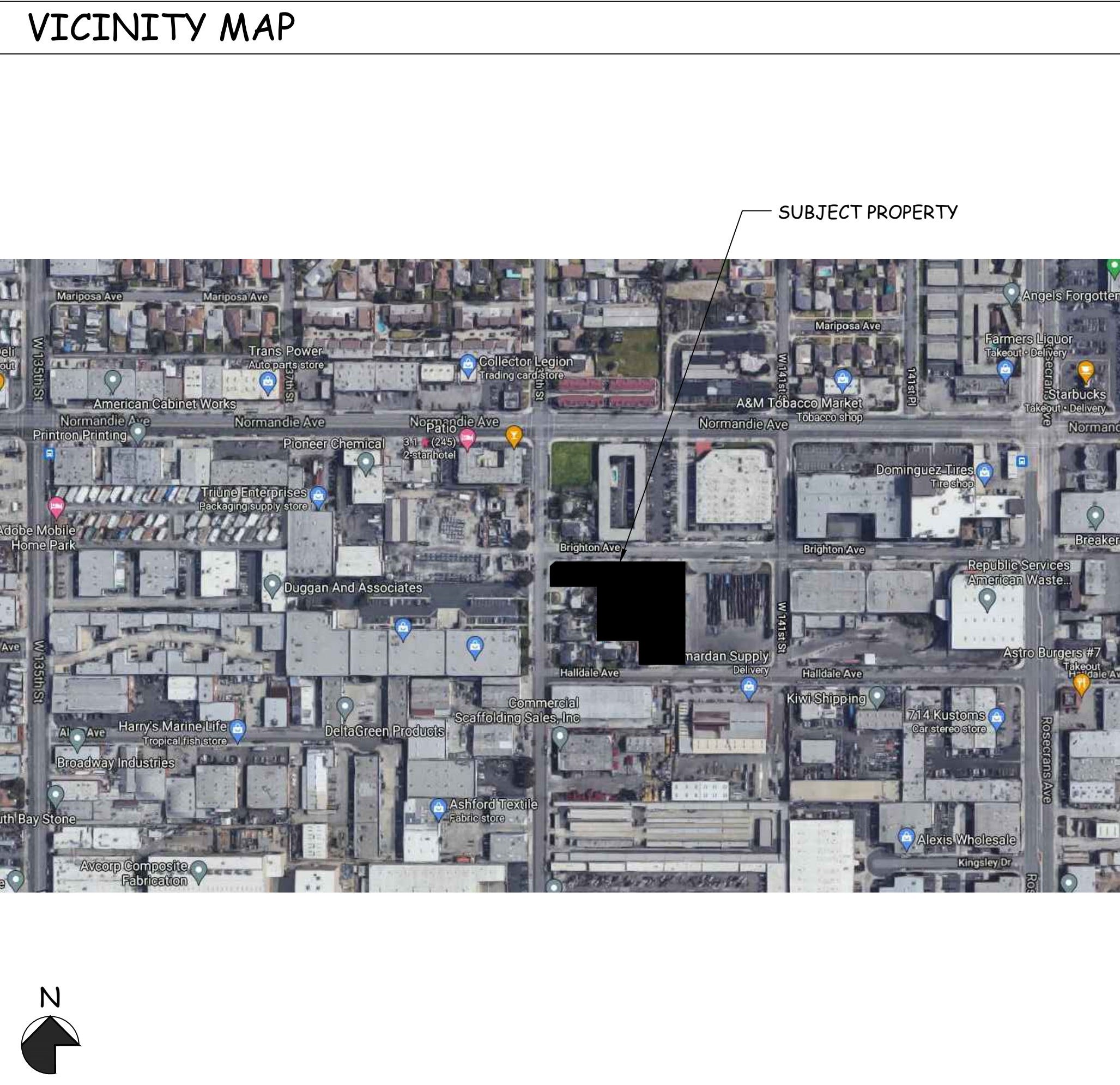


SYMBOLS	
	DETAIL NUMBER SHEET NUMBER (BLANK IF SAME SHEET)
	ELEVATION/SECTION NUMBER SHEET NUMBER (BLANK IF SAME SHEET)
	ROOM NAME AND NUMBER
	DOOR NUMBER
	WINDOW NUMBER
	KEYNOTE
	REVISION REFERENCE
	DIMENSION LINE - NUMBER TO LEFT OR TOP OF LINE
	CENTERLINE DIMENSION, ELEVATION FLOOR HEIGHT, FINISH INDICATOR LINE
	BREAK IN LINE, DETAIL OR DIMENSION
	FLOORS, CEILING LINE (ELEVATIONS, SECTIONS)
	ALIGN FINISHED SURFACE
	FIRE EXTINGUISHER CABINET
	GRID LINE REFERENCE: NUMBERS SHALL RUN HORIZONTALLY AND LETTERS RUN VERTICALLY IN GRID PATTERN
	OCCUPANCY LOAD OCCUPANCY FACTOR OCCUPANCY GROUP
	WALL TYPE TYPE DESIGNATION. SEE A8.01
	STUD SIZE 1x4 2x4
	REQUIRED RATINGS - SEE THE HOT REQUIREMENTS - 1 1/2 - 1 3/4
	NORTH ARROW
	PROPERTY LINE
	INT. ELEV. REFERENCE
	SMOKE DETECTOR
	EMERGENCY EXIT SIGN

ARCHITECTURAL ABBREVIATIONS			
A/C	AIR CONDITIONING	JAN.	JANITOR
A.C.	AIR CONDITIONING	JT.	JOINT
AD.	ACoustical	KIT.	KITCHEN
ADJ.	ADJACENT	LAM.	LAMINATE
ADJUST.	ADJUSTABLE	LAW.	LAWYER
A.F.F.	ABOVE FINISH FLOOR	LBS.	POUNDS
ALUM.	ALUMINUM	LFT.	LEFT HAND
AMP.	AMPERE	LIT.	LIGHT
APPROX.	APPROXIMATE	MAINT.	MAINTENANCE
ARCH.	ARCHITECTURAL	MAS.	MASONRY
BD.	BOARD	MATL.	MATERIAL
BLDG.	BUILDING	MAX.	MAXIMUM
BLK.	BLOCK	MECH.	MECHANICAL
BLOCKING	BLOCKING	MFR.	MANUFACTURER
BOT.	BOTTOM	MISC.	MISCELLANEOUS
CAB.	CABINET	MUWK.	MUWIKING
C.B.	CORNER BEAD	MOUNTED	MOUNTED
CEM.	CEMENT	MULL.	MULLION
C.E.	CLEAR OPENING	N.	NORTH
CLOS.	CLOSET	N.C.	NOT IN CONTRACT
CLR.	CLEAR	NO.	NUMBER
CLR. OPEN.	CLEAR OPENING	NORM.	NORMAL
COL.	COLUMN	N.T.S.	NOT TO SCALE
CONC.	CONCRETE	O.C.	ON CENTER
CONN.	CONNECTION	O.D.	OUTSIDE DIAMETER
CONT.	CONTINUOUS	OPNG.	OPENING
CONTR.	CONTRACTOR	OPP.	OPPOSITE
COORR.	CORRIDOR	PL.	PLATE
CORR.	CORNER	P.LAM.	PLASTIC LAMINATE
C.T.	CERAMIC TILE	PLAS.	PLASTER
CTR.	CENTER	PLUMB.	PLUMBING
CW	COLD WATER	PLYWD.	PLYWOOD
D.	DEEP	PNL.	PANEL
DBL.	DOUBLE	PR.	PROJECTION
DEPT.	DEDICATED	PTIL.	PARTITION
DEPT.	DEPARTMENT	R.	RISER
DIAM.	DIAMETER	RAD.	RADIUS
DIAG.	DIAGONAL	REF.	REFERENCE
DIM.	DIMENSION	REFR.	REFRIGERATOR
DN.	DOWN	REINFC.	REINFORCED
DR.	DOOR	REQ'D.	REQUIRED
DR.	DRY STAND PIPE	RESUL.	RESULTANT
DRAWING	DRAWING	R.H.	RIGHT HAND
DWR.	DRAWER	RM.	ROOM
E.	EAST	R.O.	ROUGH OPENING
EACH	EACH	R.Y.S.B.	REAR YARD SETBACK
ELEV.	ELEVATION	S.	SOUTH
ELEC.	ELECTRIC	S.C.	SOLID CORE
EL.	ELEVATOR	SCHED.	SCHEDULE
ELI.	ELECTRIC	SECT.	SECTION
EXIST.	EXISTING	SEPAR.	SEPARATE
EXP.	EXPANSION	SHT.	SHEET
EXP'D.	EXPOSED	SM.	SMALL
EXT.	EXTERIOR	SPEC.	SPECIFICATION
F.D.	FLOOR DRAIN	S.Q.	SQUARE
F.F.	FIRE EXTINGUISHER CABINET	S.S.	STAINLESS STEEL
F.H.C.	FIRE HOSE CABINET	STD.	STANDARD
F.I.	FINISH	STG.	STAGGERED
FLUR.	FLOOR	STR.	STRUCTURE
F.L.	FLOUORESCENT	SUSP.	SUSPENDED
F.O.F.	FACE OF COLUMN	SYM.	SYMMETRICAL
F.O.F.	FACE OF FINISH	S.Y.S.B.	SIDE YARD SETBACK
F.O.M.	FACE OF MASONRY	T.	TREAD
F.O.S.	FACE OF STUD	TEL.	TELEPHONE
F.S.	FOOT OR FEET	TEMP.	TEMPERED
FURN.	FURNITURE	T&G	TONGUE AND GROOVE
F.Y.S.B.	FRONT YARD SETBACK	T.O.W.	TOP OF WALL
GAL.	GALLON	TYP.	TYPICAL
GALV.	GALVANIZED	UNF.	UNFINISHED
G.C.	GENERAL CONTRACTOR	UNL.	UNLESS NOTED OTHERWISE
G.C.I.	GROUND FAULT INTERRUPT	U.O.N.	UNLESS OTHERWISE NOTED
GLZ.	GLAZING	V.	VOLTS
GRD.	GROUND	V.C.T.	VERTICAL COMPOSITION TILE
GYP.	GYP-SUM	VEST.	VESTIBULE
GYP.	GYP-SUM	V.F.T.	VERIFY IN FIELD
GYPSUM	GYPSUM	W.	WEST
GYPSUM WALLBOARD	GYPSUM WALLBOARD	W.C.	WITH WATER CLOSET
H.	HIGH	W.D.	WOOD
H.C.	HOLLOW CORE	W.H.	WOOD HEATER
H.C.	HOLLOW CORE	W/O	WITHOUT
H.W.D.	HARDWOOD	WP.	WATERPROOF
H.M.	HOLLOW METAL	W.R.	WATER RESISTANT
HORIZ.	HORIZONTAL	WT.	WEIGHT
HR.	HOUR		
H.T.	HEIGHT		
H.V.A.C.	HEATING, VENTILATION & AIR CONDITIONING		
HW	HOT WATER		
I.D.	INSIDE DIAMETER		
IN.	INCH		
INSUL.	INSULATION		
INT.	INTERIOR		

