

CITY OF GARDENA  
**PLANNING AND ENVIRONMENTAL QUALITY COMMISSION**  
STAFF REPORT

RESOLUTION NO. PC 8-21  
CONDITIONAL USE PERMIT #4-21

DATE: July 6, 2021

TO: Chair Langley and Members of the Planning and Environmental Quality Commission

FROM: Gregg McClain, Interim Community Development Director

CASE PLANNER: Amanda Acuna, Senior Planner

APPLICANT: Rajpal Dhillon, U.S. Tow

LOCATION: 1638 West 130<sup>th</sup> Street (APN: 6102-006-017)

REQUEST: A request for a conditional use permit, per Section 18.42.040.A of the Gardena Municipal Code, to allow a towing company and associated outdoor storage in the Industrial (M-1) zone that qualifies for a Notice of Exemption.

**BACKGROUND**

In April of 2019, the Gardena City Council awarded a franchise agreement for City-related towing services to the applicant, RSD Tow Inc., doing business as U.S. Tow.

The franchise agreement was contingent upon U.S. Tow's ability to show that the company maintains a business office and storage facility within city limits. On July 16, 2019, the Planning Commission approved U.S. Tow's request to operate an automobile storage and towing company at 1600 West 139<sup>th</sup> Street (Conditional Use Permit #3-19).

The building at 1600 West 139<sup>th</sup> Street later sustained severe fire damage in November of 2020 and the business was forced to leave this location. As a requirement of the City's contract, U.S. Tow began looking for another location within city limits.

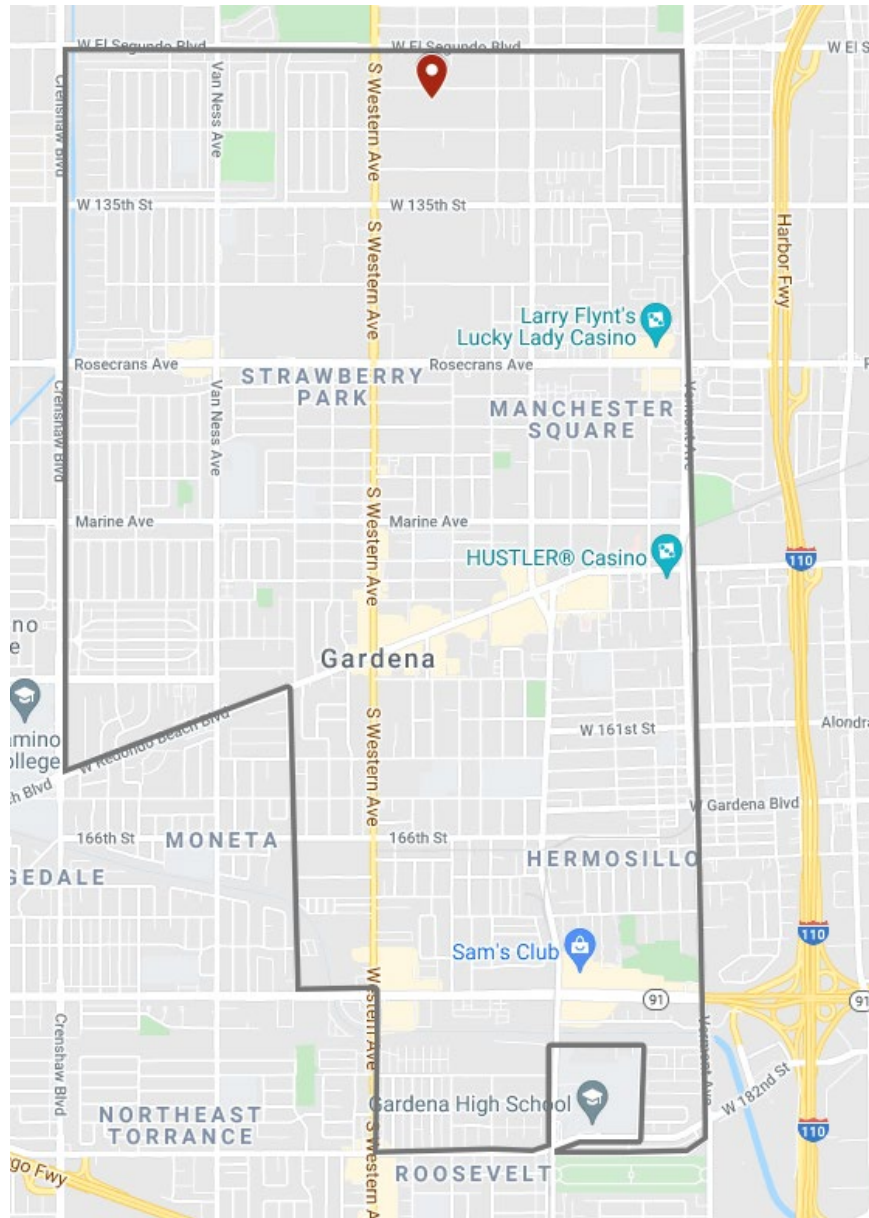
On May 26, 2021, the applicant, Raj Dhillon, business owner of U.S. Tow, submitted an application for a conditional use permit for outdoor automobile storage and an automobile towing use at 1638 West 130<sup>th</sup> Street, in the city.

On June 25, 2021, a public hearing was duly noticed for the Planning and Environmental Quality Commission meeting for July 6, 2021.

**PROJECT DESCRIPTION**

The applicant is proposing to construct a new 4,400 square foot industrial building for the storage of vehicles and office area at the property located at 1638 West 130<sup>th</sup> Street (Figure 1 – Vicinity Map).

**FIGURE 1: VICINITY MAP**



As seen in Figure 2, the property is in the Industrial (M-1) zoning district, as are all surrounding properties. Surrounding land uses include various manufacturing uses, warehouses, and a vacant lot. The subject property is a 20,037 square foot lot that

contains three single-family dwelling units, two of which are presently occupied. The south end of the property is currently used as an outdoor storage area.

The applicant is proposing to demolish all existing structures and construct a new 4,400 square foot industrial building.

**FIGURE 2: ZONING MAP**



All vehicles will be stored either in an enclosed yard or within the new structure. Seven parking spaces will be provided for business patrons. The business will operate 24-hours a day and have five employees, however, the business will only be open to the public between 8:00am and 6:00pm Monday through Friday, 8:00am to 5:00pm on Saturdays, and 9:00am to 1:00pm on Sundays.

The applicant is requesting the approval of a conditional use permit to allow the operations of automobile storage in the M-1 zone.

**ANALYSIS**

Section 18.42.040.A of the Gardena Municipal Code (GMC) allows the Community Development Director to determine if an unlisted use is permitted, subject to a conditional use permit or other entitlement, on the basis that it is similar to a use permitted within the zone.

In 2019, when the applicant applied for Conditional Use Permit #3-19, the Director determined that towing and automobile storage is similar to ambulance services, automobile repair facilities, contractors’ businesses, and recreational vehicle storage facilities. All of these uses are conditionally permitted provided they are not on arterials or major collector streets; therefore, automobile storage and towing services are also subject to the approval of a conditional use permit. The applicant’s request for a conditional use permit is deemed proper and, if approved, will authorize the operation of automobile storage and a tow yard at the site.

**DEVELOPMENT STANDARDS**

As mentioned above, two of the residential structures on the site are currently occupied. For this reason, there is a proposed condition of approval stating that the applicant will be required to meet provisions of GMC Chapter 14.08 and all current applicable State laws with regard to relocation assistance and payments to existing tenants.

The proposed 4,400 square foot structure will comply with all development standards of the M-1 zone, as shown in Table 1.

