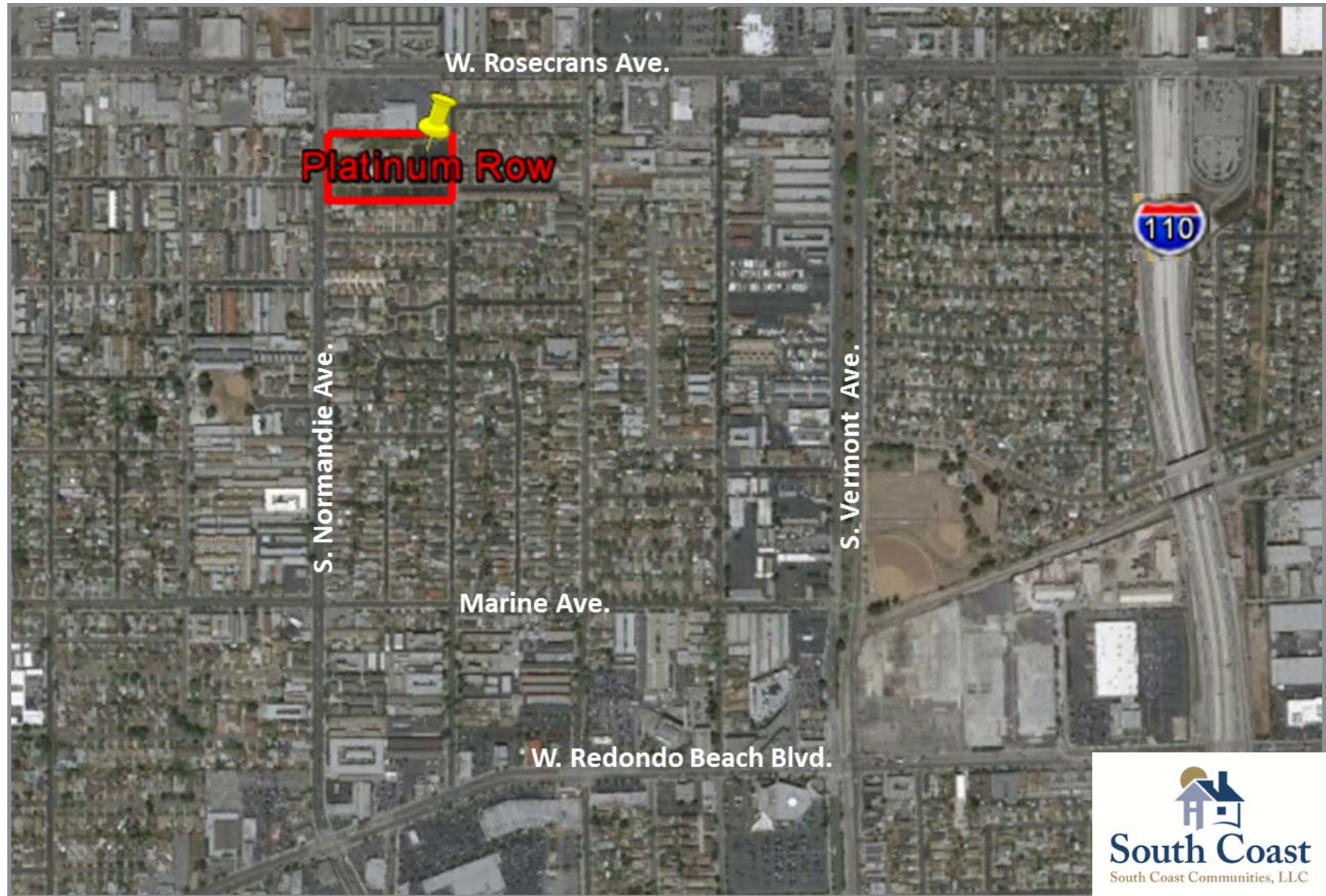


Figure 2, Vicinity Map

Platinum Row



Figure 3, Aerial Photograph

Platinum Row

II. SITE DESCRIPTION

A. Topography

The U.S. Geological Survey (USGS) topographical map of “Inglewood”, California, 7.5-Minute Quadrangle was used to provide preliminary topographic data on the subject site. According to that map and an April 2014 survey, elevations onsite range from a low of 49.5 feet above mean sea level (amsl) at the northwest corner to 51.5 feet amsl at the southeast corner. A topographic map of the project site is shown as *Figure 4, Topographic Map*. [Note: Purple buildings do not match existing onsite structures.]

B. Geology/Soils

A Phase I Environmental Site Assessment by IWS Environmental Inc. (“IWS”) described the physical setting for the subject property and surround area. According to IWS, the site is underlain by late to middle Pleistocene undivided old alluvial flood plain deposits. The sediments are predominantly composed of moderately well consolidated, poorly sorted, permeable, commonly slightly dissected gravel, sand, silt and clay-bearing alluvium (Saucedo et al., 2003). Based on data collected from nearby sites, the lithology directly beneath the site is predominantly composed of poorly-graded sand, silty sand, clayey sand, sandy silt, silt and clay to 50 feet below ground, the maximum depth explored. Source: Geotracker.

The entire southern California region is seismically active and crossed by many faults - the Newport-Inglewood Fault is a few miles northeast of the site. IWS did not find any characteristics of the local geology that would preclude the development of housing at Platinum Row.

An onsite soils investigation of the proposed Platinum Row development was conducted by Professional Engineers Consulting, Inc. (“PEC”) dated March 4, 2014. The purpose of this investigation was to

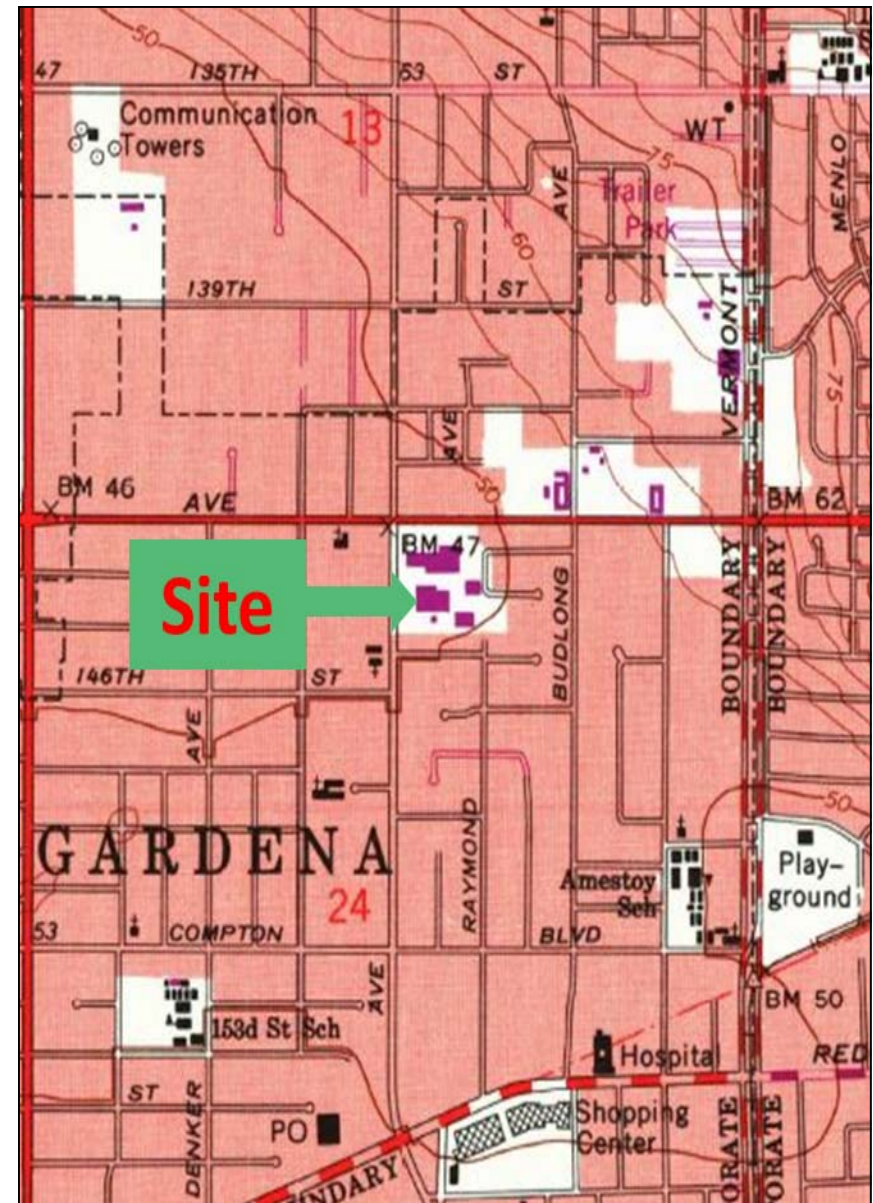


Figure 4, Topographic Map

Platinum Row

explore the subsurface conditions, to evaluate the general soil characteristics onsite, and to provide preliminary geotechnical recommendations for design and construction of the proposed project. To evaluate the soils conditions at the site, PEC excavated, logged and sampled four (4) exploratory hollow-stem auger borings. The borings ranged in depth from 20 to 50 feet below the existing ground surface. Representative samples were collected and tested by an independent laboratory. The data obtained from the background review, field exploration and laboratory-testing program was evaluated and analyzed by PEC in order to provide the conclusions and geotechnical recommendations in the report.

Based upon the investigation, PEC concluded that the proposed development is feasible from a geotechnical standpoint. PEC found no geologic or soil-related hazards or constraints that would preclude development.

C. Hydrology/Water Quality

The site is relatively flat with a slightly southern gradient. It is not located in any specified flood zone area, and there is no evidence of runoff (i.e., erosion) on the site. In general, the undeveloped site surface drains in a southwesterly direction to Normandie Avenue.

To determine the porosity of the soils and design a Standard Urban Water Mitigation Plan (SUSMP), PEC conducted an Infiltrometer study in May 2014. PEC concluded that the site exhibited an average infiltration rate of 0.35 inches per hour.

Accordingly, drainage for the site will be managed through a combination of bio-swales and underground basins. The storm flows on the western half of the project site will flow into bio-swales with a curb outlet. Once they enter the public street, through parkway culverts, they will flow into the existing catch basin, located south of the project site on Normandie Ave. The storm flows from the eastern half of the project site will flow into bio-filtration units, then into storm water storage

tanks. The storm water storage tanks will have sump pump systems that will surface discharge the storm flows onto Raymond Avenue, where they will meet the existing catch basin.

The site will also provide aquifer recharge opportunities through the softscaped areas located at the central park and bio-swale area along the Raymond Avenue border. PEC's borings repeatedly identified groundwater at a depth of approximately 32 feet.

D. Biological Resources

Review of aerial photographs indicates that the property has been utilized for field agriculture dating back to at least 1928. The property became an active commercial nursery in the late 1950's. As a result, the property has been highly disturbed for decades and no native vegetation or wildlife species occur on site.

E. Land Use / Zoning

Platinum Row is a residential development that will consist of up to 96 single-family attached homes. Prior to the zone change, the site was zoned R-1 (low-density residential) on the eastern 3.67 acres (fronting Raymond Ave.) and R-3 (medium-density residential) along the western 1.02 acres (fronting Normandie Ave.). The site also had a high-density mixed-use overlay (MU) allowing for up to 30 units per acre. Residential development of the site under this Specific Plan, instead of the previous zoning, is consistent with the overall land use pattern for the area and is compatible with the existing residential neighborhoods.

Section 18.39.025 (Residential Density) of the GMC states that, "*Any specific plans adopted by the City after March 2012 shall allow a maximum residential density of at least 20 units per acre on portions of the specific plan where residential units are allowed.*" This Specific Plan meets this requirement.

The Project site is identified in the 2014-2021 Housing Element of the

Platinum Row

General Plan as a “Prime Opportunity Site” for residential development. Though the Platinum Row Specific Plan is consistent with the Housing Element, the site requires a General Plan Amendment from the existing zoning classifications (R-1, R-3, MU overlay) to Specific Plan (SP). The Housing Element also states that in instances where sites contain mixed zoning, the City is committed to supporting development at the higher density.

F. Circulation

Platinum Row is centrally located with proximate access to the Gardena/Artesia Freeway (State Route 91), San Diego Freeway (Interstate 405), Harbor Freeway (Interstate 110) and Glen Anderson/Century Freeway (Interstate 105).

The Property will access the surrounding arterial roadways from its primary gated access on Normandie Avenue. An emergency secondary gated access point is planned along Raymond Avenue.

As a gated community, the internal streets will be privately owned and managed by the homeowner’s association. Primary circulation will be provided by an east/west curvilinear “spine” road with two looped driveways (i.e. 8 two-way access points along spine road) in each quadrant of the site. These driveways will provide two-way access to the direct-access two-car garages, as well as through-traffic for waste management, fire and third-party service providers.

G. Cultural Resources

The current onsite facilities were constructed in the 1950’s and largely consist of fabricated metal and wood green houses, office area, garage storage and shade covers, none of which have any architectural or historical value. Because of the highly intrusive nature of field agriculture and commercial nursery operations, no other cultural resources occur on site.

H. Public Services

Public services are those functions which serve residents on a community-wide basis, such as fire, police, primary and secondary educational facilities, libraries and waste management. As an infill development, Platinum Row will be served by existing facilities. Project impacts on such services will be mitigated through development impact and service fees.

School Facilities - The Los Angeles Unified School District will serve the Platinum Row community. These schools include Amestoy Elementary School at 1048 W. 149th Street, less than a quarter-mile from the site, Peary Middle School at 1415 W. Gardena Boulevard, and Gardena High School at 1301 W. 182nd Street. The elementary school is within walking distance of the site and the junior high and high schools are approximately 1 ½ and 2 ½ miles south of the site, respectively. It is anticipated that the proposed project will generate some school-aged children. Project impacts to the Los Angeles Unified School District will be mitigated by payment of fees at the time building permits are issued in conformance with State law.

Police and Fire Services - Police protection is provided by the City of Gardena Police Department. The police department is located at 1718 W. 162nd Street, approximately 1 ½ miles from the project. Fire service is provided by the County of Los Angeles Fire Department. The closest fire station is located at 1650 W. 162nd Street, approximately 1 ½ miles from the project.

Library Services - A few libraries are located in the vicinity of the project. These libraries include the Masao Satow Library at 14433 S. Crenshaw Boulevard, just south of Rosecrans, and the Mayme Dear Public Library, located at 1731 W. Gardena Blvd. at Hobart Boulevard. These libraries are part of the County of Los Angeles’ library system.

Solid Waste Disposal - Solid Waste services will be provided to the residents of Platinum Row by Waste Resources.

