

WESTERN SRO APARTMENTS

121 UNIT SINGLE ROOM OCCUPANCIES



THE ABOVE DRAWINGS, SPECIFICATIONS AND DESIGNS ARE THE PROPERTY OF DE ARCHITECTS, AIA. NO PART THEREOF SHALL BE COPIED OR USED WITH ANY OTHER WORK OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN DEVELOPED WITHOUT THE WRITTEN CONSENT OF DE ARCHITECTS, AIA.

DE ARCHITECTS AIA, DON EMPACKERS, WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

NARRATIVE EXPLANATION OF PROPOSED PROJECT

The project is a 4 story, 121 unit single room occupancy development located on a corner lot in the M1 zone. 114 units are market rate and 7 units are very low income housing. The building mass is biased toward the corner of 132nd Street and Western Avenue and most of the parking is situated within a 6 tier automated parking structure located in the south west corner of the lot.

Since the adjacent blocks consist of 1 and 2 story industrial buildings, the project is designed to create its own pedestrian oriented urban context, as well as provide a base context for potential future residential projects. The building mass is stepped from 4 stories to 2 stories at the northeast corner, to act as a transition to the scale of the surrounding neighborhood. Ground floor units along 132nd street, and Western Avenue are set back 10'-0" from the property line and separated by a landscape buffer, providing pedestrian orientation.

Although the neighborhood is considered somewhat walkable (walk score 68), and somewhat bikeable (bike score 48), we felt it was important that the project provide sufficient private and common open space on site. Every unit has a balcony or patio, and by providing an automated parking structure the 7,374 sf courtyard is not over structure, allowing more landscaping and a pool and spa in addition to a recreation room and resident fitness center. Outdoor decks at the 2nd and 3rd floors help energize the corner of 132nd and Western.

The exterior of the building is fine sand acrylic stucco and a bright accent color at the exterior wall accentuates the massing. Since the unit modules are less than 14'-0" wide, a white decorative stucco frame exaggerates the horizontality of the 2 main elevations and allows for privacy screening between units. The balcony railings are a prefinished, perforated, corrugated metal that pay homage to the industrial nature of the neighborhood and further emphasize the horizontality.

PROJECT
13126 S Western Ave
SINGLE ROOM OCCUPANCIES
13126 S Western Ave
Gardena, CA 90249

PROJECT INFORMATION

ADDRESS: 13126 S. WESTERN AVENUE
GARDENA, CA 90249

APN: 6102-006-013

OWNER: 13126 S. WESTERN AVE., LLC
CONTACT: LEE JOHNSON
LEE@WESTREALTYGROUP.COM
11901 SANTA MONICA BLVD. #530
LOS ANGELES, CA 90025

LEGAL DESCRIPTION: LOT 30 of BLOCK 6 OF PANAMA ACRES, IN THE CITY OF GARDENA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 15, PAGE(S) 138 AND 139 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY, CALIFORNIA.

EXISTING USE: ONE STORY 9,981 SF INDUSTRIAL BUILDING
ONE STORY 2,755 SF COMMERCIAL BUILDING
SURFACE PARKING LOT

PROPOSED USE: NEW CONSTRUCTION -
121 UNIT SINGLE ROOM OCCUPANCY (350 SF)
4 STORIES WITH FREESTANDING 6 TIER,
114 CAR AUTOMATED PARKING STRUCTURE

FUNDING: PROJECT IS 100% PRIVATELY FUNDED AND IS NOT PUBLICLY FUNDED HOUSING

CONSTRUCTION TYPE: TYPE VA 1HR
FULLY SPINKLERED NFPA 13 SPRINKLERS REQUIRED
EMERGENCY STAND BY GENERATOR REQUIRED FOR ELEVATOR

ZONING INFORMATION

ZONE: M1 - INDUSTRIAL ZONE

PERMITTED USES: SINGLE ROOM OCCUPANCIES
(SUBJECT TO A CONDITIONAL USE PERMIT)

LOT AREA: 43,811 SF (1.006 ACRES)

ALLOWABLE FAR: 1.0

STATE DENSITY BONUS: THIS PROJECT WILL REQUEST A 25% FLOOR ARE INCREASE BONUS BY PROVIDING 7% VERY LOW INCOME HOUSING (1 CONCESSION ALLOWED)

ALLOWABLE FAR: 1.25

ALLOWABLE FLOOR AREA: 43,811 x 1.25 = 54,764 SF

PROPOSED FLOOR AREA: 54,416 SF (SEE SHEET A03)

HEIGHT LIMIT: MAXIMUM - 65'-0"
50'-0" IF 100'-0" FROM R3 OR R4 ZONE
35'-0" IF 100'-0" FROM R1 ZONE

PROPOSED HEIGHT: NOT TO EXCEED 50'-0"

STORIES: NO LIMIT (4 STORIES PROPOSED, 6 TIERS AUTOMATED PARKING)

PROP. BASE DENSITY: 97 UNITS

DENSITY W/ BONUS: 97 x 1.25 = 121.25 (121 PROPOSED)

VERY LOW INCOME: 7% OF BASE DENSITY (97 x .07 = 7 UNITS)

REQUIRED SETBACKS: FRONT YARD - 10'-0"
STREET SIDEYARD - 10'-0"
SIDEYARD - 0'-0"
REARYARD - 0'-0"

PROPOSED SETBACKS: FRONT YARD - 10'-0"
STREET SIDEYARD - 10'-0"
SIDEYARD - 5'-0"
REARYARD - 5'-0"

PARKING REQUIREMENTS

REQUIRED PARKING: 1 space per unit/ 2 spaces for manager's unit
120 x 1.0 + 1 x 2.0 = 122 SPACES
(INCLUDES ACCESSIBLE PARKING)

REQ. ACCESSIBLE PARKING: 122 x .02 = 3 SPACES (1 VAN ACCESSIBLE)

PROVIDED PARKING: 114 STANDARD SPACES WITHIN 6 TIER AUTOMATED STRUCTURE; 8 SPACES
(6 STANDARD, 2 COMPACT COVERED PARKING)

122 SPACES TOTAL (INCLUDES 3 ACCESSIBLE SPACES)

BICYCLE PARKING: THIS PROJECT IS VOLUNTARILY PROVIDING 40 BICYCLE PARKING SPACES IN A STACKED RACK SYSTEM

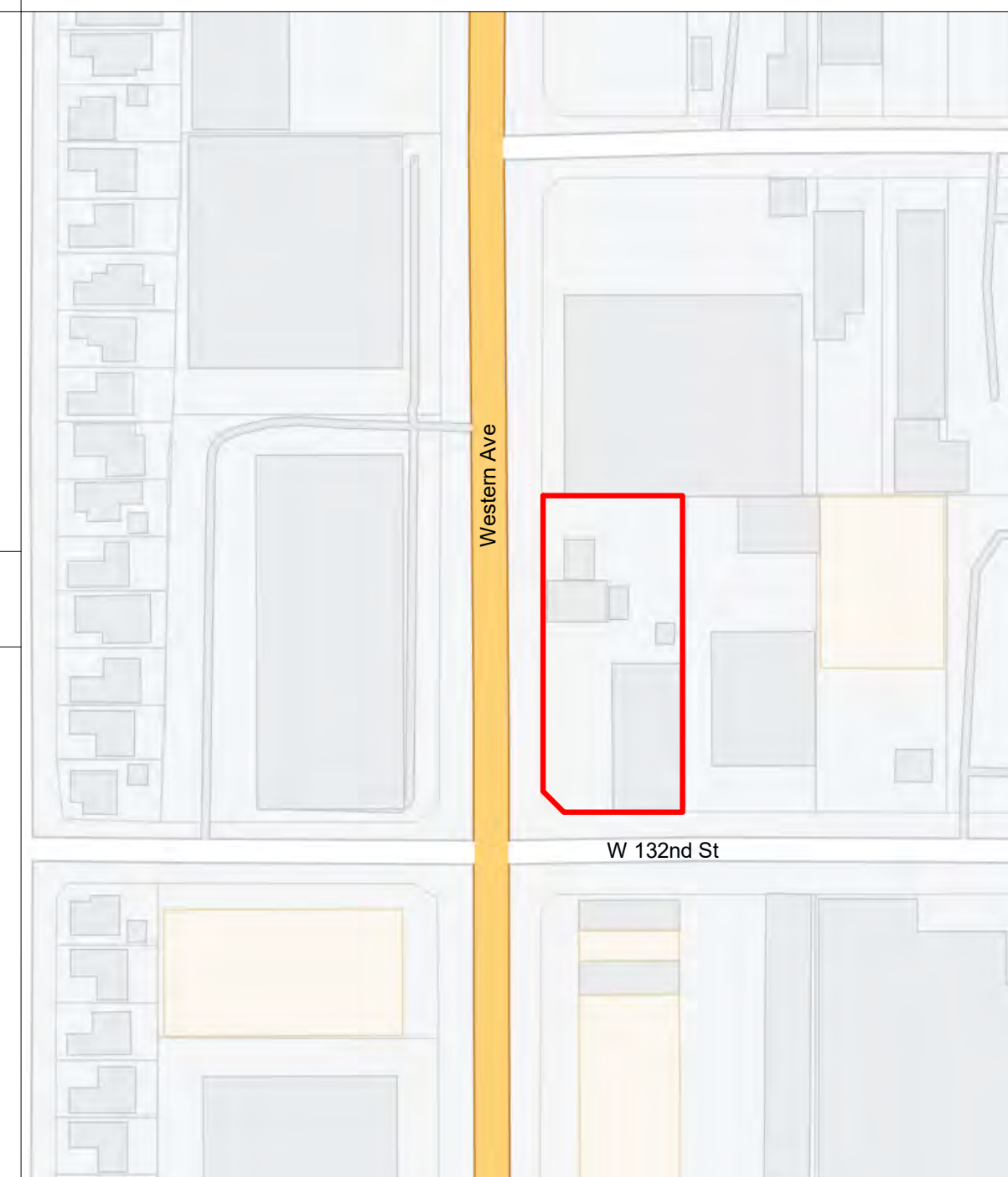
OPEN SPACE

(SEE SHEET A04)

REQUIRED OPEN SPACE: 10 SF PER UNIT (121 x 10 = 1,210 SF)

PROVIDED OPEN SPACE: PRIVATE OPEN SPACE - 9,314 SF
COMMON OPEN SPACE - 8,080 SF
TOTAL OPEN SPACE - 17,394 SF

VICINITY MAP



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	SURVEY
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A16	RENDERING
A17	RENDERING
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SHEET NAME
COVER SHEET

ISSUE
PLANNING SUBMITTAL
01/04/2022

SHEET NO.

A00

PRELIMINARY TITLE REPORT

PRELIMINARY TITLE REPORT NO. 995-30043507-JS3, DATED FEBRUARY 7, 2020, PREPARED BY FIDELITY NATIONAL TITLE COMPANY, 555 SOUTH FLOWER STREET, SUITE 4420, LOS ANGELES, CA 90071, WAS USED IN THE PREPARATION OF THIS SURVEY AND IS MADE A PART HEREOF BY REFERENCE.

OWNERSHIP

TITLE TO SAID ESTATE OR INTEREST AT THE DATE HEREOF IS VESTED IN:
13126 S. WESTERN AVE., LLC, A CALIFORNIA LIMITED LIABILITY COMPANY

BASIS OF BEARINGS

THE BEARING N 89°54'45"E OF THE NORTHERLY RIGHT-OF-WAY (TRANSFERRED TO CENTERLINE) OF 132ND ST (FORMERLY GRAND AVE.) AS SHOWN ON THE PANAMA ACRES TRACT, AS RECORDED IN BOOK 15, PAGES 138 AND 139 OF MAPS, IN THE OFFICE OF THE LOS ANGELES COUNTY RECORDER, WAS TAKEN AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

BENCHMARK

BM ID: RY7945
RDBM TAG IN SOUTH CURB 2FT E/O BCR AT SE CORNER 132ND ST & NORMANDIE AVE.

ELEV = 87.63 (NAVD 88)(2013 ADJ.)

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF GARDENA, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOT 30 OF BLOCK 6 OF PANAMA ACRES, IN THE CITY OF GARDENA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 15, PAGE(S) 138 AND 139 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY, CALIFORNIA.

EXCEPTING THEREFROM THAT PORTION OF SAID LOT 30, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWESTERLY CORNER OF SAID LOT;

THENCE NORTHERLY ALONG THE WESTERLY LINE OF SAID LOT, A DISTANCE OF 17.00 FEET;

THENCE SOUTHEASTERLY IN A DIRECT LINE 24.03 FEET TO A POINT IN THE SOUTHERLY LINE OF SAID LOT DISTANT EASTERLY THEREON 17.00 FEET FROM THE POINT OF BEGINNING;

THENCE WESTERLY ALONG SAID SOUTHERLY LINE 17.00 FEET TO SAID TO THE POINT OF BEGINNING.

ALSO EXCEPTING THEREFROM ALL OIL, OIL RIGHTS, NATURAL GAS RIGHTS, MINERAL RIGHTS, ALL OTHER HYDROCARBON SUBSTANCES BY WHATSOEVER NAME KNOWN, AND ALL WATER, CLAIMS OR RIGHTS TO WATER, TOGETHER WITH APPURTENANT RIGHTS THERETO, WITHOUT HOWEVER, ANY RIGHT TO ENTER UPON THE SURFACE OF SAID LAND FOR ANY PORTION OF THE SUBSURFACE LYING ABOVE A DEPTH OF 500 FEET, AS EXCEPTED OR RESERVED IN DEEDS OF RECORD.

APN: 6102-006-013

SUMMARY OF SCHEDULE "B" - SECTION "B" - EXCEPTIONS NOT REPORTED IN THIS SURVEY

ITEM	SUBJECT
A-C	PROPERTY TAXES AND ASSESSMENTS, IF ANY
1	WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS.
2	COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED IN BOOK 4686, PAGE 37, OF OFFICIAL RECORDS.
3	A DEED OF TRUST RECORDED MAY 29, 2014 AS INSTRUMENT NO. 20140551342, O.R. AN ASSIGNMENT OF ALL THE MONIES DUE, OR TO BECOME DUE AS RENTAL, AS ADDITIONAL SECURITY FOR THE OBLIGATIONS SECURED BY DEED OF TRUST SHOWN AS ITEM NO. 3. RECORDED MAY 29, 2014 AS INSTRUMENT NO. 20140551343, O.R.
4	MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED "HAZARDOUS SUBSTANCES CERTIFICATE AND INDEMNITY AGREEMENT" RECORDED MAY 29, 2014 AS INSTRUMENT NO. 20140551344, O.R.
5	A DEED OF TRUST RECORDED JULY 1, 2014 AS INSTRUMENT NO. 2014679413, O.R.
6	A DEED OF TRUST RECORDED SEPTEMBER 17, 2014 AS INSTRUMENT NO. 20140980576, O.R.
7	A DEED OF TRUST RECORDED FEBRUARY 2, 2018 AS INSTRUMENT NO. 20180114407, O.R.
8	MATTERS WHICH MAY BE DISCLOSED BY AN INSPECTION AND/OR BY A CORRECT ALTA/NSPS LAND TITLE SURVEY OF SAID LAND THAT IS SATISFACTORY TO THE COMPANY, AND/OR BY INQUIRY OF THE PARTIES IN POSSESSION THEREOF. (MAY REFER TO THIS SURVEY)
9	ANY RIGHTS OF THE PARTIES IN POSSESSION OF A PORTION OF, OR ALL OF, SAID LAND, WHICH RIGHTS ARE NOT DISCLOSED BY THE PUBLIC RECORDS.
10	

EASEMENTS

NO EASEMENTS WERE CITED IN THE ABOVE REFERENCED TITLE REPORT

AREA ZONING

43,811 SQ. FT. ZONE: M1
1.006 ACRES

PARKING SUMMARY

16 STANDARD SPACES
+ 2 HANDICAP SPACES
= 18 TOTAL PARKING SPACES (MARKED)

UNDERGROUND (BURIED) UTILITIES DISCLAIMER:

INFORMATION SHOWN HEREON REGARDING UNDERGROUND (BURIED) UTILITIES WAS GATHERED FROM OBSERVED SURFACE EVIDENCE AND/OR PUBLIC RECORD SOURCES AND MAY NOT REPRESENT A COMPLETE, TRUE OR ACCURATE PHYSICAL LOCATION OF SAID UTILITIES. DESIGNERS AND CONTRACTORS ARE CAUTIONED TO VERIFY LOCATION OF BURIED UTILITIES BY INDEPENDENTLY CHECKING ALL AVAILABLE SOURCES AND/OR POT-HOLEING AS REQUIRED PRIOR TO DESIGN OR CONSTRUCTION. NO LIABILITY IS EITHER EXPRESSED OR IMPLIED FOR ANY LOSS SUFFERED AS A RESULT OF THE SOLE RELIANCE UPON THIS SURVEY AS IT PERTAINS TO SAID UTILITIES.