CONSTRUCTION OF (7) NEW 50'X98' 5-A-SIDE SOCCER FIELDS, CONVERT EXISTING OFFICE SPACE TO CAFE USE & REMODEL OF EXISTING OFFICE BUILDING

LOCATED AT
14000 HALLDALE AVENUE
GARDENA, CA 90249



PROJECT DIRECTORY	
OWNER SAN JOSE UNIFIED SCHOOL DISTRICT CONTACT: AMY RUFFO TEL: (408) 835-6200 EMAIL: ARUFFO@STJUSD.ORG	LANDSCAPE ARCHITECT COURTLAND STUDIO LLC DBA PAUL A. LEWIS LANDSCAPE ARCHITECT 13351-D RIVERSIDE DR, SUITE 445 SHERMAN OAKS, CA 91423 CONTACT: PAUL LEWIS TEL: (818) 788-9382 EMAIL: PL91423@GMAIL.COM
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VICINITY MAP	
SHEET INDEX	
ARCHITECTURAL	A0 PROJECT INFORMATION A1 EXISTING-DEMO OVERALL SITE PLAN A2 EXISTING BUILDING FIRST & SECOND FLOOR PLANS A3 PROPOSED OVERALL SITE PLAN A4 ENLARGED SITE PLAN - TYPICAL SOCCER FIELD PLAN A5 PROPOSED TYPICAL SOCCER FIELD ELEVATIONS A6 PROPOSED BUILDING FIRST FLOOR PLAN & EXISTING ROOF PLAN A7 EXISTING & PROPOSED BUILDING ELEVATIONS A8 PROPOSED SITE LIGHTING, SECURITY & SIGNAGE PLAN
LANDSCAPE	L10 PROPOSED LANDSCAPE PLAN
PROJECT INFORMATION	
ZONING INFORMATION	LEGAL DESCRIPTION
M-1 INDUSTRIAL ZONE	TR-4744 EX OF ST LOTS 22, 23, 38 E 72.75 FT LOT 39, EX OF STS E 1/2 OF LOT 21
ASSESSOR PARCEL NUMBERS	6102-020-021 (LOS ANGELES COUNTY)
APPLICABLE CODES:	2019 CALIFORNIA BUILDING CODE 2019 CALIFORNIA ENERGY CODE 2019 CALIFORNIA GREEN BUILDING STANDARD CODE 2019 CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA ELECTRICAL CODE 2019 CALIFORNIA PLUMBING 2019 CALIFORNIA FIRE CODE 2021 CITY OF GARDENA ZONING CODE
DESCRIPTION OF WORK:	1. PROPOSED (7) 50'-0" X 98'-0" SOCCER FIELDS. 2. CONVERT EXISTING OPEN OFFICE AREA TO A NEW CAFE. 3. REMODEL OF EXISTING RESTROOMS TO BE ACCESSIBLE COMPLIANT. 4. MINOR REMODEL OF EXISTING OFFICE BUILDING.

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Architect/Engineer Of Record:

**CONDITIONAL USE PERMIT
SUBMITTAL SET**

PROJECT
LAB FIVE SOCCER @ GARDENA

Sheet Title
PROJECT INFORMATION

Scale: N/A	Job # 20210223-04
Drawn By: CW	AO
Chkd By:	
Date Printed: 05/28/2021	

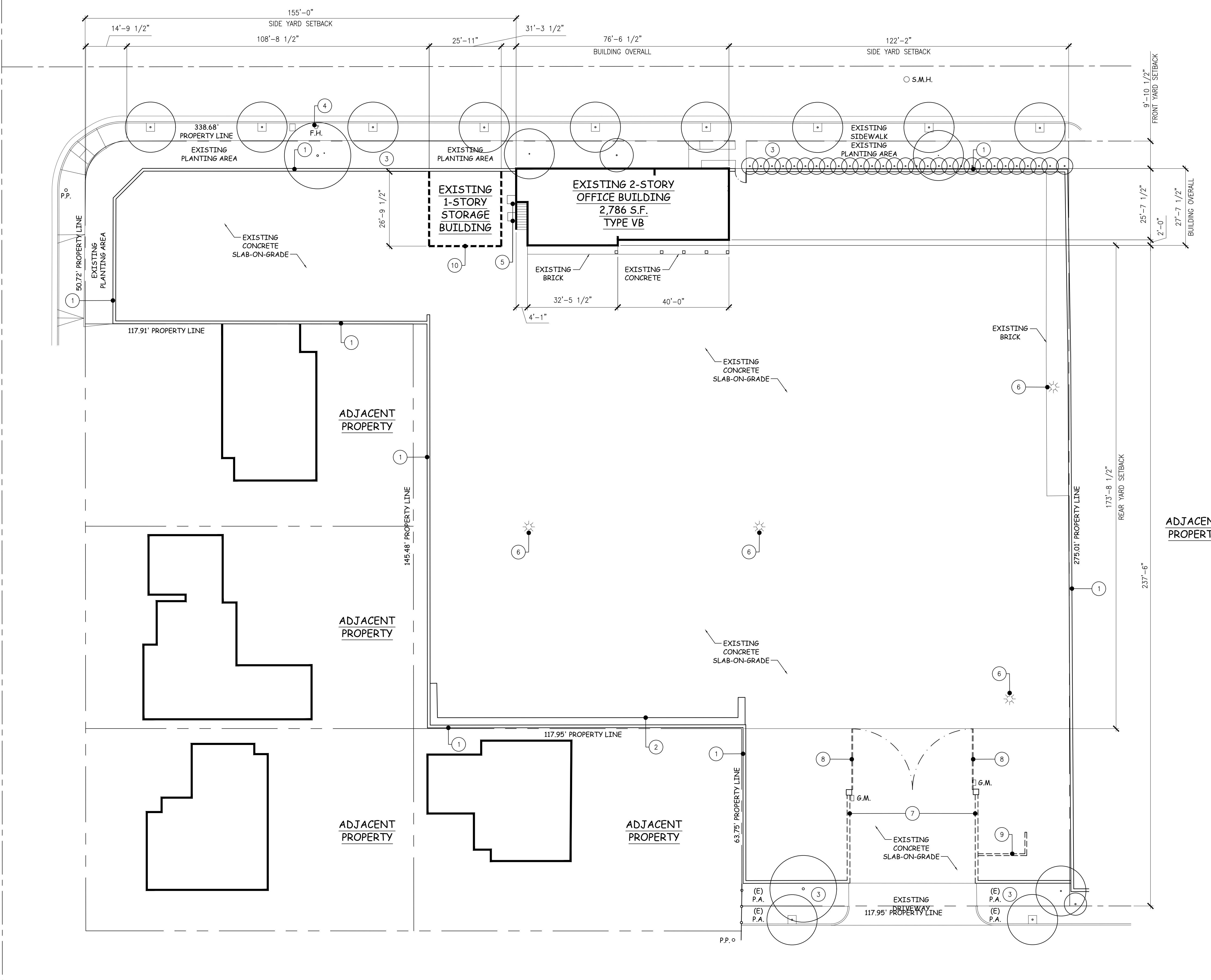
SITE & BUILDING STATISTICS:			
	CODE REQUIREMENT	EXISTING	PROPOSED
PROJECT LOT AREA		65,040 S.F. (1.5 ACRES)	EXISTING TO REMAIN (NO CHANGE)
BUILDING CONSTRUCTION TYPE		V-B	EXISTING TO REMAIN (NO CHANGE)
BUILDING FLOOR AREA:		FIRST FLOOR 816 S.F.	1,970 S.F.
		SECOND FLOOR	816 S.F.
		TOTAL	2,786 S.F. (EXISTING TO REMAIN, NO CHANGE)
BUILDING SETBACKS	GMC INDUSTRIAL ZONE SUMMARY		
FRONT	10'-0" MIN.	±9'-10 1/2"	EXISTING TO REMAIN (NO CHANGE)
SIDE - NORTH	5'-0" MIN.	±155' -"	EXISTING TO REMAIN (NO CHANGE)
SIDE - SOUTH	5'-0" MIN.	±122'-2"	EXISTING TO REMAIN (NO CHANGE)
REAR		±173'-8 1/2"	EXISTING TO REMAIN (NO CHANGE)
HEIGHT	GMC INDUSTRIAL ZONE SUMMARY		
BUILDING	MAXIMUM ALLOWABLE: 65'-0"	±24'-3"	EXISTING TO REMAIN
SOCCER FIELDS	MAXIMUM ALLOWABLE: 65'-0"	20'-0"	EXISTING TO REMAIN
NUMBER OF STORY: BUILDING		2 STORY	EXISTING TO REMAIN
USE - OCCUPANCY: BUILDING		B (BUSINESS)	EXISTING TO REMAIN (NO CHANGE)

PARKING ANALYSIS*		
PER CITY OF GARDENA ZONING CODE SECTION 18.40.050.B. OFFICE USE REQUIRES (1) PARKING SPACE PER EACH 300 S.F. OF GROSS BUILDING AREA.		
REQUIRED PARKING SPACES:		
BUILDING	2,786 S.F. / 300 S.F.	=9 PARKING SPACES
SOCCER FIELDS	10 PARKING SPACES/FIELD X 7	=70 PARKING SPACES
	TOTAL REQUIRED	=79 PARKING SPACES
	TOTAL PROVIDED ON SITE:	=40 PARKING SPACES (2 ACCESSIBLE, 8 COMPACT [20%], 30 STANDARD)

*SEE ATTACHED PARKING STUDY PROVIDED BY WALKER CONSULTANTS DATED 5/28/2021 FOR MORE PARKING ANALYSIS AND FINDINGS.