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I. Utilities

Public utilities such as gas, water, electric, telephone and cable television will be supplied by the public utility providers that currently serve the surrounding residential neighborhoods, as follows:

- Gas - Southern California Gas Company.
- Electricity - Southern California Edison.
- Telecommunications - AT&T.
- Cable/Internet - Time Warner.
- Water - Golden State Water Company

Easements and utility lines will be relocated to accommodate the site plan. Any relocation will be undertaken without cost or service interruption to residents of the existing neighborhood.

J. Site Summary

Platinum Row is consistent with the City of Gardena General Plan for residential use and is identified in the Housing Element as a “Prime Opportunity Site” for residential development. The project consists of ninety-six (96) dwelling units on approximately 4.69 acres, resulting in a gross residential density of 20.5 dwellings per acre.

The physical characteristics of the site are conducive to the type of residential development proposed under the Platinum Row Specific Plan. The site is bounded on three sides by a variety of residential and commercial land uses, and will require minimal amounts of grading. Because of the infill nature of the site, utilities required to serve the development are all located in the adjacent right of way. Any relocation will be undertaken without cost or service interruption to the residents or the City of Gardena.

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III. SPECIFIC PLAN CONCEPTS

A. Project Goals and Objectives

A central goal of the Platinum Row Specific Plan is to provide high quality living opportunities for area residents in an urban area with few modern developments. The plan's goals can be expressed as follows:

- Provide home ownership opportunities to encourage community retention.
- Provide modern floor plans that cater to a broad demographic.
- Create ground level bedroom spaces to encourage multi-generational living.
- Assist in meeting the regional housing needs.
- Revitalize the Normandie and Rosecrans Corridors.

B. Opportunities and Constraints

An opportunities and constraints analysis is a study of the factors that effect a project. These factors can either be beneficial or provide challenges to a proposed project. Upon the initiation of the project, many factors are studied to determine a project's feasibility.

The opportunity for residential development of this site is optimal not only because the City's General Plan Land Use Map and Zoning Map designate the project site as residential, but also because much of the infrastructure required to sustain an additional residential neighborhood is already in place. Furthermore, the site will require very minimal grading.

With the success of the Cottage Place Specific Plan development to the

Table III-1
LAND USE SUMMARY

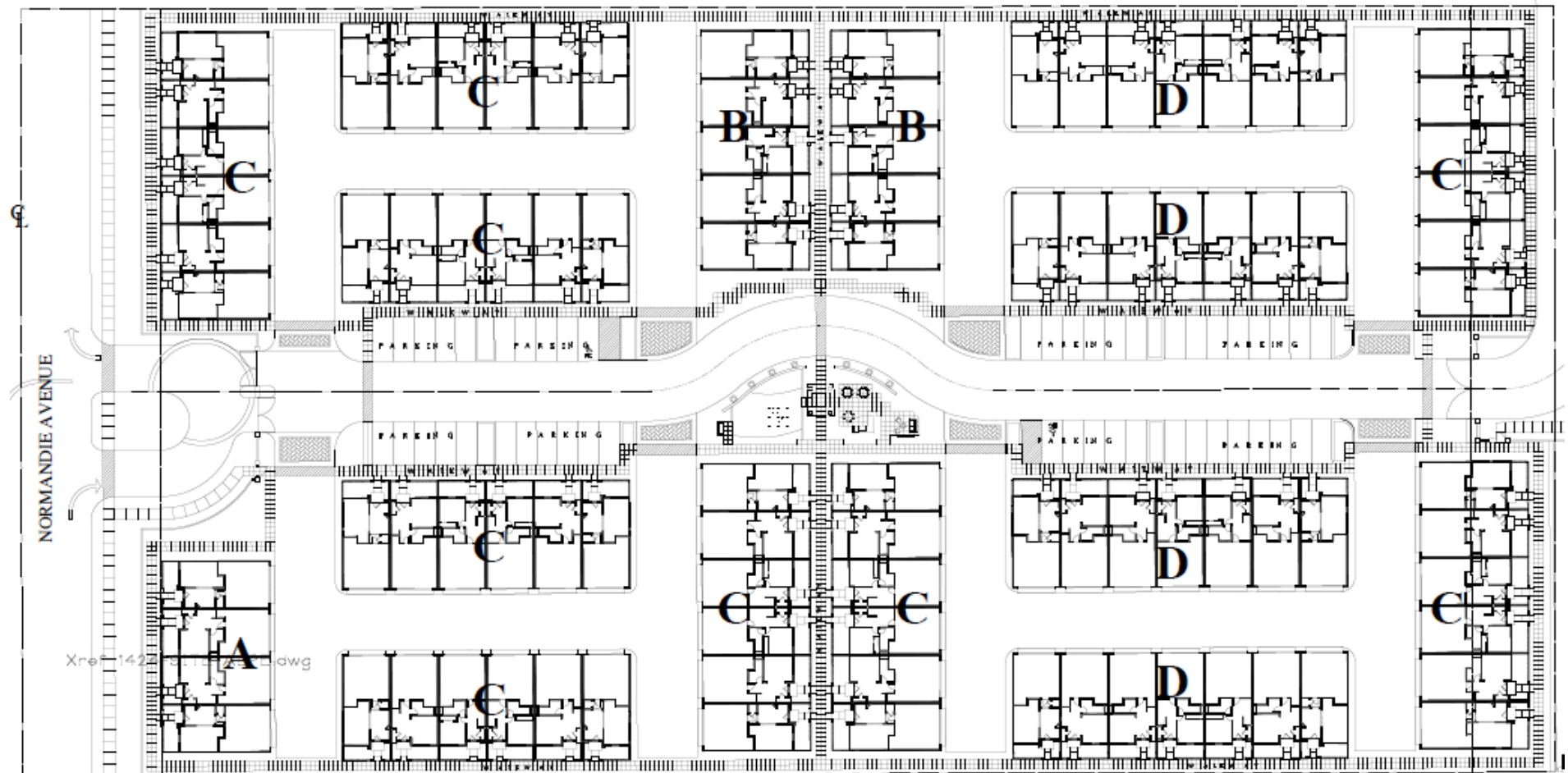
FLOOR AREA RATIO

Unit Type	Square Feet	Total Units	Total Area
Plan 1	1,718	29	49,822
Plan 2	1,842	35	64,470
Plan 3	1,880	32	60,160
Total		96	174,452
		Land Area	204,296
		FAR	85%

BUILDING COVERAGE RATIO

Unit Type	Square Feet	Total Units	Total Area
Plan 1	791	29	22,939
Plan 2	795	35	27,825
Plan 3	792	32	25,344
Total		96	76,108
		Land Area	204,296
		BCR	37%

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BUILDING TYPE:

- 4 UNIT BUILDING - A
- 5 UNIT BUILDING - B
- 6 UNIT BUILDING - C
- 7 UNIT BUILDING - D

SITE DATA

Acres 4.69
Units 96
DU/AC 20.4

Parking	Provided	Required
Garage	192	192
Guest	48	48
	240	240

Platinum Row

east, the submarket shows great promise for redevelopment. The single-family and multi-family residential dwellings in the adjoining neighborhood to the south are of one and two-story configurations. Accordingly, the Platinum Row design will have to consider its neighbors when establishing building setbacks and view corridors. The retail uses to the north orient and load to the north, which won't materially impact future residents of Platinum Row. In conclusion, investigations of the surrounding land uses have not revealed any significant constraints to the residential development proposed in this Specific Plan.

C. Conceptual Site Plan/Land Use Plan

The Platinum Row Specific Plan anticipates 96 attached townhome units on approximately 4.69 acres. As is depicted in *Figure 5, Site Plan*, the plan features three unique floor plans, ranging from approximately 1,718 square feet to 1,880 square feet. A summary of the residential products offered in Platinum Row is reflected in *Table III-1, Residential Land Use Summary*.

The gross residential density is 20.5 dwelling units per acre (du/ac), which falls within the High Density residential range of 17-30 du/ac. Building coverage at the site is approximately 1.74 acres or 37.1% of the site. Hardscape, comprised primarily of streets, walkways and paving, amounts to approximately 2.29 acres or 48.8% of the site. Finally, common area landscaping and ground-level private open space (i.e. patios) amount to approximately 0.66 acres or 14.1% of the site.

The design of this housing type is meant to encourage useable interior living space, functional exclusive outdoor living and public open spaces. The site plan achieves these goals through the use of 3-story floor plans, private patios and a central park with extensive interconnected paseos.

D. Transportation/Circulation Plan

As a gated community, Platinum Row will offer primary ingress and

egress from Normandie Avenue. A secondary (emergency only) gate will be located at Raymond Avenue. Internally, a curvilinear spine road will provide ample guest parking and access to each of the residential quadrants. Within each quadrant, automobiles will use two-way looped roadways, facilitating streamlined access for residents, waste management vehicles and other trucks. Each unit will feature two direct-access garage spaces plus ample guest parking along the spine road.

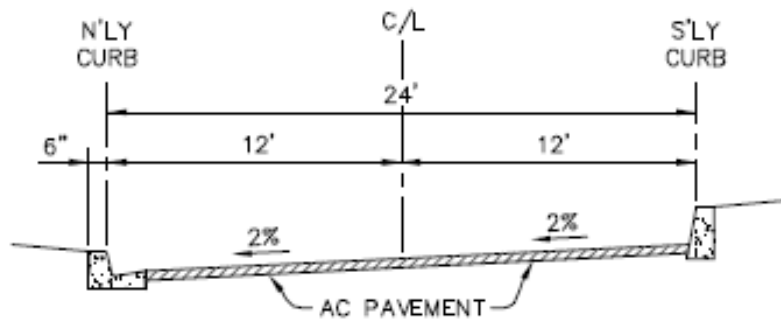
Platinum Row residents will enjoy the safety and convenience of off-street pedestrian access via a paseo system that circumnavigates and bisects the community from north to south and east to west. This internal trail system links to the centrally located park. The following further defines the Circulation Plan:

- 1. Private:** All on-site streets and guest parking areas will be privately owned and maintained by a homeowners association. The spine road will be 26' wide and the driveway loop streets will be 24' wide (east/west streets) and 26' wide (north/south streets). Please see *Figure 6, Private Street Sections* and *Figure 7, Public Street Sections*.
- 2. Public:** Normandie Avenue is a public roadway that will provide primary access. Raymond Avenue will provide emergency access only from the development's eastern gate. Traffic along Raymond Avenue will remain blocked by two gates from immediately south of the proposed eastern emergency access gate to the southern Property line. Subject to approval from the Los Angeles County Fire Department and plan approval from the City, the project shall replace the northern gate with a permanent wall. The southern gate shall remain an emergency access point for Cottage Place.

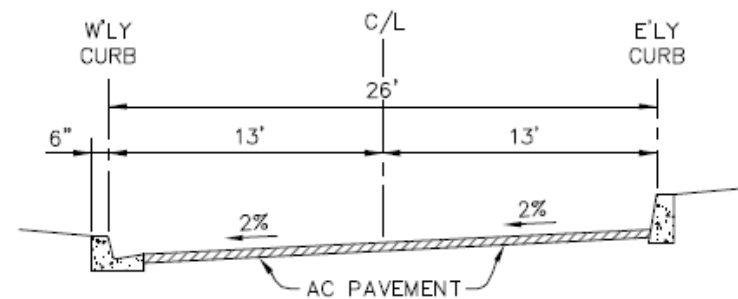
North of the Raymond Avenue emergency access gate, the project shall dedicate approximately 6' for Raymond Avenue street widening, which shall include a fully improved curb and gutter (26' paved curb-to-curb width per Los Angeles County Fire Department). No public sidewalk is proposed along Raymond Avenue. See *Figure 7, Street Sections*.

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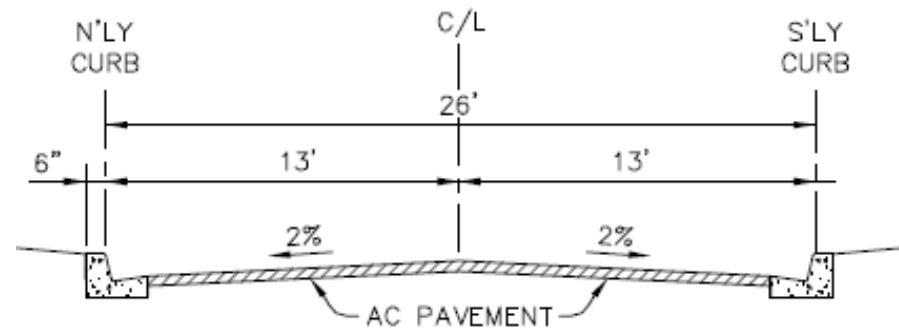
PRIVATE STREET SECTIONS



EAST/WEST INTERNAL ROAD



NORTH/SOUTH INTERNAL ROAD

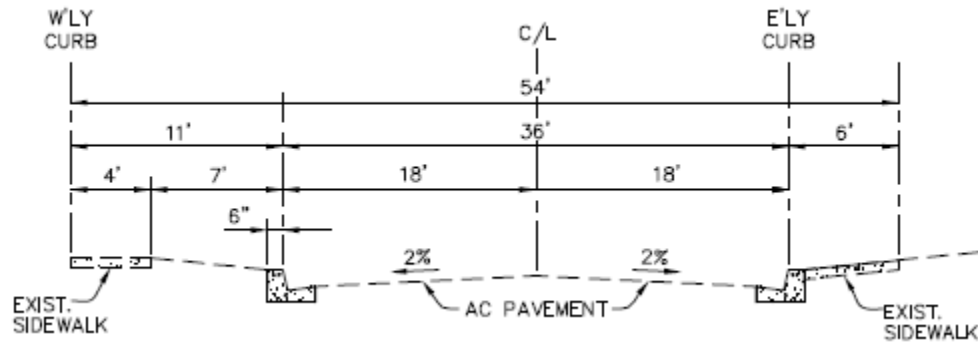


CENTRAL SPINE ROAD

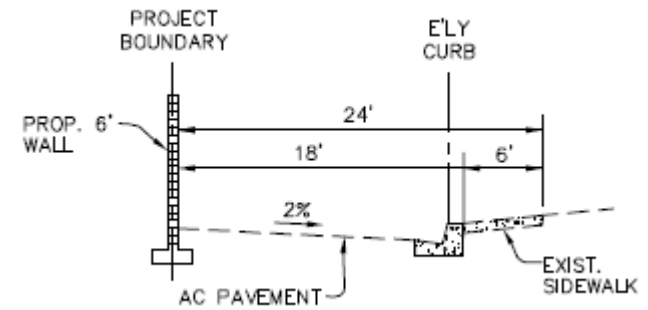
Figure 6, Private Street Sections

Platinum Row

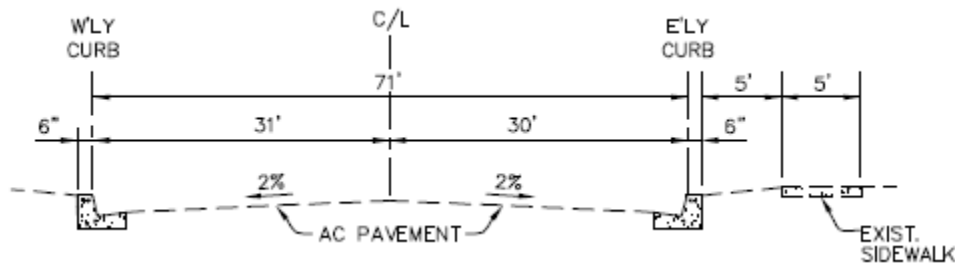
PUBLIC STREET SECTIONS



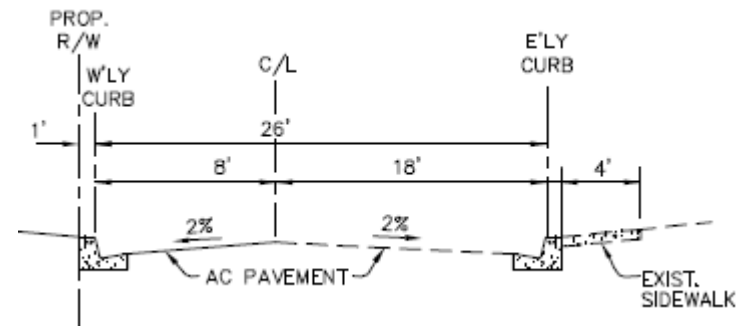
RAYMOND AVE (SOUTH OF P/L)



RAYMOND AVE (SOUTHERN P/L)



NORMANDIE AVE



RAYMOND AVE (NORTHERN P/L)

Figure 7, Public Street Sections

Platinum Row

3. **Pedestrian, Vehicular and Mass Transit** – Internal pedestrian access will be provided via the main gate along Normandie Avenue and from a secondary gate along Raymond Avenue. Bus stops are located along Normandie Avenue and Rosecrans Avenue, providing easy access to the mass transit system. A Park & Ride facility is located near the intersection of Rosecrans Avenue and the Harbor Freeway.