CITY OF GARDENA
DEPARTMENT OF COMMUNITY DEVELOPMENT
1700 WEST 162ND STREET / GARDENA, CALIFORNIA 90247-3732 / WWW.CITYOFGARDENA.ORG / PHONE (310) 217-9530

Industrial Zone Summary
The following is a summary of the development standards and does not include all requirements. For exact requirements and additional information, please see the Gardena Municipal Code.

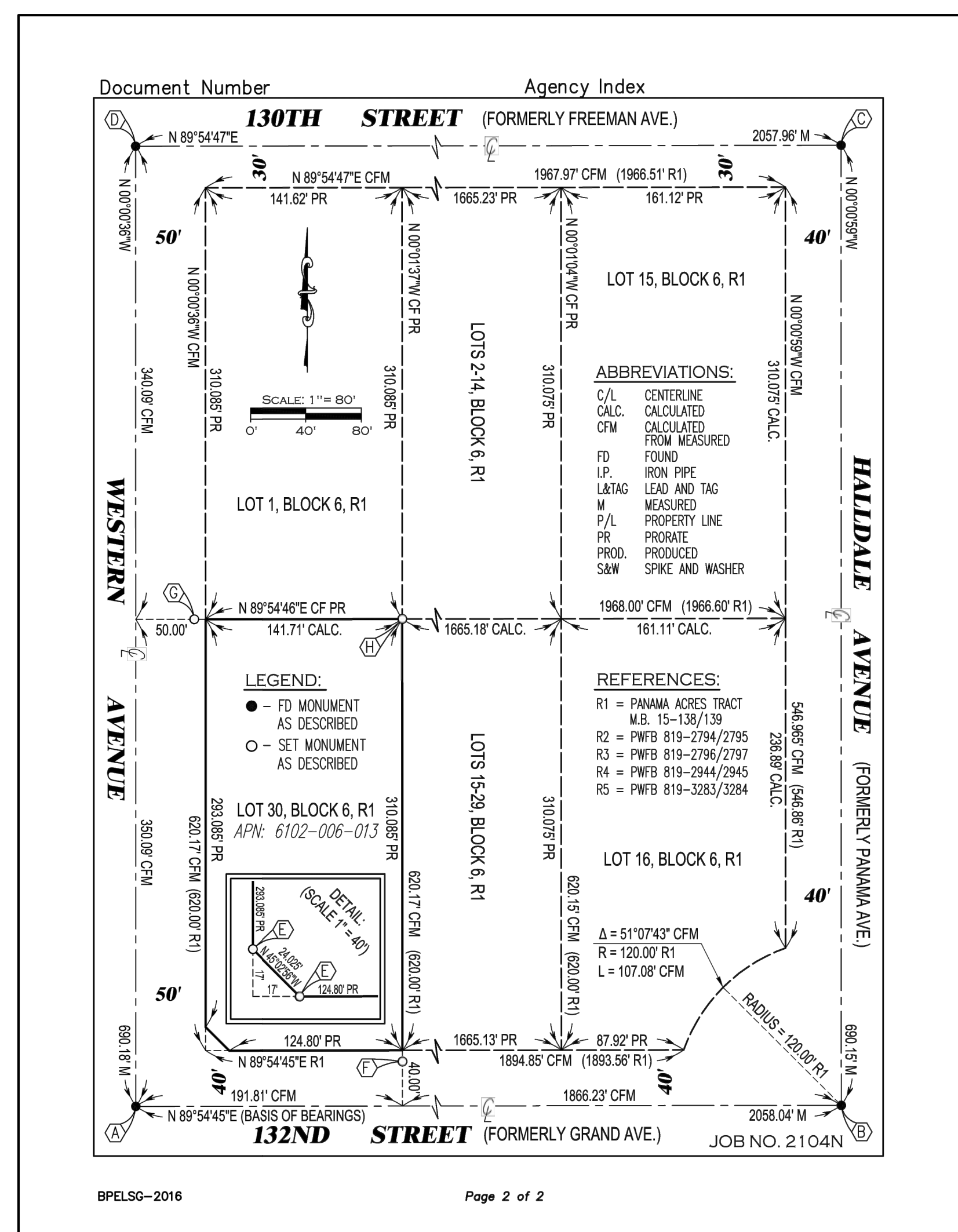
Zone	M-1 & M-2	Code Section
Uses	• Various commercial, manufacturing, and industrial uses	18.36.020-050
Building Height	• If 100' of R-1/R-2 zone: 35' • If 100' of R-3 zone: 45' • Maximum: 65'	18.36.060.A
Building Intensity	• 1.0 Floor Area Ratio (FAR)	18.36.060.A
Building Opening	• Opening towards R zone prohibited (certain exceptions apply)	18.36.060.B
Yards	• Front: 10' landscaped setback along street 20' if adjacent or facing R zone • Side/rear: 5' if adjacent to R zone • Yards must be landscaped • Rear yard may be used for parking	18.42.080 18.42.085
Fences	• Materials: wrought iron, tubular steel, stone, brick, stucco, decorative block • 8'H along rear or side property line o Min. 3' landscaping along street • In required front yard setback: 3 1/2'H (interior lots); 3'H (corner lots) • Required 28'H solid masonry wall abutting R zone (3 1/2'H next to street)	18.42.070
Parking	• Standard Size: 9'x18' Next to wall: 10'x20' Parallel: 9'x25' o Areas not used for parking or aisleway must be landscaped • Aisle Width = 26' for 90 degree stalls • Wheel Stops = 3' from wall or property line	Ch. 18.40
Loading	• One 12'x40' space for each 20,000 SF gross area • None for structures under 7,500 SF	18.40.100
Landscaping	• Landscape plan required for new or expanded buildings/structures o Certain exceptions apply • Min. 5% of total paved area used for driveways and parking o Areas not used for parking or aisleway must be landscaped o Distribute landscape evenly throughout parking lot • Landscape berm or similar required for parking lot next to street	18.40.060.O 18.40.090 18.42.075
Fire & Explosion Hazards	• All incineration is prohibited • Subject to Fire Prevention Code	18.36.040.A Ch. 8.08

Zone	M-1 & M-2	Code Section
Radioactivity or Electrical Disturbances	• Interference with activities beyond property line is prohibited	18.36.040.B
Noise & Vibration	• Noise levels and vibration detrimental to the public health, safety & welfare are prohibited	18.36.040.C-D Ch. 8.36
Smoke, Dust, Odors, Heat & Glare	• Uses cannot emit dust, heat or glare in such quantities or degree as to be readily detectable off-site • Regulations of the South Coast Air Quality Management District apply	18.36.040.E-G
Outdoor Storage and Waste Disposal	• Conceal view of fuel, materials & products from streets & nearby property • Depositing material/waste easily transferred by natural causes is prohibited • Closed containers required for all materials/wastes that: o Might cause fumes or dust o Constitutes a fire hazard o May be edible or attractive to rodents or insects • Rear setbacks may be used for parking or storage, except if abutting R zone	18.36.040.H 18.42.085
Hours of Operation	• If adjacent or abutting residential areas, hours of operation shall be established upon business license application	18.36.040.I
Refuse Enclosure	• Place in least visible area from right-of-way whenever possible	Ch. 8.20
Enclosure of Mechanical Equipment	• Incorporate the following into building envelope: o All mechanical equipment o Plumbing lines o Heating and cooling units o Storage tanks and ductwork (roof- or ground-mounted) • If not feasible, screen all sides with solid material compatible with main structure	18.42.140
Security & Lighting	• Provide complete security and lighting plan o Requirement: 2-foot candle (average) with min. 1-foot candle for all public/common areas	18.42.150
Signs	• Sign permit required	Ch. 18.58

ABBREVIATIONS
R zone = any property zoned or suitable for residential development (includes R-1/R-2/R-3 zones)
H = height/high
SF = square feet
W = width/wide

PLN-1600, rev. Feb. 2020
JFS

BOUNDARY ESTABLISHMENT



FLOOD HAZARD STATEMENT

THE SUBJECT PROPERTY LIES ENTIRELY WITHIN FLOOD ZONE "X" (AREAS OF MINIMAL FLOODING) AS SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 06037C1795F PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY SEPTEMBER 26, 2008.

NOTE:

THIS MAP AND THE INFORMATION SHOWN HEREON ARE INTENDED FOR THE SOLE USE OF THE CLIENT BY VOORHEIS AND VOORHEIS, INC. THIS COMPANY ACCEPTS NO LIABILITY FOR USE OF THIS MAP OR THE INFORMATION HEREON BY THIRD PARTIES OR PARTIES NOT INVOLVED WITH THE ORIGINAL INTENT OF THE SURVEY.

SURVEYOR'S CERTIFICATE

TO 13126 S. WESTERN AVE. LLC, FIDELITY NATIONAL TITLE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 7(b)(1), 7(c), 8, 9, 13, 14, 16, AND 19 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, THE UNDERSIGNED FURTHER CERTIFIES THAT, IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

DATE: _____

JEFF S. VOORHEIS, L.S. 7570

CORNER RECORD

City of GARDENA County of LOS ANGELES, California
Brief Legal Description LOT 30, BLOCK 6, PANAMA ACRES TRACT, M.B. 15-138/139

CORNER TYPE: Government Corner Control Monument Property Other Rando Other

COORDINATES (Optional): N. E. S. W. Units: Metric U.S. Survey Feet Horizontal Datum: Zone: Epoch Date: Vertical Datum: Epoch Date: Complies with Public Resources Code SS 8801-8819 Complies with Public Resources Code SS 8800-8802

PLS Act Ref: 876(s) 877i 877z Other

Corner/Monument: Left as found Established Rebuilt Pre-Construction Found and tagged Reestablished Referenced Post-Construction

Narrative of corner identified and monument as found, set, reset, replaced, or removed:
 See sheet #2 for description(s).

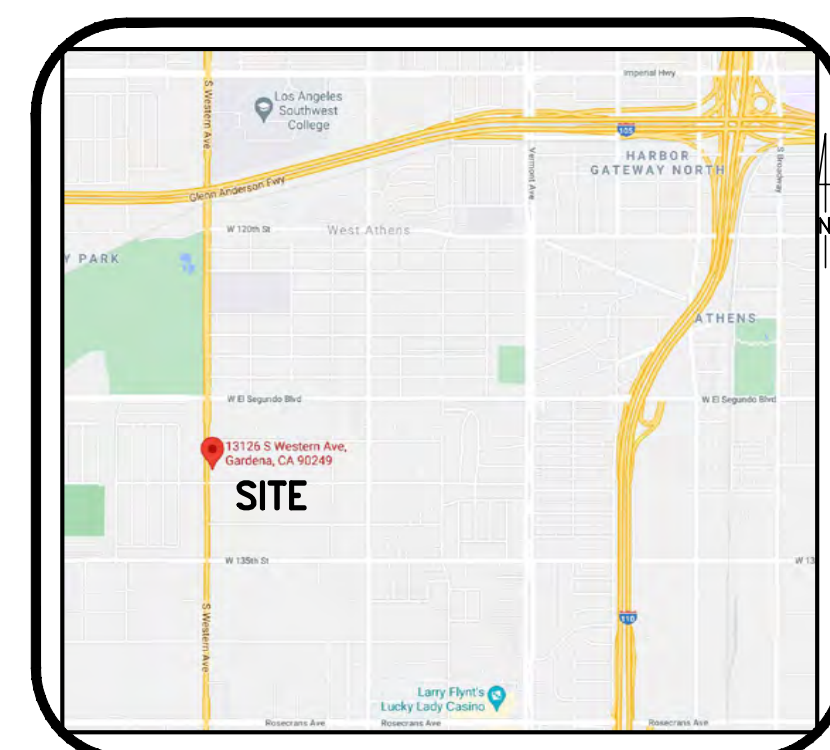
① FD S&W "ACE 2774S" AT C/L INT. PER R5 1.00' S/O PROPERTY CORNER
② FD S&W "LS 7707" AT C/L INT. PER R2 1.00' S/O PROPERTY CORNER
③ FD S&W "LS 7707" AT C/L INT. PER R3 1.00' W/O PROPERTY CORNER
④ FD S&W "ACE 2774S" AT C/L INT. PER R4 1.00' W/O PROPERTY CORNER
⑤ SET LATAG "LS 7570" AT PROPERTY CORNER
⑥ SET 3/4" I.P. "LS 7570" AT PROP. COR.

SEE PLAT ON PAGE 2

SURVEYOR'S STATEMENT
This Corner Record was prepared by me or under my direction in conformance with the Professional Land Surveyors' Act on MAY 5, 2021
Signed: Jeff S. Voorheis P.L.S. or R.C.E. No. 7570

COUNTY SURVEYOR'S STATEMENT
This Corner Record was received _____ and examined and filed _____
Signed: _____ P.L.S. or R.C.E. No. _____
Title _____
County Surveyor's Comment _____

APN: 6102-006-013
BPES-2016 Page 1 of 2



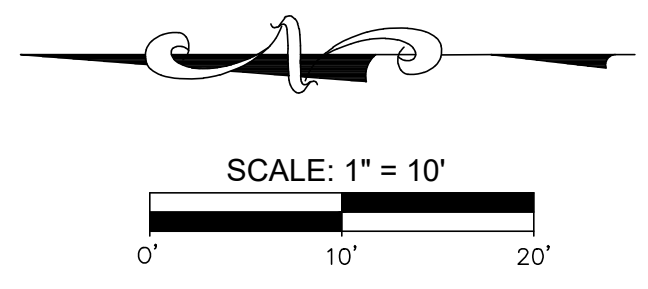
REVISIONS:

DATE	BY	REVISION

Client: **13126 S. WESTERN AVE. LLC**
2216 MAIN STREET, SUITE 201
SANTA MONICA, CA 90405
Phone: (310) 892-2244
Fax: _____

ALTA/NSPS LAND TITLE SURVEY
13126 S WESTERN AVE.
GARDENA, CA. 90249

VOORHEIS & VOORHEIS, INC.
PROFESSIONAL LAND SURVEYORS SINCE 1974
17049 Sumburst Street, Northridge, CA 91325
Phone: (818) 993-5611
mail@SurveyLA.com



ABBREVIATIONS

BLDG	BUILDING	GS	GROUND SHOT
BW	BACK OF WALK	OHC	OVERHEAD CABLE
CA TV	CABLE TV PULL BOX	OHP	OVERHEAD FIBER OPTIC
CD	CURB DRAIN	OHP	OVERHEAD POWER
CF	CURB FACE	OHT	OVERHEAD TELEPHONE
CLF	CHAIN LINK FENCE	PP	POWER POLE
CO	SEWER CLEANOUT	SD	STORM DRAIN
CONC	CONCRETE	SMH	SANITARY MANHOLE
EG	EDGE OF GUTTER	TC	TOP OF CURB
EP	EDGE OF PAVEMENT	TG	TOP OF GRADE
FF	FINISHED FLOOR	T.O.P.	TOP OF PARAPET
FL	FLOW LINE	TSPB	TRAFFIC SIGNAL PULL BOX
FS	FINISHED SURFACE	TW	TOP OF WALL
GM	GAS METER	WM	WATER METER
GP	GUARD POST		