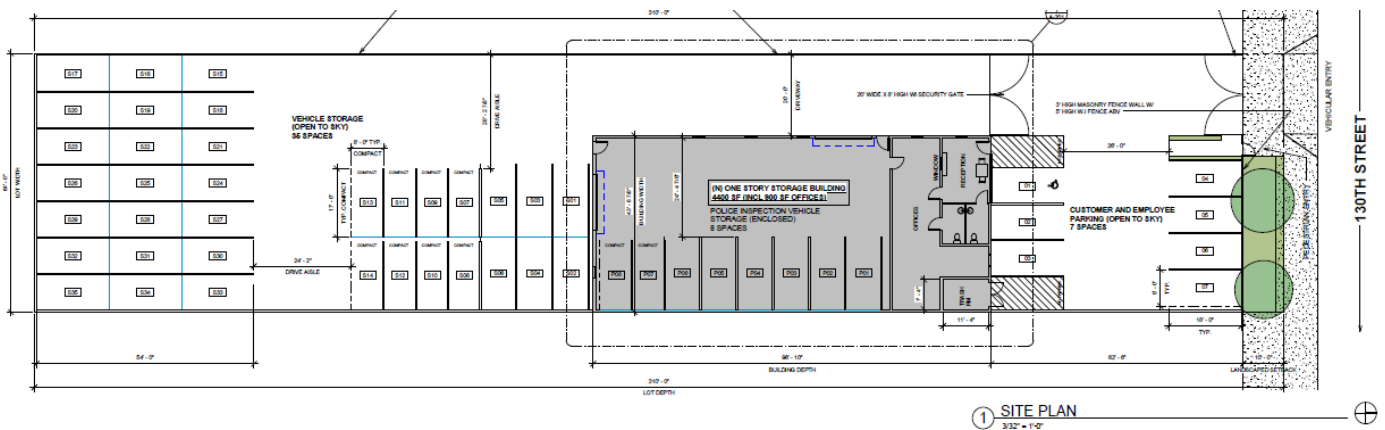
**TABLE 1: DEVELOPMENT STANDARDS**

Development Standard Comparison			
<i>Standard</i>	<i>M-1 Zone</i>	<i>Project</i>	<i>Compliant</i>
Max. FAR	1.0	0.22	Yes
Max. Building Height	65 ft.	25	Yes
Setbacks			
<i>Front</i>	10	10	Yes
<i>Sides (West)</i>	None	20	
<i>Side (East)</i>	None	0	
<i>Rear</i>	None	134	
Max. Fence Height	8 ft.	8	Yes

Development Standard Comparison			
Standard	M-1 Zone	Project	Compliant
Min. Parking Warehouse 1 space/1,000 sf	4 spaces	4	Yes
Office 1 space/300 sf	3	3	
TOTAL	7	7	
Refuse Area	Within Building Footprint or Fully Screened	Within Building Footprint	Yes

The subject property is required to provide a total of seven on-site parking spaces for the proposed towing service business. As shown in the project plans, the applicant will meet the parking requirements. The subject property will allow for the storage of 44 vehicles; eight spaces located inside the new building and 36 spaces in the enclosed storage yard at the rear of the property. All business vehicles related to the towing company will be parked in the enclosed yard, away from public right-of-way view.

**FIGURE 3 – SITE PLAN**



In accordance with GMC Section 18.42.085 the first ten feet of the property shall be dedicated to landscaping. As shown in the project plans the property will provide a ten-foot landscaped setback that will front West 130<sup>th</sup> Street with trees and shrubbery. The project plans show a driveway gate ten feet from the front property line which leads to customer parking spaces. Staff determined that a ten-foot setback was not sufficient in order to prevent the queuing of vehicle on the street. Therefore, a condition has been added that will require all driveway gates to be setback at least 20 feet from the front property line.

The applicant is proposing an eight-foot-tall decorative wall that will be interspersed with black tubular steel, ten-feet back from the public right-of-way along West 130<sup>th</sup> Street.

Vehicles that are to be impounded will be placed behind a security gate, only to be accessed by the business employees.

### *NEIGHBORHOOD CIRCULATION*

Pedestrian access to the subject property is provided by sidewalks along West 130<sup>th</sup> Street. Vehicle access is provided via a two-way driveway along West 130<sup>th</sup> Street. Seven patron parking spaces are provided to the north end of the property, with direct access to the office entry.

The Circulation Plan of the Gardena General Plan designates this part of West 130<sup>th</sup> Street as a collector roadway. These roadways are intended to move traffic from local roadways to secondary roadways and have access to all types of land uses. Additionally, the proposed towing service business is not located on any designated truck routes as describes in the Circulation Plan. The applicant's request to operate a towing service and vehicle storage is not expected to increase traffic beyond what is already experienced; therefore, West 130<sup>th</sup> Street is considered properly designed to carry the type and quantity of traffic generated by the use.

### GENERAL PLAN AND ZONING CONSISTENCY

The General Plan designates the subject property as an Industrial land use, which covers a wide variety of land uses and is implemented by the Industrial (M-1) and General Industrial (M-2) zones. As the storage of automobiles would be similar to other conditionally permitted uses in the Industrial M-1 and M-2 zone, the use is consistent with the zoning and Industrial land use designation.

The Industrial Land Use Category of the Gardena General Plan is designed to allow for a variety of clean and environmentally friendly industries. The applicant proposes to provide a service to the City and community but also proposes to enhance an existing underutilized lot in the M-1 zone. Allowing the operation of the towing service will be consistent with various goals and policies of the General Plan including the following:

- LU Goal 2: Develop and preserve high quality commercial centers and clean industrial uses that benefit the City's tax base, create jobs and provide a full range of services to the residents and businesses.
- LU Goal 3: Provide high quality, attractive and well-maintained commercial, industrial, and public environments that enhance the image and vitality of the City.
- Land Use Policy 3.8: Require all outdoor storage to be concealed from view from the public right of ways and adjoining land uses.
- DS Goal 7: Utilize extensive landscaping to beautify Gardena's streets and sidewalks.

Subject to the approval of the conditional use permit and the issuance of the conditions of approval, the proposed use will be consistent with the General Plan and Gardena Municipal Code, compatible with the surrounding area, and will not be detrimental to the public health, safety, or welfare.

### ENVIRONMENTAL IMPLICATIONS

The project is exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Guideline Section 15303, which exempts up to four small structures not exceeding 10,000 square feet in floor area. The use of vehicle storage and office does not involve the use of significant amounts of hazardous substances, and the surrounding area is not environmentally sensitive.

The proposed project is not subject to any of the exceptions to the exemptions under Section 15300.2 of the California Environmental Quality Act. The location of the project is predominantly urban and not considered a sensitive environment; therefore, the project will not result in any significant impacts that may otherwise occur in a sensitive environmental area. The cumulative impact of this project, and the approval of other projects like it in the vicinity, is not expected to have any significant environmental impact. Significant impacts would generally be studied during the initial construction of the use. The project is not located along any state designated scenic highway nor within any designated hazardous waste site. The applicant will be demolishing all existing structures to construct a new 4,400 square-foot building. None of the existing structures are considered a significant historical structure by any governmental body.

Therefore, the proposed project is categorically exempt from CEQA.

### RECOMMENDATION

Staff recommends the Planning and Environmental Quality Commission:

- 1) Open the public hearing;
- 2) Receive testimony from the public; and

- 3) Adopt Resolution No. PC 8-21 approving Conditional Use Permit #4-21 subject to the attached Conditions of Approval (Exhibit A) and directing staff to file a Notice of Exemption.

#### ATTACHMENTS

Resolution No. PC 8-21

Exhibit A: Conditions of Approval

Exhibit B: Architectural Plans



## RESOLUTION NO. PC 8-21

### A RESOLUTION OF THE PLANNING AND ENVIRONMENTAL QUALITY COMMISSION OF THE CITY OF GARDENA, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT #4-21 TO ALLOW THE STORAGE OF AUTOMOBILES AND A TOWING COMPANY USE IN THE INDUSTRIAL (M-1) ZONE AND DIRECT STAFF TO FILE A NOTICE OF EXEMPTION.

(1638 WEST 130<sup>TH</sup> STREET) (APN: 6102-006-017)

THE PLANNING COMMISSION OF THE CITY OF GARDENA, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

#### SECTION 1. RECITALS.

A. On May 26, 2021, the applicant, U.S. Tow, submitted an application for a conditional use permit to allow the storage of automobiles and a towing company use in the M-1 zone;

B. The General Plan land use designation is Industrial and the project site zoning is Industrial (M-1);

C. The subject property is bounded by general industrial uses to the south, west, and east and West 130<sup>th</sup> Street to the north;

D. On June 25, 2021, a public hearing was duly noticed for the Planning and Environmental Quality Commission meeting for July 6, 2021, at 7:00 PM at City Hall Council Chambers, 100 West 162<sup>nd</sup> Street, Gardena; [Zoom, not City Hall]

E. On July 6, 2021, the Planning and Environmental Quality Commission held the public hearing at which time it considered all material and evidence, whether written or oral;

F. In making the various findings set forth herein, the Planning and Environmental Quality Commission has considered all of the evidence presented by staff, the applicant, and the public, whether written or oral, and has considered the procedures and the standards required by the Gardena Municipal Code. The record of these proceedings can be found at the Community Development Department, Room 101, 1700 West 162<sup>nd</sup> Street, Gardena, California. The Community Development Director is the custodian of such record.

#### SECTION 2. CONDITIONAL USE PERMIT

Conditional Use Permit #4-21 to allow the outdoor storage of automobiles and to allow a towing company in the Industrial (M-1) zone as shown on the submitted plans, is hereby approved based on the following findings and subject to the conditions attached hereto as Exhibit A.

- 1. That the uses applied for at the location set forth in the application are proper for a conditional use permit authorized by this chapter;**

The towing company use is not specifically listed in the Gardena Municipal Code (GMC).

Section 18.42.040.A allows the Community Development Director (Director) to determine if unlisted uses are permitted, subject to a conditional use permit or other entitlement, on the basis that it is similar to those uses that are permitted within the zone.

