



DEPARTMENT of COMMUNITY DEVELOPMENT

1700 WEST 162nd STREET / GARDENA, CALIFORNIA 90247-3732 / WWW.CITYOFGARDENA.ORG / PHONE (310) 217-9530

BLOCK WALLS AND FENCES

General Information:

A block wall or fence erected on any property in the City of Gardena must have approvals from the planning and building departments.

Two copies of a site plan shall be submitted to the Community Development Department the information shall include:

1. Dimensions of all Property lines and of all existing structures.
2. Location of driveway
3. Location of existing and proposed fences/walls. Indicate the type of fence/wall, the height, width and length.
4. Indicate all gates, width height and function.
5. Connection of gates to new or existing walls/fences.
6. Construction details of walls/fences/gates. City details maybe attached to the site plan but indicate options used.
 - Any Block wall that will retain soil on either side, where the surcharge is greater than 12", shall be designed by a licensed building professional and provide structural calculations.
 - Any Block wall exceeding 6 feet shall be designed by a licensed building professional and provide structural calculations.

Permits

Any Block wall or fence that is constructed on a property line shall have both property owners sign an authorization letter allowing the fence/wall to be on the property line.

- Block walls or fences built on one property:
The permit applicant shall verify the fence wall and footings are on the subject property.
The wall, fence or footings cannot transcend the property line.
It is recommended that a surveyor verify the property line. Just because an existing fence is there does not mean that is your legal property line.
- Any Block wall or fence that is constructed adjacent to a public right of way, such as a sidewalk or an alley:
Shall be constructed so that the wall, fence or footings do not transcend the property line.



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Inspections

Wood Fences will require two inspections.

The first inspection, foundation postholes, prior to placing the concrete, shall verify the location of the post holes in respect to the property line.

The second inspection is the final inspection.

Block walls will require several inspections.

The first inspection is for the foundation. At that time the inspector shall verify the dimensions of the footings are per plan. Ensure the footing rebar is properly placed and lapped. The excavation shall be level, square and free of debris. All steel shall be three inches from any soil, and proper laps, forty times the steel diameter is achieved.

The second inspection is for grouting. A grouting inspection shall be done a a time when the wall is at mid height.

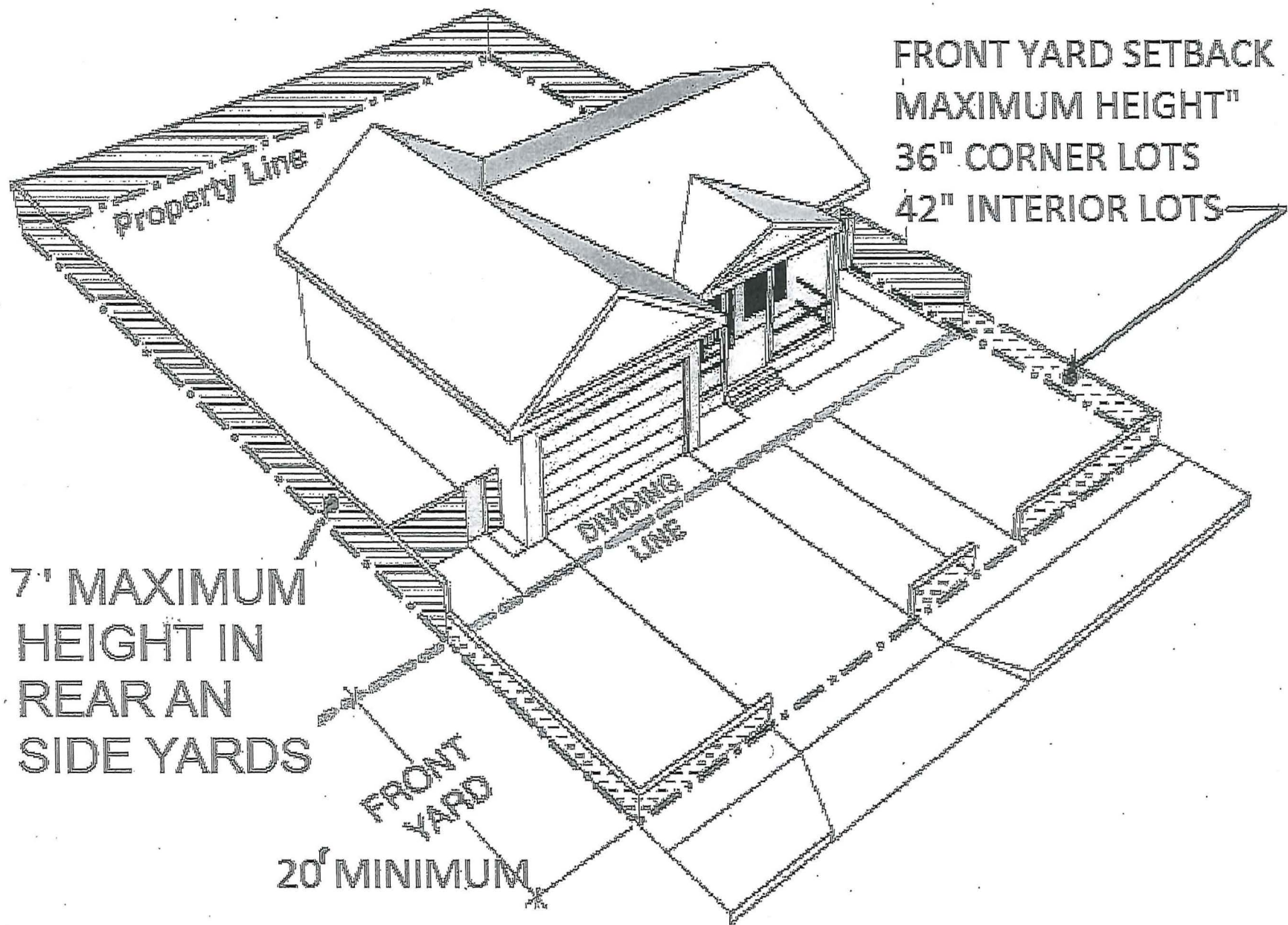
A second grouting inspection is at the time of final grouting of the upper half of the wall.