SYMBOL LEGEND

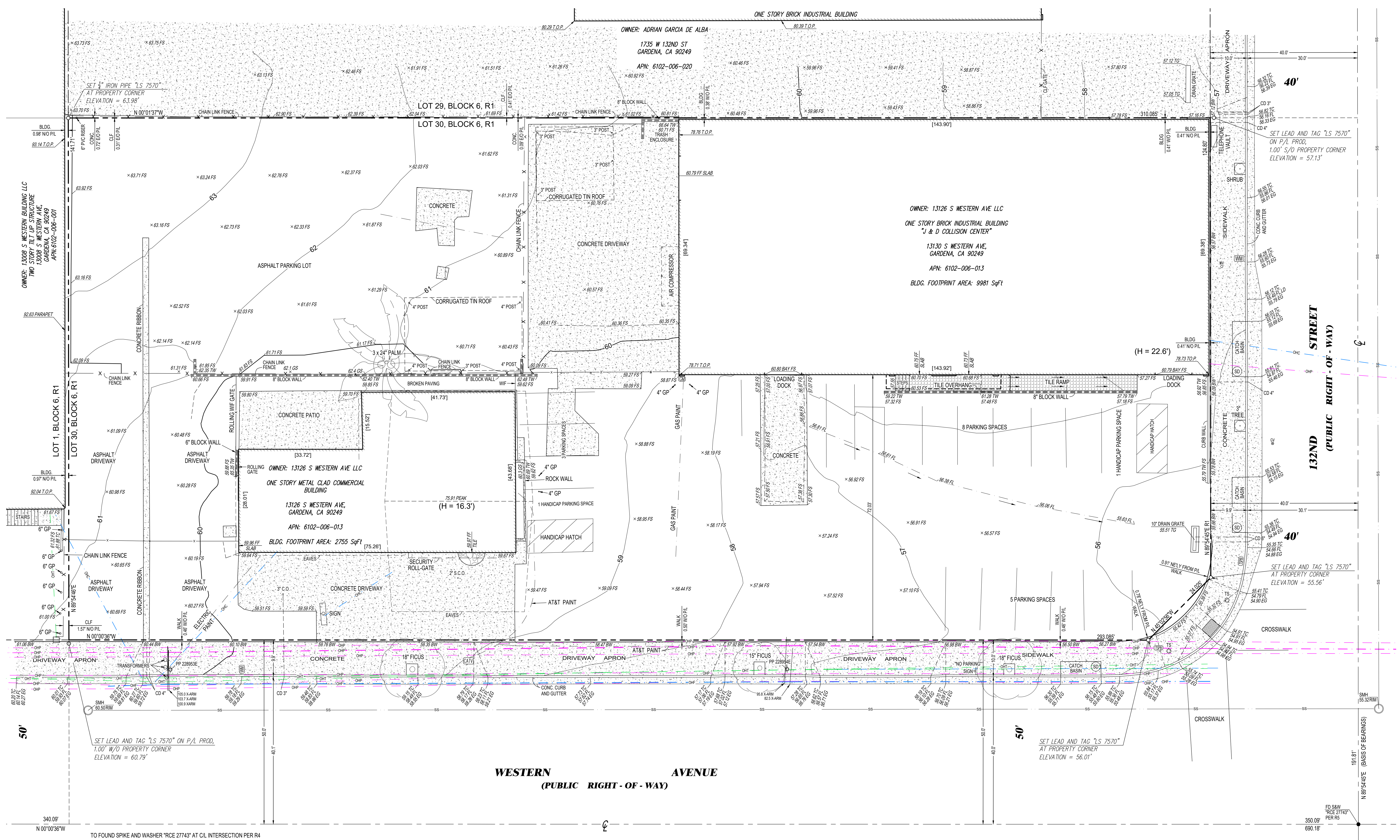
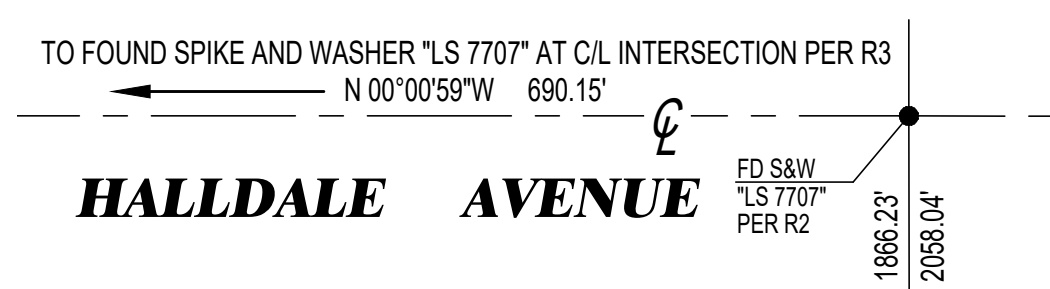
- - TREE (SIZE, TYPE AS NOTED)
- - STORM/SANITARY MANHOLE (AS NOTED)
- ⊗ - CABLE TV PULL BOX
- ⊗ - TRAFFIC SIGNAL PULL BOX
- ⊗ - WATER METER
- ⊗ - WATER VALVE
- ⊗ - GAS VALVE
- ⊗ - SIGN
- ⊗ - TRAFFIC SIGNAL
- - MONUMENT FOUND (SIZE, TYPE AS NOTED)
- - MONUMENT SET (SIZE, TYPE AS NOTED)

LINETYPES

- BUILDING LINE
- CENTER LINE
- PROPERTY LINE
- RIGHT OF WAY LINE
- - - - FENCE LINE (SIZE, TYPE AS NOTED)
- 300 - MAJOR CONTOUR
- 300 - INTERVAL CONTOUR
- UTILITY LINE (TYPE AS NOTED)
- BLDG. EAVES
- OHC - OVERHEAD CABLE LINES
- OHP - OVERHEAD FIBER OPTIC LINES
- OHP - OVERHEAD POWER LINES
- OHT - OVERHEAD TELEPHONE LINES
- WALL (SIZE, TYPE AS NOTED)

BENCHMARK
 BM ID: RY7945
 RDBM TAG IN SOUTH CATCH BASIN 2FT E/O BCR
 @ SE CORNER 132ND ST & NORMANDIE AVE.
 ELEV = 87.63 (NAVD 88)(2013 ADJ.)

SHEET REFERENCES
 R1 - PANAMA ACRES TRACT, M.B. 15-138/139
 R2 - PWFB 819, PAGES 2794-2795
 R3 - PWFB 819, PAGES 2796-2797
 R4 - PWFB 819, PAGES 2944-2945
 R5 - PWFB 819, PAGES 3283-3284



REVISIONS:

DATE	BY	REVISION

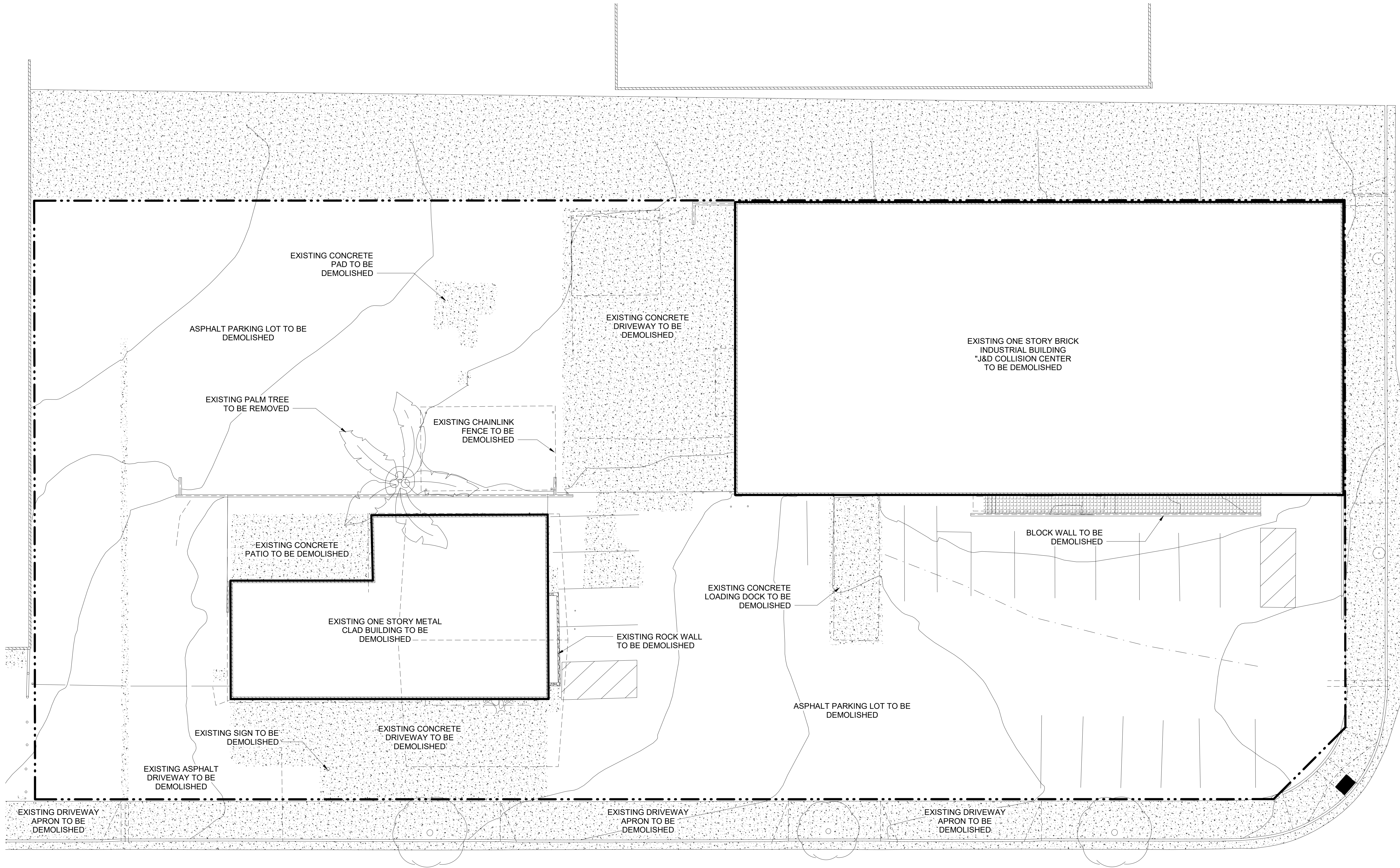
Client:
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 2216 MAIN STREET, SUITE 201
 SANTA MONICA, CA 90405
 Phone: (310) 892-2244
 Fax:

ALTANSPS LAND TITLE SURVEY
 13126 S WESTERN AVE.
 GARDENA, CA. 90249
 DATE: 5/5/2021 JOB NO. 2104N

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 PROFESSIONAL LAND SURVEYORS SINCE 1974
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 mail@SurveyLA.com

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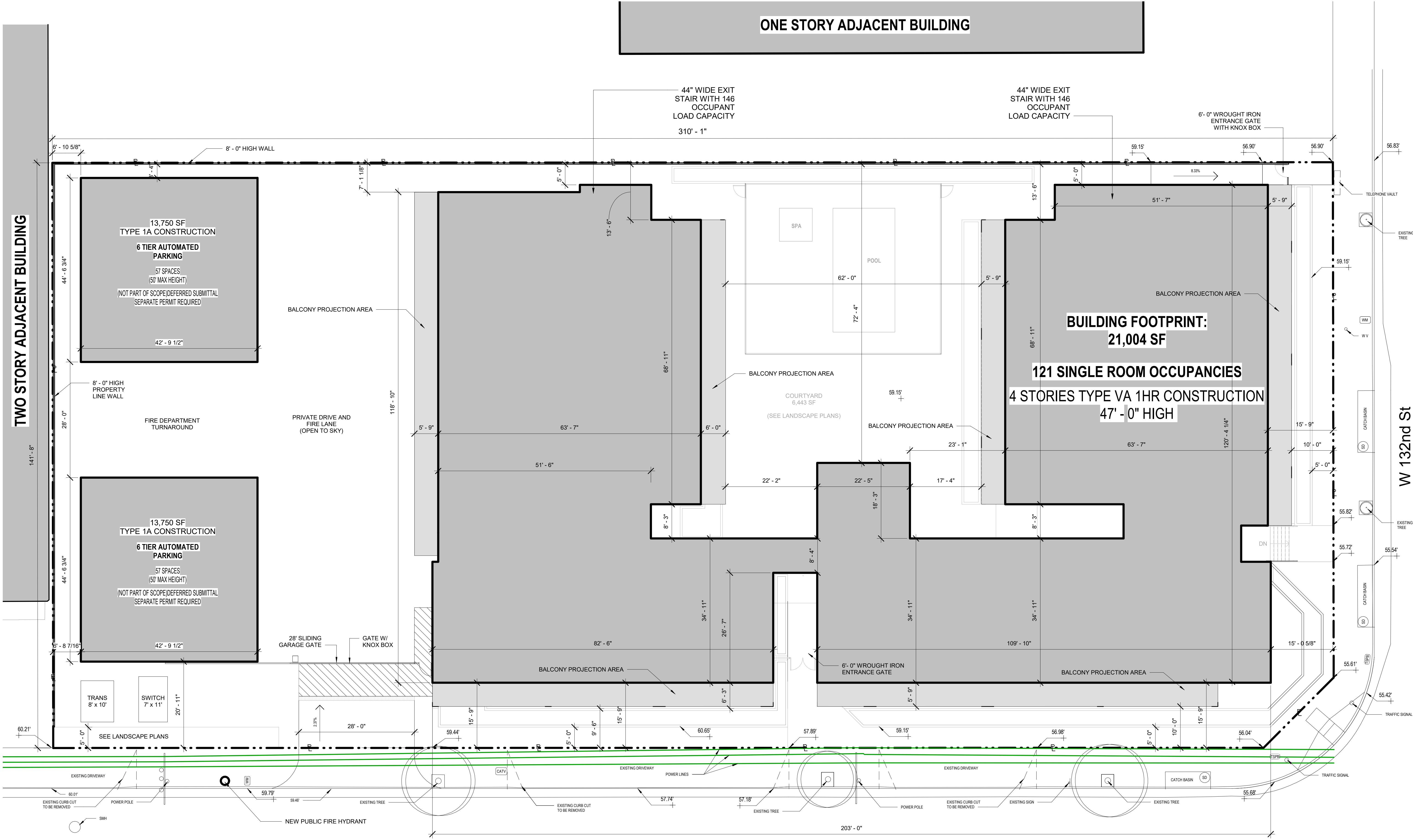
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SINGLE ROOM OCCUPANCIES
13126 S Western Ave
Gardena, CA 90249

SHEET NAME
DEMOLITION PLAN

ISSUE
PLANNING SUBMITTAL
01/04/2022

SHEET NO.
A01

ONE STORY ADJACENT BUILDING



TWO STORY ADJACENT BUILDING

44" WIDE EXIT STAIR WITH 146 OCCUPANT LOAD CAPACITY 310' - 1"

44" WIDE EXIT STAIR WITH 146 OCCUPANT LOAD CAPACITY

6"-0" WROUGHT IRON ENTRANCE GATE WITH KNOX BOX

13,750 SF TYPE 1A CONSTRUCTION
6 TIER AUTOMATED PARKING
57 SPACES (50' MAX HEIGHT)
(NOT PART OF SCOPE/DEFERRED SUBMITTAL SEPARATE PERMIT REQUIRED)

13,750 SF TYPE 1A CONSTRUCTION
6 TIER AUTOMATED PARKING
57 SPACES (50' MAX HEIGHT)
(NOT PART OF SCOPE/DEFERRED SUBMITTAL SEPARATE PERMIT REQUIRED)

BUILDING FOOTPRINT:
21,004 SF

121 SINGLE ROOM OCCUPANCIES
4 STORIES TYPE VA 1HR CONSTRUCTION
47' - 0" HIGH

SPA
POOL

COURTYARD
6,443 SF
(SEE LANDSCAPE PLANS)



DE ARCHITECTS AIA
1535 4TH STREET, SUITE 101
SANTA MONICA, CA 90401
310.451.7917
WWW.DEARCHITECTS.NET

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PROJECT
13126 S Western Ave
SINGLE ROOM OCCUPANCIES
13126 S Western Ave
Gardena, CA 90249

SHEET NAME
SITE PLAN
ISSUE
PLANNING SUBMITTAL
12/23/2021

SHEET NO.
A02

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PROJECT
13126 S Western Ave
 SINGLE ROOM OCCUPANCIES
 13126 S Western Ave
 Gardena, CA 90249

SHEET NAME
FAR CALCULATION

ISSUE
 PLANNING SUBMITTAL
 01/04/2022

SHEET NO.