In 2019, the Director determined that towing and automobile storage is similar to ambulance services, automobile repair facilities, contractors' businesses, and recreational vehicle storage facilities. As these facilities are all conditionally permitted, the Director determined that the storage of tow trucks and towed vehicles may be allowed subject to the approval of a conditional use permit. Thus, the application for a conditional use permit is deemed appropriate, and if approved, will authorize the applicant to store automobiles at the subject location.

- 2. That such use is necessary or desirable for the development of the community and is compatible with the surrounding uses, is in harmony with the general plan, is not detrimental to the surrounding properties, existing uses, or to uses specifically permitted in the zone in which the proposed use is to be located, and will not be detrimental to the public health, safety, or welfare;**

The General Plan designates the subject property as Industrial, which covers a wide variety of land uses and is implemented by the Industrial (M-1) and General Industrial (M-2) zones. As the storage of automobiles would be similar to other conditionally permitted uses in the M-1 zone, the use is consistent with the zoning and Industrial land use designation.

The Industrial Land Use Category of the Gardena General Plan is designed to allow for a variety of clean and environmentally friendly industries. The project will provide a service to the city and community and will also enhance an existing underutilized lot in the M-1 zone. Allowing the operation of the towing service use will be consistent with various goals and policies of the General Plan including the following:

- *LU Goal 2: Develop and preserve high quality commercial centers and clean industrial uses that benefit the City's tax base, create jobs and provide a full range of services to the residents and businesses.*
- *LU Goal 3: Provide high quality, attractive and well-maintained commercial, industrial, and public environments that enhance the image and vitality of the City.*
- *Land Use Policy 3.8: Require all outdoor storage to be concealed from view from the public right of ways and adjoining land uses.*
- *DS Goal 7: Utilize extensive landscaping to beautify Gardena's streets and sidewalks.*

Subject to the approval of the conditional use permit and the issuance of the conditions of approval, the use will be consistent with the General Plan and Gardena Municipal Code, compatible with the surrounding area, and will not be detrimental to the public health, safety, or welfare.

- 3. That the site for the intended use is adequate in size and shape to accommodate such use and all of the yards, setbacks, walls, fences, landscaping, and other features required in order to adjust such use to those existing or permitted future uses on land in the neighborhood;**

The project includes the construction of 4,400 square foot building, with new landscaping driveways gates and perimeter walls. The property is designed to meet all applicable

Municipal Code standards. Therefore, the site is considered adequate in size and shape to accommodate such use.

**4. That the site for the proposed use relates to streets and highways properly designed and improved so as to carry the type of quantity of traffic generated or to be generated by the proposed use;**

Pedestrian access to the subject property is provided by the sidewalk along West 130<sup>th</sup> Street. Vehicle access is provided via a two-way driveway on West 130<sup>th</sup> Street. Seven patron parking spaces are provided with direct access to the office entry.

The Circulation Plan, of the Gardena General Plan, designates this part of West 130<sup>th</sup> Street as a collector roadway. These roadways are intended to move traffic from local roadways to secondary roadways and have access to all types of land uses. Additionally, the proposed towing service business is not located on any designated truck routes as describes in the Circulation Plan. The applicant's request to operate a towing service and vehicle storage is not expected to increase traffic beyond what is already experienced; therefore, West 130<sup>th</sup> Street is considered properly designed to carry the type and quantity of traffic generated by the use.

**5. That the conditions stated in the decisions are deemed necessary to protect the public health, safety, and general welfare.**

The conditions of approval for Conditional Use Permit 4-21, will ensure that the storage of automobiles will be compatible with, and not detrimental to, the surrounding uses in the vicinity.

SECTION 3. CALIFORNIA ENVIRONMENTAL QUALITY ACT FINDINGS.

1. The project is exempt from the provisions of the California Environmental Quality Act (CEQA), pursuant to the following exemption:
  - a. Guidelines Section 15303, Construction of Small Structures – this exemption exempts up to four small structures not exceeding 10,000 square feet in floor area. The use of vehicle storage and office does not involve the use of significant amounts of hazardous substances, and the surrounding area is not environmentally sensitive.
2. The project is not subject to any of the exceptions to the exemptions under California Environmental Quality Act (CEQA) Guidelines Section 15300.2, as the location of the project is predominantly urban and not considered a sensitive environment; therefore, the project will not result in any significant impacts that may otherwise occur in a sensitive environmental area. The cumulative impact of this project, and the approval of other projects like it in the vicinity, is not expected to have any significant environmental impact. Significant impacts would generally be studied during the initial construction of the use. The project is not located along any state designated scenic highway nor within any designated hazardous waste site. The applicant will be demolishing all existing structures to construct a new 4,400 square-foot building. None of the existing structures are considered a significant historical structure by any governmental body.

3. Staff is hereby directed to file a Notice of Exemption.

PASSED, APPROVED, AND ADOPTED this 6th day of July, 2021.

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STEPHEN LANGLEY, CHAIR  
PLANNING AND ENVIRONMENTAL  
QUALITY COMMISSION

ATTEST:

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GREGG MCCLAIN, SECRETARY  
PLANNING AND ENVIRONMENTAL QUALITY COMMISSION

STATE OF CALIFORNIA  
COUNTY OF LOS ANGELES  
CITY OF GARDENA

I, Gregg McClain Planning and Environmental Quality Commission Secretary of the City of Gardena, do hereby certify the following:

1. That a copy of this Resolution and the Conditions of Approval (Exhibit A) will be sent to the applicant and to the City Council as a report of the findings and action of the Planning and Environmental Quality Commission; and
2. That the foregoing Resolution was duly adopted by the Planning and Environmental Quality Commission of the City of Gardena at a regular meeting thereof, held the 6th day of July, 2021, by the following vote of the Planning and Environmental Quality Commission:

AYES:

NOES:

ABSENT:

Attachments:

- Exhibit A: Conditions of Approval
- Exhibit B: Architectural Plans

## **EXHIBIT A**

### **CITY OF GARDENA**

#### **CONDITIONS OF APPROVAL FOR CONDITIONAL USE PERMIT #4-21**

##### **GENERAL CONDITIONS**

- GC 1. The applicant accepts all of the conditions of approval set forth in this document and shall sign the acknowledgement. A copy of the signed document shall be submitted to the Community Development Department prior to issuance of any construction permit.
- GC 2. Development of this site shall comply with the requirements and regulations of Title 15 (Building and Construction) and Title 18 (Zoning) of the Gardena Municipal Code.
- GC 3. The applicant shall comply with all written policies, resolutions, ordinances, and all applicable laws in effect at time of approval. The conditions of approval shall supersede all conflicting notations, specifications, and dimensions which may be shown on the project development plans.
- GC 4. The floor plan layout shall be in accordance with the plans approved by the Commission, as may be modified by these conditions of approval. The final completed project shall be in substantial compliance with the plans upon which the Commission based its decision, as modified by such decision.
- GC 5. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any claims, actions or proceedings, damages, costs (including without limitation attorneys' fees), injuries, or liabilities against the City or its agents, officers, or employees arising out of the City's approval of the Notice of Exemption and Conditional Use Permit. The City shall promptly notify the applicant of any claim, action, or proceeding and the City shall cooperate fully in the defense. If the City fails to promptly notify the applicant of any claim, action, or proceeding, or if the City fails to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the City. Although the applicant is the real party in interest in action, the City may, at its sole discretion, participate in the defense of any action with the attorneys of its own choosing, but such participation shall not relieve the applicant of any obligation under this condition, including the payment of attorneys' fees.

##### **CONDITIONAL USE PERMIT**

- CUP1. Conditional Use Permit #4-21 shall be utilized within a period not to exceed 12 months from the date of approval, unless an extension is granted in accordance with Section 18.46.040 of the Gardena Municipal Code. Utilization shall mean the issuance of a building permit.

## **PLANNING**

- PL1. The applicant shall ensure all impounded and towed vehicles are stored in the building or enclosed yard. The parking lot may be used for employee and customer parking only. Tow trucks are not permitted to be parked in this lot.
- PL2. The repair or maintenance of vehicles is strictly prohibited while a towing operation is being conducted on the property.
- PL3. The gates to the storage area shall adequately screen the contents of the storage area.
- PL4. All landscaping shall be maintained in a healthy and well-kept manner at all times. Dead or damaged landscape material/vegetation shall be replaced immediately per the approved landscape plan. The irrigation system shall be maintained at all times. Trees shall be permitted to grow to their maximum height.
- PL5. The applicant shall show compliance with the provisions of Chapter 14.08 of the Gardena Municipal Code and all current applicable State laws in regard to relocation assistance and payments to existing residential tenants to the Community Development Department before the issuance of demolition permits.
- PL6. All driveway gates shall have a minimum setback of 20-feet from the front property line.