BRIGHTON AVENUE

139TH STREET



SITE PLAN KEYNOTES:

- 1 EXISTING 10'-0" HIGH CMU PROPERTY WALL TO REMAIN
- 2 EXISTING 10'-0" HIGH CONCRETE WALL TO REMAIN
- 3 EXISTING PLANTING AREA TO REMAIN
- 4 EXISTING FIRE HYDRANT TO REMAIN
- 5 EXISTING HVAC UNIT TO REMAIN
- 6 EXISTING LIGHT POLE TO BE DEMOLISHED
- 7 EXISTING 10'-0" HIGH CMU BLOCK WALL TO BE DEMOLISHED
- 8 EXISTING SWINGING METAL GATES TO BE DEMOLISHED
- 9 EXISTING TRASH ENCLOSURE WALL TO BE DEMOLISHED
- 10 EXISTING STORAGE BUILDING TO BE DEMOLISHED

SITE PLAN NOTES:

1. SAWCUT EXISTING CONCRETE SLAB-ON-GRADE AS REQUIRED FOR PROPOSED FOOTING AND CONCRETE CURB.



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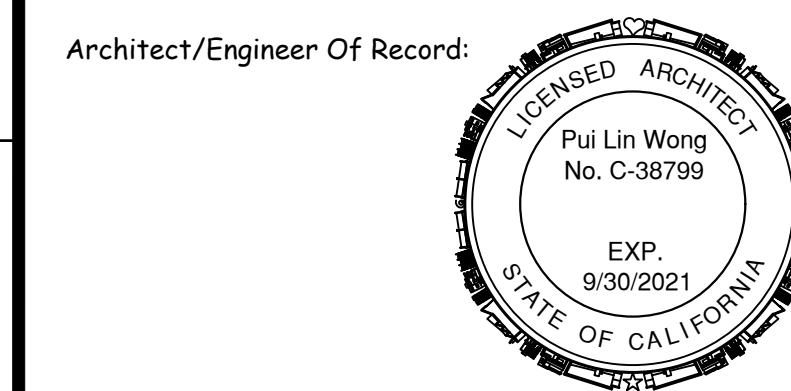
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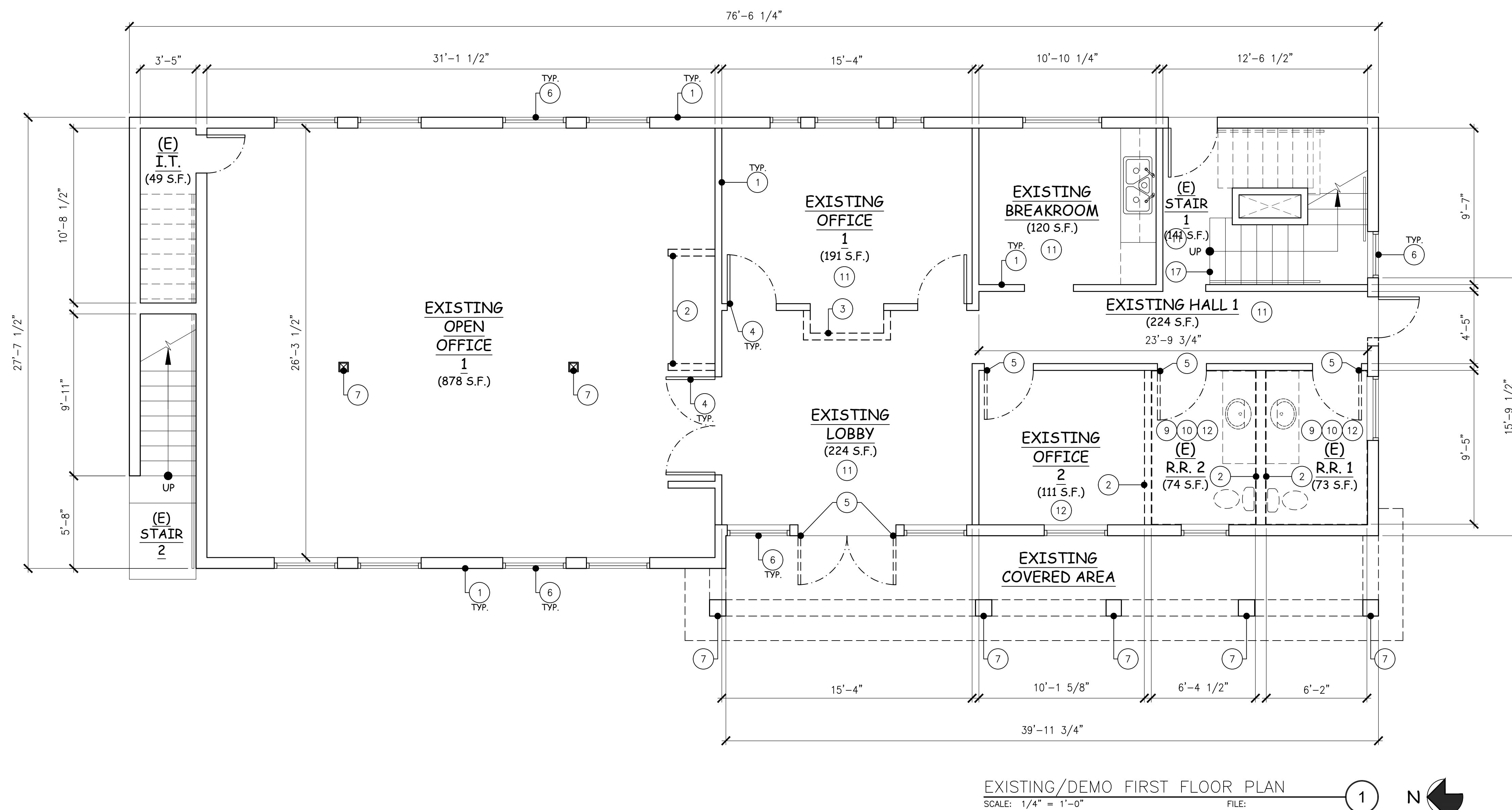
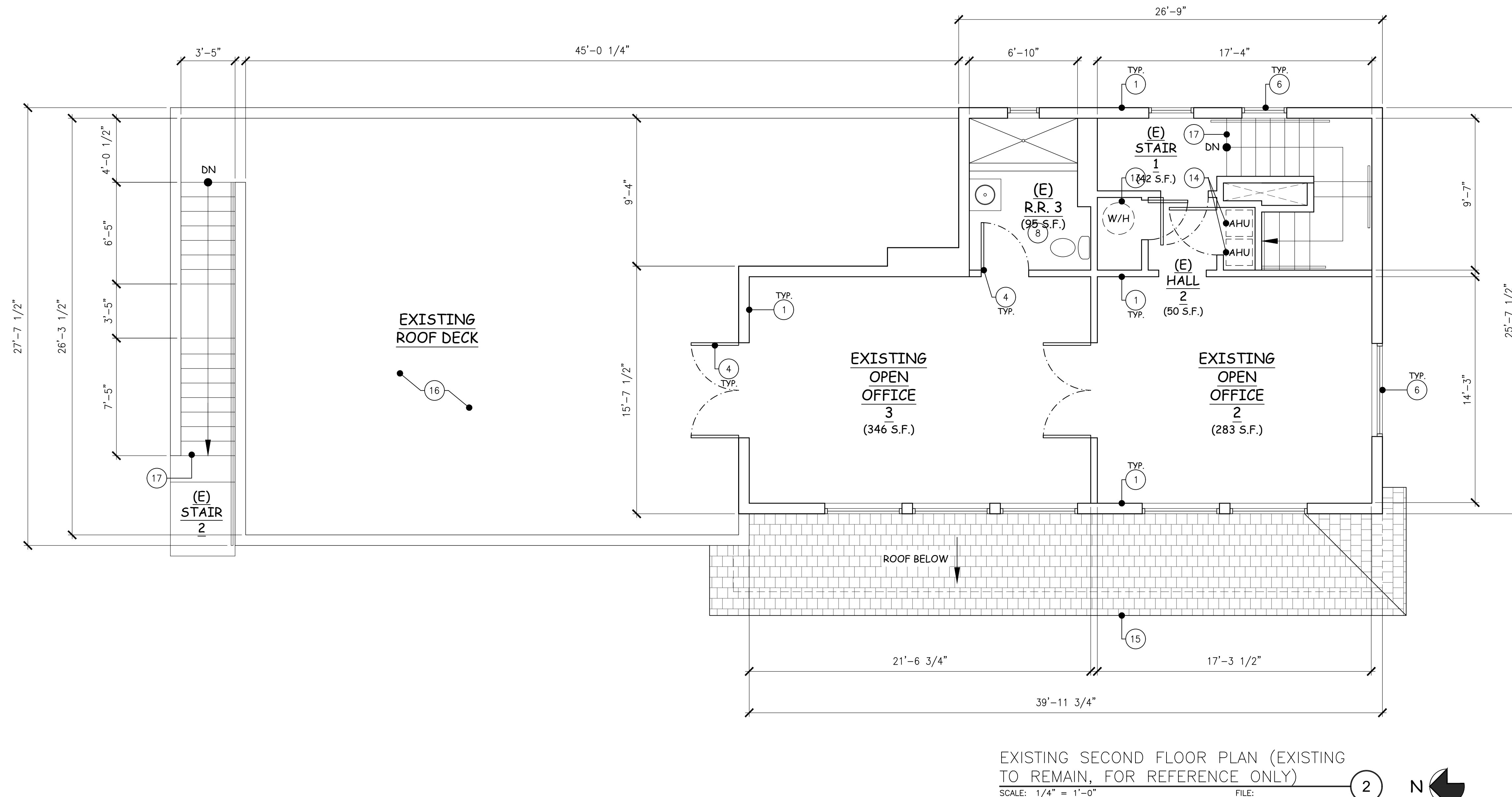
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PROJECT
LAB FIVE SOCCER @ GARDENA

Sheet Title
EXISTING/DEMO SITE PLAN

Scale: 1/16" = 1'-0"	Job #: 20210223-04
Drawn By: CW	A1
Chkd By:	
Date Printed: 05/28/2021	

EXISTING/DEMO OVERALL SITE PLAN
SCALE: 1/16" = 1'-0" FILE: 1 N



PLAN LEGEND:

- EXISTING WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN

PLAN KEYNOTES:

- ① EXISTING WALL TO REMAIN
- ② EXISTING WALL TO BE REMOVED
- ③ EXISTING WALL TO BE REMOVED TO 32" A.F.F.
- ④ EXISTING DOOR TO REMAIN
- ⑤ EXISTING DOOR TO BE REMOVED
- ⑥ EXISTING WINDOW TO REMAIN
- ⑦ EXISTING COLUMN TO REMAIN
- ⑧ EXISTING PLUMBING FIXTURES TO REMAIN
- ⑨ EXISTING PLUMBING FIXTURES TO BE REMOVED, CAP EXISTING PIPES AS NEEDED
- ⑩ EXISTING GRANITE WAINSCOTING TO BE REMOVED
- ⑪ EXISTING TILE FLOOR TO REMAIN
- ⑫ EXISTING TILE FLOOR TO BE REMOVED
- ⑬ EXISTING WATER HEATER TO REMAIN
- ⑭ EXISTING AIR HANDLING UNITS TO REMAIN
- ⑮ EXISTING ROOF TO REMAIN AS-IS
- ⑯ EXISTING ROOF DECK TO REMAIN AS-IS
- ⑰ EXISTING STAIRS TO REMAIN



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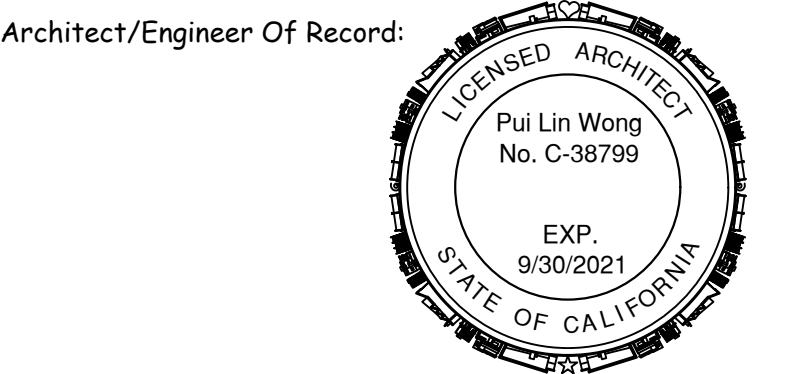
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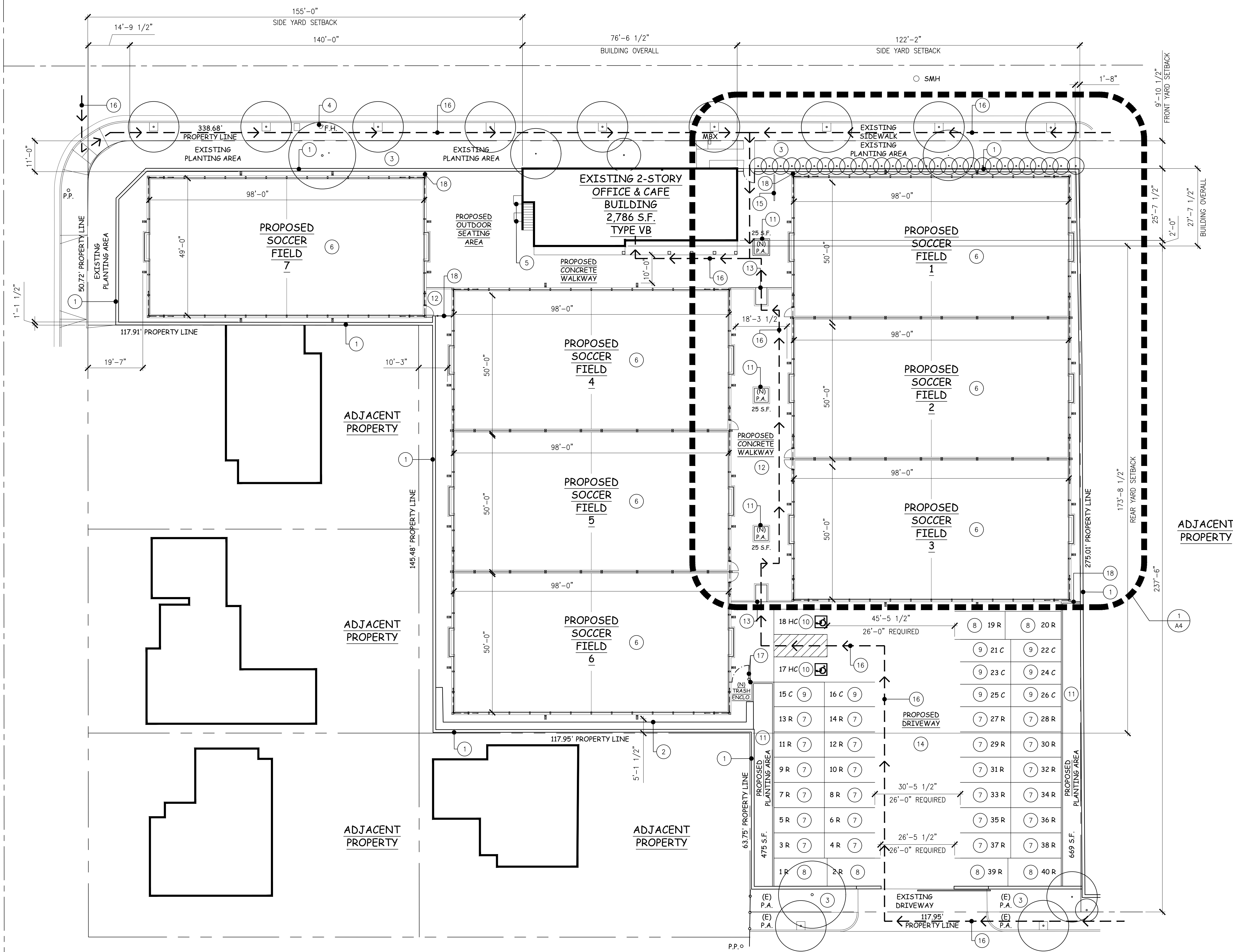
PROJECT
LAB FIVE SOCCER @ GARDENA

Sheet Title
EXISTING/DEMO FIRST FLOOR PLAN & EXISTING SECOND FLOOR PLAN (FOR REFERENCE ONLY)

Scale: 1/4" = 1'-0" Job #: 20210223-04
Drawn By: CW
Chkd By:
Date Printed: 05/28/2021

139TH STREET

BRIGHTON AVENUE



HALLDALE AVENUE

SITE PLAN KEYNOTES:

- ① EXISTING 10'-0" HIGH CMU PROPERTY WALL TO REMAIN
- ② EXISTING 10'-0" HIGH CONCRETE WALL TO REMAIN
- ③ EXISTING PLANTING AREA TO REMAIN
- ④ EXISTING FIRE HYDRANT TO REMAIN
- ⑤ EXISTING HVAC UNIT TO REMAIN
- ⑥ PROPOSED SOCCER FIELD, 7 TOTAL
- ⑦ PROPOSED 9'-0" X 18'-0" STANDARD PARKING SPACE
- ⑧ PROPOSED 10'-0" X 20'-0" STANDARD PARKING SPACE
- ⑨ PROPOSED 8'-0" X 18'-0" COMPACT PARKING SPACE
- ⑩ PROPOSED 9'-0" X 18'-0" ACCESSIBLE PARKING SPACE
- ⑪ PROPOSED 5'-0" X 5'-0" PLANTING AREA
- ⑫ PROPOSED CONCRETE WALKWAY
- ⑬ PROPOSED ACCESSIBLE CURB RAMP @ 1:12 SLOPE MAX.
- ⑭ PROPOSED DRIVEWAY
- ⑮ PROPOSED LOCATION OF POTENTIAL BIKE RACK FOR (11) BICYCLE PARKING SPACES
- ⑯ PATH OF TRAVEL FROM PUBLIC RIGHT-OF-WAY
- ⑰ PROPOSED 6'-0" HIGH CHAIN-LINK FENCE TRASH ENCLOSURE WITH A 6'-0" WIDE SWINGING GATE
- ⑱ PROPOSED 6'-0" HIGH CHAIN-LINK FENCE



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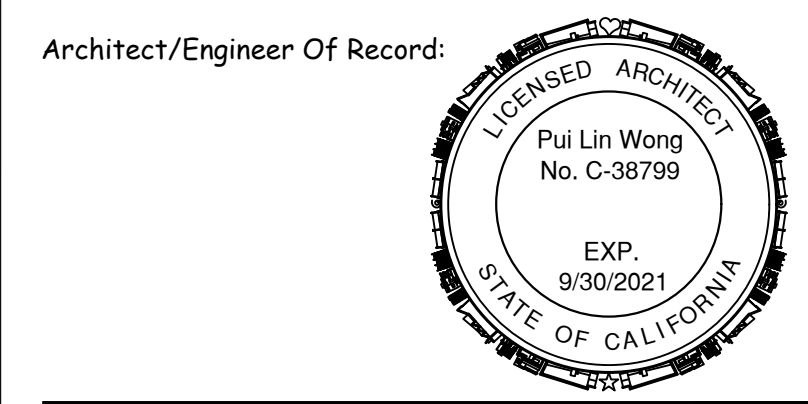
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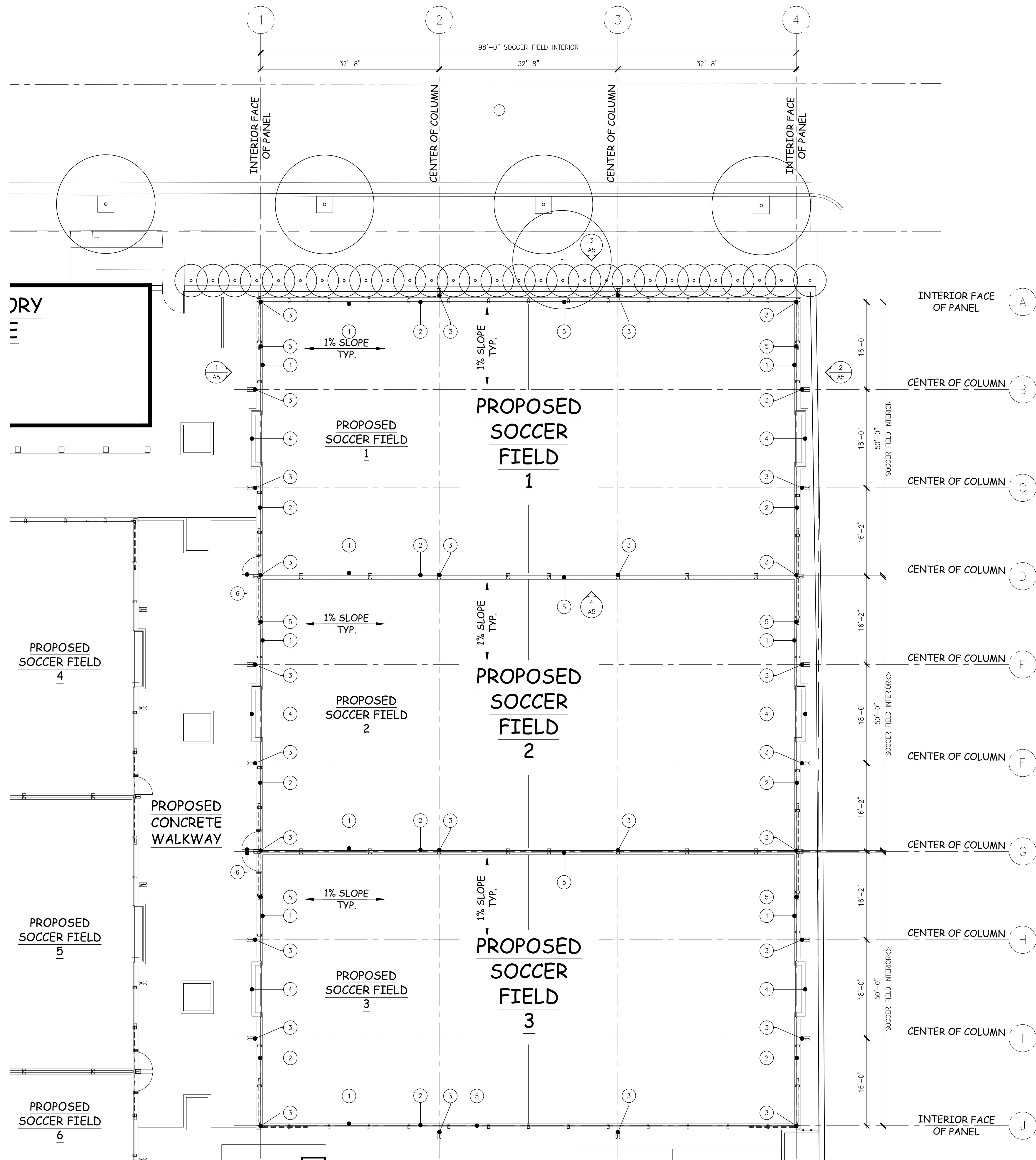