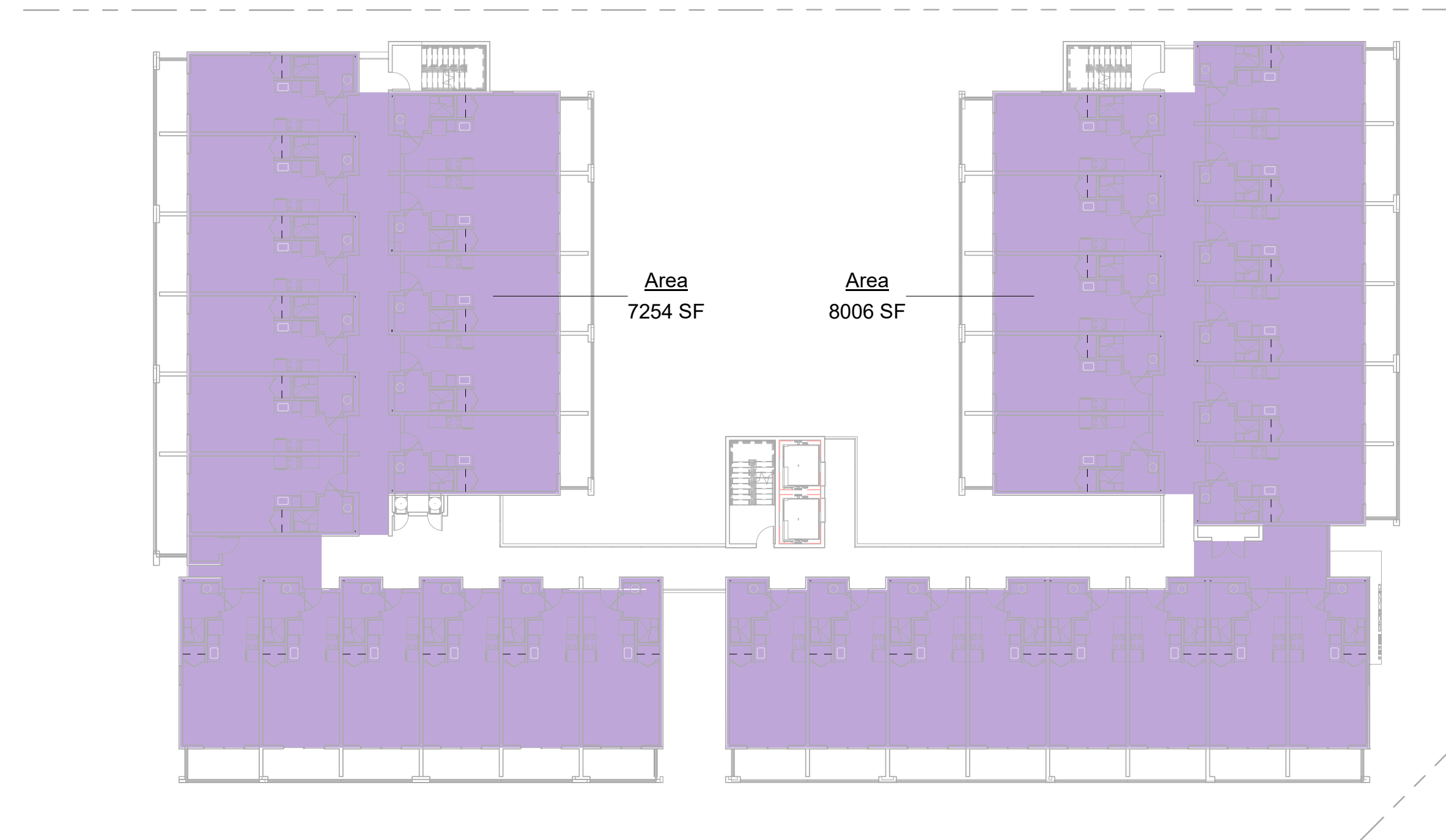
A03

TOTAL PROPOSED FLOOR AREA	
Level	Area
Not Placed	0 SF
01 - GROUND FLOOR	13,157 SF
02 - SECOND FLOOR	15,260 SF
03 - THIRD FLOOR	13,819 SF
04 - FOURTH FLOOR	12,181 SF
	54,416 SF

LOT AREA: 43,811 SF (1.006 ACRES)
 ALLOWABLE FAR: 1.0
 ALLOWABLE FAR: W/ DENSITY BONUS 1.25
 ALLOWABLE FLOOR AREA: 43,811 x 1.25 = 54,764 SF
 PROPOSED FLOOR AREA: 54,416 SF



④ FOURTH FLOOR
 1" = 20'-0"



② SECOND FLOOR
 1" = 20'-0"



③ THIRD FLOOR
 1" = 20'-0"



① GROUND FLOOR
 1" = 20'-0"

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PROJECT
13126 S Western Ave
 SINGLE ROOM OCCUPANCIES
 13126 S Western Ave
 Gardena, CA 90249

SHEET NAME
OPEN SPACE CALCULATIONS

ISSUE
 PLANNING SUBMITTAL
 01/04/2022

SHEET NO.

A04

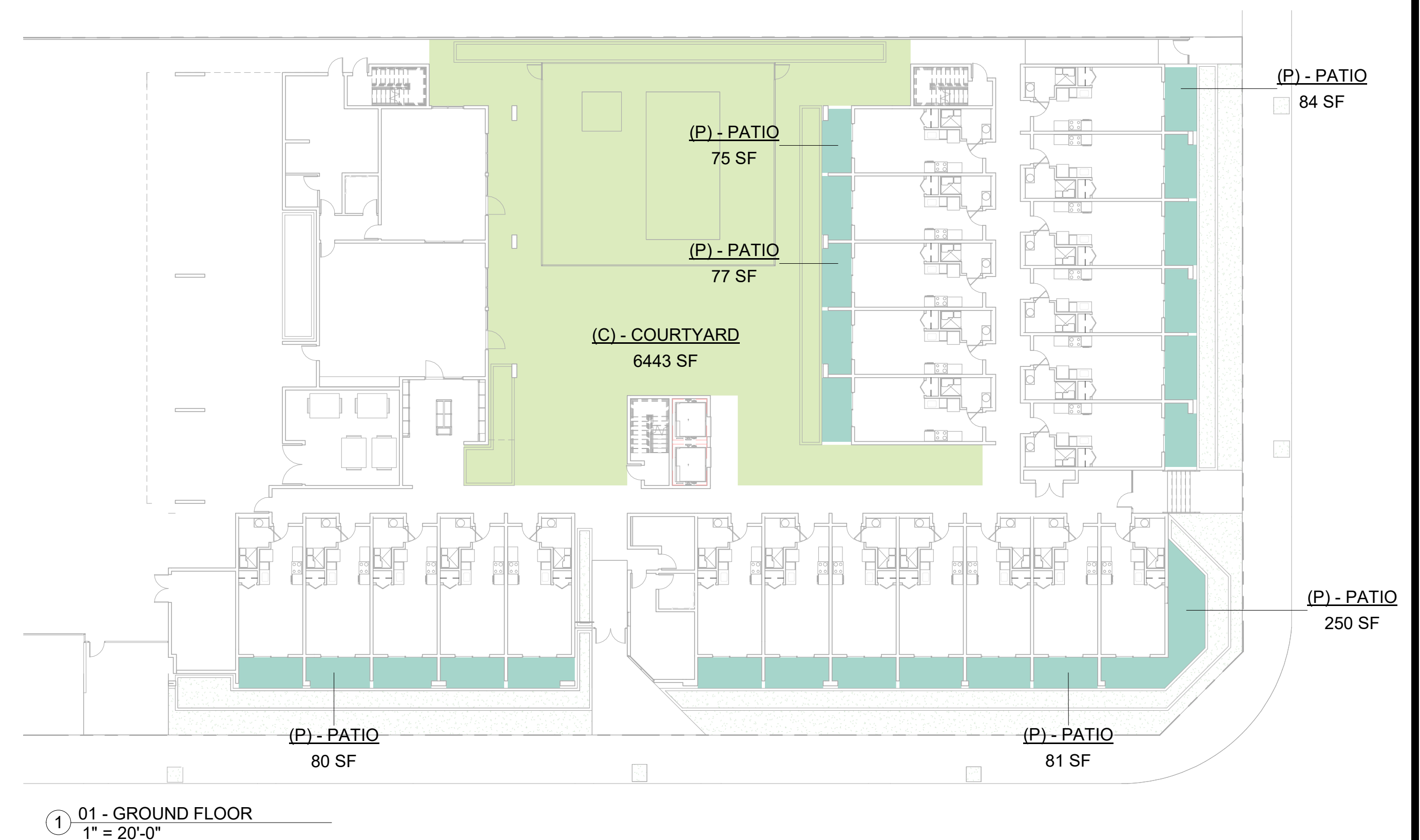
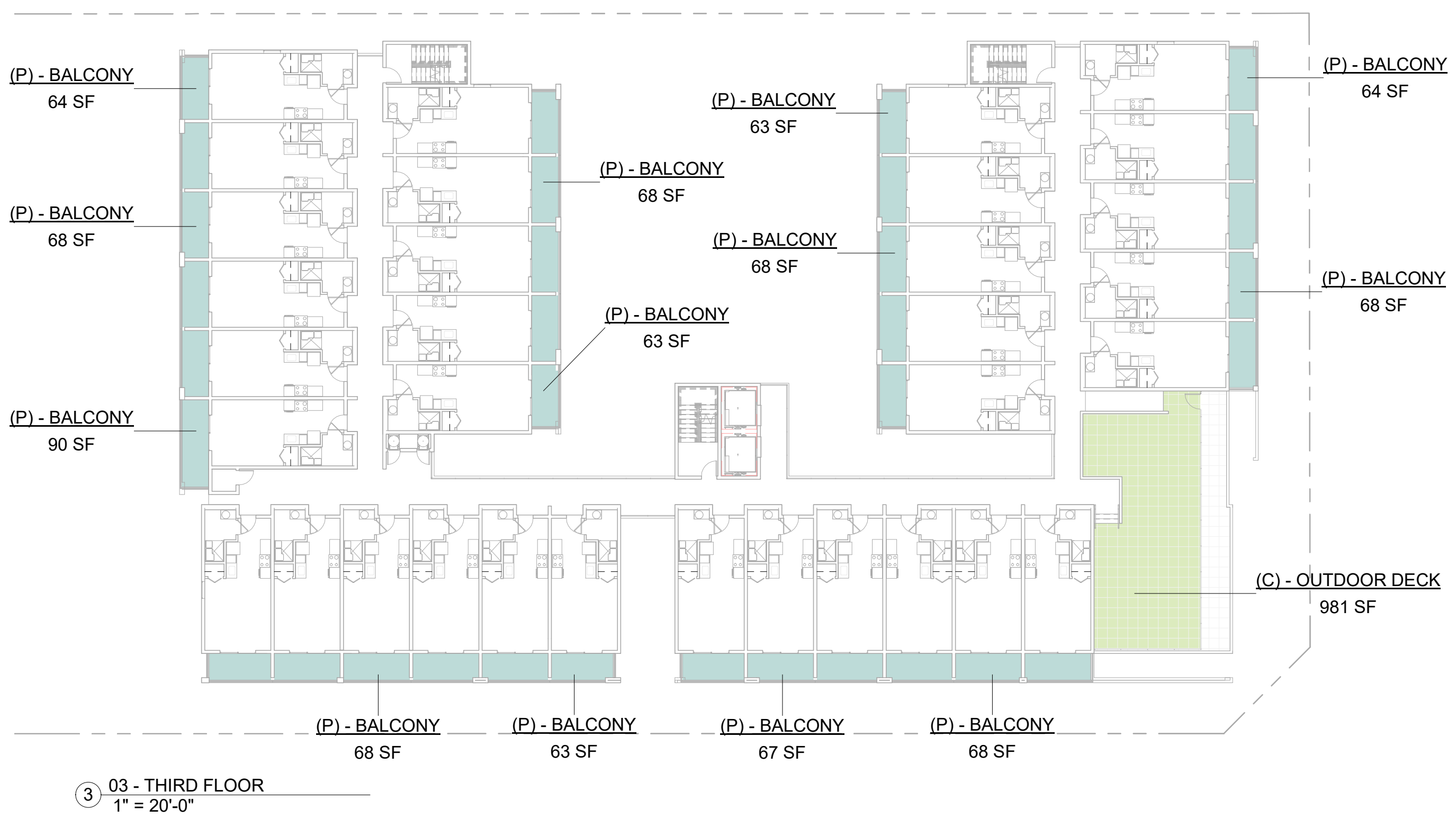
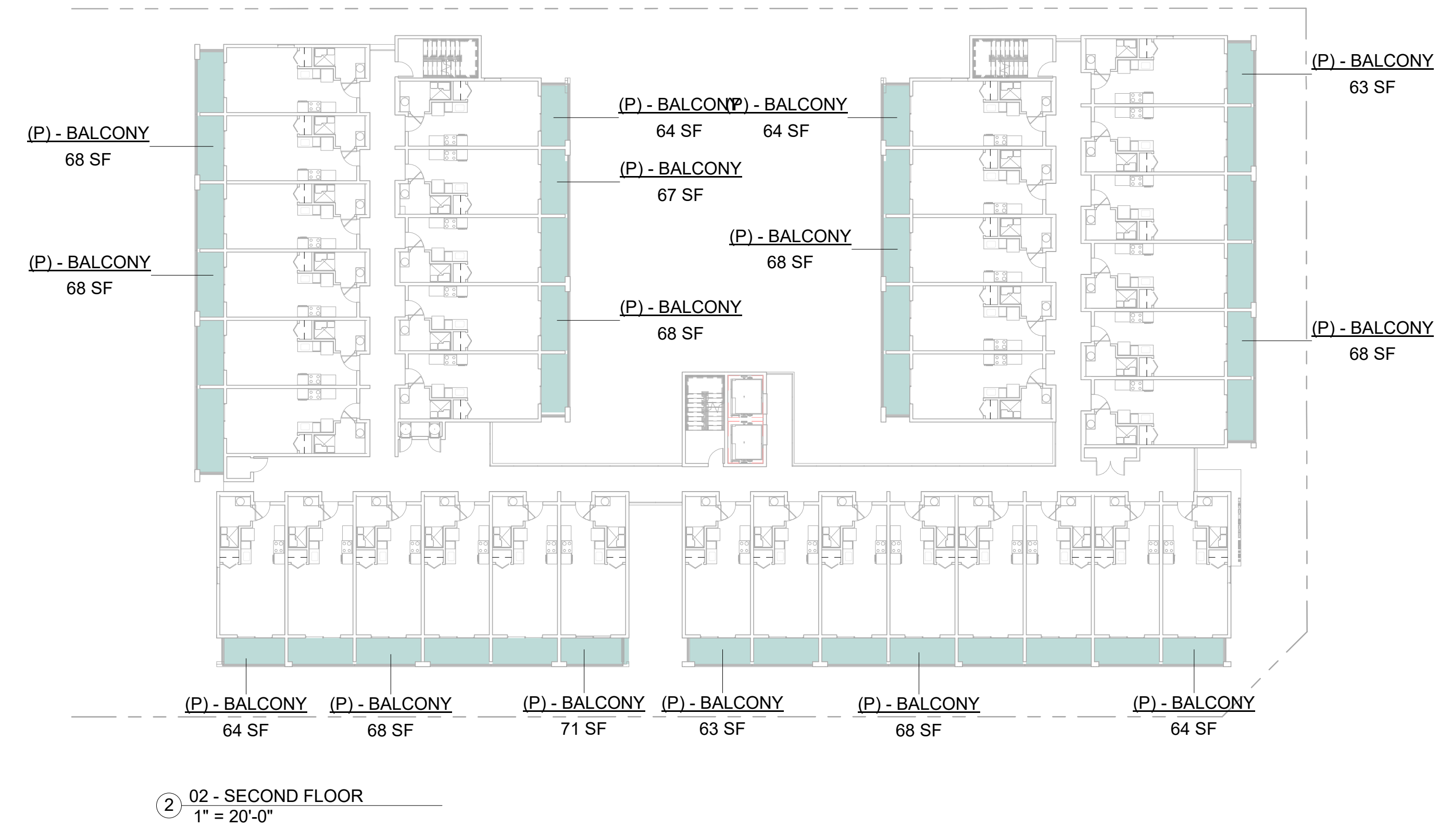
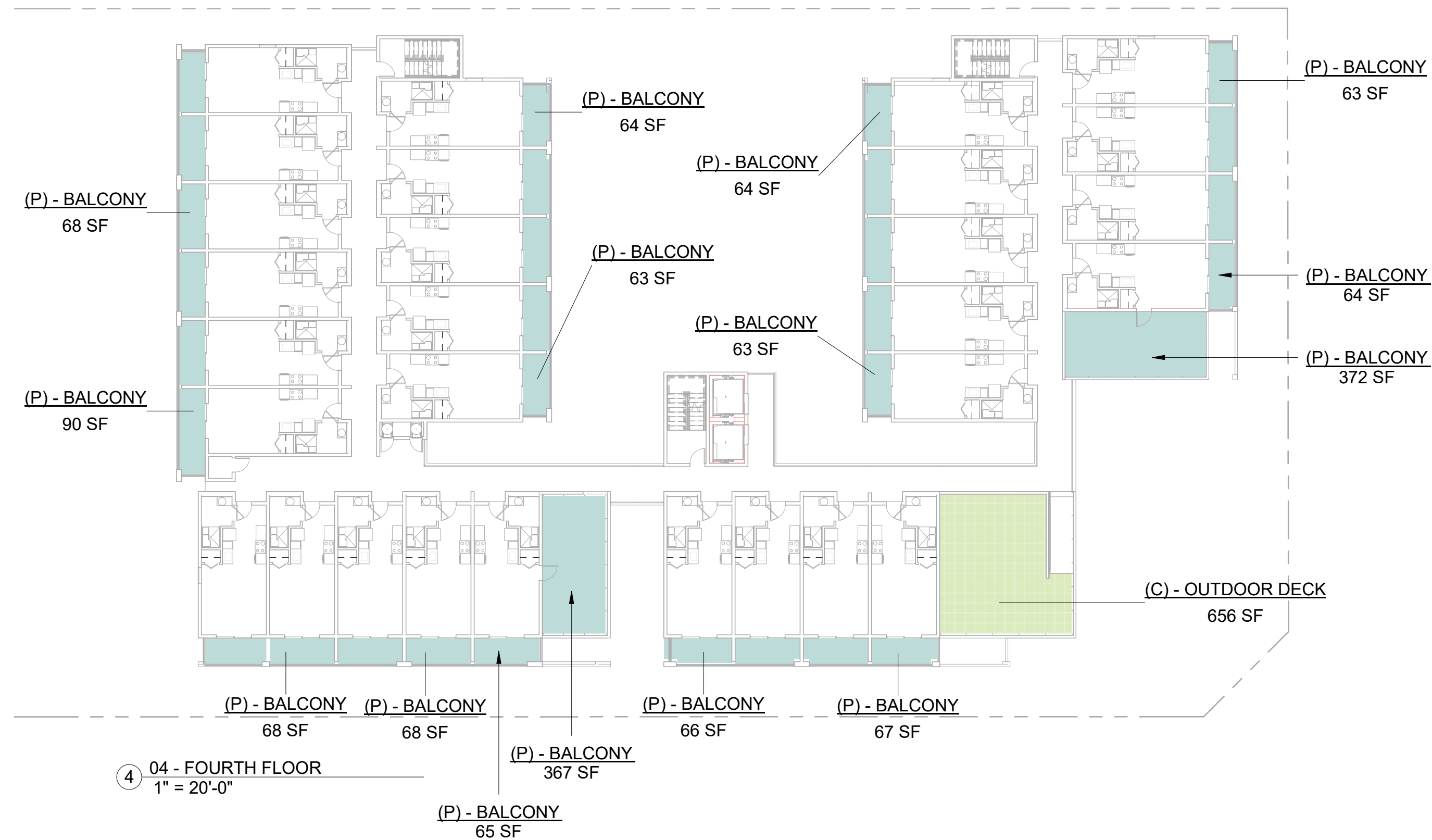
COMMON OPEN SPACE CALCULATIONS		
Level	Name	Area
01 - GROUND FLOOR	(C) - COURTYARD	6,443 SF
03 - THIRD FLOOR	(C) - OUTDOOR DECK	981 SF
04 - FOURTH FLOOR	(C) - OUTDOOR DECK	656 SF
Grand total: 3		8,080 SF