## **BUILDING & SAFETY**

- BS1. The Applicant shall comply with all current applicable City of Gardena Municipal Codes and Ordinances.
- BS2. The Applicant shall get permits for all work. All work shall comply with all applicable 2019 California Building Code Standards, as modified by the City of Gardena, and obtain all required permits from the Building Division. Including but not limited to 2019 CA Building Code, California Plumbing Code, California Mechanical Code, California Electrical Code, California Energy Code, and California Green Building Standards Code, as adopted.
- BS3. The Applicant shall comply with the 2020 Los Angeles County Fire Code and Fire Department requirements, as applicable.
- BS4. The building shall be fully sprinklered per National Fire Protection Association (NFPA) 13.
- BS5. The property shall be maintained in a clean and orderly condition at all times and remove any graffiti from the site within 24 hours of its discovery in matching colors to the existing improvements.
- BS6. The Applicant shall provide storm water management plan study prepared by a qualified engineer acceptable to the Building Official and the Engineering Division and develop the property in accordance with such plan.
- BS7. The Applicant shall demonstrate that coverage has been obtained under California's General Permit for Stormwater Discharges Associated with Construction Activity by

- providing a copy of the Notice of Intent (NOI) submitted to the State Water Resources Control Board and a copy of the subsequent notification of the issuance of a Waste Discharge Identification (WDID) Number or other proof of filing shall be provided to the Chief Building Official and the City Engineer. Projects subject to this requirement shall prepare and implement a Storm Water Pollution Prevention Plan (SWPPP). A copy of the SWPPP shall be kept at the project site and be available for review on request. Best Management Practices shall be used during construction to prevent construction materials and soil from entering the storm drain.
- BS8. The Applicant shall submit a Final Priority WQMP to the Building Division for review and approval. This plan shall be in conformance with all current NPDES requirements. The WQMP must implement Low Impact Development (LID) principles such that projects infiltrate, harvest, re-use, evaporation, or bio-treat storm water runoff. Sheet flowing storm-water, without filtering, is no longer acceptable.
- BS9. The Applicant shall submit a site lighting plan, with photometrics, for review and approval by the Building Official and the Director of Community Development prior to the issuance of building permits. The plan shall ensure that all exterior lighting (i.e., parking areas, building areas, and entries) shall employ illumination in a manner that meets the approval of the Building Official and the Director of Community Development before building permits are issued. All light fixtures shall be designed and located in a manner that does not allow spillover onto adjacent properties. Additionally, the exterior lighting fixtures shall be architecturally consistent with the design of the building, as reviewed and approved by the Director of Community Development.
- BS10. The Applicant shall maintain a 26-foot minimum backup distance from the parking stalls. Driveway shall be maintained as a no parking zone and be marked with Fire Lane-No Parking signs.
- BS11. The address shall be posted on the building and on the curbs per CA Building and Fire codes.

### **PUBLIC WORKS**

- PW1. All work in the public right of way shall be constructed in accordance with the Standard Plans and Standard Specifications for Public Works Construction, latest edition, and be designed and signed by a registered Civil Engineer or other applicable professional license engineer(s). This includes supplements thereto and City of Gardena Standard Drawings.
- PW2. Before undertaking any Encroachment/Excavation within the public right of way, the owner must first obtain the applicable permit from the Public Works Engineering Division.
- PW3. The project shall utilize the County's benchmarks and any controlling survey monumentation (property lines, tract lines, street centerline, etc.) which are at risk of being destroyed or disturbed during the course of the project must be preserved in

accordance with Section 8771(b) of the California Business and Professions Code (Professional Land Surveyors Act). Preconstruction field ties, along with the preparation and filling of the required Corner Records or Record of Survey with the County of Los Angeles, shall be accomplished by, or under the direction of, a licensed surveyor or civil engineer authorized to practice land surveying.

Copies of said records shall be furnished to the City Engineering for review and approval prior to issuance of any onsite or offsite construction permit. In addition, any monuments disturbed or destroyed by this project must be reset and post-construction Corner Records or Record of Survey filed with the County of Los Angeles. A copy of the recorded documents shall be submitted to the Engineering office for review and approval prior to issuance and/or finalizing any permits within the public right of way.

- PW4. Prior to issuance of permits, all public improvements (if any) shall be guaranteed to be installed by the execution of an Agreement for Public Improvements secured by sufficient bond sureties or cash, complete indemnification form, Certification of Insurance (General Liability, Auto & Workers Compensation) naming City of Gardena as additional insured, contractor State License and City Business License.
- PW5. All public improvements, studies, designs, plans, calculations and other requirements shall be installed, provided and supplied by the developer in accordance with City and State codes, policies and requirements at no cost to the City.
- PW6. The applicant shall remove and replace all curb, gutter, curb ramp, spandrel, driveway, traffic/street sign, red curb, and sidewalk fronting the project.
- PW7. Existing tree on the sidewalk can remain while 2 trees along the property line shall be removed. Street tree improvements to be coordinate with City Public Works Park's Superintendent (310-217-9657).
- PW8. The applicant is responsible for all applicable permit, plan check surety, sewer fees, and other incidental fees pertaining to the proposed project.

#### **LOS ANGELES COUNTY FIRE DEPARTMENT**

- FD1. The applicant shall submit the plans to the Los Angeles County Fire Department for approval and shall comply with all applicable Los Angeles County Fire Department requirements.
- FD2. The applicant shall ensure that vehicles are not stored in a manner as to block, encroach into or otherwise impede Fire Department Access.



*RESO NO. PC 8-21; CUP #4-21*

*July 6, 2021*

*Page 5 of 4*

U.S. Tow, certifies that it has read, understood, and agrees to the Project Conditions listed herein.

\_\_\_\_\_  
U.S. Tow

\_\_\_\_\_  
Date

By \_\_\_\_\_

# US TOW GARAGE

1638 W 130TH ST, GARDENA, CA 90249

1 STORY WAREHOUSE / OFFICE  
W/ ASSOCIATED PARKING AND  
IMPOUNDED VEHICLE STORAGE

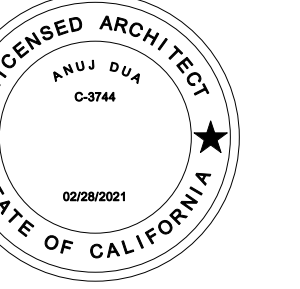


**SPAD**  
architects

1050 LATIN WAY  
LOS ANGELES, CA 90065  
T. 310.402.4354  
www.spadarch.com  
CONTACT: Anuj Dua  
(adua@spadarch.com)

The enclosed drawings, specifications, and designs are the property of SPAD Architects. No part thereof shall be copied, disclosed to others or used with any other work other than the specific project for which they have been developed without the written consent of SPAD Architects.

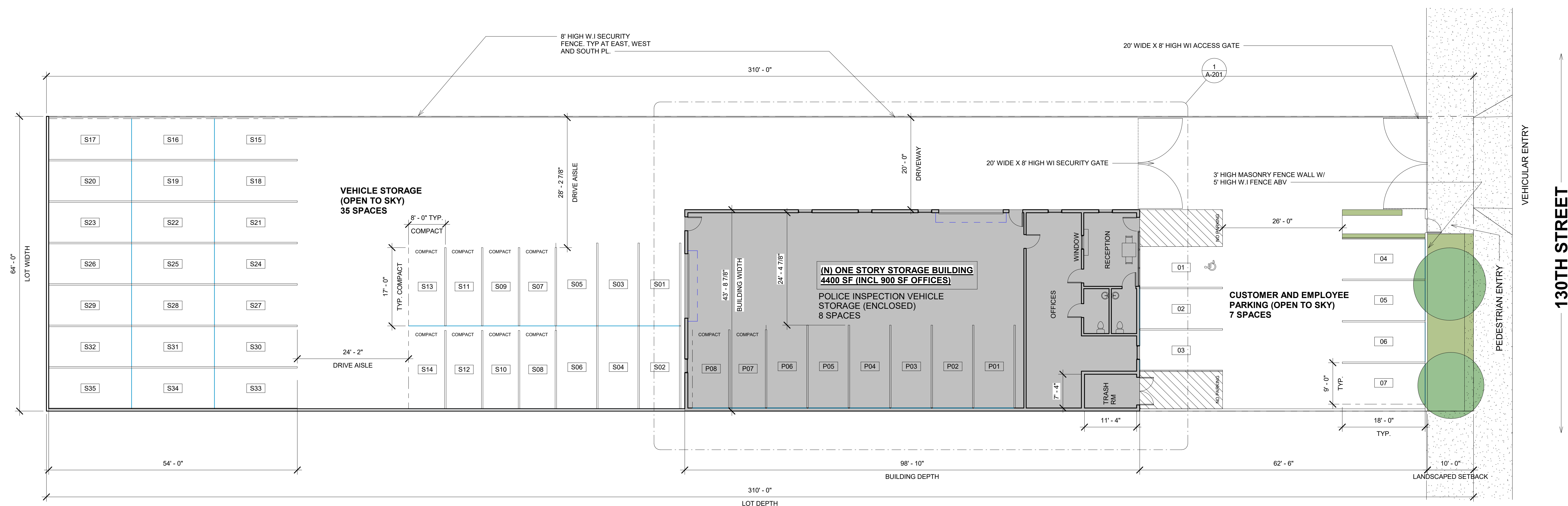
Professional Seal:



Consultant:

Notes:

PROJECT AND SITE INFORMATION		PROJECT DIRECTORY		VICINITY MAP			
<b>PROJECT ADDRESS:</b>	1638 W 130TH ST, GARDENA, CA	<b>OWNER</b>	US TOW				
<b>LEGAL DESCRIPTION:</b>	Real property in the City of Gardena, County of Los Angeles, State of California, described as follows:	<b>CONTACT: RAJ DHILLON</b>	TEL: 310.915.2206 EMAIL: ustowbackup@gmail.com				
<b>ASSESSORS PARCEL NO.:</b>	6102-006-017	<b>ARCHITECT</b>	SPAD ARCHITECTS 1050 LATIN WAY LOS ANGELES, CA 90065 CONTACT: ANUJ DUA TEL: 310.402.4354 EMAIL: adua@spadarch.com				
ZONING INFORMATION		PARKING CALCULATIONS					
<b>DEVELOPMENT PERMIT NO.:</b>	PENDING	<b>USE</b>	<b>AREA</b>			<b>REQUIREMENTS</b>	<b>REQUIRED</b>
<b>ZONING:</b>	M1 (INDUSTRIAL ZONE)	WAREHOUSE	3,500 SF			1/1,000 SF	4 SPACES
<b>LOT AREA:</b>	19,840 SF +/-	OFFICE	900 SF	1/300 SF	3 SPACES		
<b>BUILDING AREA:</b>	4,400 GSF	<b>TOTAL REQUIRED</b>	<b>7 SPACES</b>				
<b>ALLOWABLE FAR:</b>	1.0 FAR (19,840 SF)	<b>TOTAL PROVIDED SPACES</b>	<b>7 SPACES</b>				
<b>PROPOSED FAR:</b>	0.22 FAR	<b>(INCLUDES UP TO 25% COMPACT &amp; 1 VAN ACCESSIBLE SPACE)</b>					
<b>BUILDING HEIGHT:</b>	25' MAX PROPOSED	<b>VEHICLE STORAGE</b>					
<b>PROPOSED USE:</b>	VEHICLE STORAGE WAREHOUSE, OFFICE W/ ASSOCIATED PARKING AND ADDITIONAL OUTDOOR VEHICLE STORAGE	<b>OUTDOOR PROVIDED = 35 SPACES</b>	<b>(INCLUDES UP TO 25% COMPACT, AND DOUBLE/TRIPLE TANDEM)</b>				
<b>SETBACKS (REQUIRED):</b>	FRONT (10' LANDSCAPED SETBACK) / REAR (NONE) / SIDE (NONE)	<b>INDOOR PROVIDED = 8 SPACES (FOR POLICE INSPECTION)</b>	<b>(INCLUDES UP TO 25% COMPACT)</b>				
<b>SETBACKS (PROVIDED):</b>	FRONT (10' LANDSCAPED SETBACK) / REAR (NONE) / SIDE (NONE)						



1 SITE PLAN  
3/32" = 1'-0"

NOT FOR CONSTRUCTION

PROJECT NAME:  
**US TOW STORAGE FACILITY**  
1638 W 130TH ST,  
GARDENA, CA 90249

CLIENT:  
**MR. RAJ DHILLON**  
1638 W 130TH ST,  
GARDENA, CA 90249

DRAWING TITLE:  
**PROJECT SUMMARY, SITE PLAN**

PROJECT NUMBER: 2099

No.	Date	Description
1	12-28-2020	CONCEPT DESIGN
2	6-24-2021	CITY PLANNING REVISIONS

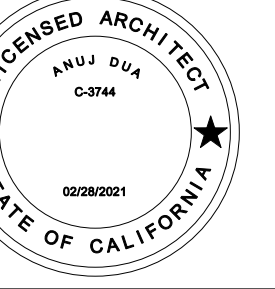
Date: 12-28-2020  
Drawn by: AD  
Checked by: AD

A-200

Scale: 3/32" = 1'-0"

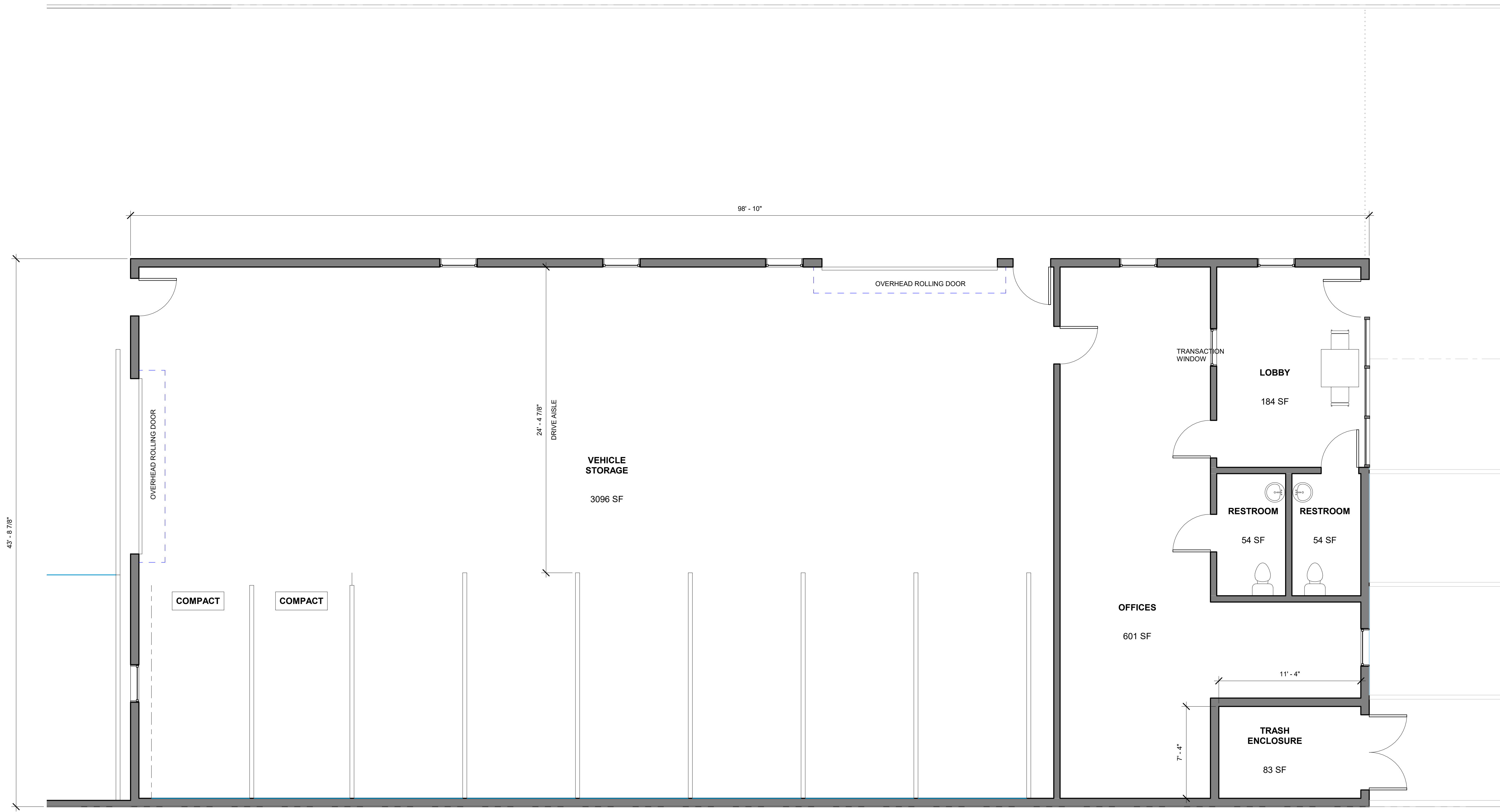
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Professional Seal:



Consultant:

Notes:



**1** FIRST FLOOR PLAN  
1/4" = 1'-0"

**NOT FOR CONSTRUCTION**

PROJECT NAME:  
**US TOW STORAGE FACILITY**  
1638 W 130TH ST,  
GARDENA, CA 90249

CLIENT:  
**MR. RAJ DHILLON**  
1638 W 130TH ST,  
GARDENA, CA 90249

DRAWING TITLE:  
**FIRST FLOOR PLAN**

PROJECT NUMBER: 2099

No.	Date	Description
1	12-28-2020	CONCEPT DESIGN
2	6-24-2021	CITY PLANNING REVISIONS

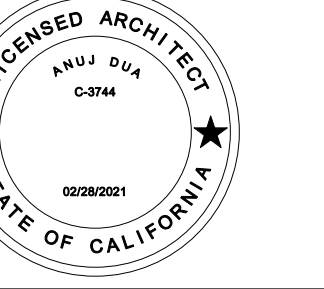
Date: 12-28-2020  
Drawn by: AD  
Checked by: AD