E. Grading Plan

The conceptual grading plan identifies the elevations for pads, streets and other areas of the site. A key purpose of the grading plan is to designate appropriate sloping for drainage. All grading activities will be in compliance with the GMC and the Uniform Building Code (UBC). Approximately 22,700 cubic yards of over-excavation will be required to prepare the site to accept fills of approximately three (3) feet. The proposed site elevations will match existing grades along most of the property boundaries. A maximum of two (2) feet will be retained on some portions along the northern and southern boundaries. Six (6) foot high walls will be constructed along the perimeter, which will be in addition to the retained area heights.

Figure 8, Conceptual Grading Plan, illustrates the grading plan for Platinum Row. Minimal cut and fill is required to accommodate residential development at Platinum Row.

F. Public Facilities/Utilities

1. **Sewer Plan:** Two primary sanitary sewer lines will serve the development and drain toward Normandie Avenue and Raymond Avenue, as follows: 1) One 8" line will be constructed that drains toward Normandie Avenue, south to 145th Place, then connecting to an existing off-site sewer main in 145th Place, approximately 370' south of the Normandie Avenue entrance; and 2) One 8" line draining toward Raymond Avenue, then connecting to an existing off-

site sewer main in Raymond Avenue, approximately 85' south of the southeastern property line. Due to the shallow existing man-holes, the on-site sewer will also be constructed as shallow sewers, requiring special design parameters. Easements and sewer lines will be relocated to accommodate the Platinum Row site plan. Any relocation will be undertaken without cost of service interruption to neighboring residents and businesses.

Sewer service will be provided by the Los Angeles County Sanitation District (LACSD). All onsite sewer will be offered for dedication to LACSD; or if refused, will be maintained by the Homeowners Association.

2. **Water Plan:** There are currently water lines within Normandie Avenue that will provide domestic fire and irrigation services for the project. It is anticipated that the project domestic connection will be a 6" lateral at the southwest corner of the site and that the 8" fire connection will be located at or near the northwest corner. Water service will be provided to the Platinum Row development by Golden State Water Company. Relocation of water lines will be undertaken without cost or service interruption to neighboring residences and businesses.
3. **Drainage Plan:** Prior to the recordation of the final map for Platinum Row, a Storm Water Pollution Plan will be prepared to comply with Regional Water Quality Control Board requirements. The property will sheet flow into onsite curb and gutter, which will channel flow offsite to the public drainage system. For additional information, refer to "Hydrology/Water Quality" in Chapter II-C.
4. **Solid Waste:** Solid waste services will be provided to the residents of Platinum Row by Waste Resources of Gardena.
5. **Energy Plan:** Proposed development on site will require a connection to the existing gas distribution lines in the project vicinity. Electrical service will be provided by Southern California Edison.

Platinum Row

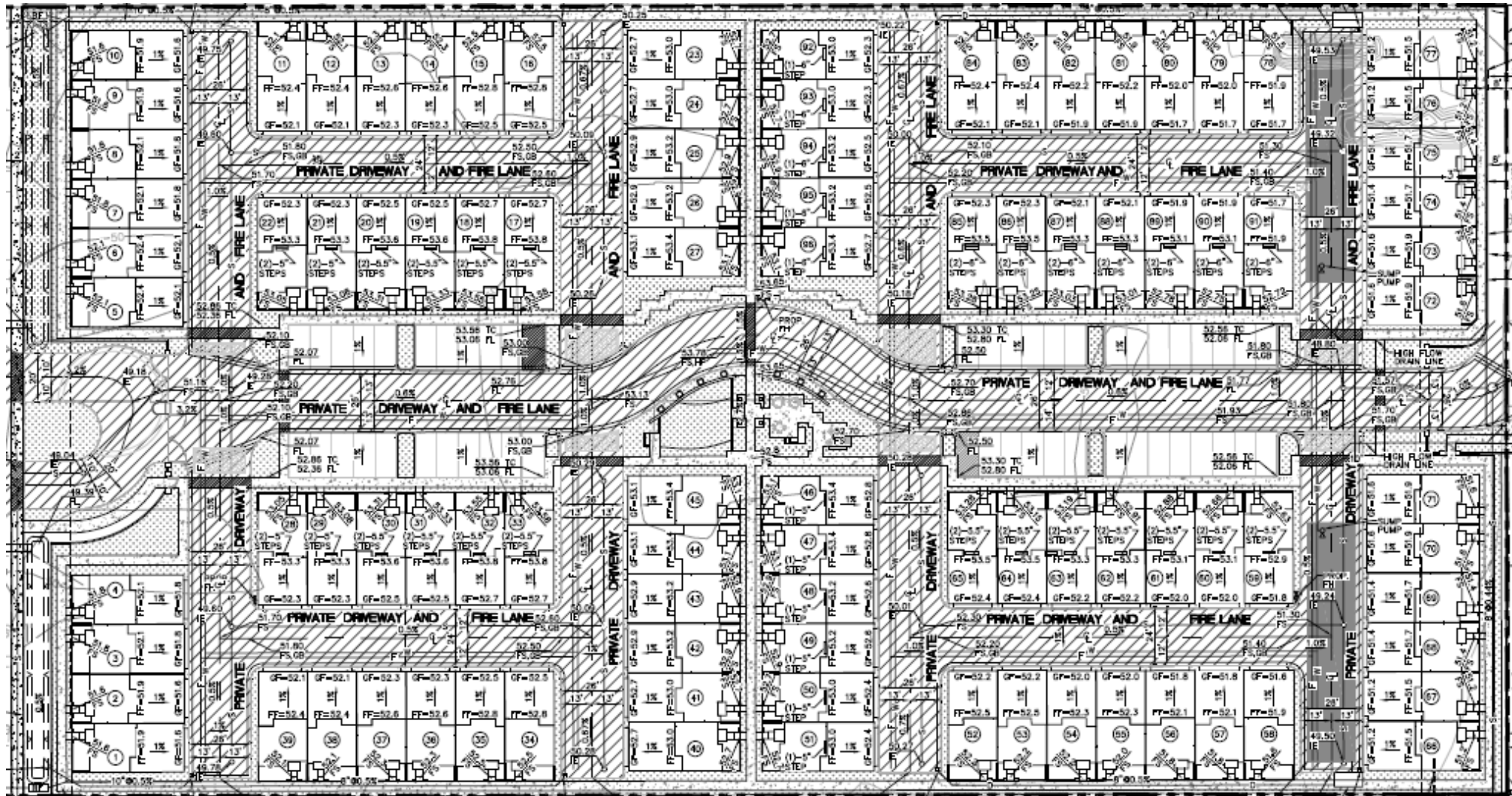


Figure 8, Conceptual Grading Plan

Platinum Row

The subdivision design must provide, to the extent feasible, for future passive or natural heating or cooling. Solar panels, for example, are encouraged to conserve energy, but are not required.

6. **Utilities Plan:** Platinum Row will relocate existing gas, power, telephone and cable television facilities in the Project vicinity as needed.

G. Recreation and Open Space Plan

1. **On-Site Open Space:** In high-density urban settings like Platinum Row, open spaces are extraordinarily valuable to residents. For this reason, the Project design incorporates large second-floor verandas, usable ground-level patios and a centrally-located public open park. Private open spaces, which include front courtyards and patio decks, total approximately 0.36 acres (7.6%) of the overall project site. Common open space areas (hardscaped and softscaped paseos, parks, seating areas and landscaped buffers) amount to approximately 0.90 acres (19.1%) of the site, and shall be maintained by the Platinum Row Homeowners Association.

Chapter 17.20 of the GMC promulgates the 1975 State of California Quimby Act, as amended. Accordingly, the Project shall be required to dedicate land, pay an in-lieu fee or some combination of each for park or recreational purposes. The amount of land to be dedicated is calculated at 3 acres per 1,000 residents. Using an average household of 2.86 residents (Source: City of Gardena), the Project's 96 units will house approximately 267 residents, resulting in a parkland requirement of 0.80 acres. With a parks and recreation area of 7,425 s.f., the parkland dedication shortfall shall be satisfied by the payment of an in-lieu fee, as documented in the Project's conditions of approval. The in-lieu fee is assessed to mitigate additional burdens on parks and recreational facilities within the City by its residents. Proceeds may be used to acquire new parkland and fund capital improvements at existing facilities.

2. **Off-Site Open Space:** Several public parks and recreational facilities are in close proximity to Platinum Row. The closest city park to the project site is Vincent Bell Memorial Park at 14708 South Hall-dale Avenue, less than one mile west of the project site. Rosecrans Recreational Center at 840 W. 149th Street in the city of Los Angeles is less than one mile south of the project site. Facilities include picnic and children's play areas, lighted baseball field, two volleyball courts, indoor and outdoor basketball courts, meeting room and gymnastic area. The 17.1 acre Rowley Park is located nearby at 13220 S. Van Ness Avenue. Facilities include four lighted baseball fields, four lighted tennis courts, wading pool, three children's play and picnic areas, lighted basketball and handball courts, activity building, auditorium and weight room. Other parks in the project vicinity include the 2.3-acre Thornburg Park, which is located just north of Marine Avenue and near the corner of Van Ness and 134th Street. In addition to the public parks, school outdoor play areas also are located near the project site.

Other recreational facilities are located at George Freeman Park, Primm Memorial Pool, Rush Memorial Gymnasium, and South Gardena Park near the project site. The City of Gardena Municipal swimming pool, Harvard Parkette, and the Community Center are also near the project site. No onsite recreational facilities will be provided.

H. Fire Protection/ Fuel Modification Plan

Because the Platinum Row development is located in an existing developed community, there is no native vegetation adjoining the property that would require a fuel modification zone.

The Platinum Row development will have one primary point of ingress and egress along Normandie Avenue. A secondary emergency access gate will be provided along Raymond Avenue. Three (3) fire hydrants will be provided throughout the project and one (1) existing fire hydrant adjacent to the site on Raymond Avenue. The Platinum Row site plan

Platinum Row

will conform with all applicable Los Angeles County fire standards for new development.

I. Natural and Man-Made Resources Protection

As the site has been the focus of commercial agricultural use for many decades, there are no known natural or man-made features that would require protection.

J. Phasing Program

Platinum Row is being designed as a single master phase, with flexibility to allow phased building permits to better match sales absorption. Perimeter walls, gates and landscaping will be completed prior to occupancy of the units. The centrally-located park facility shall be constructed prior to the occupancy of the 57th unit.

K. Homeowners Association

Platinum Row will be served by a homeowners' association ("Homeowner's Association" or "HOA"). The HOA will be formed by a builder declarant prior to any sales, then transferred to the management and control of the homeowners. The HOA will be bound by a series of covenants, conditions and restrictions (CC&Rs), which will be established to ensure the orderly development and ongoing maintenance and management of the community.

Prior to the issuance of building permits, the builder will obtain approval of the CC&R's by the City and the California Bureau of Real Estate. The HOA will be responsible for maintaining the perimeter walls, automated irrigation and landscape areas, private roadways and common areas of the development. Landscaped areas will include the primary entry along Normandie, along Raymond Avenue, and along development's paseos and central park.

L. Landscape Plan

A conceptual landscape plan and plant palette have been prepared by Borthwick Guy Bettenhausen, Inc., a licensed landscape architect (see *Figures 9a-d*). In addition to building architecture, the soft and hardscape designs and guidelines help define the character of Platinum Row. Plants have been selected to enhance the project entry, paseos, parks, streets and homes. The landscape plan is responsive to the local climate and the special circumstances associated with HOA-owned/managed landscaping. The following are specific recommendations from the landscape architect:

1. All plant materials shall be served by an automatic underground irrigation system utilizing backflow devices, controllers, and other irrigation elements shall be screened.
2. All new trees shall be staked or provided with a greater support design.
3. Ground cover shall be spaced to ensure total infill within six months of planting.
4. Only live plant materials (not simulated) shall be used in landscaped areas (trees, shrubs, and ground cover).
5. Selection of plant materials shall be based on year-round beauty (deciduous color, spring flower, branching patterns) as well as form, texture, shape, and ultimate growth.
6. Plant species shall be tolerant of the local environmental-conditions and relatively free from pests and disease.
7. Low maintenance, drought-tolerant plant species shall be used.
8. All street trees shall be deep-rooted, canopy-type trees suited to urban conditions.
9. Street trees shall be a minimum of 24 inch box size. All other on-site trees shall be a minimum of 15 gallon container size. Shrubs other than-ground cover shall be a minimum of five gallon container size.