PRIVATE OPEN SPACE CALCULATIONS		
Level	Name	Area
01 - GROUND FLOOR	(P) - PATIOS	2,011 SF
02 - SECOND FLOOR	(P) - BALCONIES	2,415 SF
03 - THIRD FLOOR	(P) - BALCONIES	2,216 SF
04 - FOURTH FLOOR	(P) - BALCONIES	2,671 SF
Grand total: 121		9,314 SF

OPEN SPACE

REQUIRED OPEN SPACE: 10 SF PER UNIT (121 x 10 = 1,210 SF)

PROVIDED OPEN SPACE: PRIVATE OPEN SPACE – 9,314 SF
 COMMON OPEN SPACE – 8,080 SF
 TOTAL OPEN SPACE – 17,394 SF



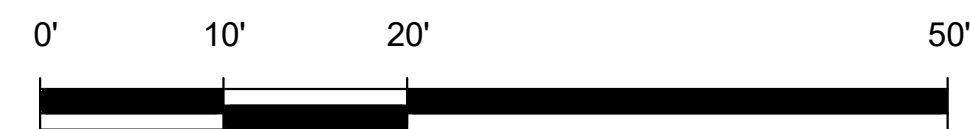
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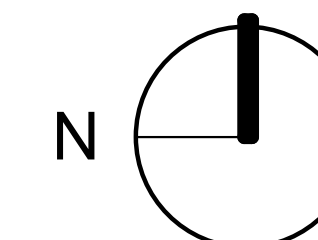


NOTE:

- DUE TO FIRE DEPARTMENT COMMENTS, WIDTH OF DRIVEWAY HAS BEEN INCREASED BY 10' - 0" (28' - 0" TO 38' - 0") TO ALLOW FIRE DEPARTMENT ACCESS, RESULTING IN COURTYARD WIDTH TO BE DECREASED BY 10' - 0".
- SETBACK AT THE SOUTH SIDE OF THE WEST PORTION OF THE BUILDING DECREASED FROM 20' - 2" TO 15' - 1".
- PARKING SPACE 122 HAS BEEN RELOCATED.
- BAMBOO SCREENING THE PARKING STRUCTURE HAS BEEN REMOVED. (FIRE DEPARTMENT REQUIREMENT)
- WEST ENTRANCE GATE HAS BEEN RELOCATED AND MANAGER'S OFFICE HAS BEEN REDESIGNED TO ACCOMMODATE FOR PARCEL STORAGE
- LANDSCAPING AND PRIVATE PATIO ON THE CORNER OF S WESTERN AND W 132nd ST HAS BEEN MODIFIED



GROUND FLOOR PLAN - 23 SRO's
 SCALE: 3/32" = 1'- 0"



PROJECT
13126 S Western Ave
 SINGLE ROOM OCCUPANCIES
 13126 S Western Ave
 Gardena, CA 90249

SHEET NAME
GROUND FLOOR PLAN

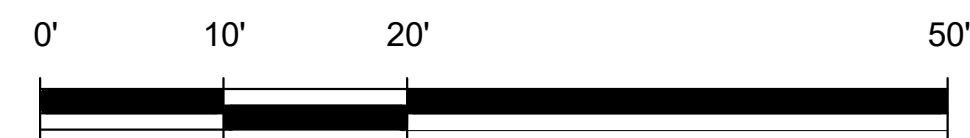
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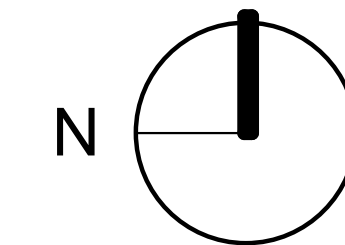
A06

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SECOND FLOOR PLAN - 36 SRO's
 SCALE: 3/32" = 1'- 0"



PROJECT
13126 S Western Ave
 SINGLE ROOM OCCUPANCIES
 13126 S Western Ave
 Gardena, CA 90249

SHEET NAME
SECOND FLOOR PLAN

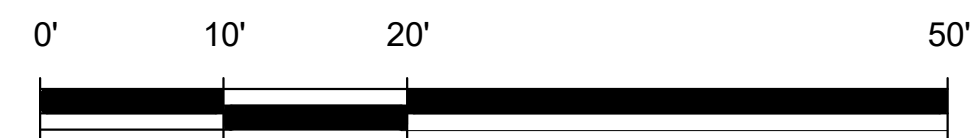
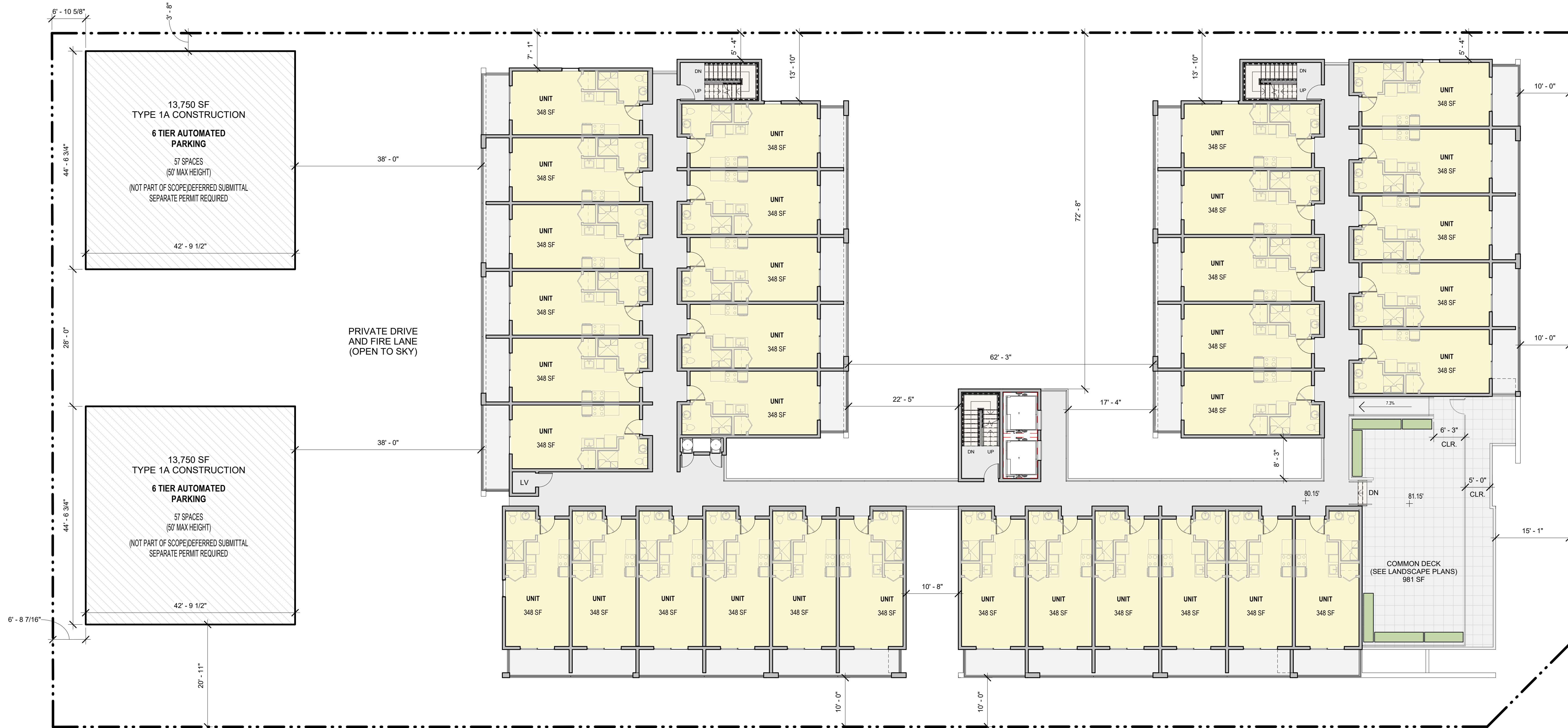
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SHEET NO.

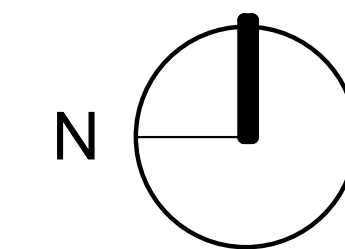
A07

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THIRD FLOOR PLAN - 33 SRO's
 SCALE: 3/32" = 1'- 0"



PROJECT
13126 S Western Ave
 SINGLE ROOM OCCUPANCIES
 13126 S Western Ave
 Gardena, CA 90249

SHEET NAME
THIRD FLOOR PLAN

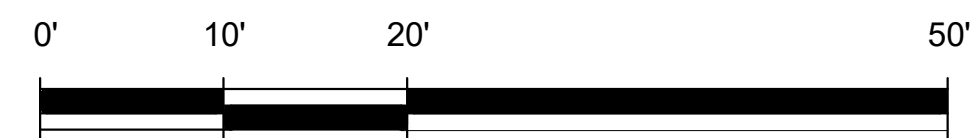
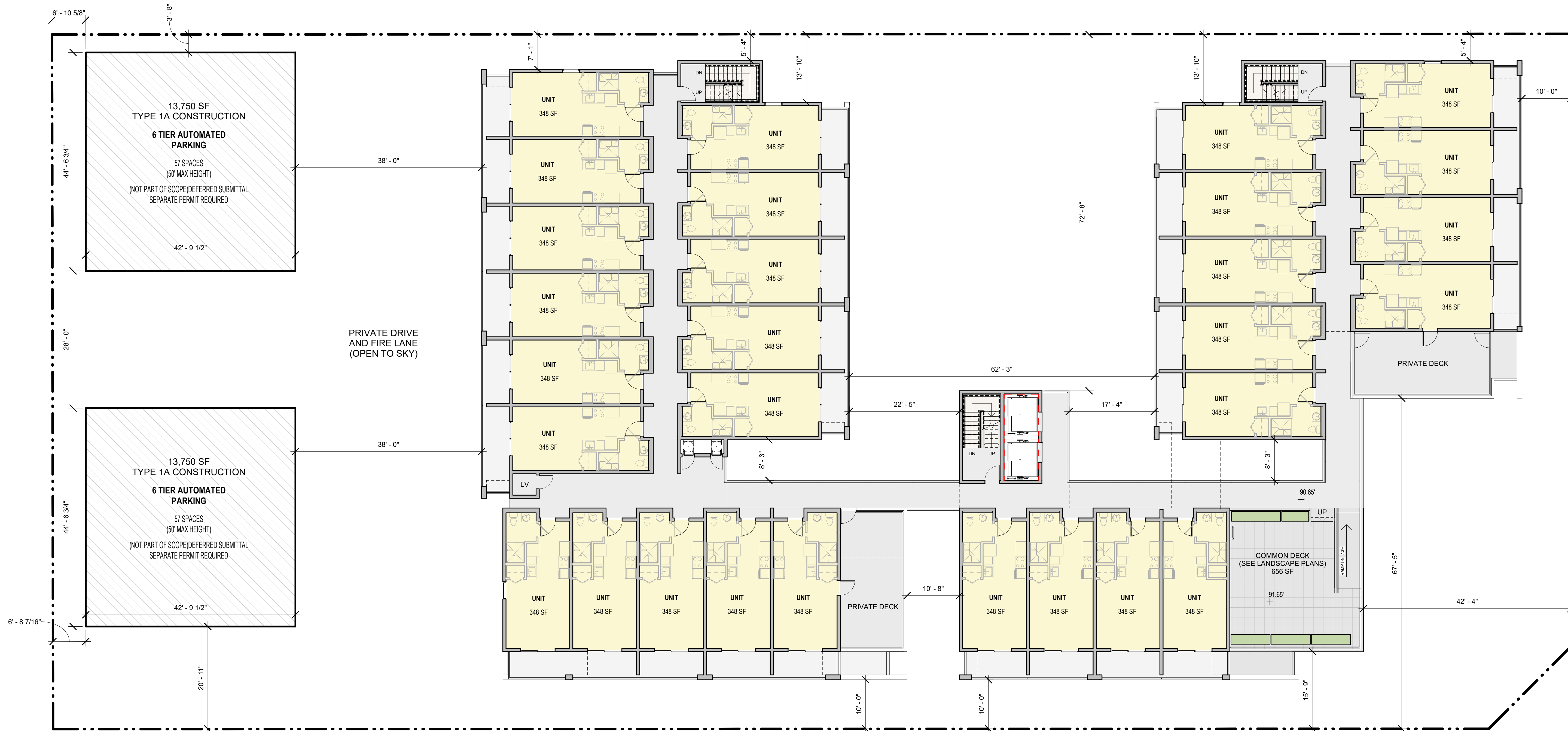
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SHEET NO.