**A-201**

Scale: 1/4" = 1'-0"

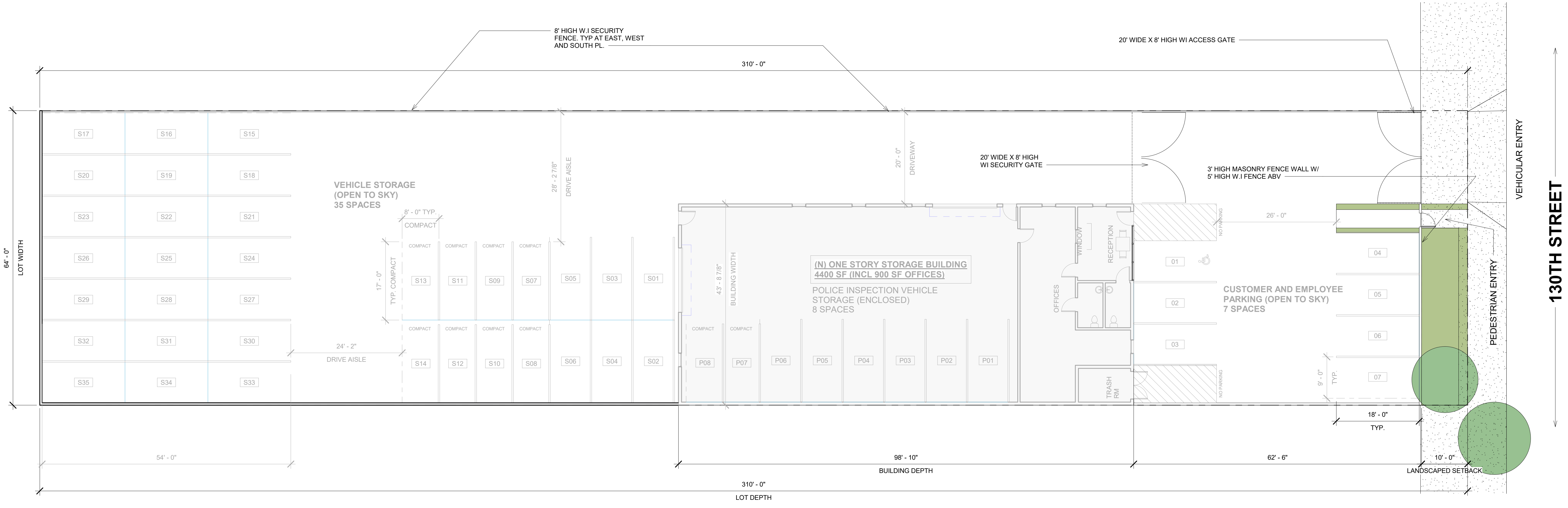
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Professional Seal:

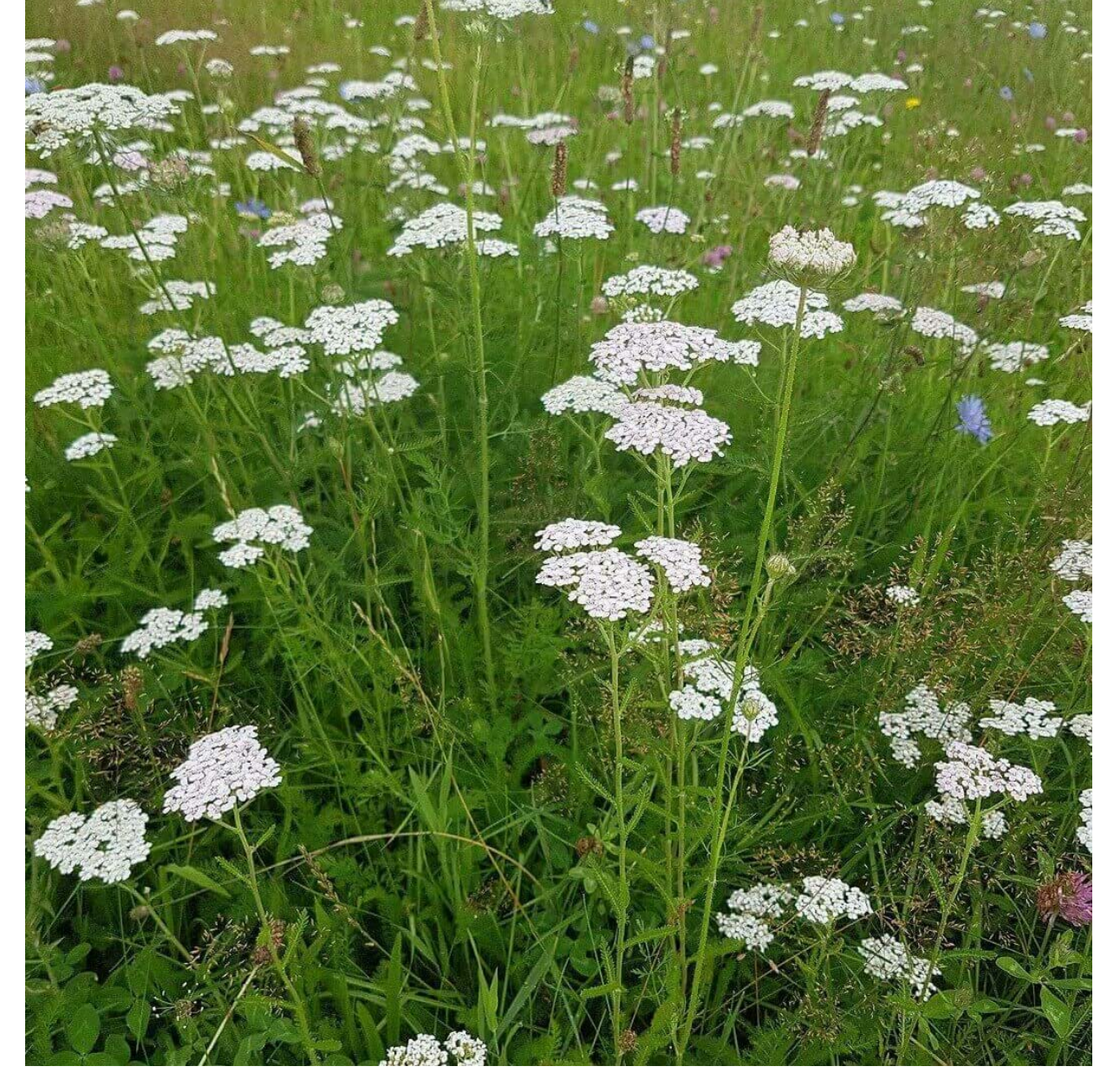


Consultant:

Notes:

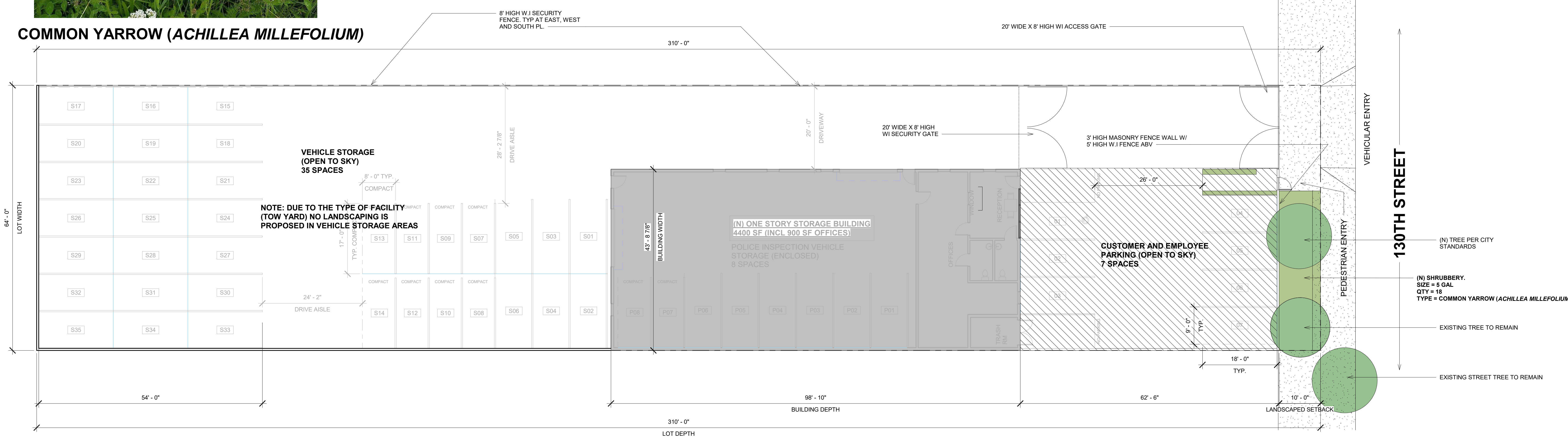


2 SECURITY PLAN  
3/32" = 1'-0"



**LANDSCAPE CALCULATIONS PER 18.40.090**  
PARKING AREA = 2,640 SF  
LANDSCAPING REQUIRED @5% = 132 SF  
LANDSCAPING PROVIDED (FRONT SETBACK) = 437 SF