Platinum Row



LEGEND

- | | | | |
|---|--|-------------------------|-------------------------------------|
| (1) ENTRY GATES - SEE SHEET 3 | (6) PATIO FENCING | (11) FAN PALM | (16) PARKWAY TREES |
| (2) ENHANCED PAVING | (7) DECORATIVE PILASTERS W/ PATIO GATE | (12) GRAVEL AT DRIVEWAY | (17) FIRE ACCESS |
| (3) PASEO/PARK PLAN - SEE SHEET 2 | (8) STREET TREE | (13) BIOSWALE TREATMENT | (18) PRIVATE PATIO LANDSCAPING |
| (4) TYPICAL WALKWAY | (9) SMALL PATIO TREE | (14) PERIMETER WALL | (19) H.O.A. COMMON AREA LANDSCAPING |
| (5) LASER CUT DECORATIVE PANELS W/ FLOWERING VINE | (10) DATE PALM | (15) PUBLIC SIDEWALK | |

Platinum Row

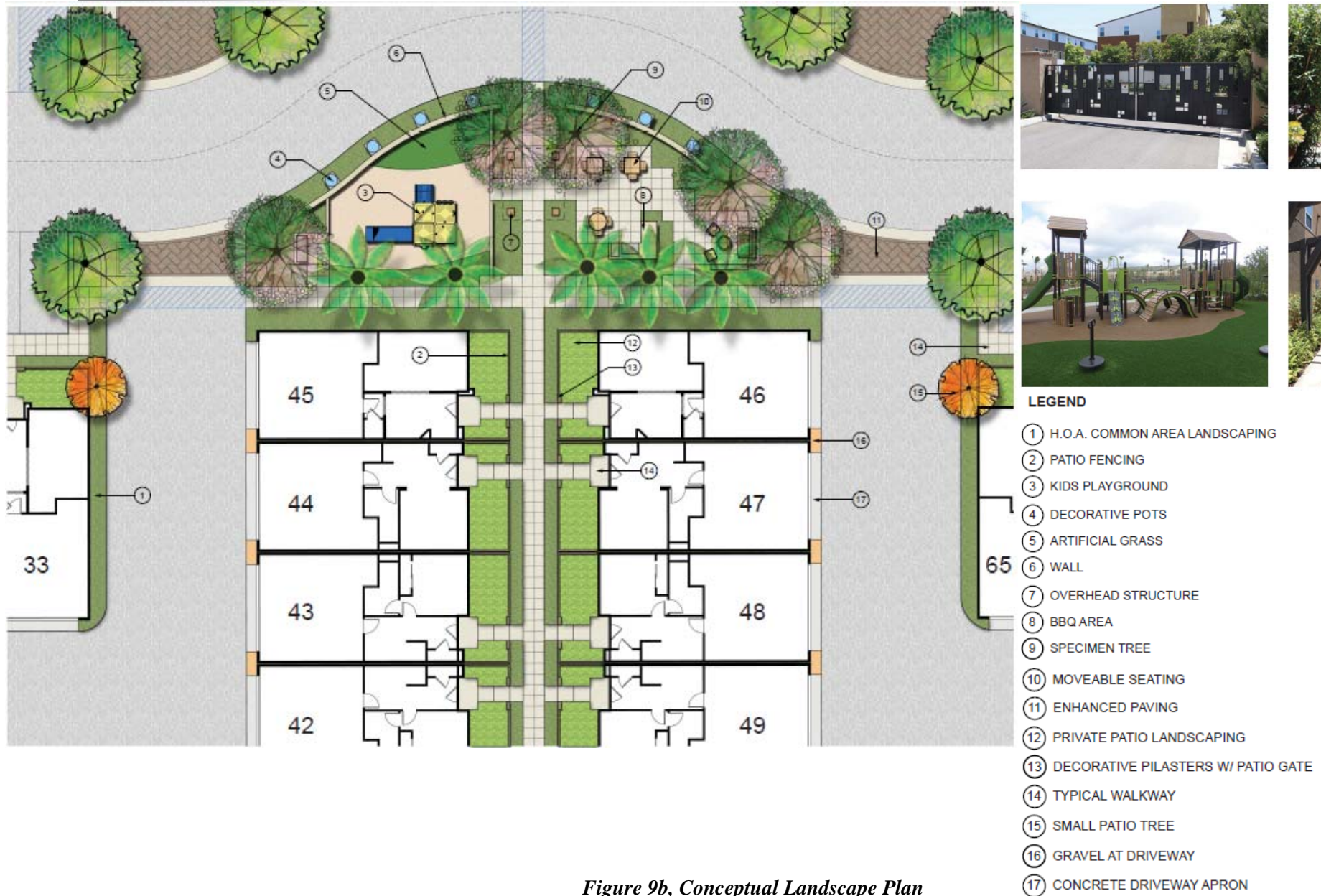
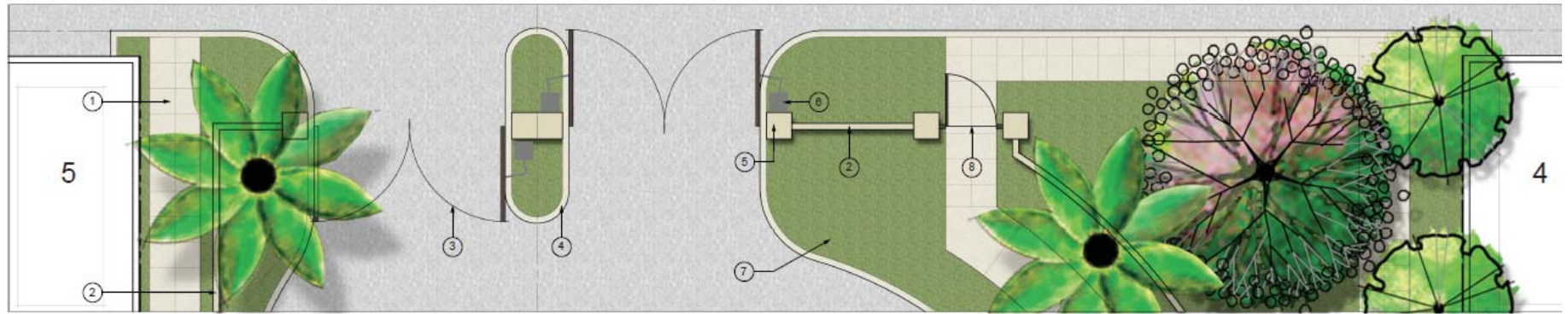


Figure 9b, Conceptual Landscape Plan

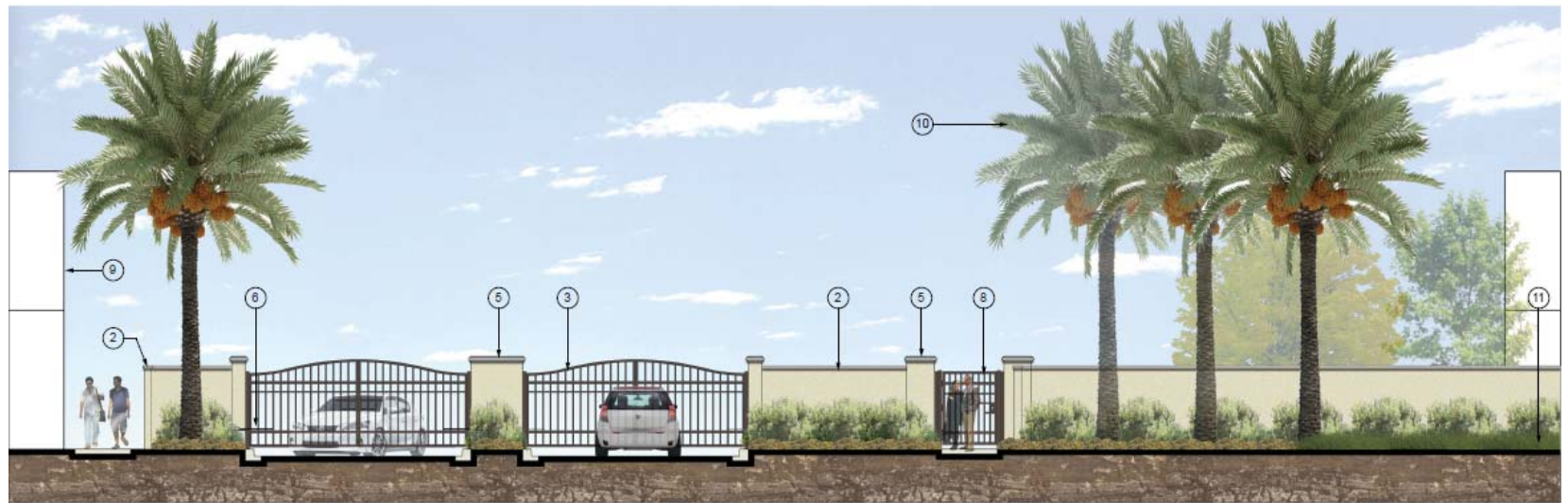
Platinum Row



ENTRY PLAN

LEGEND

- ① TYPICAL WALKWAY
- ② PERIMETER WALL
- ③ CAR ENTRY GATE
- ④ CURB
- ⑤ PERIMETER WALL COLUMN
- ⑥ CAR ENTRY GATE MOTOR
- ⑦ H.O.A. COMMON AREA LANDSCAPING
- ⑧ PEDESTRIAN ENTRY GATE
- ⑨ HOUSING UNIT
- ⑩ DATE PALM
- ⑪ BIOSWALE TREATMENT



ENTRY ELEVATION 'A'

Figure 9c, Conceptual Landscape Plan

Platinum Row

10. Landscaping shall generally be provided to soften architecture and hardscape.

11. Planting shall occur around building perimeters to reduce building scale and to integrate development into surrounding neighborhood.

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PLANT PALETTE

TREES

ARBUTUS X 'MARINA'
CINNAMOMUM CAMPHORA
LAGERSTROEMI INDICA
MELALEUCA QUINQUENERVIA
PHOENIX DACTILYFERA
PRUNUS C. 'KRAUTER VESUVIUS'
PYRUS 'CHANTICLEER'
STRELITZIA NICOLAI
TRISTANIA CONFERTA

ARBUTUS STANDARD
CAMPHOR
CRAPE MYRTLE
CAJEPUT TREE
DATE PALM
PURPLE LEAF PLUM
NCN
GIANT BIRD OF PARADISE
BRISBANE BOX

SHRUBS

AEONIUM X PSEUDO-TABULAEFORMIS
AGAVE ATTENUATA
ANIGOZANTHOS FLAVIDUS
BAMBUSA MULTIPLEX
BUXUS M. JAPONICA
CALLISTEMON V. 'LITTLE JOHN'
DIANELLA TASMINCA
FATSIA JAPONICA
LIGUSTRUM J. 'TEXANUM'
LIRIOPE MUSCARI
PHILODENDRON SELLOUM
PHORMIUM SPECIES
PODOCARPUS MACROPHYLLUS
PRUNUS CAROLINIANA 'COMPACTA'
RHAPHIOLEPIS INDICA

AEONIUM SAUCER PLANT
CENTURY PLANT
KANGAROO PAW
GOLDEN GODDESS BAMBOO
JAPANESE BOXWOOD
DWARF WEEPING BOTTLEBRUSH
FLAX LILY
NCN
DWARF JAPANESE PRIVET
BIG BLUE LILY TURF
LACY TREE PHILODENDRON
NEW ZEALAND FLAX
YEW PINE
CAROLINA CHERRY
INDIAN HAWTHORN

GROUND COVER

FESTUCA OVINA GLAUCA
LIRIOPE SPICATA
OPHIPOGON JAPONICUS
SENECIO MANDRALISCAE

BLUE SHEEP FESCUE
CREEPING LILY TURF
MONDO GRASS
BLUE FINGER

Figure 10, Plant Palette

Platinum Row

IV. DEVELOPMENT GUIDELINES AND STANDARDS

A. Development Standards and Regulations

The standards contained in this section shall apply to all land and buildings within the Platinum Row Specific Plan area. These development standards are intended to provide for flexibility in site design for the anticipated residential uses within the plan area. They prescribe the minimum standards for development and typically concern topics such as permitted uses, density, building dimensions, and the quantity of parking and landscaping required.

These standards are, in part, based on Title 18 (Zoning) of the GMC, except as provided in the standards below, and as referenced on the Tentative Tract Map. The project shall be governed by the provisions of Zone R-4, Chapter 18.18 of the GMC, unless otherwise noted in this document or the associated Tentative Tract Map.

1. **Multi-Family Residential Zone:** Platinum Row is intended as a high-density residential development. Accordingly, this Specific Plan allows for the following standards:
 - a. **Density:** A maximum of one unit per 2,075 gross square feet, approximately 21 dwelling units per gross acre. The Platinum Row Specific Plan is limited to a total of 100 units. Density shall be a minimum of 20 units per acre.
 - b. **Unit Size:** Minimum of 1,400 square feet, excluding outdoor living spaces such as patios and balconies.
 - c. **Unit Width:** Minimum of 17 feet, as measured between the interior walls.
 - d. **Building Height:** The maximum building height shall not exceed thirty-five (35) feet with an allowance for an additional ten (10) feet for architectural projections that are added to building

faces to provide architectural interest without adding interior floor area (i.e. 45 feet total height).

e. **Building Setbacks:** Building setbacks shall exclude fenced patios and only pertain to outer building walls on the ground level. Minimum building setbacks shall be as follows:

- 10' to internal street parking, other buildings and perimeter walls;
- 20' to Raymond Avenue (rear of curb); and
- 22' to Normandie Avenue (rear of curb).

2. **Uses Permitted:** The following uses shall be permitted:
 - Single family, two-family and multiple-family dwelling units, in fee simple ownership or condominiums;
 - Home occupations, subject to the provisions of Chapter 18.56;
 - Family day care homes; provided a large family day care home shall be permitted subject to approval of a home occupation permit pursuant to Chapter 18.56; and
 - Parks and playgrounds, provided they are for the exclusive use of the Platinum Row community at large.
3. **Uses Permitted Subject to a Conditional Use Permit:** Other uses may be permitted in this zone, provided they are in no way detrimental to the permitted uses or surrounding properties.
4. **Property Development Standards:** The proposed development standards set forth in this section shall apply to all land and buildings in the Platinum Row Specific Plan:

The Platinum Row Specific Plan is an attached condominium development and as such there are no individually owned lots. The homes within the Project will be sited on common interest lots, legal lots where one or more homes are located. In addition to the common interest lots, which are numbered, there are common area lots for landscaping, streets and open space.