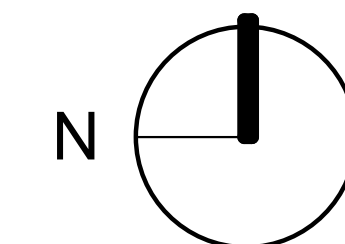
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FOURTH FLOOR PLAN - 29 SRO's
 SCALE: 3/32" = 1'- 0"



PROJECT

13126 S Western Ave
 SINGLE ROOM OCCUPANCIES
 13126 S Western Ave
 Gardena, CA 90249

SHEET NAME
FOURTH FLOOR PLAN

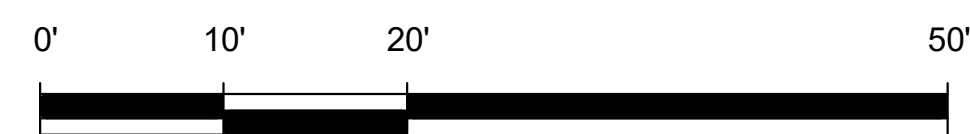
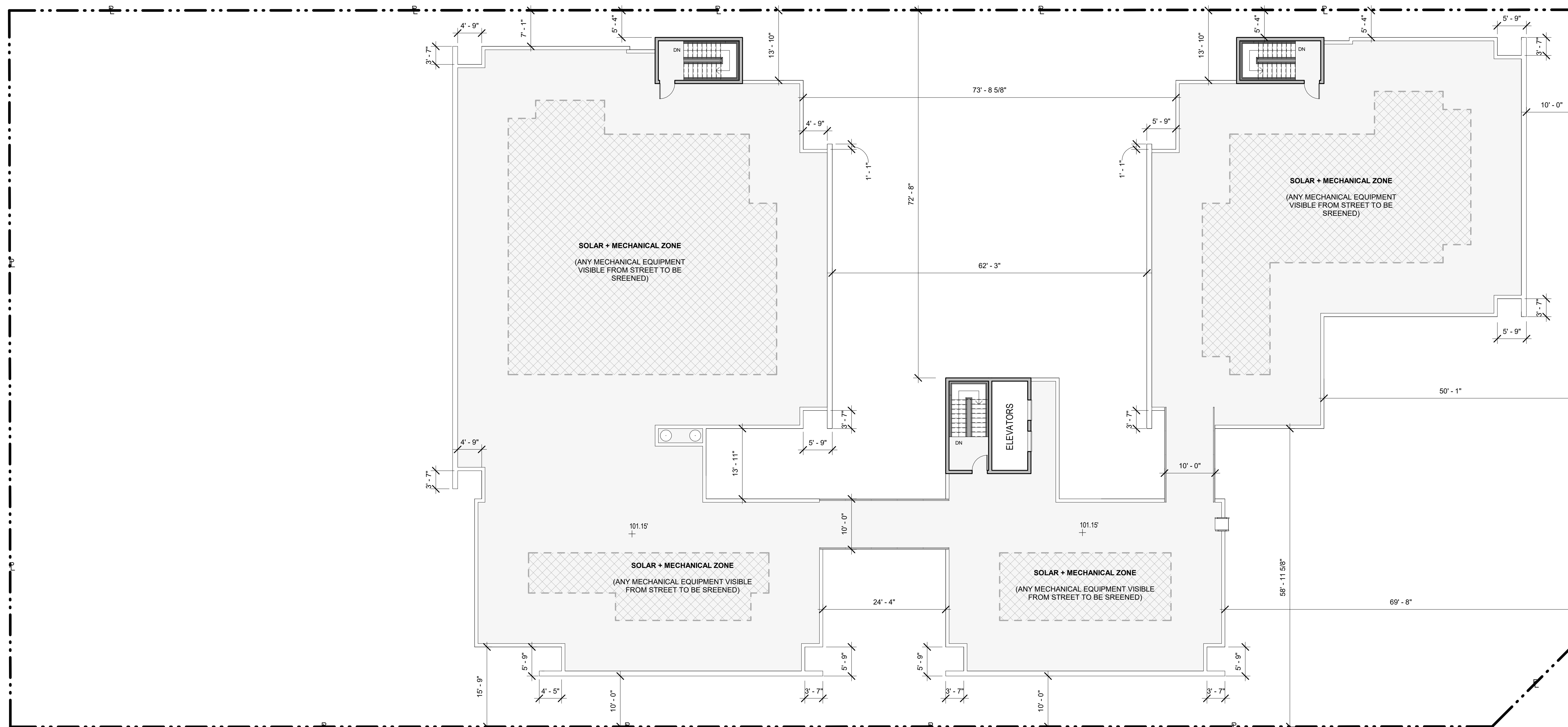
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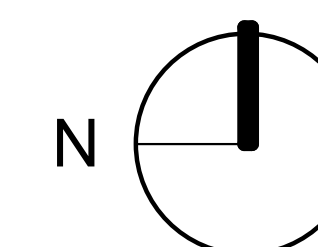
A09

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ROOF PLAN
SCALE: 3/32" = 1'- 0"



PROJECT

13126 S Western Ave
SINGLE ROOM OCCUPANCIES
13126 S Western Ave
Gardena, CA 90249

SHEET NAME
ROOF PLAN

ISSUE
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12/23/2021

SHEET NO.

A10

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SOUTH ELEVATION
 SCALE: 3/32" = 1'- 0"

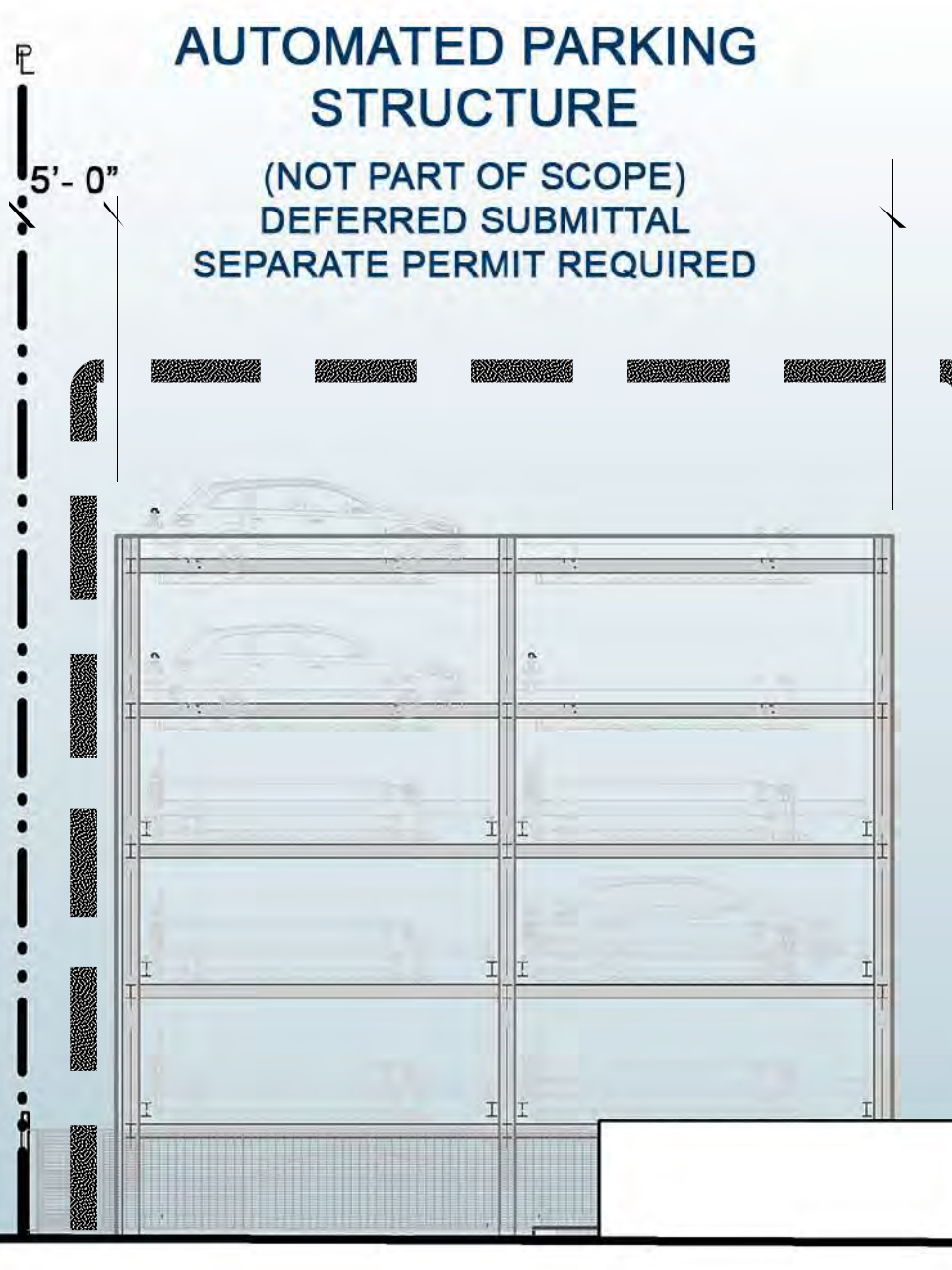
PROJECT
13126 S Western Ave
 SINGLE ROOM OCCUPANCIES
 13126 S Western Ave
 Gardena, CA 90249

SHEET NAME
BUILDING ELEVATIONS

ISSUE
 PLANNING SUBMITTAL
 01/04/2022

SHEET NO.

A11



WEST ELEVATION
 SCALE: 3/32" = 1'- 0"



MATERIAL LEGEND	
NUMBER	MATERIAL
01	FINE SAND ACRYLIC - OMEGA 9202 WHITE
02	FINE SAND ACRYLIC - SHERWIN-WILLIAMS COPPER HARBOR, SW6634
03	FINE SAND ACRYLIC - SHERWIN-WILLIAMS QUITE CORAL, SW6614
04	PERFORATED CORRUGATED GUARDRAIL - SHERWIN-WILLIAMS ARMADILLO, SW9160

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PROJECT

13126 S Western Ave
 SINGLE ROOM OCCUPANCIES
 13126 S Western Ave
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SHEET NAME

COURTYARD ELEVATIONS

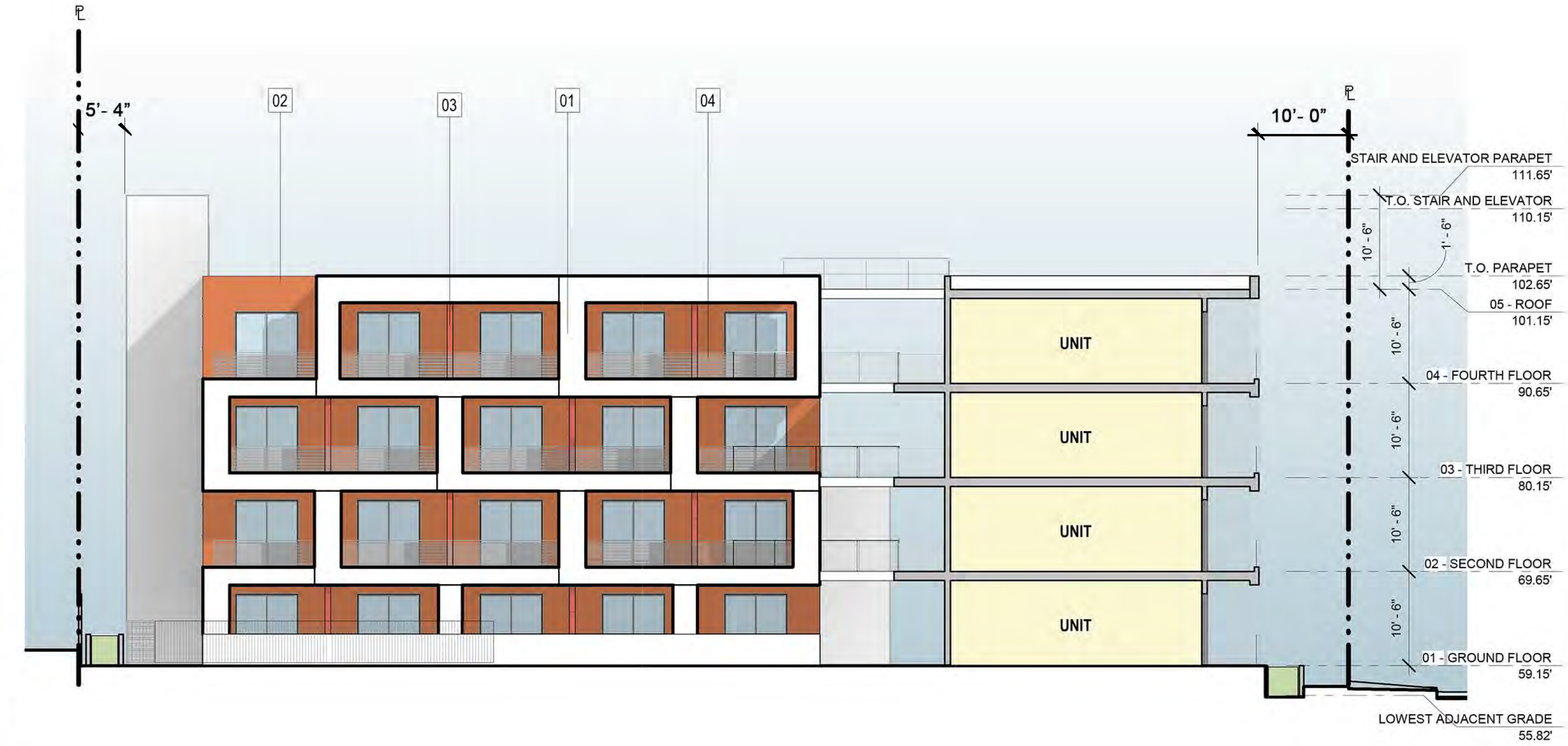
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SHEET NO.