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PROJECT
LAB FIVE SOCCER @ GARDENA

Sheet Title
PROPOSED OVERALL SITE PLAN

Scale: 1/16" = 1'-0"	Job # 20210223-04
Drawn By: CW	A3
Chkd By:	
Date Printed: 05/28/2021	



PROPOSED ENLARGED SITE PLAN -
TYPICAL SOCCER FIELDS (#4-7 SIMILAR) 1
SCALE: 1/8" = 1'-0" FILE:

TYPICAL SOCCER FIELD KEYNOTES:

- ① NEW 14" WIDE X 6" HIGH CONCRETE CURB OVER EXISTING CONCRETE SLAB-ON-GRADE AROUND SOCCER FIELD, TYP.
- ② NEW NON-STRUCTURAL REBOUND WALL PANELS BY WSB SPORTS, TYP.
- ③ NEW 20'-0" HIGH STEEL COLUMN SUPPORT FOR NEW LIGHTING BY WSB SPORTS, TYP.
- ④ NEW GOAL BY WSB SPORTS, TYP.
- ⑤ NEW NETTING OVER REBOUND WALL BY WSB SPORTS, TYP.
- ⑥ NEW 3'-0" WIDE X 6'-10" HIGH METAL SWINGING GATE, TYP.



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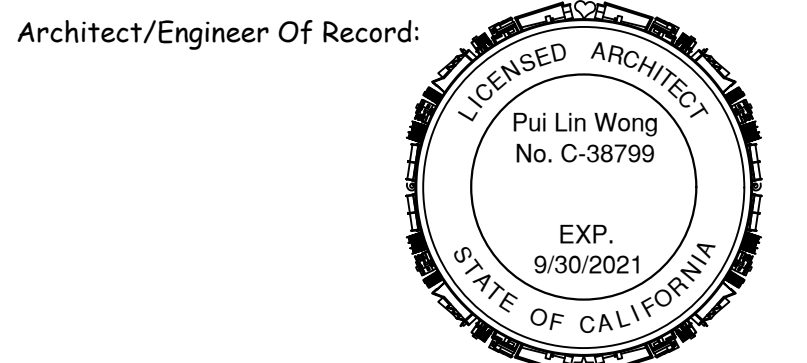
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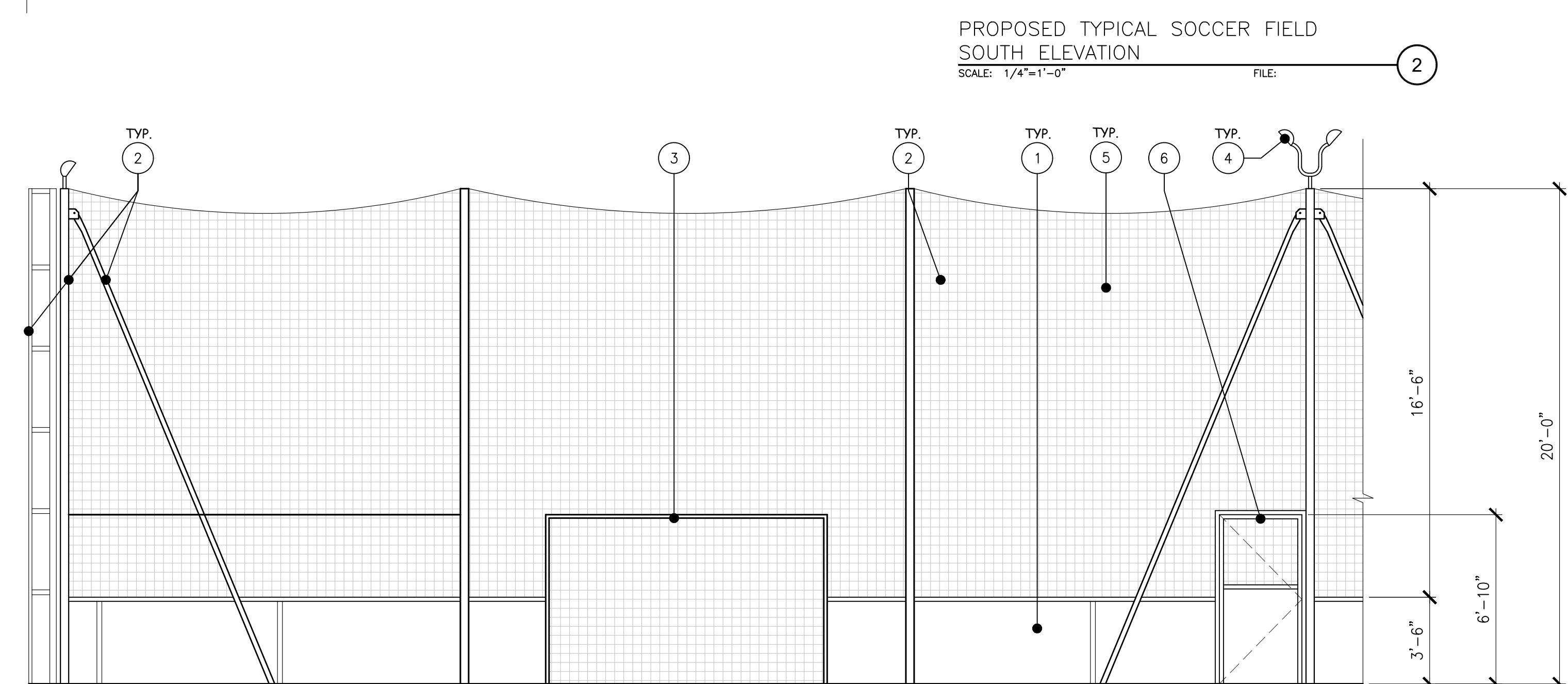
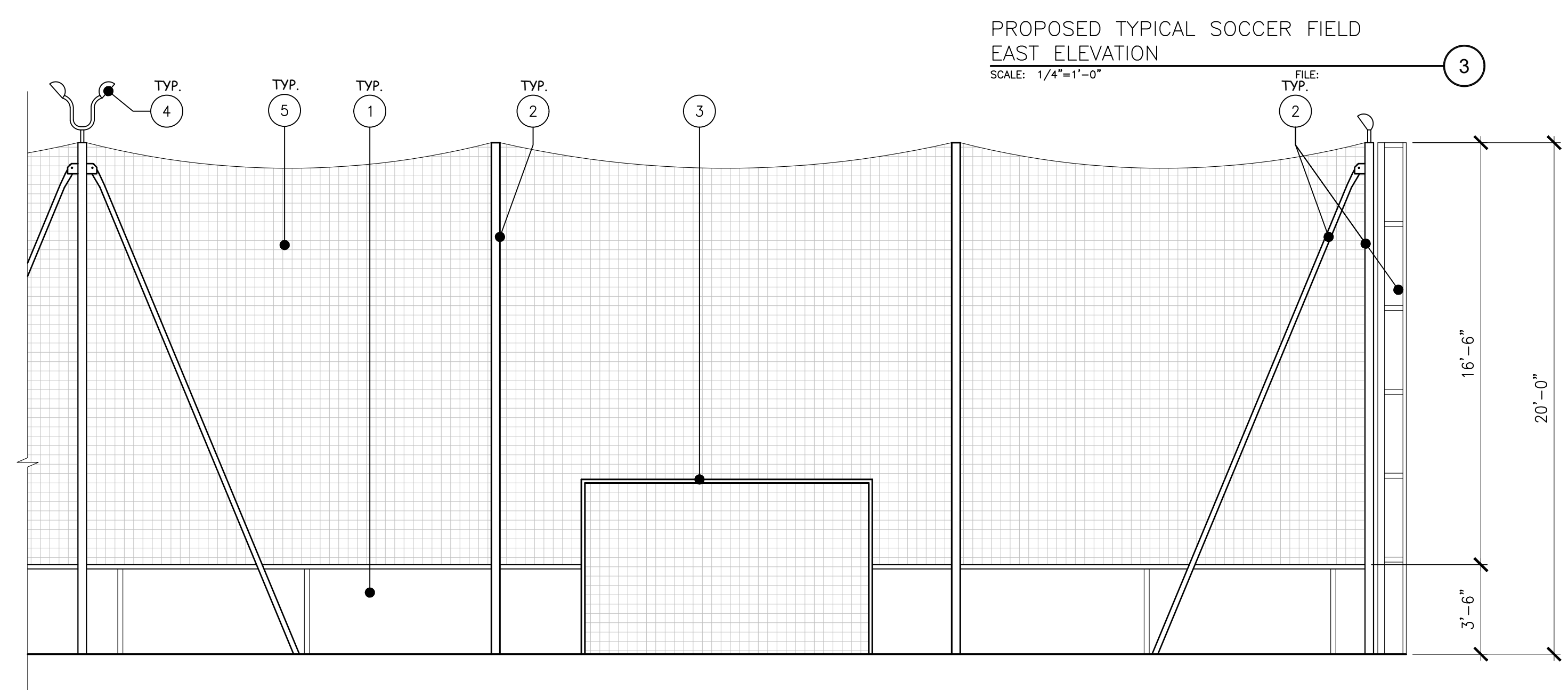
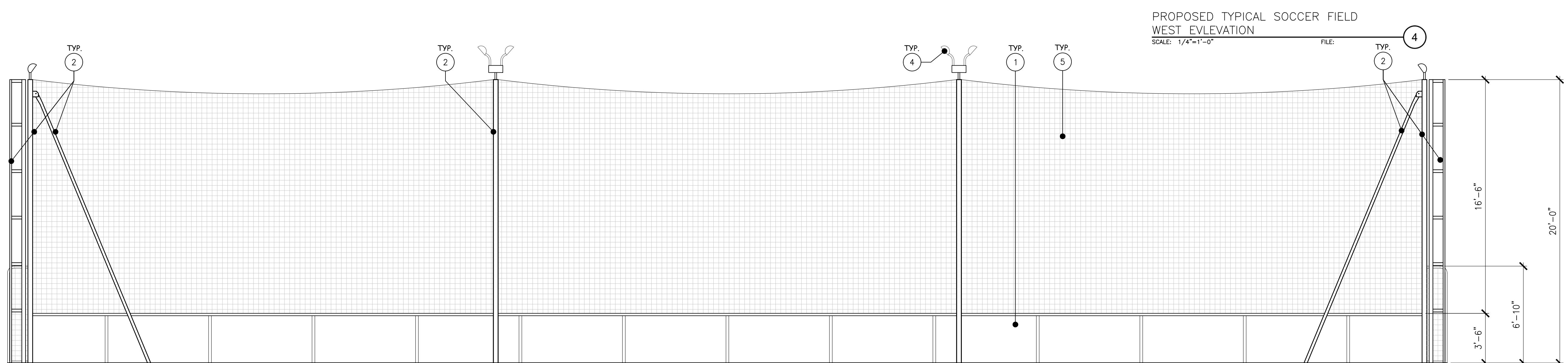
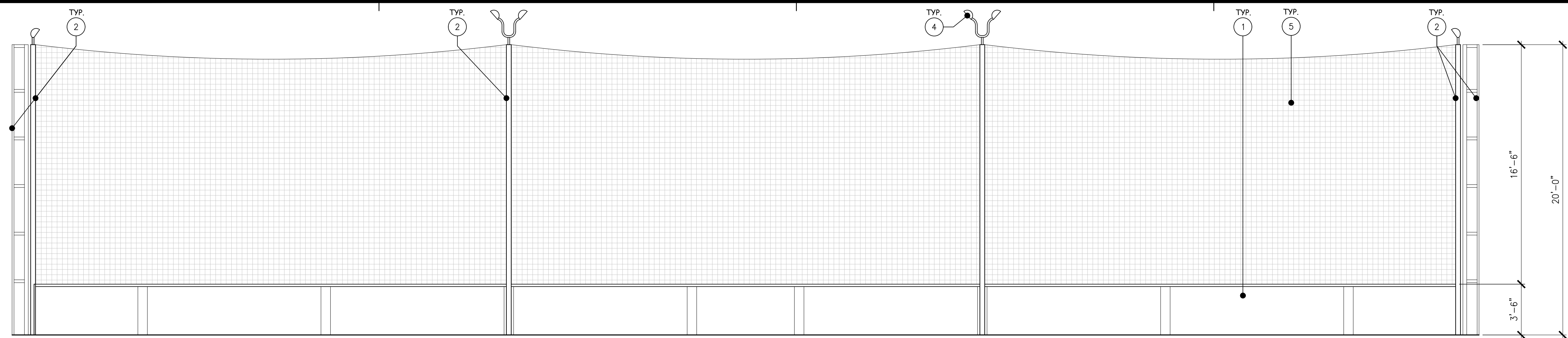