COMMON YARROW (*ACHILLEA MILLEFOLIUM*)



1 LANDSCAPE PLAN  
3/32" = 1'-0"

NOT FOR CONSTRUCTION

PROJECT NAME:  
**US TOW STORAGE FACILITY**  
1638 W 130TH ST,  
GARDENA, CA 90249

CLIENT:  
**MR. RAJ DHILLON**  
1638 W 130TH ST,  
GARDENA, CA 90249

DRAWING TITLE:  
**LANDSCAPE PLAN, SECURITY PLAN**

PROJECT NUMBER: 2099

No.	Date	Description
1	12-28-2020	CONCEPT DESIGN
2	6-24-2021	CITY PLANNING REVISIONS

Date: 12-28-2020  
Drawn by: AD  
Checked by: AD

**A-202**

Scale: 3/32" = 1'-0"

## RSX2 LED Area Luminaire

**Specifications**

EPA (H=60'): 0.69 ft<sup>2</sup> (0.06 m<sup>2</sup>)  
 Length: 29.3" (74.4 cm) (SPA mount)  
 Width: 13.4" (34.0 cm)  
 Height: 3.0" (7.6 cm) Main Body  
 Weight (SPA mount): 30.0 lbs (13.6 kg)

### Ordering Information

**Accessories**

**External Shields**

- House Side Shield
- External Glare Shield
- External 360 Full View

### Photometric Diagrams

**Performance Diagrams**

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's RSX Area homepage.

### Ordering Information

EXAMPLE: RSX2 LED P6 40K R3 MVOLT SPA DDBXD

RSX2 LED	Performance Package	Color Temperature	Distribution	Voltage	Mounting
RSX2 LED	P1	30K	R2	MVOLT (DIN 277V)	SPA
	P2	40K	R3	RVOLT (247V 480V)	SPA
	P3	50K	R3	RVOLT (277V 480V)	SPA
	P4	30K	R3	RVOLT (247V 480V)	MA
	P5	30K	R3	RVOLT (247V 480V)	IS
	P6	30K	R3	RVOLT (247V 480V)	WBA
					WBAK
					ASAP
					AMP
					AMW
					AMC

**Options**

**Shipped Installed**

- IS - House side shield\*
- PE - Photometric beam type 1\*\*
- PEX - Photometric beam type 2\*\* (adjustable)\*\*
- PEZ - Same wide beam but receptacle only (no control)\*\*
- CS4 - Control entry 14" (3" x 2")
- SF - Single face (26, 27, 34)\*\*
- DF - Double face (28, 29, 48)\*\*
- SPDWHV - 200V lamp pack (11KV standard)
- SF8 - Field adjustable\*\*
- DMG - 0-10V dimming (used in conjunction with external control system or dimmer controller)\*\*
- BS - Dual switching\*\*

**Shipped Installed**

- STAND - Standalone and Networked Sensors/Controls (factory default settings, see table page)
- NSLR - Night Light sensor (1" x 1" x 1" x 1")\*\*
- PIBR - Photoresistor (1" x 1" x 1" x 1")\*\* (used with NSLR)
- BAA - Bay Area (1" x 1" x 1" x 1")\*\*

\*Note: PEX with light kit can be used as a standard dimming sensor with out of box settings or as a wireless networked sensor. See factory default settings table. Sensor coverage is shown in the sensor sensor table.

\*\*Shipped separately requires some field assembly!

- ES - External sensor
- ESV - External sensor with 120° aimed light aperture\*
- IS - Inlet spikes\*\*

### Round Tension Mount - Pole Top Splicers

Height	1/2" (12.7)	1/4" (6.35)	1/8" (3.175)	1/4" (6.35)	1/2" (12.7)	3/4" (19.05)
2'-0" (610mm)	AS1390	AS1390	AS1390	AS1390	AS1390	AS1390
2'-10" (610mm)	AS1390	AS1390	AS1390	AS1390	AS1390	AS1390
3'-0" (914mm)	AS1390	AS1390	AS1390	AS1390	AS1390	AS1390

**Drill/Side Location by Configuration Type**

Mounting System	Height	1/2" (12.7)	1/4" (6.35)	1/8" (3.175)	1/4" (6.35)	1/2" (12.7)	3/4" (19.05)
IS - Inlet Spikes	2'-0"	AS1390	AS1390	AS1390	AS1390	AS1390	AS1390
ASAP - Adjustable Side Arm	2'-0"	AS1390	AS1390	AS1390	AS1390	AS1390	AS1390
AMP - Adjustable Mount Pole	2'-0"	AS1390	AS1390	AS1390	AS1390	AS1390	AS1390

**RSX2 - Luminaire EPA**

Fixture Quantity & Mounting Configuration	1.5m	2.1m	2.7m	3.3m	3.9m	4.5m	5.1m	5.7m
IS - Inlet Spikes	1.1	1.2	1.3	1.4	1.5	1.6	1.7	1.8
ASAP - Adjustable Side Arm	1.1	1.2	1.3	1.4	1.5	1.6	1.7	1.8
AMP - Adjustable Mount Pole	1.1	1.2	1.3	1.4	1.5	1.6	1.7	1.8

### Performance Data

**Lumen Ambient Temperature (LAT) Multipliers**

Ambient Temp (°C)	25°C	30°C	35°C	40°C	45°C	50°C	55°C	60°C
Multiplier	1.000	0.982	0.964	0.946	0.928	0.910	0.892	0.874

**Electrical Load**

Reference Voltage	Substrate (V)	100V	200V	240V	277V	480V	600V
P1	77W	0.09	0.34	0.30	0.26	1.20	0.15
P2	117W	0.09	0.34	0.30	0.26	1.20	0.15
P3	147W	1.23	0.70	0.63	0.53	1.42	0.17
P4	167W	1.24	0.69	0.62	0.48	1.43	0.18
P5	217W	1.75	1.01	0.87	0.74	1.80	0.18
P6	247W	1.95	1.17	1.01	0.88	1.92	0.21

**Projected LED Lumen Maintenance**

Operating Hours	50,000	75,000	100,000
0	100%	100%	100%
1000	90%	95%	100%
2000	80%	85%	95%
3000	70%	75%	85%
4000	60%	65%	75%
5000	50%	55%	65%
6000	40%	45%	55%
7000	30%	35%	45%
8000	20%	25%	35%
9000	10%	15%	25%
10000	5%	10%	20%

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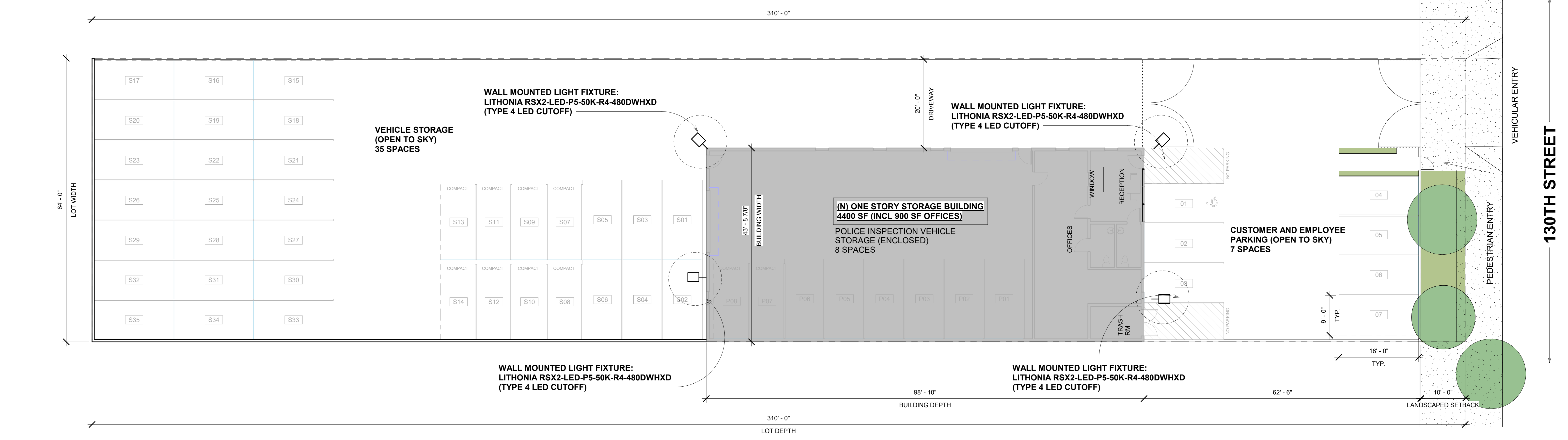
# SPAD architects

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 CONTACT: Anuj Dua  
 (adua@spadarch.com)

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Professional Seal: [Seal of Anuj Dua, Licensed Architect, State of California]