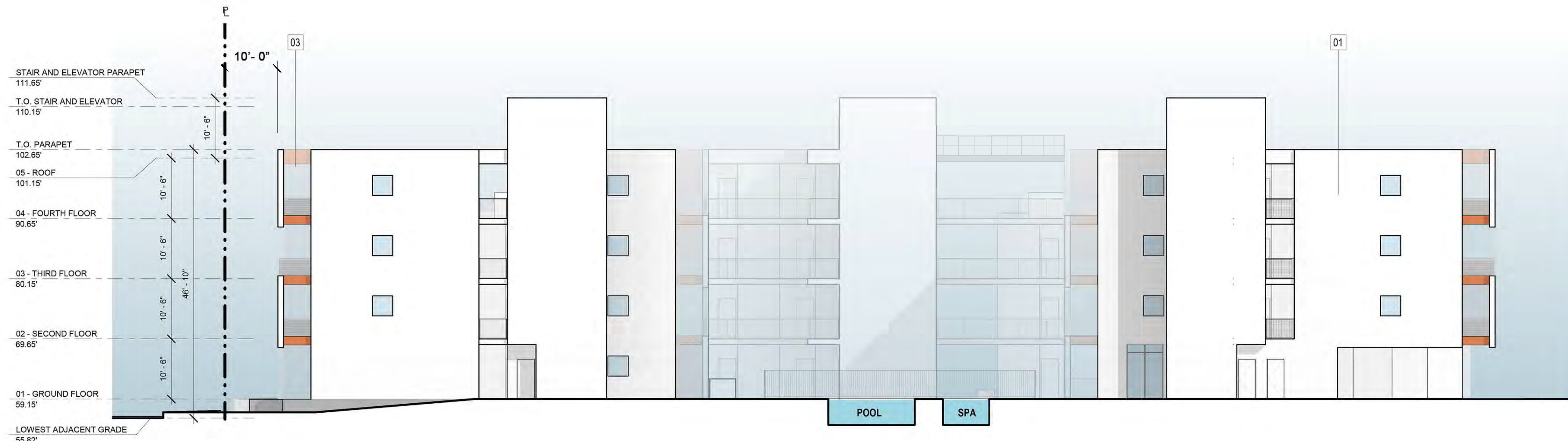
A12



COURTYARD ELEVATION - NORTH
 SCALE: 3/32" = 1'- 0"



COURTYARD ELEVATION - SOUTH
 SCALE: 3/32" = 1'- 0"



COURTYARD ELEVATION - EAST FACING
 SCALE: 3/32" = 1'- 0"



MATERIAL LEGEND	
NUMBER	MATERIAL
01	FINE SAND ACRYLIC - OMEGA 9202 WHITE
02	FINE SAND ACRYLIC - SHERWIN-WILLIAMS COPPER HARBOR, SW6634
03	FINE SAND ACRYLIC - SHERWIN-WILLIAMS QUITE CORAL, SW6614
04	PERFORATED CORRUGATED GUARDRAIL - SHERWIN-WILLIAMS ARMADILLO, SW9160

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PROJECT
13126 S Western Ave
 SINGLE ROOM OCCUPANCIES
 13126 S Western Ave
 Gardena, CA 90249

SHEET NAME
BUILDING SECTIONS

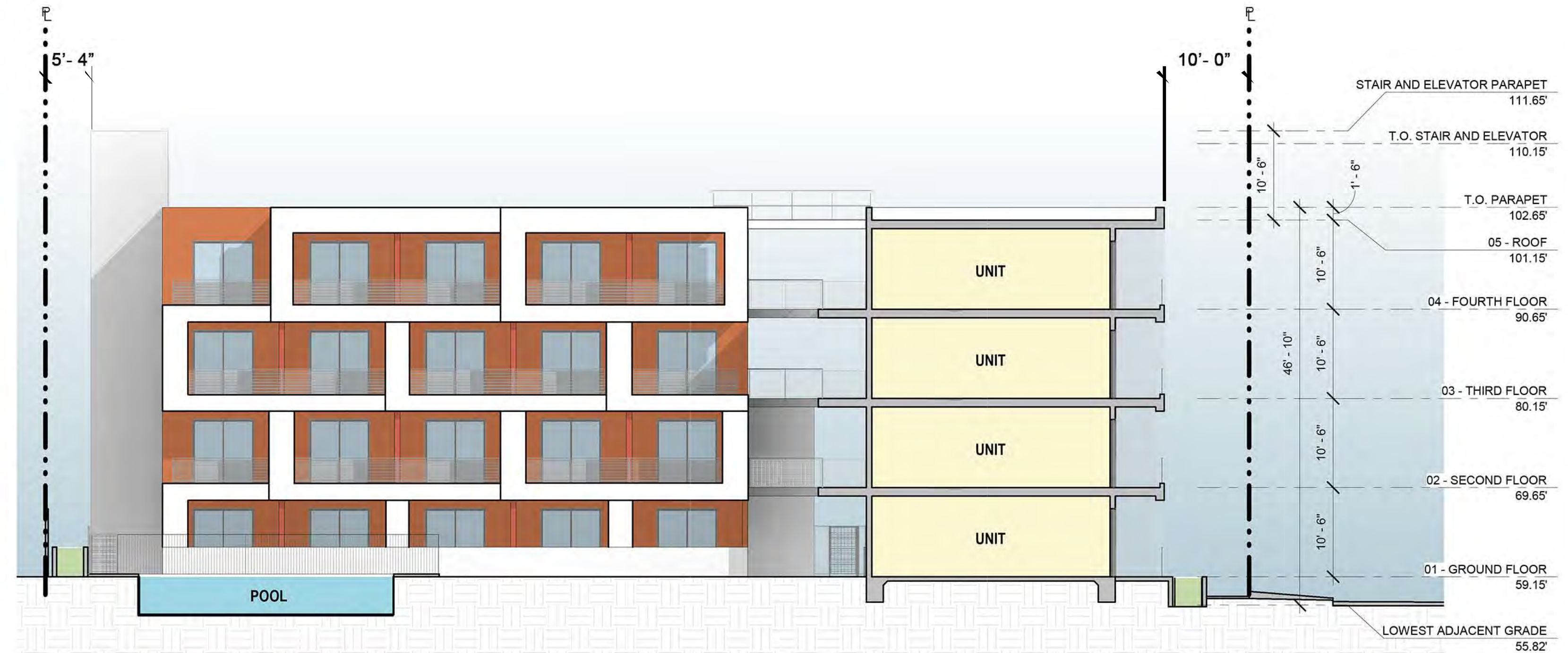
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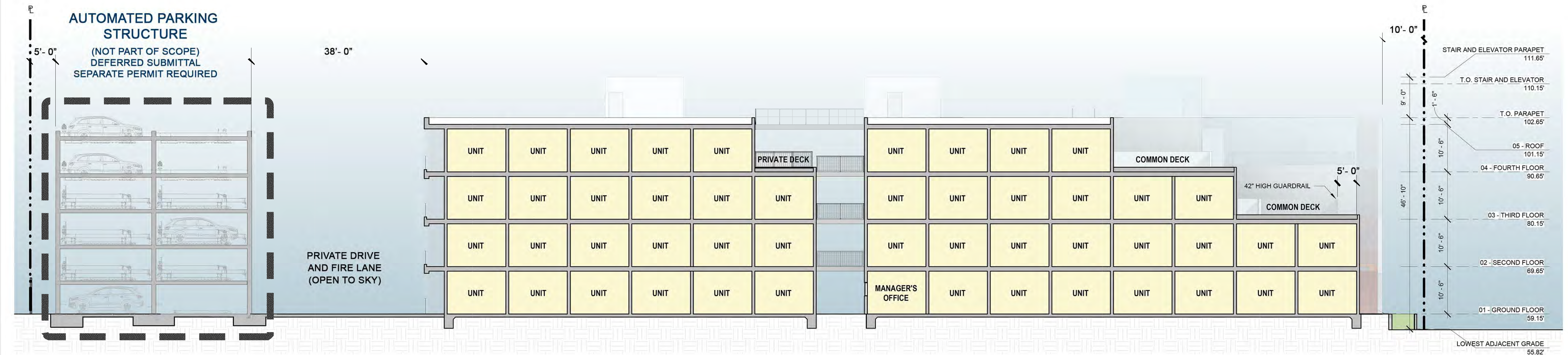
A13



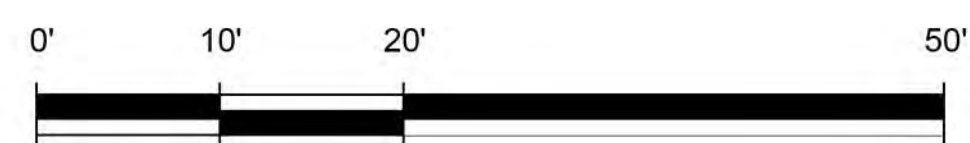
ELEVATION / CROSS SECTION THROUGH COURTYARD - NORTH
 SCALE: 3/32" = 1'- 0"



ELEVATION / CROSS SECTION THROUGH COURTYARD - SOUTH
 SCALE: 3/32" = 1'- 0"

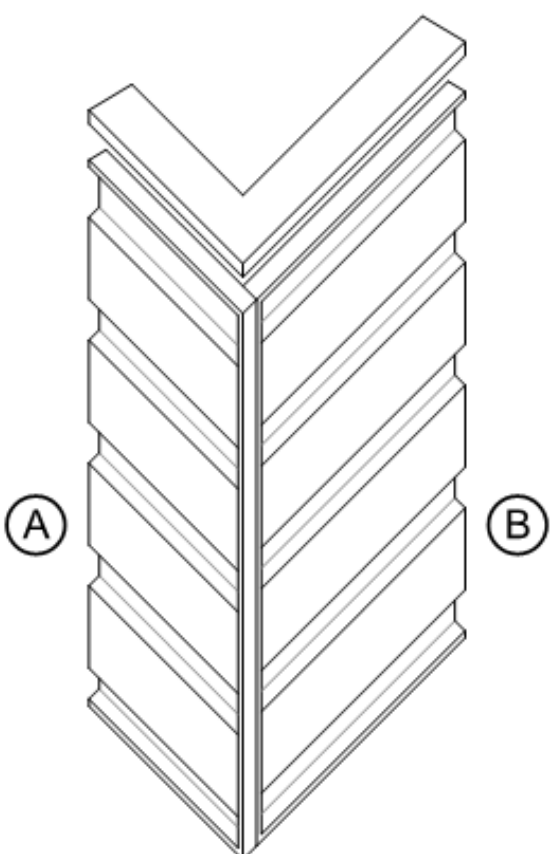
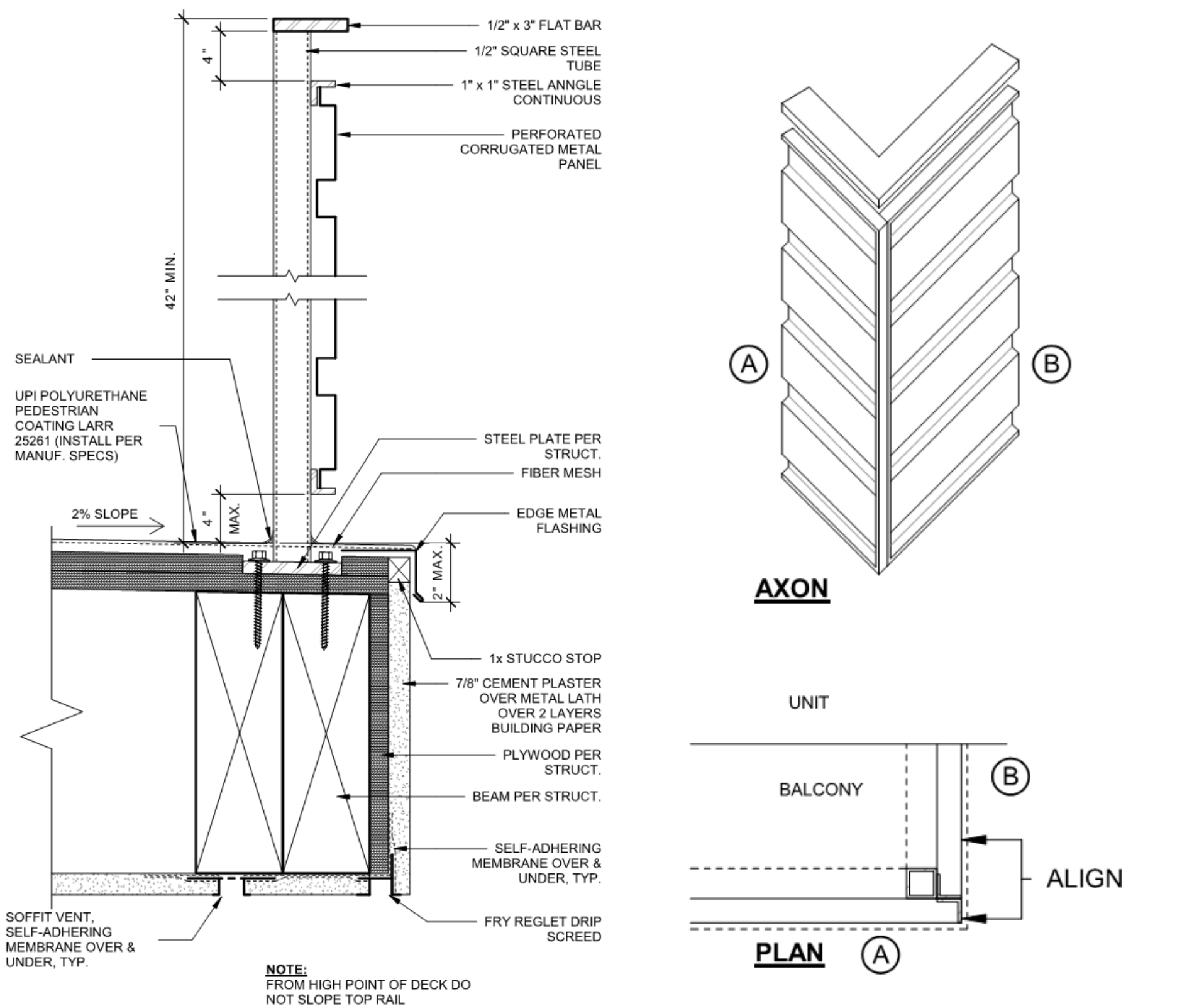