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PROJECT
LAB FIVE SOCCER @ GARDENA

Sheet Title
**PROPOSED ENLARGED SITE
PLAN - TYPICAL SOCCER FIELD
(FIELDS #4-7 SIMILAR)**

Scale: 1/8" = 1'-0"	Job #: 20210223-04
Drawn By: CW	A4
Chkd By:	
Date Printed: 05/28/2021	



**SOCCER FIELD ELEVATION
KEYNOTES:**

- ① NEW NON-STRUCTURAL REBOUND WALL PANELS WITH METAL SUPPORTS ANCHORED TO CONCRETE CURB BY WSB
- ② NEW STEEL COLUMN SUPPORT BY WSB FOR NEW LIGHTING, ANCHORED TO CONCRETE CURB, SEE STRUCT. DWG5. FOR FOUNDATION DESIGN
- ③ NEW GOAL
- ④ NEW LED FLOOD LIGHT, (8) PER SOCCER FIELD, TYP.
- ⑤ NEW NETTING
- ⑥ NEW 3'-4" WIDE X 6'-10" METAL SWINGING GATE



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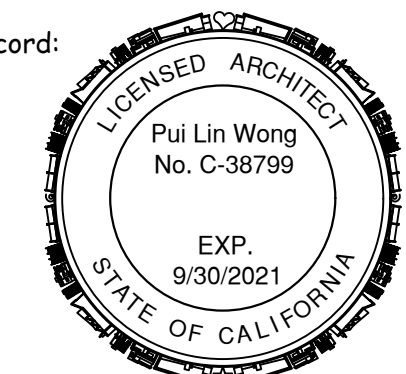
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REVISIONS		
ISSUE	BY	DATE

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Architect/Engineer Of Record:



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PROJECT
LAB FIVE SOCCER @ GARDENA

Sheet Title
**PROPOSED TYPICAL SOCCER
FIELD ELEVATIONS**

Scale: 1/4"=1'-0"

Job # 20210223-04

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A5

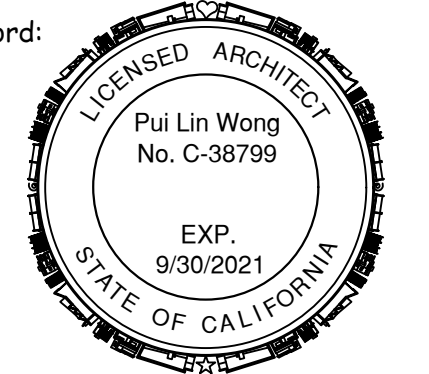
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PROJECT
LAB FIVE SOCCER @ GARDENA

Sheet Title
PROPOSED FIRST FLOOR PLAN &
EXISTING ROOF PLAN (FOR
REFERENCE ONLY)

Scale: 1/4" = 1'-0" Job # 20210223-04
Drawn By: CW
Chkd By:
Date Printed: 05/28/2021

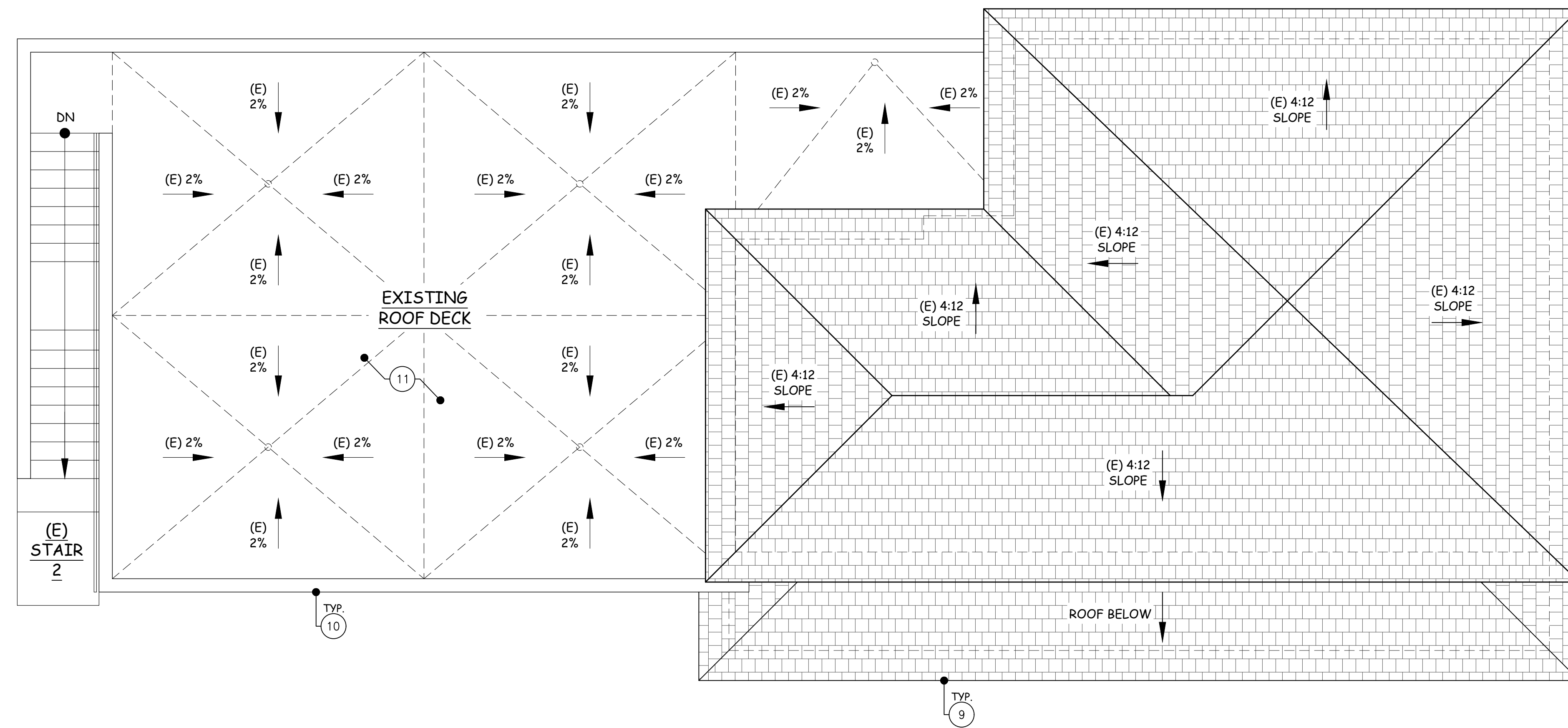
A6

PLAN LEGEND:

-  EXISTING WALL
-  PROPOSED INFILL WALL TO MATCH EXISTING
-  PROPOSED 8' -0" HIGH FULL HEIGHT NON-LOAD BEARING WALL
-  PROPOSED 6' -0" HIGH PARTIAL HEIGHT WALL
-  PROPOSED LOW WALL @ 32" A.F.F.