Platinum Row

5. **Walls/Fences:** The provisions of Section 18.42.070 of the GMC, as it exists on the date of the approval of this Specific Plan (a copy of which is included in an appendix hereto) shall apply, except that:
 - a. Perimeter walls shall be in the form of decorative concrete block or a stucco surface of similar material. Such walls shall have a targeted height of six (6) feet, but may not exceed eight (8) feet in height when required to retain exterior grades. The northern perimeter wall abutting the commercial uses shall be eight (8) feet in height, inclusive of any retaining walls. Walls shall be setback a minimum of one (1) foot from the property line.
 - b. Front yard private patio fencing shall be of wood or vinyl fencing and shall not exceed five (5) feet in height.
 - c. Front yard private patio walls between units shall be of split-faced or smooth concrete block, stone or stucco, and shall not exceed six (6) feet in height.
 - d. All walls and fencing shall be maintained by the HOA.
 - e. No fences, except those walls shown on *Figures 12-14, Typical Floor Plans* shall be permitted in the front of each unit.
6. **Swimming Pool Areas:** No swimming pool areas required.
7. **Structures:** No enclosed, permanently attached or free-standing accessory buildings are allowed. Building expansions or additions are not allowed. Any accessory structure that requires a City permit to erect is strictly prohibited. Decorative accessories may be permitted; provided they are consistent with the building architecture and in conformance with the standards and requirements of the Platinum Row CC&Rs. Accessory structures and patio furniture may not exceed eight (8) feet in height and must be set back a minimum of two (2) feet from the side and front yard fencing.
8. **Satellite Antennae:** For any television reception satellite dish exceeding one (1) meter in diameter, antennae location and screening shall conform with Section 18.42.030 of the GMC (a copy of which

is attached as an appendix hereto). Antennae may also be installed in private front yard areas of residences, but shall not be visible from public rights of way or from private roadways within the Specific Plan. Installation of satellite antennae are also subject to conformance with the standards and requirements of the Platinum Row CC&Rs.

9. **Floor Area Ratio:** The floor area ratio for Platinum Row shall not exceed 90%. No dwellings shall be built, modified or remodeled in any way, which would result in additional floor area.
10. **Foundations:** Footings, slabs and other foundation elements shall at least meet the minimum standards set forth in the March 4, 2014 geotechnical study by PEC.

B. Recreation and Open Space Standards

Each unit will include private front yards through the creation of an exclusive use easement. Each unit owner shall be responsible for the maintenance of their own front yard landscaping and maintenance. Landscaping outside of the front yard fences shall be maintained by the Homeowners Association.

A minimum of 140 square feet of outdoor usable common and private open space shall be provided per dwelling unit. Excluding the community park, the common and private open space shall be determined accordingly:

1. A minimum of 100 square feet per unit shall be private with a minimum dimension of seven feet in any direction. Private open space shall be accessible directly from the living area of the unit, in the form of a fenced yard, patio, deck or balcony.
2. A minimum of 40 square feet per unit shall be usable common open space.
 - a. Usable common open space shall have a minimum level surface dimension of 10 feet.
 - b. The dimensions for usable common open space areas shall be

Platinum Row

measured from the outside of any private open space attached to a unit at ground level.

- c. The dimensions for usable common open space may include the building setback area if the buildings facing the open space area are articulated and the building setback area is landscaped. Landscaping may consist of in-ground or above ground plantings (potted plants).
- d. Usable common open space shall exclude any of the following:
 - i. Any area counted as private open space;
 - ii. Sidewalks and paved pathways;
 - iii. Any portion of open and enclosed parking areas, garages, streets, driveways, automobile turning aisles or turnaround areas;
 - iv. Storage and fenced areas (refuse or otherwise) or areas otherwise inaccessible to the residents;
 - v. Slope areas exceeding 5 percent;
 - vi. Areas within public rights-of-way along Normandie Avenue and Raymond Avenue.

C. Parking

The provisions of Chapter 18.40 of the GMC shall apply except as follows:

The Platinum Row Specific Plan provides for two exclusive covered (garage) parking spaces per dwelling unit and an additional off-street non-exclusive guest parking space for every two (2) units ("guest spaces"). Guest parking spaces may be angled at 45 degrees or straight and be a minimum of nine (9) feet wide by twenty (20) feet deep. Up to 30% of the guest parking spaces may be identified as compact parking and be a minimum of eight (8) feet wide by eighteen (18) feet deep. The guest parking spaces shall include a minimum of two (2) disabled parking spaces, or more if required by law, each located on opposite sides of the east-west spine road. *Table IV-1* contains a parking count summary.

Garages shall be a minimum of eighteen (18) feet wide by twenty (20) feet deep. Garages shall be equipped with a roll-up garage door and an automatic garage door opener.

D. Lighting Standards

Streets and other public spaces in Platinum Row shall be lighted by streetlights located at regular intervals along the east-west spine road, as well as along the perimeter and interior paseos. Appropriate lighting, such as street lamps and landscape lighting will be utilized throughout the development for safety and aesthetic purposes. Lighting standards will be either shielded or located in such a manner as to mitigate the impact to interior living spaces. See Chapter V, Design Guidelines for additional information.

E. Sign Program

The provisions of Chapter 18.58 of the GMC shall apply. Address numbers will be lighted for safety and aesthetic purposes. See Chapter V, Design Guidelines for additional information.

F. Maintenance Standards

Table IV - 1 Parking Summary

Type	Spaces Required	Units	Total Required	Total Provided
Residences	2 per unit	96	192	192
Guest Parking	1/2 per unit	96	48	48
			240	240
				(Guest inc. 2 HC spaces)

Platinum Row

All waste containers shall be stored in such a manner so they are not visible from the public right-of-way and private roadways. Each dwelling unit shall provide adequate storage for at least two (2) waste containers. Accordingly, no common area trash dumpsters shall be required. Otherwise, the provisions of Section 18.42.130 of the GMC shall apply.

G. Standards for Accessory Structures

Chapter IV, Section A, Subsections 7 and 8 of the Specific Plan shall apply regarding standards for accessory structures. Notwithstanding the foregoing, any structures that are allowed shall be finished in such a manner as to complement the color scheme and architectural style of the adjoining structure.

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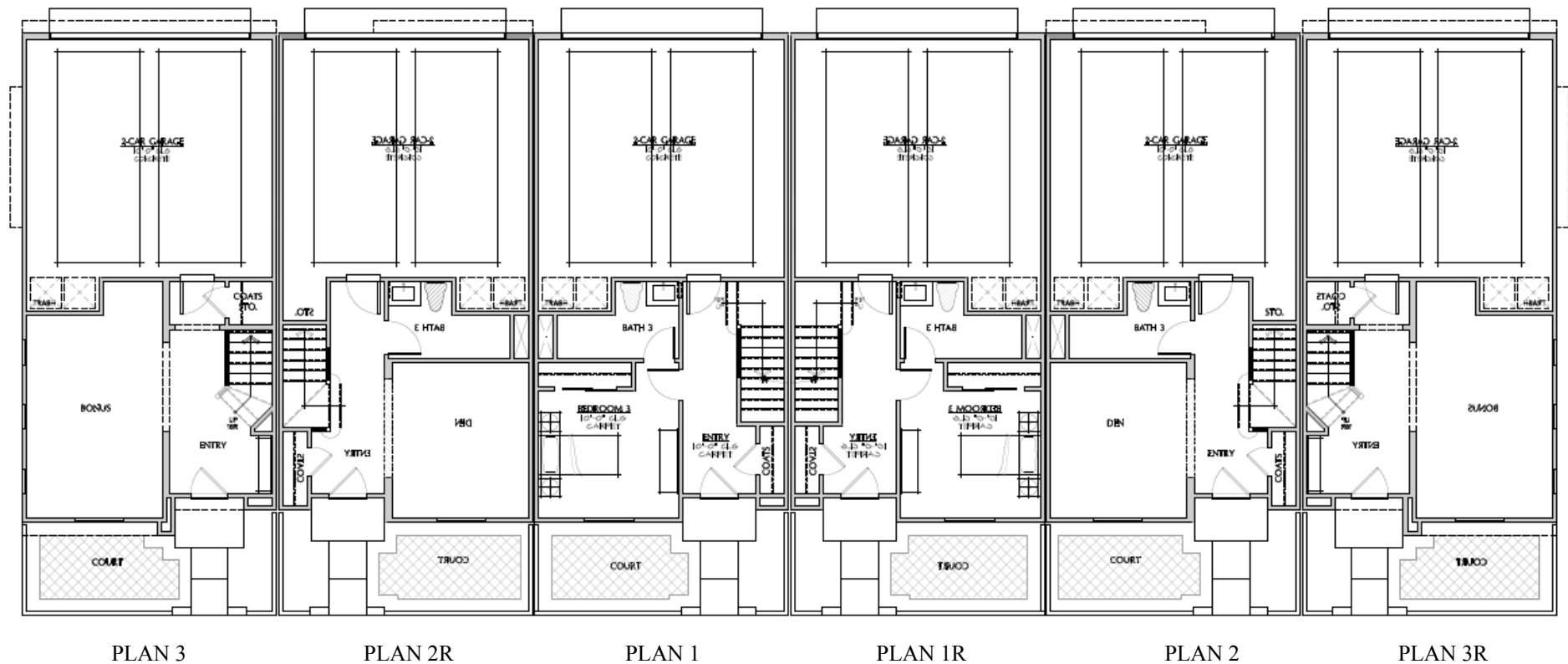
Platinum Row



Figure 11, Typical Elevation Perspective

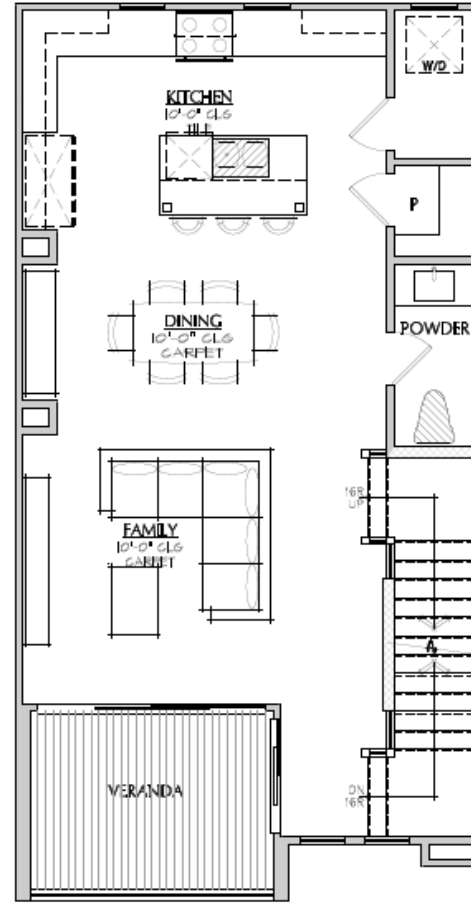
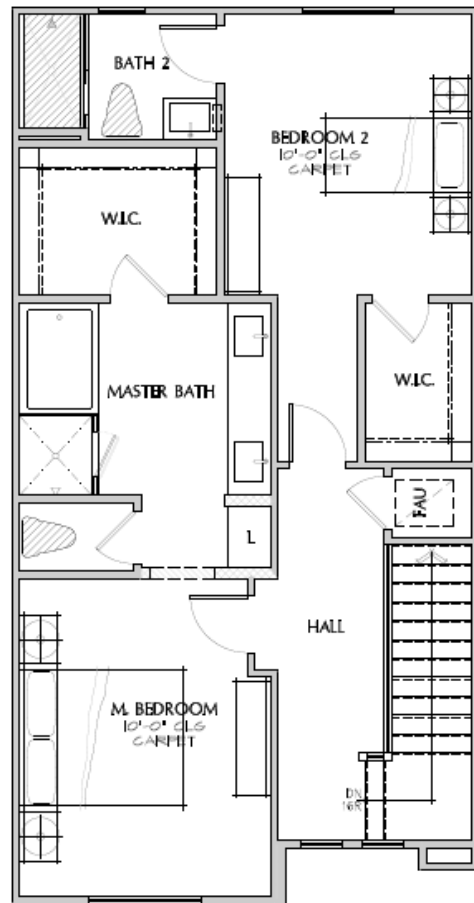
Platinum Row