Notes:



**NOT FOR CONSTRUCTION**

PROJECT NAME:  
**US TOW STORAGE FACILITY**

1638 W 130TH ST,  
 GARDENA, CA 90249

CLIENT:  
**MR. RAJ DHILLON**

1638 W 130TH ST,  
 GARDENA, CA 90249

DRAWING TITLE:  
**LIGHTING PLAN**

PROJECT NUMBER: 2099

No.	Date	Description
1	12-28-2020	CONCEPT DESIGN
2	6-24-2021	CITY PLANNING REVISIONS

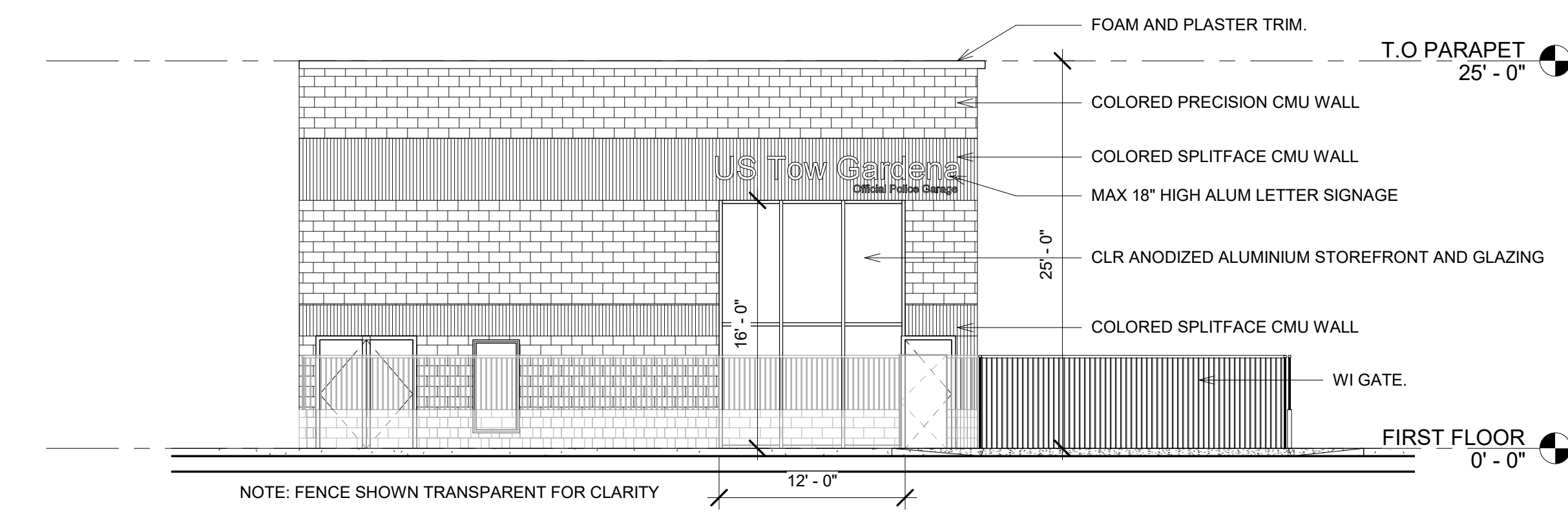
Date: 12-28-2020  
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 Checked by: Checker

Scale: 3/32" = 1'-0"

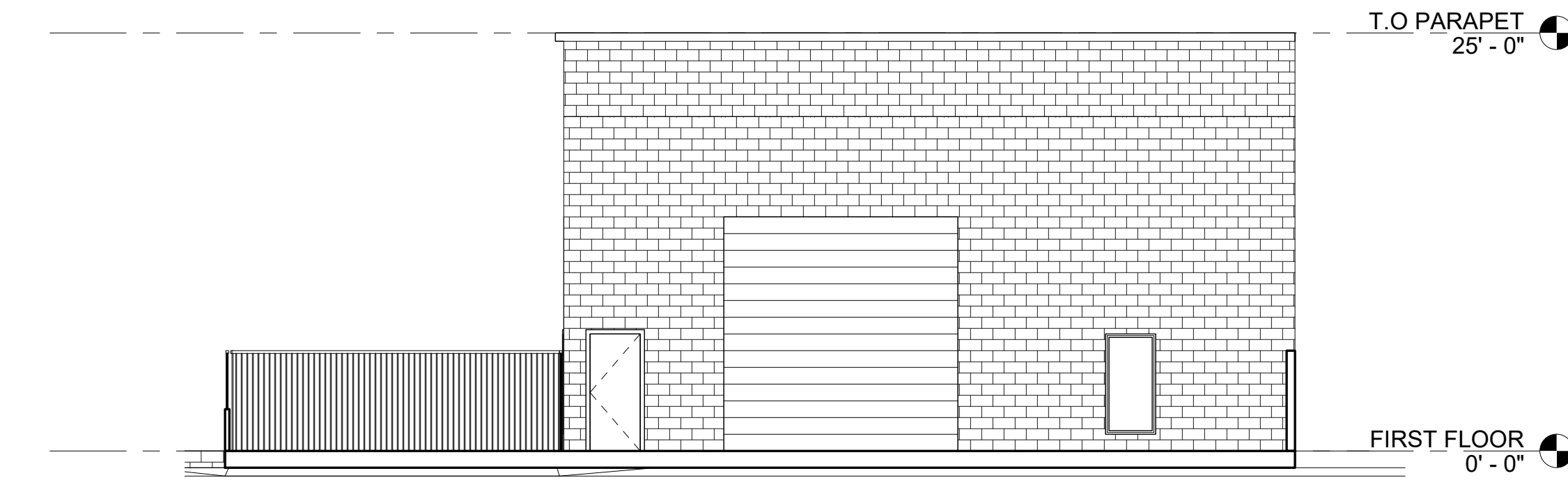
1 LIGHTING PLAN  
 3/32" = 1'-0"

A-203

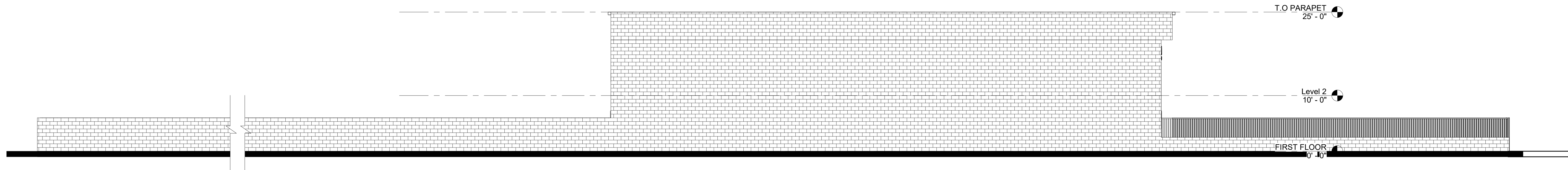
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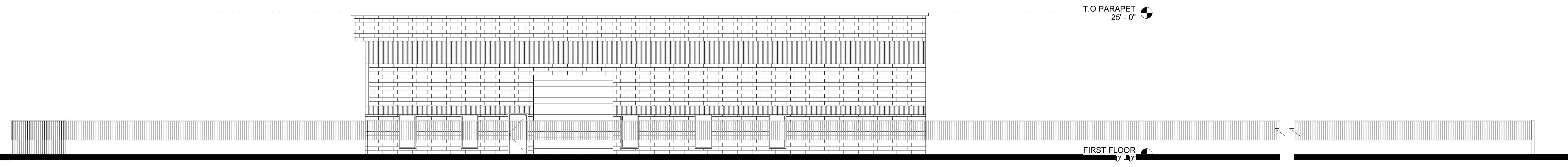
**1 NORTH ELEVATION**  
1/8" = 1'-0"



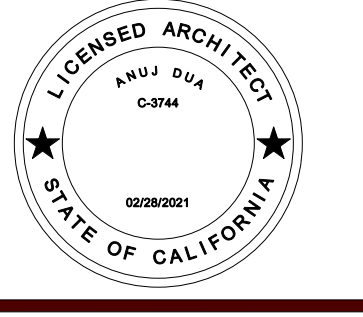
**2 SOUTH ELEVATION**  
1/8" = 1'-0"



**3 EAST ELEVATION**  
1/8" = 1'-0"



**4 WEST ELEVATION**  
1/8" = 1'-0"



**NOT FOR CONSTRUCTION**

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1638 W 130TH ST,  
GARDENA, CA 90249

CLIENT:  
**MR. RAJ DHILLON**  
1638 W 130TH ST,  
GARDENA, CA 90249

DRAWING TITLE:  
**ELEVATIONS / RENDERING**

No.	Date	Description
1	12-28-2020	CONCEPT DESIGN
2	6-24-2021	CITY PLANNING REVISIONS

Date: 12-28-2020  
Drawn by: AD  
Checked by: AD

**A-300**

Scale: 1/8" = 1'-0"