PLAN KEYNOTES:

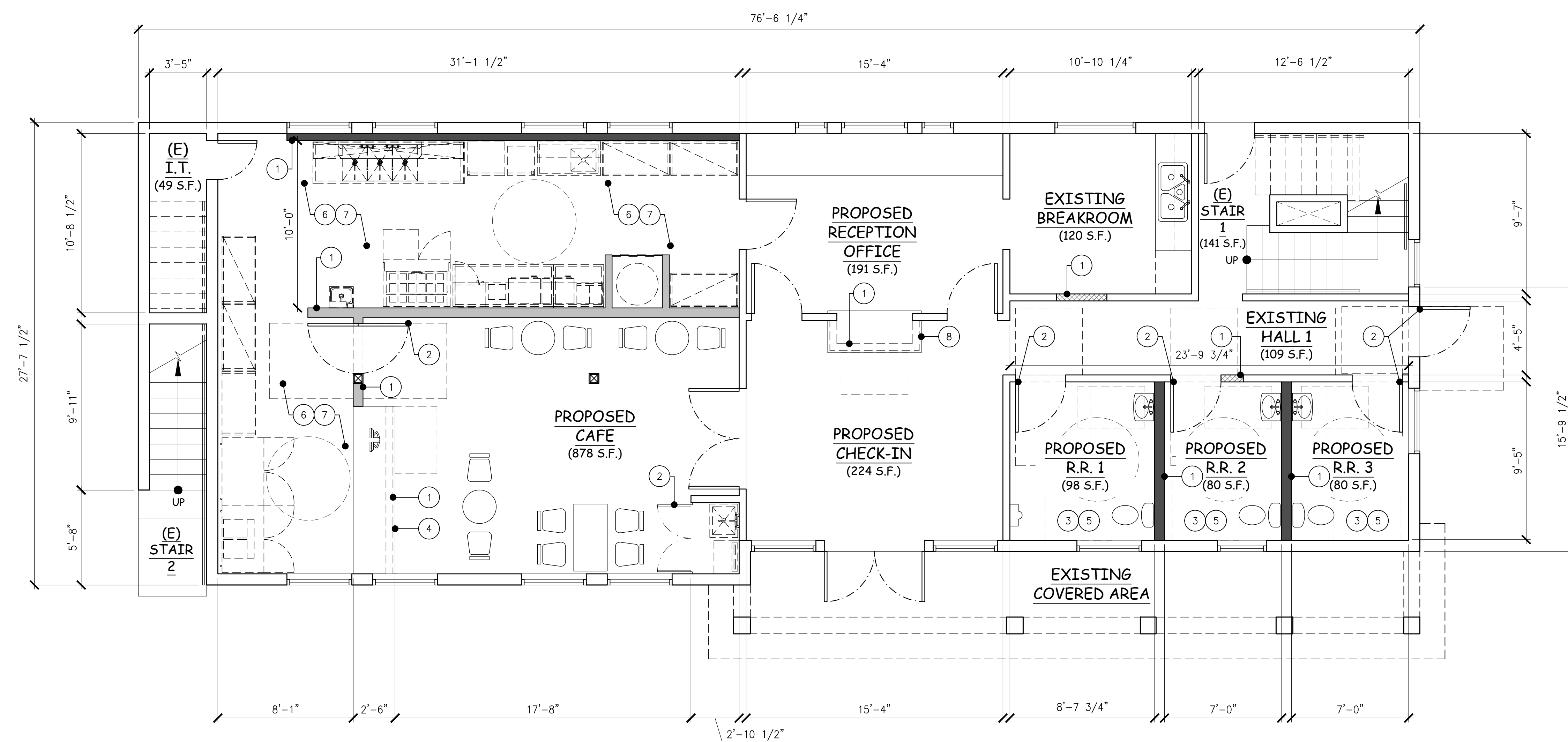
- ① PROPOSED WALL PER WALL LEGEND
- ② PROPOSED DOOR
- ③ PROPOSED ACCESSIBLE PLUMBING FIXTURE
- ④ PROPOSED ACCESSIBLE CHECK-IN COUNTER @ 34" A.F.F.
- ⑤ PROPOSED CERAMIC FLOOR TILE
- ⑥ PROPOSED QUARRY FLOOR TILE
- ⑦ PROPOSED KITCHEN EQUIPMENT
- ⑧ PROPOSED CASHIER COUNTER @ 34" A.F.F.
- ⑨ EXISTING ROOF TO REMAIN
- ⑩ EXISTING 42" HIGH ROOF PARAPET TO REMAIN
- ⑪ EXISTING ROOF DECK TO REMAIN



EXISTING ROOF PLAN (EXISTING
TO REMAIN, FOR REFERENCE ONLY)

SCALE: 1/4" = 1'-0"

FILE:

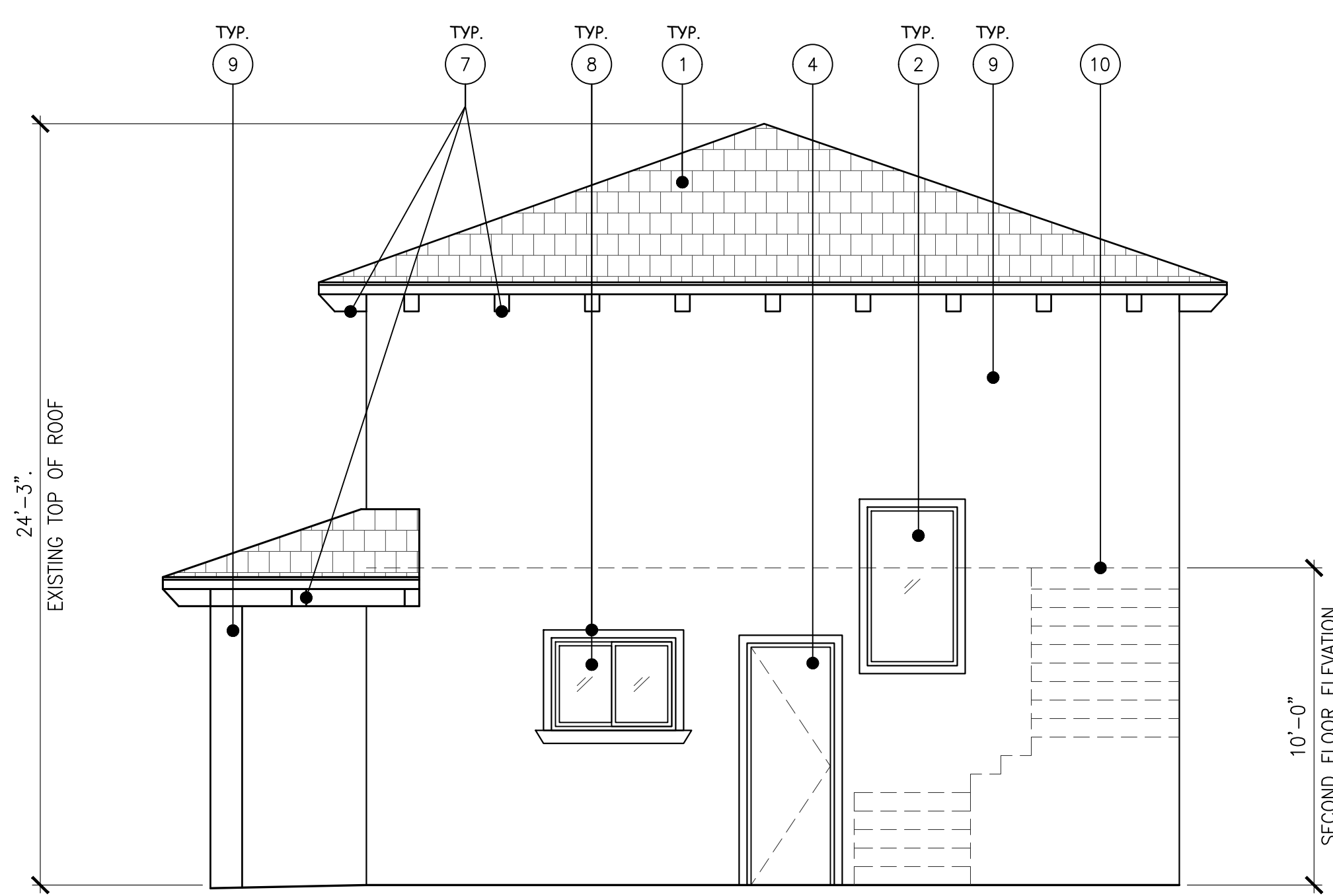


PROPOSED FIRST FLOOR PLAN

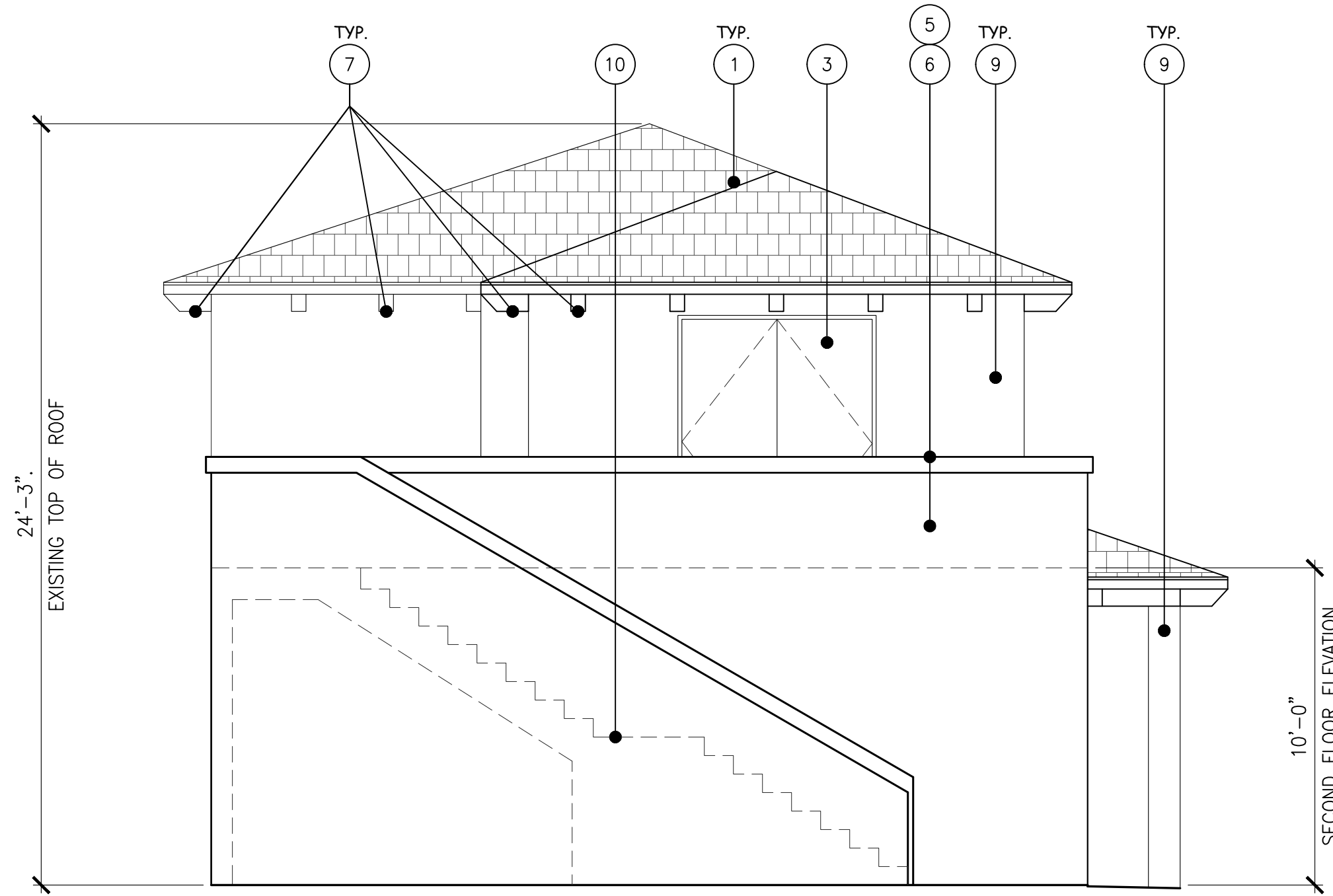
SCALE: 1/4" = 1'-0"

FILE:

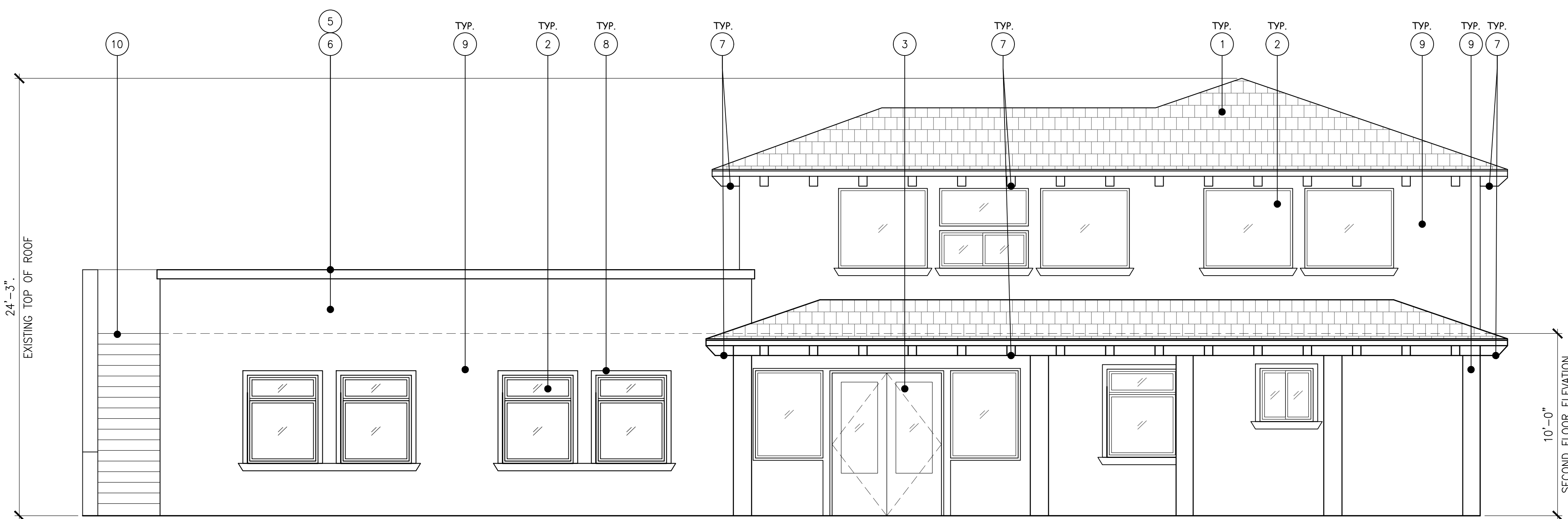




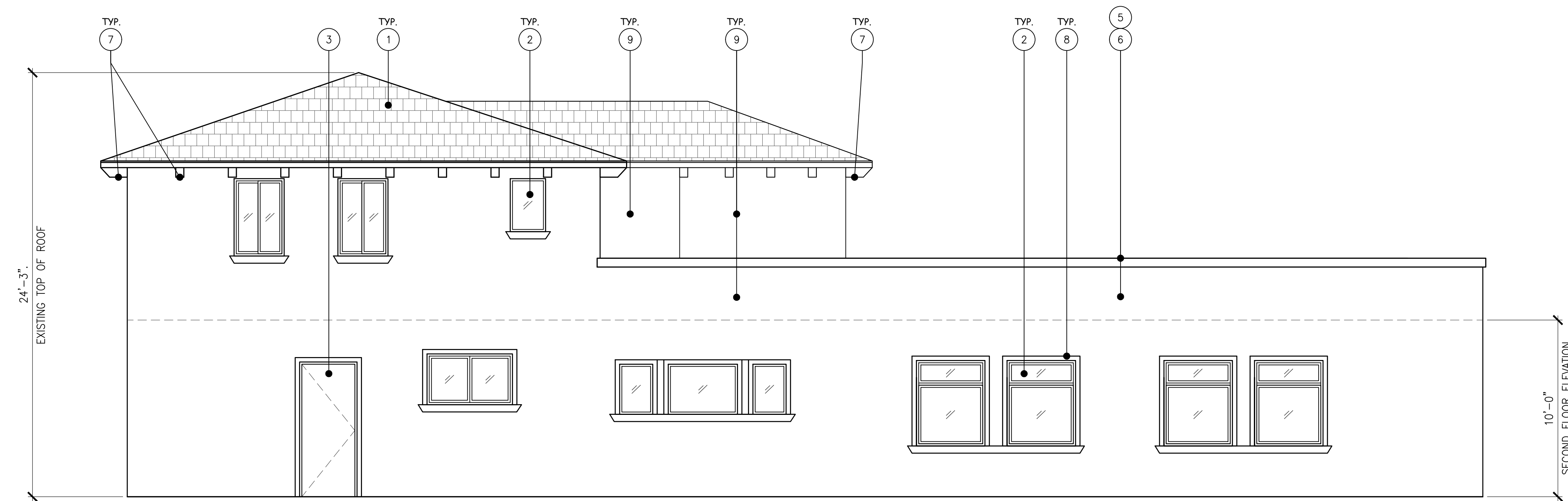
EXISTING & PROPOSED
BUILDING SOUTH ELEVATION
SCALE: 1/4"=1'-0"
FILE: 4



EXISTING & PROPOSED
BUILDING NORTH ELEVATION
SCALE: 1/4"=1'-0"
FILE: 3



EXISTING & PROPOSED
BUILDING WEST ELEVATION
SCALE: 1/4"=1'-0"
FILE: 2



EXISTING & PROPOSED
BUILDING EAST ELEVATION
SCALE: 1/4"=1'-0"
FILE: 1

BUILDING ELEVATION KEYNOTES:

- ① EXISTING ROOF TO REMAIN
- ② EXISTING WINDOW TO REMAIN
- ③ EXISTING DOOR TO REMAIN
- ④ EXISTING DOOR TO BE REMOVED AND REPLACED WITH NEW PER FLOOR PLAN ON SHEET A6
- ⑤ EXISTING 42" HIGH ROOF PARAPET TO REMAIN
- ⑥ EXISTING ROOF COPING TO REMAIN
- ⑦ EXISTING ROOF JOISTS TO REMAIN, PAINTED BLACK
- ⑧ EXISTING WINDOW & DOOR MOULDING TO REMAIN, PAINTED IN DUNN EDWARDS DE6336 STARGAZING COLOR
- ⑨ EXISTING STUCCOED WALL TO REMAIN, PAINTED IN DUNN EDWARDS DEW379 IGLOO COLOR
- ⑩ EXISTING STAIRS TO REMAIN



**LAB FIVE SOCCER
@ GARDENA**

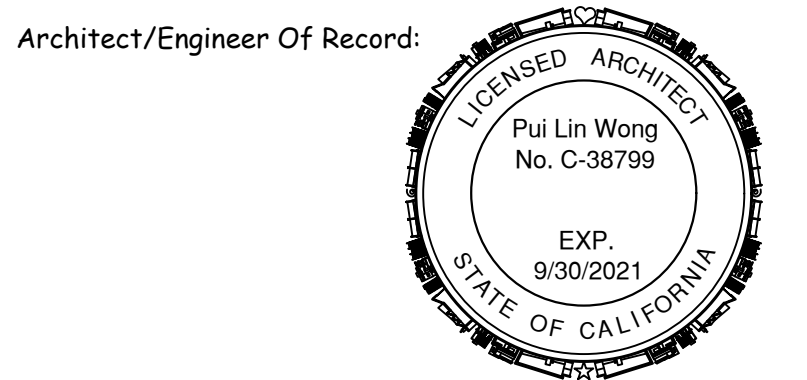
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Sheet Title
**EXISTING & PROPOSED
BUILDING ELEVATIONS**

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