6-UNIT BUILDING

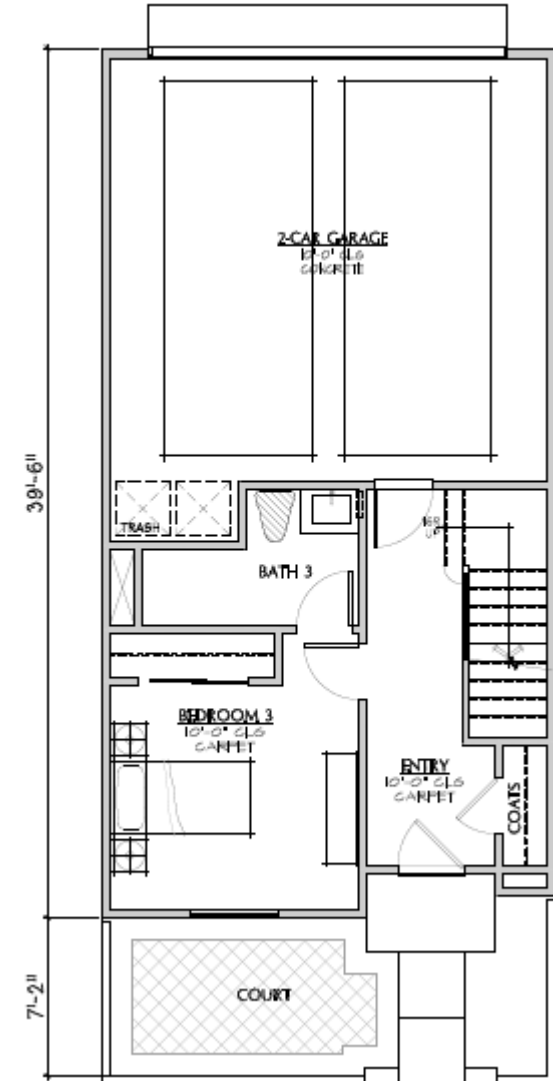


*Figure 12, Typical Building Plotting
(1st Floor Only)*

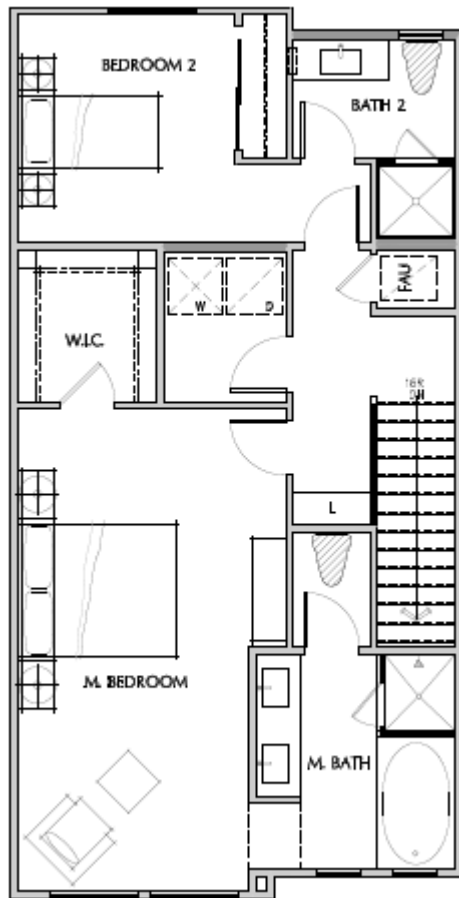
Platinum Row



PLAN 1
1,718 SF

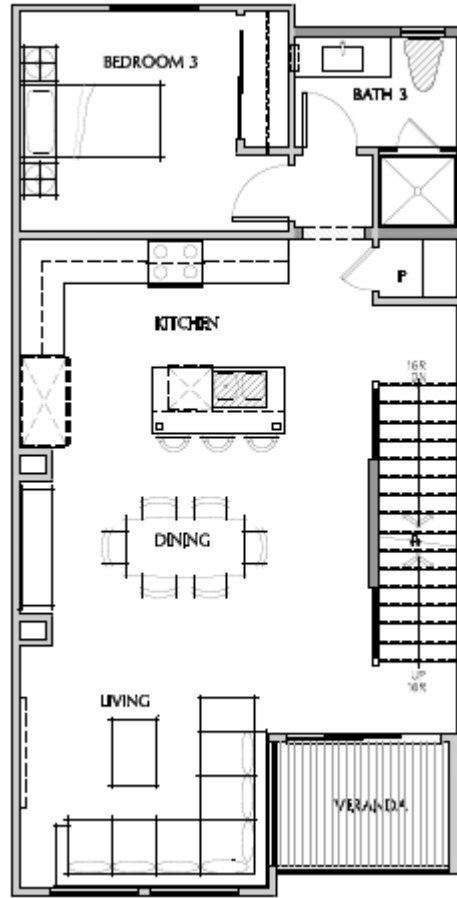


Platinum Row



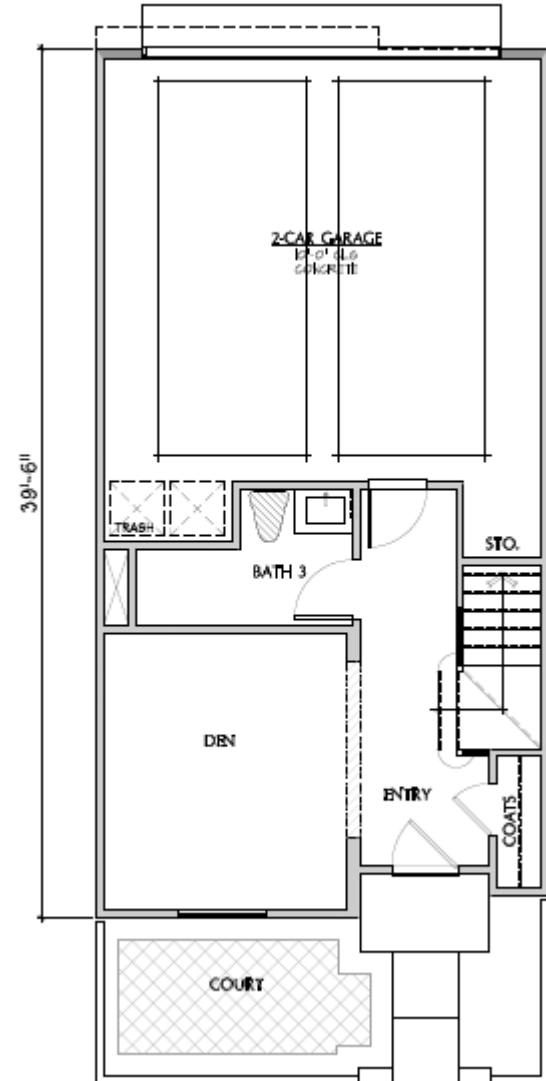
THIRD LEVEL
770 SF

GARAGE = 438 SF
COURT = 93 SF
VERANDA = 47 SF



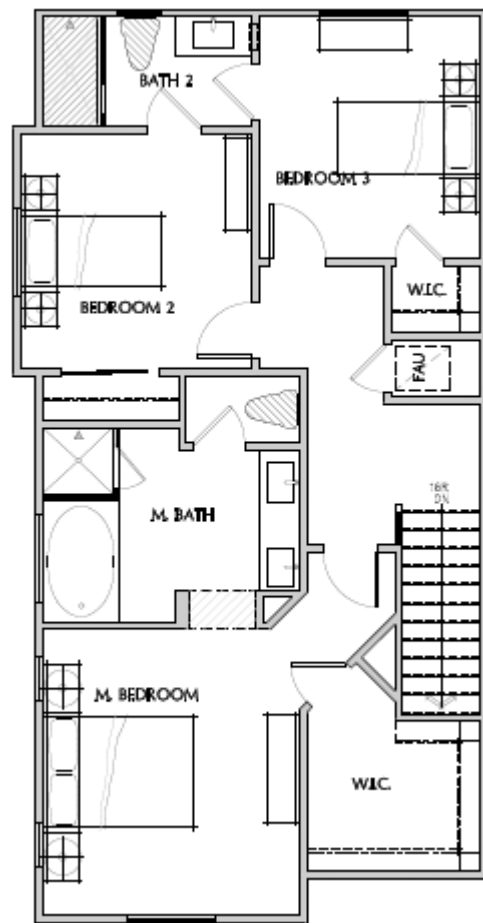
SECOND LEVEL
715 SF

PLAN 2
1,842 SF

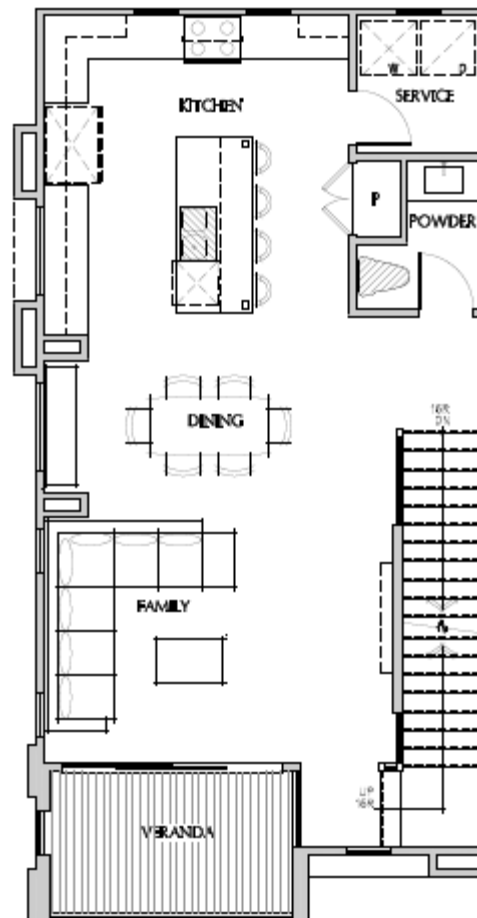


FIRST LEVEL
357 SF

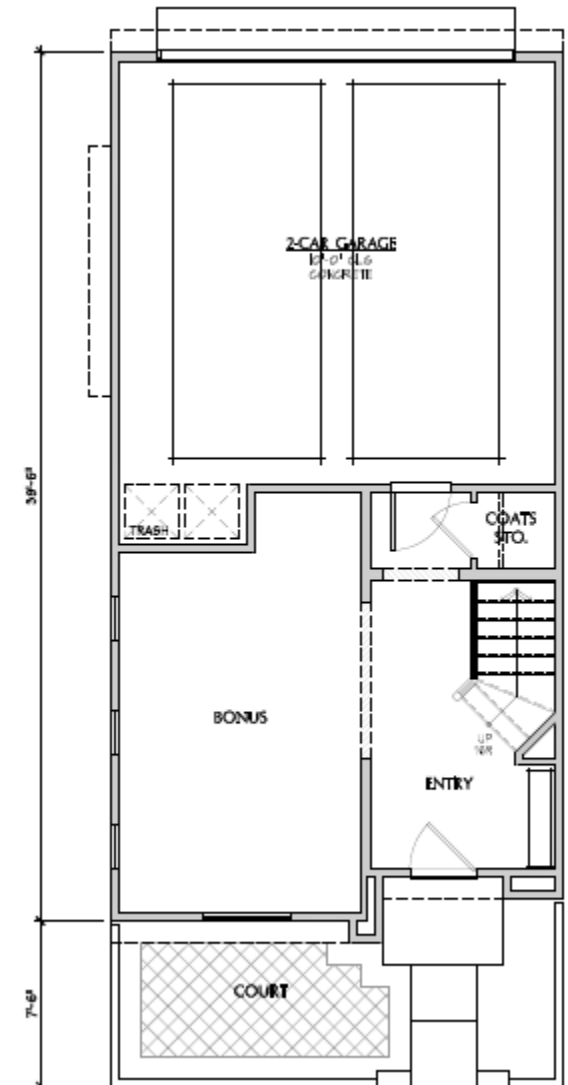
Platinum Row



GARAGE = 424 SF
COURT = 93 SF
VERANDA = 75 SF



PLAN 3
1,880 SF



Platinum Row



Architecture will incorporate several exterior finishes and textures.



Clean, contemporary styling appeals to a broad demographic.

V. DESIGN GUIDELINES

A. Architecture

To create cohesiveness and thematic continuity, the architectural design standards for Platinum Row must be uniform. Accordingly, the foregoing provides general design criteria and guidance for the development of residential homes in the development. These guidelines promote superior product quality, provide flexibility to assure both variety and compatibility of design alternatives, and enhance the community's overall aesthetic value. In addition to City review for conformance with the Specific Plan, the CC&Rs will contain more detailed architectural requirements and controls for Platinum Row.

Platinum Row will feature contemporary architecture and offer future residents three townhome plans in multiple building configurations.

As depicted in *Figures 11-14*, the floor plans are configured to provide great room living on the second floor level of each plan. Each great room provides overlapping family, dining and kitchen spaces for modern interior living. Great room living expands to covered verandas off the family space, extending the indoors outside and vice-versa.

The homes will each be built on grade and contain three levels. Interior configurations will vary from 3-4 bedrooms with 3.5-4 bathrooms. Interior living areas range from 1,718-1,880 square feet, excluding patios, elevated decks and garages.

On the ground level, each plan will feature a direct-entry garage for two cars. Plans 1, 2 and 3 will support multi-generational living with ground floor bedrooms; however, Plans 2 and 3 also provide design flexibility for either den or bonus room options.

The second levels contain the kitchen, dining and family rooms. All the units will enjoy light and bright second floor decks. Plan 2 offers a bedroom and full bath on this level.

Platinum Row

Level three universally features the master and secondary bedroom(s). The master bedroom designs, in particular, will feature generous walk-in closets, dual sinks, Roman tubs and other amenities typically associated with larger homes.

Building exteriors will remain consistent architecturally, with contemporary theming through the use of stucco, metal and warm wood accents. The stucco will be primarily a sand finish with Spanish lace accents on specific walls. Metal will be incorporated over the entry doorways and in the form of cable railings on veranda decks. Wood will be used for siding accents on selected building corners. See *Figure 10, Typical Elevation Perspective*.

Guidelines for all house types and architectural styles are given below and shall help define the Platinum Row project.

1. Building Elements:

a. Elevations

Building elevations will vary with articulated wall projections and wall recesses of stucco textures and accent siding. Recessed vdecks and specific recessed windows will allow variation in the vertical planes. Horizontal breaks at the 3rd floor level create a stepped back approach for massing diversity. The added metal cable railing and shade devices continue the contemporary application of layering details to the elevations. Stone walls will separate front patio to front patio, with wood fencing providing privacy along the public walkway edges.

b. Building Projections

Subject to Chapter IV, Section A (Development Standards and Regulations) of this document, building projections will be encouraged and are defined further graphically in this plan. All projections shall be designed to complement the main building.



Open floor plans encourage integration of living activities and benefit from more light.

c. Doors and Windows

Windows and doors shall be made of wood, vinyl, vinyl clad wood, steel or factory painted aluminum. Glazing shall be clear glass and conform to the minimum standards prescribed in Chapter 15.04 of the GMC. Windows may be accessorized through the use of shutters and other interior window coverings. Awnings are prohibited, unless installed by the

d. Garages

All homes shall have a roll-up garage door. A secondary trim color may be used to provide contrasting accents to the garage and adjoining trim.

e. Roofs

Platinum Row

Building rooftops shall be flat and concealed from view. Rooftop drains will be concealed in exterior walls and exit into landscaped zones at the sides and rear of each building.

2. **Building Materials:** Buildings shall be wood-framed with primarily stucco exteriors. Stucco is intended to be a 16/20 sand finish with Spanish Lace accents for building wall and facade treatments. Accent wood siding is intended for building corners to add color depth, texture change and contrast to the stucco finishes. Other materials may be considered, provided they maintain the modern architectural theme and intent.
3. **Colors:** Paints and stains shall be limited primarily to earth toned-shades. Trim shall be off-white. Metal railings and entry canopies shall remain in original metallic tones.

B. Landscape and Streetscape Concept

This section describes the minimum landscape requirements for the design of all improvements within the Platinum Row Specific Plan area. The Landscape Concept Plan, *Figure 9*, shall be used as a guide for the landscape implementation at the project. All landscape common areas within the community shall be maintained by the Home Owner's Association (HOA).

Because of the nature and density of this project, it is essential that landscape and open space areas be thoughtfully designed. The intent of the plan is to soften the architecture and hardscape by the use of plants and trees that complement the adjoining structures.

The landscape plan provides visual and noise buffers, where needed, and creates a discernible neighborhood landscape theme. The landscaped monumentation at the main entrance along Normandie Avenue creates a pronounced sense of arrival for residents and guests.

The landscape shall adhere to the following criteria:

- Plant material should be selected for its ability to provide color and seasonal change.
- Street trees shall be provided between the curb and sidewalk, and shall be 36" box in size. Trees shall also be spaced at approximately 35' on center.
- Parking area shall provide landscape "fingers" for tree and shrub landscaping. Trees shall be 24" box in size.
- Accent trees shall be provided throughout the building landscape areas and shall be minimum of 24" box in size. Accent trees shall be vertical in form and should not have aggressive roots.
- All trees planted within 5 feet of hardscape, shall have deep root linear root barriers at 5 feet in each direction from the tree.
- Trees are to be chosen for their drought tolerance, ability to reinforce the neighborhood character and support of the architectural theme. Ultimate size should be considered to insure that the neighborhood scale is maintained. Sun exposure and the ability for trees to provide shade in the summer and allow penetration of the sun in the winter should also be a determining factor.
- Trees at the project entries shall be a min. of 36" box in size and shall not be low branching.
- Tree drains are to be provided for trees that require additional drainage.
- Trees shall be planted a min. of 10 feet from street lights, and 5 feet from any utilities, unless otherwise required by the governing agency.
- Minimum shrub sizes shall be 5 gallon in the background and 1 gallon in the foreground. Where a single row of shrubs occur, the minimum size shall be 5 gallon.
- Shrub areas are to receive groundcover at a minimum spacing of 8" on center or mulch at 2" depth.
- All turf areas are to be sodded with a tall variety fescue turf. Maximum slope to be 5:1.