A final inspection is after the wall is complete, tooled, and cleaned site

All block wall greater than six feet may have additional requirements.

Commercial fences walls with gates

All commercial fences/walls with gates must have Los Angeles County Fire Department approval.





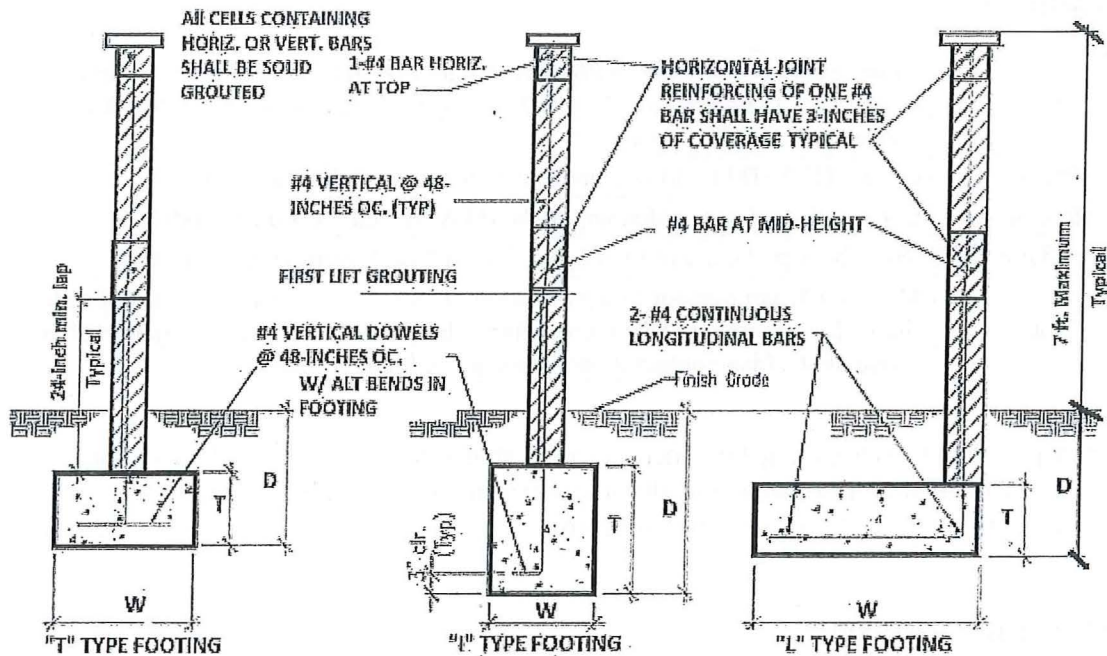
CITY OF GARDENA

COMMUNITY DEVELOPMENT,
BUILDING AND SAFETY
1700 West 162nd St., Room 101
Gardena, CA 90247

Standard Block Wall Detail 7 Foot Max Height

NOTE:

ALL RETAINING WALLS SHALL BE ENGINEERED
BY A LICESENED DESIGN PROFESSIONAL



WALL HEIGHT	"L" TYPE FOUNDATION			"T" TYPE FOUNDATION			"I" TYPE FOUNDATION		VERTICAL REBAR	HORIZ. REBAR
	W	D	T	W	D	T	W, T	D		
3' - 6"	18"	18"	9"	14"	12"	6"	12"	22"	#4 Rebar @ 48" o.c.	#4 Rebar
4' - 6"	18"	18"	9"	18"	12"	6"	12"	26"	#4 Rebar @ 48" o.c.	#4 Rebar
5' - 6"	24"	24"	12"	22"	12"	6"	12"	30"	#4 Rebar @ 48" o.c.	#4 Rebar
6' - 6"	24"	24"	12"	26"	14"	6"	12"	36"	#4 Rebar @ 24" o.c.	#4 Rebar

GENERAL BUILDING REQUIREMENTS:

In Gardena, all walls and fences require a building permit.