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Examples of modern outdoor lighting to complement the contemporary building architecture. (Solana by Sternberg Lighting)



- Where utilities, trash enclosures, etc. occur, a combination of screen walls, trellises, vines or espaliers and shrubbery are to be used to screen them from sight.
- Irrigation for all landscape areas shall adhere to the City of Gardena Municipal Code and shall be in accordance with California state ordinance AB1881.
- All landscape areas shall be irrigated by an automatic irrigation system controlled by a smart controller which uses weather-based ET, and shall be equipped with a rain sensor.
- Enhanced paving throughout the community along with other hard-scape elements are encouraged to help reinforce the architectural character of the buildings.
- Park areas shall be created where possible and shall provide bench seating, outdoor dining, and children's play equipment.
- Driveway entrances shall have decorative paving and break up the asphalt street paving throughout the community.

C. Views

The project can be viewed primarily from Normandie Avenue, where entry monumentation and landscaping will be provided in such a manner as to enhance the neighborhood.

The Normandie Avenue entrance will be gated with decorative iron gates and enhanced entry paving. Trees will be carefully placed to frame the entrance while not impacting adjoining homes.

Cottage Place and other homes along Raymond Avenue will have limited views into the project through a perimeter view fence, which will be enhanced with a green belt and pedestrian trail system.

The commercial center to the north and residential uses to the south will be buffered by a 6-8' perimeter wall and building setbacks. Views will be softened by perimeter landscaping, though second and third stories will be visible from all directions.

D. Irrigation

Design of irrigation systems for Platinum Row shall conform with City requirements. Each circuit within the landscape irrigation system shall be capable of meeting the minimum needs of the mature plant material during peak demands within a weekly irrigation schedule. When selecting plant materials for this project, species of similar moisture needs should be grouped together to minimize the need for redundant or highly complex irrigation systems.

Irrigation adjoining the public rights-of-way and common areas shall be accomplished by means of automatically controlled spray, bubbler, and drip irrigation systems. All irrigation systems shall be efficiently designed to reduce overspray onto walks, walls, pilasters, streets and other non-landscaped areas.

E. Project Lighting & Address Signage

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Streets and other public spaces in Platinum Row shall be lighted with contemporary light standards. Streetlights will be located at regular intervals along the main access to Platinum Row. Appropriate lighting such as street lamps and spot lights will be utilized at the project entry for safety and aesthetic purposes. Trees located at the project entry may be lighted for aesthetics. In such instances, lighting fixtures should be recessed or hidden by foliage so as not to be readily visible.

Each residence shall have a modern light standard at the front gate entry and a small version of the standard at the garage. Photocell address numbers shall also be located at each front gate and garage. Similarly, all lighting within the community will be located in such a manner as to reduce impact to the adjoining residents.

F. Walls and Fences

Multiple wall and fence types will be used throughout the Platinum Row development. They will be utilized for soil retention, privacy, sound attenuation, articulation and security purposes. A variety of materials may be utilized for walls and fences, including wood, stucco, brick, stone, concrete block, and painted metals, such as wrought iron or aluminum. Barbed wire and chain-link fencing, as well as brightly colored walls and fencing, are strictly prohibited.

G. Mailboxes

Group (aka “gang”) mailbox design and locations shall meet U.S. Postal Service standards and be determined prior to building permit. Four gang mailbox locations, at a minimum, shall be requested to serve each quadrant of the project.

H. Public Art

Platinum Row shall contain public art to create visual interest and enhance the aesthetic value of the common area open space. The art may take the form of creative outdoor furniture, artistically painted walls or

pathways, statues, monuments, water features or other works of art, which shall require the approval by the City’s Community Development Director.

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VI. GENERAL PLAN CONSISTENCY

A. Applicable Goals and Policies

The Platinum Row Specific Plan is designed to complement the City of Gardena's 2006 General Plan, as amended, and further the City's desire to improve and expand its housing stock.

According to Government Code Section 65451(b), promulgated by the Governor's Office of Planning and Research, a specific plan is required to contain a statement of the relationship of the specific plan to the general plan. Consistency with the General Plan is achieved when the land use(s) of the specific plan are compatible with the objectives, policies, general pattern of land uses and programs contained in the General Plan. Consistency is defined as "an action, program or project that is consistent with the General Plan if, considering all its aspects, it will further the objectives and policies of the General Plan and not obstruct their attainment".

Furthermore, this Specific Plan systematically implements the General Plan for the project area in three ways: 1) by acting as statement of planning policy that refines the General Plan; 2) by directly regulating land use through specific zoning standards to meet the needs of modern urban development; and 3) by bringing together detailed policies and regulations into a focused development scheme.

B. Land Use Plan

The Land Use Plan is a subsection of the Community Development Element of the General Plan. The purpose of the Land Use Plan is to improve the use of land and the relationships between uses in the best interest of the health, safety, welfare and convenience of the general public. is a subsection of the Community Development Element of the General Plan.

LU Goal 1: Preserve and protect single-family and low/medium-

density residential neighborhoods while promoting the development of additional high quality housing types in the city.

LU 1.1: Promote sound housing and attractive and safe residential neighborhoods.

Consistency: Platinum Row will be constructed to meet or exceed all current building codes. To promote the safety and welfare of its residents, the project will be gated. Platinum Row's modern building architecture and thoughtful site plan will appeal to a broad demographic.

LU 1.2: Protect existing sound residential neighborhoods from incompatible uses and development.

Consistency: By converting a commercial nursery (business-to-business) to a residential use, the development will be consistent with neighboring residential uses and support the retail commercial uses to the north.

LU 1.4: Locate new medium and high density residential developments near neighborhood and community shopping centers with commensurate high levels of community services and facilities.

Consistency: The development is located immediately south of an existing community shopping center. Residents will be able to access the center from Normandie Avenue and Raymond Avenue by foot or car. For residents seeking public transportation, LA Metro Line 125 and Gardena Municipal Bus Line 4 each have stops at the intersection of Normandie Ave. and Rosecrans Ave.

LU 1.5: Provide adequate residential amenities such as open space, recreation, off-street parking and pedestrian features in multi-family residential developments.

Consistency: Platinum Row will provide significant private and public open spaces for its residents to enjoy passively and actively. Each town-

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home will provide two direct-entry garage spaces and additional guest parking will be evenly distributed throughout the development. Pedestrians will benefit from an paseo system designed to encompass the community and connect with the centrally-located park.

LU 1.6: Ensure residential densities are compatible with available public services and infrastructure systems.

Consistency: The project will not require any extraordinary infrastructure upgrades or expansions to serve future residents. All services are available and the utility providers have issued “will serve” letters, indicating adequate capacity. The project will mitigate impacts to fire, police and other municipal services through the payment of traditional impact fees.

LU 1.11: Design infill development to be compatible and consistent with the existing low-density character of residential neighborhoods.

Consistency: At three stories, Platinum Row will stand at a similar height to the neighboring Cottage Place development, located immediately to the east. To help the community blend in with the neighboring low-density uses, the site will use landscaping and articulated walls and rooflines to break up the massing. Furthermore, the project contains reasonable setbacks to buffer the project from neighboring uses and street traffic. To further mitigate impacts to neighboring residents, the project design will include measures to reduce glare.

LU 1.12: Require infill development to provide adequate amenities to minimize the impact of such development on the immediate neighborhood and on City services generally including off-street parking to meet the additional demand placed on street parking.

Consistency: As a gated community, the project will be self-contained and offer its residents passive and active park spaces, barbecues, paseos and public art opportunities. Impacts to City facilities and services will be mitigated through the payment of development fees and potential

contributions to public service foundations. In addition to direct-access garages for its residents, Platinum Row will offer ample off-street parking for residents and guests.

C. Housing Plan

The Gardena 2014-2021 Housing Plan identifies strategies and programs that focus on: 1) conserving and improving existing affordable housing; 2) providing adequate sites for residential development; 3) assisting in the provision of affordable housing; 4) removing governmental and other constraints on housing development; and 5) promoting equal housing opportunities. The Housing Plan identifies the Platinum Row project area as a “Prime Opportunity” site for consolidation and residential development.

HP Goal 1.0: Maintain and enhance the stability of the City's housing stock and residential neighborhoods.

Consistency: Platinum Row will add 96 residences to the City's overall housing stock. This high quality gated residential neighborhood creates an attractive living environment for prospective home buyers and will improve an otherwise aging neighborhood.

HP Goal 2.0: Provide opportunity for increasing the supply of affordable housing within the City, with special emphasis on housing for special needs groups.

HP 2.2: Provide incentives for new housing construction, to encourage the production of affordable units. Encourage provision of units with 3 or more bedrooms to provide adequately sized housing for large families.

Consistency: As an attached product development, the residences will be relatively more affordable than detached units. In addition, Platinum Row is being designed to accommodate a variety of family sizes by offering flexible floor plans with 3 or more bedrooms. With ground-level bedroom options, the project creates the opportunity for aging and

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physically-challenged residents to live with more able-bodied family members.

HP 2.3: Participate in home ownership programs to move lower income renters into home ownership.

Consistency: With pricing anticipated to be well below the FHA loan limits for Los Angeles County, Platinum Row should be within reach of many rental households. With lower down payment requirements and lower interest rates than conventional financing, FHA programs make high quality housing attainable for more families.

D. Public Safety Plan

The Public Safety Element identifies potential hazards that can impact the City. Its policies focus on protecting life and property from hazardous conditions, natural and man-made. The plan addresses emergency preparedness, public response to emergencies and the associated police and fire services needed to safeguard and enhance the livability of the community.

PS Goal 1: Maintain a high level of fire and police protection for residents, businesses and visitors.

Consistency: The project will help ensure adequate funding for fire and police protection through the payment of impact fees. Prior to approval, the project will have been reviewed by police, fire and building & safety personnel.

PS Goal 2: Protect the community from dangers associated with geologic instability, seismic hazards and other natural hazards.

PS 2.3: Require compliance with seismic safety standards in the Unified Building Code.

Consistency: Prior to the issuance of building permits, the City Engineer shall review and approve all construction documents to ensure adherence

to the applicable foundation recommendations contained in the project's geotechnical report. Furthermore, the project will observe and apply measures to reduce the structural risks from earthquakes.

PS 2.4: Require geotechnical studies for all new development projects located in an Alquist-Priolo Earthquake Fault Zone or areas subject to liquefaction.

Consistency: Though Platinum Row is not within an Alquist-Priolo zone, a geotechnical study was conducted to ensure that the project will be built upon a solid foundation, using appropriate measures to account for liquefaction potential and other potential geotechnical hazards.

PS Goal 4: Increase public awareness of crime and fire prevention, and emergency preparedness and procedures.

PS 4.1 Provide public safety information regarding crime, fire, natural disasters, and emergency preparedness.

Consistency: The future homeowner's association for Platinum Row will be a conduit for communicating public safety information to its residents.

PS 4.3: Promote professional management of multi-family residential buildings.

Consistency: Through covenants, conditions and restrictions (CC&R's), the future homeowner's association for Platinum Row will act as a managing body to ensure that its residents maintain their homes to minimize any exposure to fire hazards and crime. It is anticipated that the homeowner's association will hire a professional management company to promulgate the rules of the association, oversee service providers and other roles.

E. Noise Plan

The Noise Plan establishes goals, policies and programs to protect City

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residents from excessive noise. The plan provides criteria and guidelines to minimize noise conflicts between existing uses and new development.

N Goal 1: Use noise control measures to reduce the impact from transportation noise sources.

N 1.1: Minimize noise conflicts between land uses and the circulation network, and mitigate sound levels where necessary or feasible to ensure the peace and quiet of the community.

Consistency: The project will minimize noise impacts to the residents through the use of street setbacks, perimeter walls and landscaping. Inside the walls of the development, the units will be further protected from automobile traffic through landscaping and insulated windows and walls. The project is designed to meet or exceed all noise standards.

N 1.2: Reduce unnecessary traffic volumes in residential neighborhoods by limiting through-ways and facilitating the use of alternative routes around, rather than through, neighborhoods.

Consistency: To limit internal through traffic, all access in and out of the project will be through a gated entry fronting Normandie Avenue. Traffic will continue to be limited on Raymond through the development of a wall south of the intersection of Raymond Avenue and 144th Place, located approximately at the mid-point of the project's Raymond Avenue frontage. Note: Emergency services will have exclusive use of a secondary access immediately north of the wall.

N 1.4: Promote the use of traffic calming measures where appropriate, such as narrow roadways and on-street parking in commercial and mixed-use districts.

Consistency: Platinum Row is designed with a curvilinear spine road, intended to create friction and reduce speeds. Speed bumps and speed limit signage may also be incorporated to encourage a slower traffic pace.

N 1.8: Encourage walking, biking, carpooling, use of public transit and other alternative modes of transportation to minimize vehicular traffic use and associated traffic noise.

Consistency: Platinum Row has been designed with a network of paseos and a central park, which is partially intended to reduce trips to and from alternative locations outside the project. Strategically located on Normandie Avenue, residents can easily walk to the local bus stop instead of driving.

F. Open Space Plan

The Open Space Plan encourages the preservation of existing open spaces and recreation facilities and the development of new resources.

OS 1: Maintain and upgrade the existing parks and recreational facilities to meet the needs of all residents.

OS 2: Increase the City's supply and quality of parkland, open space and recreational programs.

Consistency: Platinum Row meets the intent of the Open Space Plan by providing its residents with private and public open space opportunities.

Each residence will feature private front courtyards and upper-level patios. The common area will include a centrally-located park with passive niches for barbecues, seating, shade structures and a dedicated playground for children. The park will be accessed through a paseo system that circumnavigates the development.

To comply with the federal, state and local requirements, the project will pay in-lieu fees for any park area shortfall needed to reach the minimum requirement of 3 acres per 1,000 residents.

G. Community Design Plan

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The Community Design Plan was created to improve the visual aspects of the City through building and property maintenance, landscape and streetscape, signage and other urban design features, all geared toward creating a positive and strong community identity. Two of the Community Design Plan's Goals, DS Goals 1 & 2 in particular, are relevant to the development of homes.

DS Goal 1: Enhance the visual environment and create a positive image of the City.

DS 1.10 Encourage private participation in a public arts program.

Consistency: The project will include one or more public works of art that will be visible and accessible to the Platinum Row community. It may be tall or call attention to the paving beneath your feet. Its shape can be abstract or realistic (or both), and it may be cast, carved, built, assembled, or painted. It may be site-specific or stand in contrast to its surroundings. The art may express community values, enhance the environment, transform a landscape or heighten public awareness.

DS 2.2 Encourage a variety of architectural styles, massing, floor plans, color schemes, building materials, façade treatments, elevation and wall articulations.