Foundations/footing shall not be dug under sidewalks

Foundation must be poured against undisturbed soil with no appreciable slope of sidewalls.

All horizontal and vertical reinforcements shall maintain a min. 3" clearance from the bottom and sides of the trench.

Horizontal bond beam reinforcement is required to be located in the 2nd course from the top of the wall.

All bars shall be thoroughly embedded in the bed joint mortar and lapped a min. of 12".

Joints shall be staggered (common bond are not permitted) and may be partially grouted with grout confined to those cells that have horizontal and vertical reinforcing steel.



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SPECIFICATIONS:

Concrete:	Min. 2,500 psi strength in 28 days. Mix for concrete footing to be 1 part cement to 2-1/2 parts sand to 3-1/2 parts gravel with a max. of 7-1/2 gallons of water per sack of cement.
Block:	Grade "N" ASTM C 90-03. Nominal width of units shall be a min. 6".
Reinforcement:	Deformed steel bar conforming to ASTM A-615 Grade 40 or Grade 60.
Mortar (Type "S")	Mix to be 1 part cement to 1/2 part lime to 3 parts damp loose sand.
Grout:	Mix to be 1 part cement to 3 parts sand to max. 1/10 part lime. Sufficient water should be added to produce consistency for pouring without segregation of the constituents. May contain 2 parts pea gravel (max. size 3/8").

INSPECTIONS:

Foundation Insp.: When trench is ready for concrete and all steel reinforcements are tied-in-place.

Pre-Grout Insp.: When first horizontal bar and all vertical bars are in place, but not grouted!

Final Insp.: After wall is fully-grouted and cap is installed.

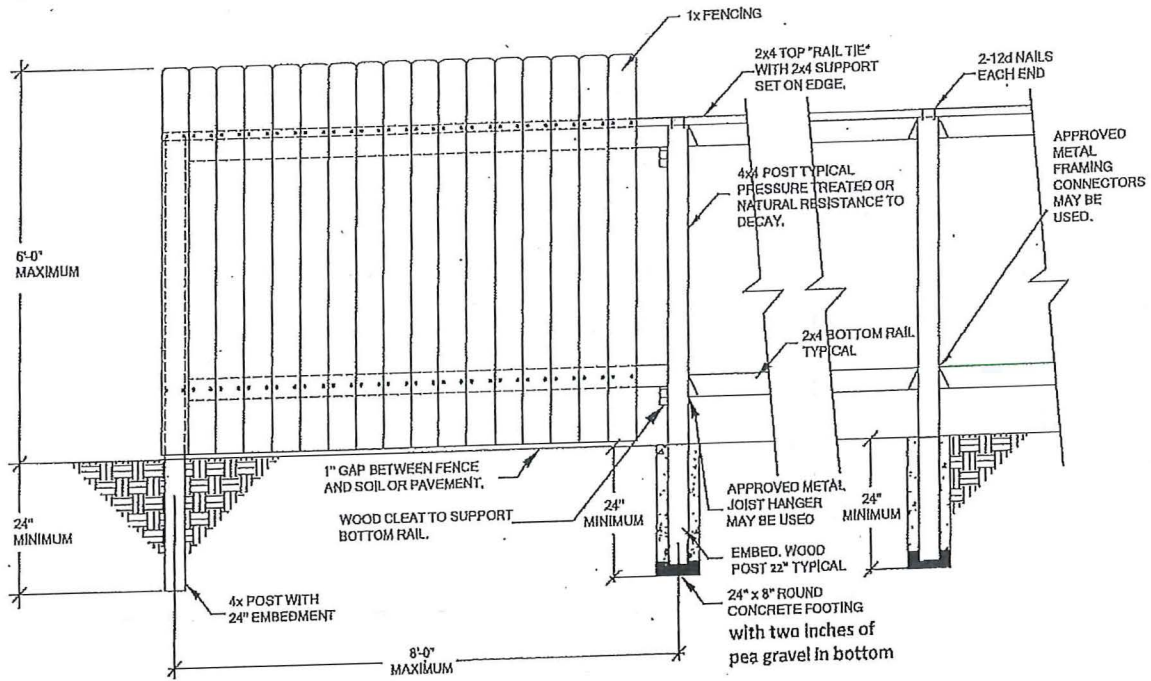
COMMON PROPERTY FENCE WALL:

Where a common property fence wall is requested, a completed and signed "Common Property Wall Line Agreement and Maintenance" form by all of the common property owners is required prior to obtaining a permit.

NOTE:

ALL RETAINING WALLS SHALL BE ENGINEERED.

WOOD FENCE



NOTES:

1. ALL FASTENERS SHALL BE CORROSION RESISTANT
2. WOOD SHALL BE PRESSURE TREATED AGAINST DECAY OR INSECT ACTIVITY

TOP CONNECTION

BOTTOM CONNECTION