Consistency: Platinum Row will provide state-of-the-art architecture, materials and aesthetics to an aging community. The contemporary exteriors will feature a cohesive blend of traditional materials, such as wood and stucco, with modern elements of steel and stone. Floor plans will seek to accommodate a range of needs, including ground-level living for multi-generational households. The elevations will reflect articulated walls, building heights and contrasting colors to create visual interest.

DS 2.10 Provide landscape treatment (trees, shrubs, groundcover, and grass areas) within multi-family development projects in order to create a "greener" environment for residents and those viewing from public areas.

Consistency: Platinum Row will soften up the buildings and hardscape through an organized network of landscaped pathways, roadways and building exteriors. The central park element will be heavily landscaped for active and passive use.

DS 2.11 Incorporate quality residential amenities such as private and communal open space into multi-unit development projects in order to improve the quality of the project and to create more attractive and livable spaces for residents to enjoy.

Consistency: Each home within the project will feature private courtyards and upper-level patios for the private enjoyment of open space. The central park and paseo network provide project-wide opportunities for residents of all ages to recreate.

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VII. IMPLEMENTATION

A. Phasing Plan

The project will be phased in accordance with the approved Tentative Tract Map. In general, it is anticipated that the project phasing will occur from west (nearest Normandie Avenue) to east (nearest Raymond Avenue), allowing for reasonable separation of construction activities from completed homes.

B. Site Plan Review Process

In conformance with Section 18.44 of the GMC, review and approval of the Platinum Row Specific Plan shall serve as the requisite Site Plan Review.

C. Infrastructure Improvements/Coordination

All improvements required for the Platinum Row Specific Plan, including but not limited to, streets, sewer, water and utilities shall be provided and paid for by the developer, subject to review and permitting by the appropriate City departments and utility providers.

D. Financing Measures

No public financing is required for development of this Specific Plan; however the developer may use SCIP (Statewide Community Infrastructure Program) or similar funding mechanisms to finance certain fees and infrastructure costs.

E. Monitoring Programs

No monitoring is necessary beyond ordinary City review.

F. Administration of Plan

The Platinum Row Specific Plan shall be delineated on the Gardena zoning map. This Specific Plan is intended to supersede the City of Gardena's Gen-

eral Plan, and shall take precedence over any conflict it may have with the GMC. In the event a guideline or other provision cannot be found within this Specific Plan, the GMC shall be the default source for administrative guidance.

G. Amendment Procedures

1. Substantial Conformance

Specific plans are meant to delineate the guidelines for development in a given area; however, at times it is necessary to maintain flexibility in the implementation of those plans. Any such amendment must remain in substantial conformance with the Platinum Row Specific Plan, as detailed in this document.

When minor deviations are required, the City of Gardena Community Development Department (or the designated zoning administrator) shall have the authority to approve changes. Examples of deviations that would be in substantial conformance include minor changes to following: color schemes; street design; building heights or massing; wall heights and composition; easement locations and grading adjustments, as approved by City engineers; and deviations deemed appropriate by the Community Development Department. Environmental review is not required for Substantial Conformance, provided such changes are determined to be in accordance with the development concept of the adopted Specific Plan and Tentative Tract Map.

2. Specific Plan Amendment

In the event that a proposed deviation to the Specific Plan is found to be in excess of the substantial conformance clause outlined above, a Specific Plan amendment will be required. Pursuant to California Government Code §65355, any amendment to this Specific Plan will be subject to review by the City of Gardena Planning Commission and City Council. Such amendments must be consistent with the City of Gardena General Plan and shall require at least one public hearing prior to approval.

APPENDIX

Selected Chapters of the Gardena Municipal Code

18.42.030 Satellite Antennas.

No person shall install, have installed, or maintain any satellite antenna designed or used for the reception of television or other electronic communication signal broadcast or relayed from an earth satellite, unless a building permit is obtained from the building and safety division. Such permit shall be subject to review by the community development director to ensure compliance with all applicable requirements. Satellite antennas may be located in any zone in the city; provided, however, they shall not be installed on or project above the roofs of residential buildings, in any required front yard areas, or in side yard areas of corner lots. Further, when such antennas are installed they shall, to the extent possible, be properly screened from view from streets and from abutting properties to the satisfaction of the community development department. (Prior code § 10-3.2103)

18.42.070 Fences, Hedges and Walls.

A. Height.

1. Residential Uses. A fence, hedge or wall not more than seven feet in height may be located along the side or rear property lines provided such fence, hedge or wall shall have a maximum height of three and one-half feet for interior lots and three feet for corner lots in the required front yard setback area.
2. Residential front yard fences shall be composed of only the following materials: wood, wrought iron, tubular steel, stone, brick, stucco, or decorative block such as slump stone or split-faced block.

a. Driveway gates shall be set back at least twenty feet from front or corner side yards.

b. Driveway gates abutting alleys shall be located at least twenty-five feet from the opposite side of the alley.

3. Nonresidential Uses. A fence, hedge or wall not more than eight feet in height may be located along the front, side or rear property lines provided such fence, hedge or wall shall have a maximum height of three and one-half feet for interior lots and three feet for corner lots in the required front yard setback area when such setback is required pursuant to the provisions of this code.

a. Nonresidential fences shall be composed of only the following materials: wrought iron, tubular steel, stone, brick, stucco or decorative block such as slump stone or split-faced block.

b. Nonresidential fences and walls located on street frontages shall have a minimum three-foot landscape setback.

B. Visibility. On a reversed corner lot, or where the rear yards of two corner lots abut each other, or whenever visibility is impaired, a reduction in fence, hedge or wall height to a maximum of three feet or a corner cutback area of ten feet by ten feet shall be required for safety purposes. Such cutback lines shall be in a horizontal plane making an angle of forty-five degrees with the side, front or rear property line, as the case may be.

C. Measurement of Fences. When a fence, wall or landscaping treatment of a specified height is required as a condition of approval to a development request, and there is substantial difference in the finished grade on either side of such fence, the height shall be measured from a grade as determined by the community development director in order to protect the safety and general welfare of affected property owners.

D. Prohibited Fences. No electrically charged fence or barbed wire or razor-ribbon type fencing shall be permitted in any zone in the city, except as provided in subsection E of this section.

E. Exceptions.

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1. Nothing contained in this section shall be construed to prohibit the erection or construction of a fence, hedge or wall as required by any federal or state law or regulation.

2. For commercial and industrial uses, three strands of barbed wire may be placed atop a fence or wall which is at least six feet in height and is not visible from a street or highway. Razor-ribbon wire may be placed atop a fence which is at least eight feet in height, subject to the approval of a conditional use permit pursuant to Chapter 18.46, provided it is not visible from a street or highway.

3. Minor Variance in Height. The community development director may permit an increase of not more than twenty percent in the permitted height of a side or rear fence, wall or hedge. Such requests shall be filed with the community development department and be accompanied by appropriate plans drawn to scale and a filing fee established by council resolution. The community development director shall review the application, statements and drawings submitted and all pertinent and relevant data and, within thirty days after the filing of an application, render a decision in writing, either approving or denying the request and stating the reason for such action. One copy of the written decision shall be sent to the applicant, and one copy shall be kept on file.

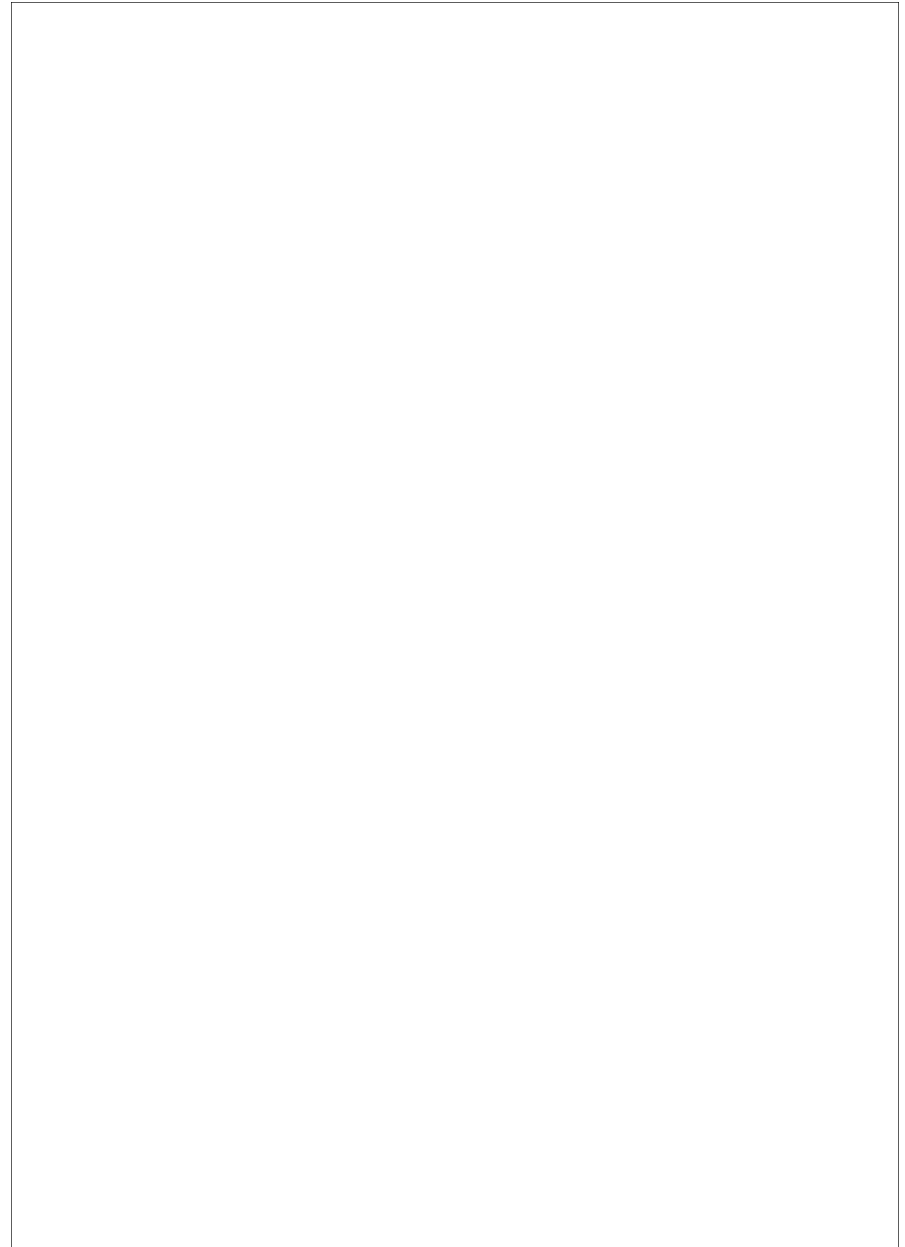
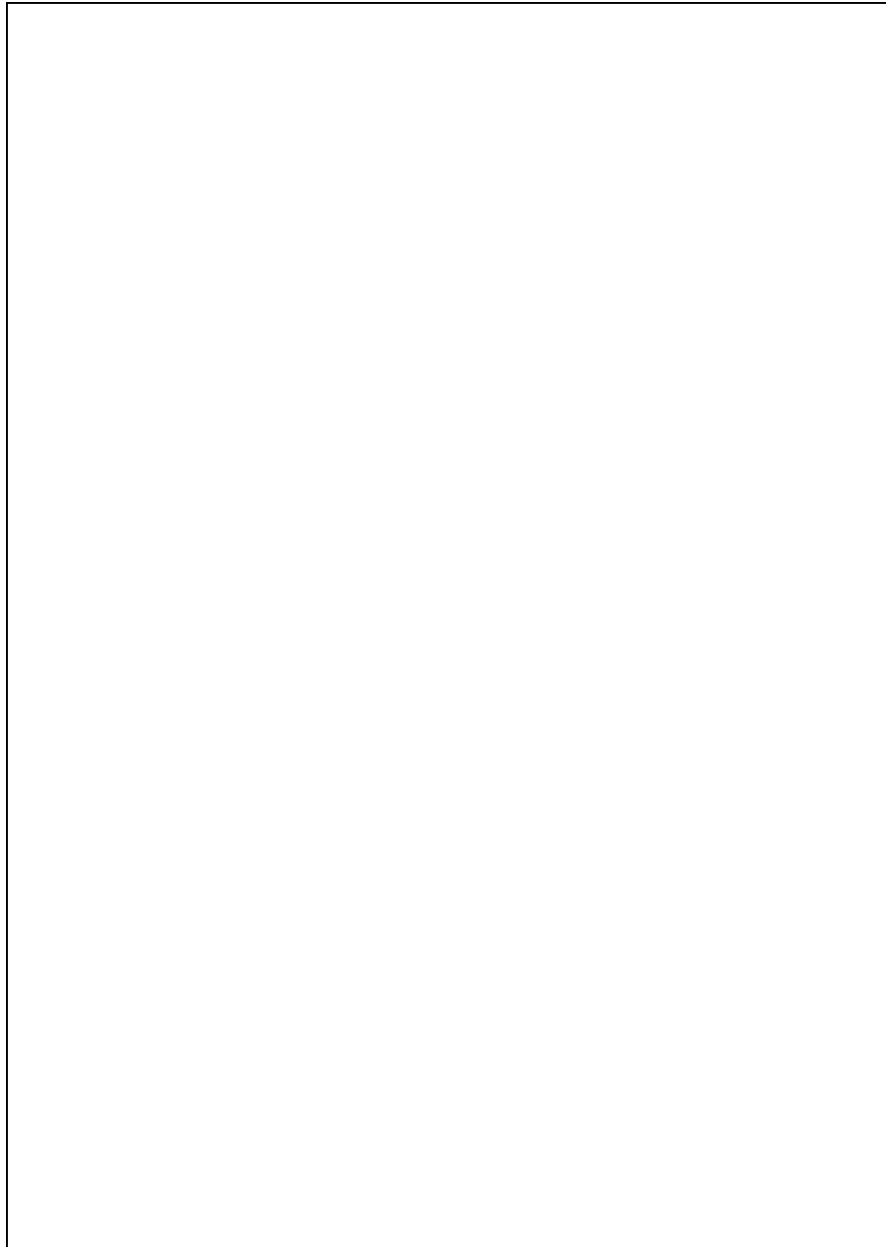
F. Permit Procedure. No person shall erect, construct or alter a fence or wall unless a permit therefor has been issued by the building and safety division. No permit shall be issued until all fences, walls and hedges on the property conform to the provisions of this section.

1. Applications. An application for a permit shall be filed by the owner or other person having the right to the possession of the land for which the permit is sought.

2. Fees. All permit applications shall be accompanied by a filing fee in an amount established by city council resolution, payable to the city to defray the costs incurred by the city in processing the application. (Ord. 1738 § 36, 2012; Ord. 1683 § 57, 2006; Urg. Ord. 1682; Ord. 1629 § 16,

2003; prior code § 10-3.2107)

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