LONGITUDINAL SECTION
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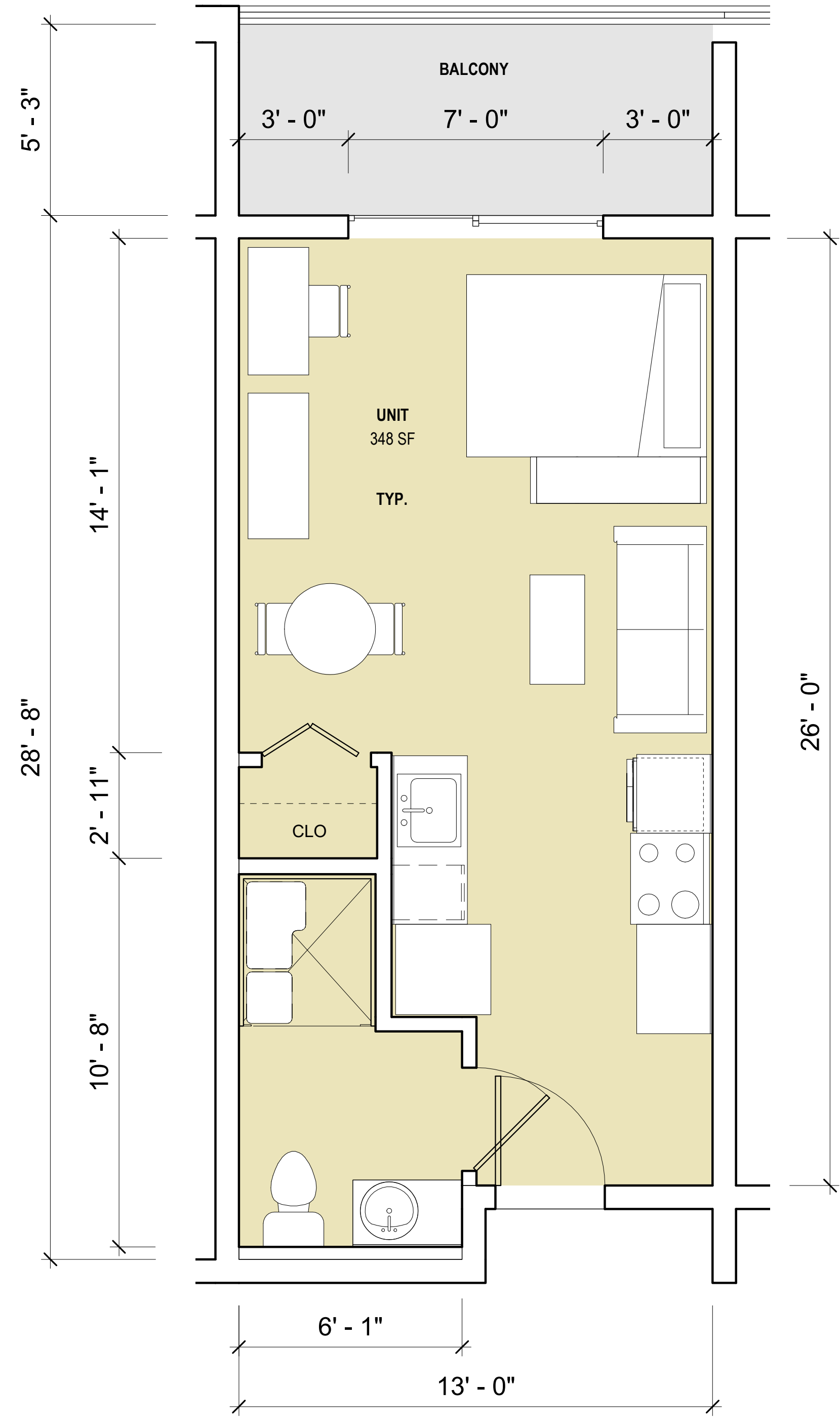
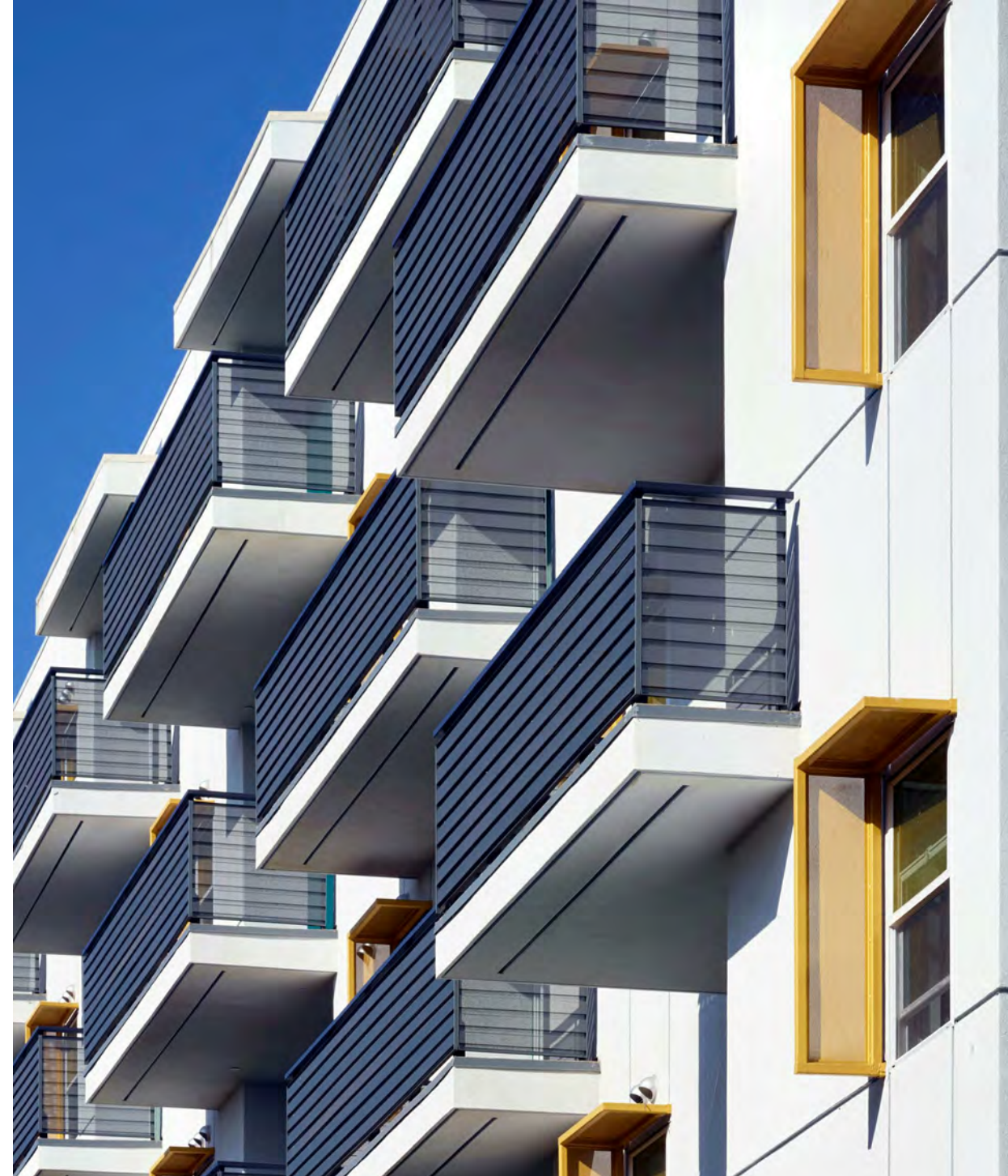
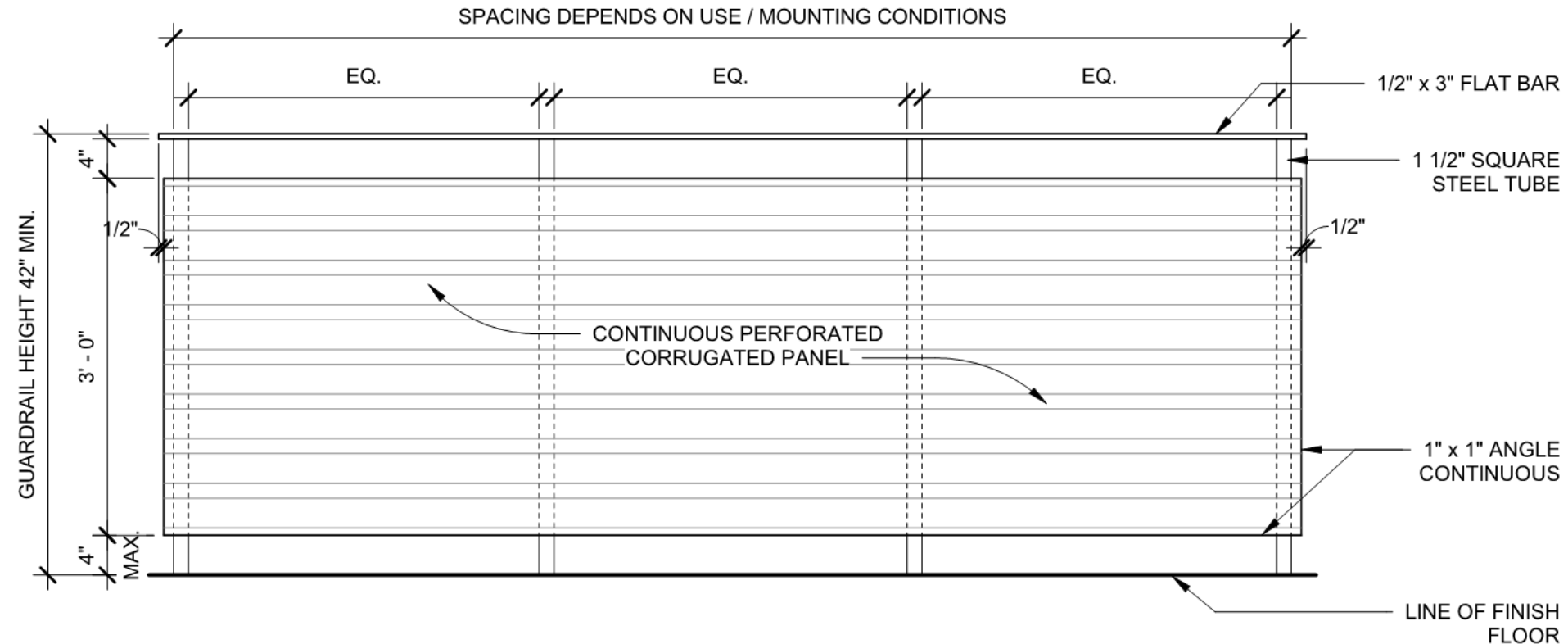
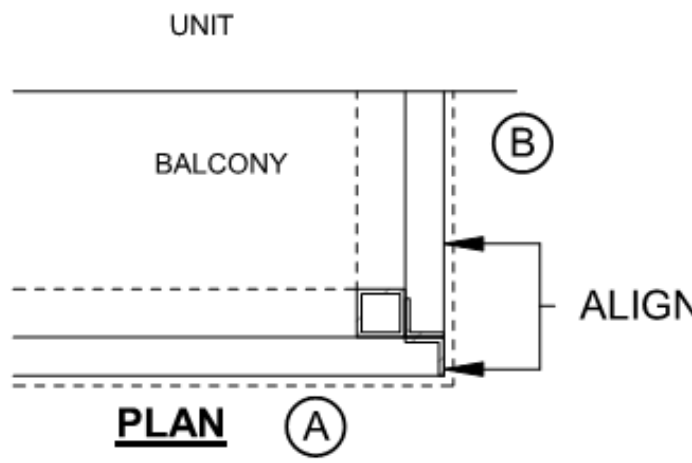


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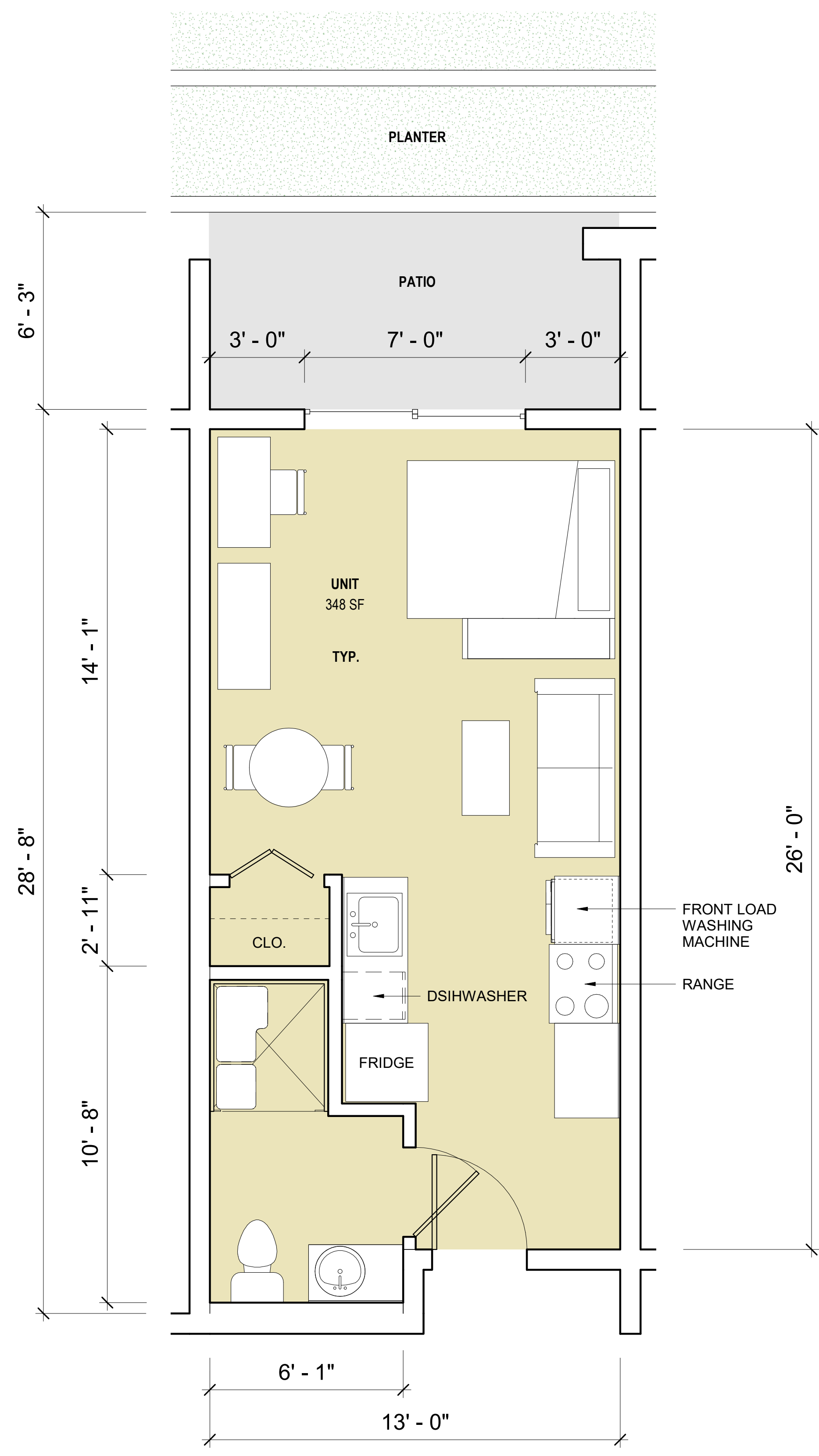
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AXON



UNIT PLAN (TYP.)
 SCALE: 3/8" = 1'-0"



UNIT PLAN (TYP.) AT GROUND FLOOR
 SCALE: 3/8" = 1'-0"

PROJECT
13126 S Western Ave
 SINGLE ROOM OCCUPANCIES
 13126 S Western Ave
 Gardena, CA 90249

SHEET NAME
BUILDING ELEVATIONS

SHEET NO.

A14

ISSUE
 PLANNING SUBMITTAL
 01/04/2022

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PROJECT

13126 S Western Ave
SINGLE ROOM OCCUPANCIES
13126 S Western Ave
Gardena, CA 90249

SHEET NAME

RENDERING

ISSUE
PLANNING SUBMITTAL
01/04/2022

SHEET NO.

A16

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SHEET NO.
A17

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SHEET NAME

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01/04/2022

SHEET NO.

A18

TREE LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
⊙	Arbutus 'Marina'	Marina Strawberry Tree	36"box	1		low 0.3
⊙	Lophostemon confertus	Brisbane Box	24"box	4		low 0.3
⊙	Olea europaea 'Wilsonii'	Wilson Fruitless Olive Tree	36"box	1		low 0.3
⊙	Podocarpus e. 'Monmal'	Blue Ice Yellowwood	36"box	11		low 0.3

SHRUBS AND GROUND COVER LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
⊙	Bambusa oldhamii	Oldham Bamboo	5-gal	13		low 0.3
⊙	Carex divulsa	Berkeley Sedge	5-gal	30"oc		low 0.3
⊙	Chondropetalum elephantinum	Large Cape Rush	5-gal	22		low 0.3
⊙	Dianella r. 'Little Rev'	Flax Lilly	5-gal	23		low 0.3
⊙	Diets bicolor	Fortnight Lily	5-gal	5		low 0.3
⊙	Diets iridioides 'Variegata'	Variegated Fortnight Lily	5-gal	31		low 0.3
⊙	Hypericum x inodorum 'Kolros'		5-gal	5		low 0.3
⊙	Juncus patens	Ca. Grey Rush	5-gal	15		low 0.3
⊙	Muhlenbergia dubia	Pine Muhly	5-gal	81		low 0.3
⊙	Senecio adonidifolius	Snappedragon Vine	1-gal	12"oc		low 0.3
⊙	Senecio vitalis		1-gal	18"oc		low 0.3

Landscape Form items		
Item	Model	Color
Table	Cheap Chic square top	Flambe Orange
Chairs	Catena	Flambe Orange
Trash	Lakeside	Stainless Steel
Lounge chair	Chill	Flambe Orange

NOTE:
 All groundcover areas where plants are 3' oc or greater to have 2 layers of geotextile fabric in 2 different directions geotextile fabric installed 3" below finished grade w/ 3" shredded bark above to eliminate weed growth.
 Waterproofing and drains in planters by others.
 All trees to be planted with commercial root barriers. 2" deep shredded Cedar bark to spread between plants.

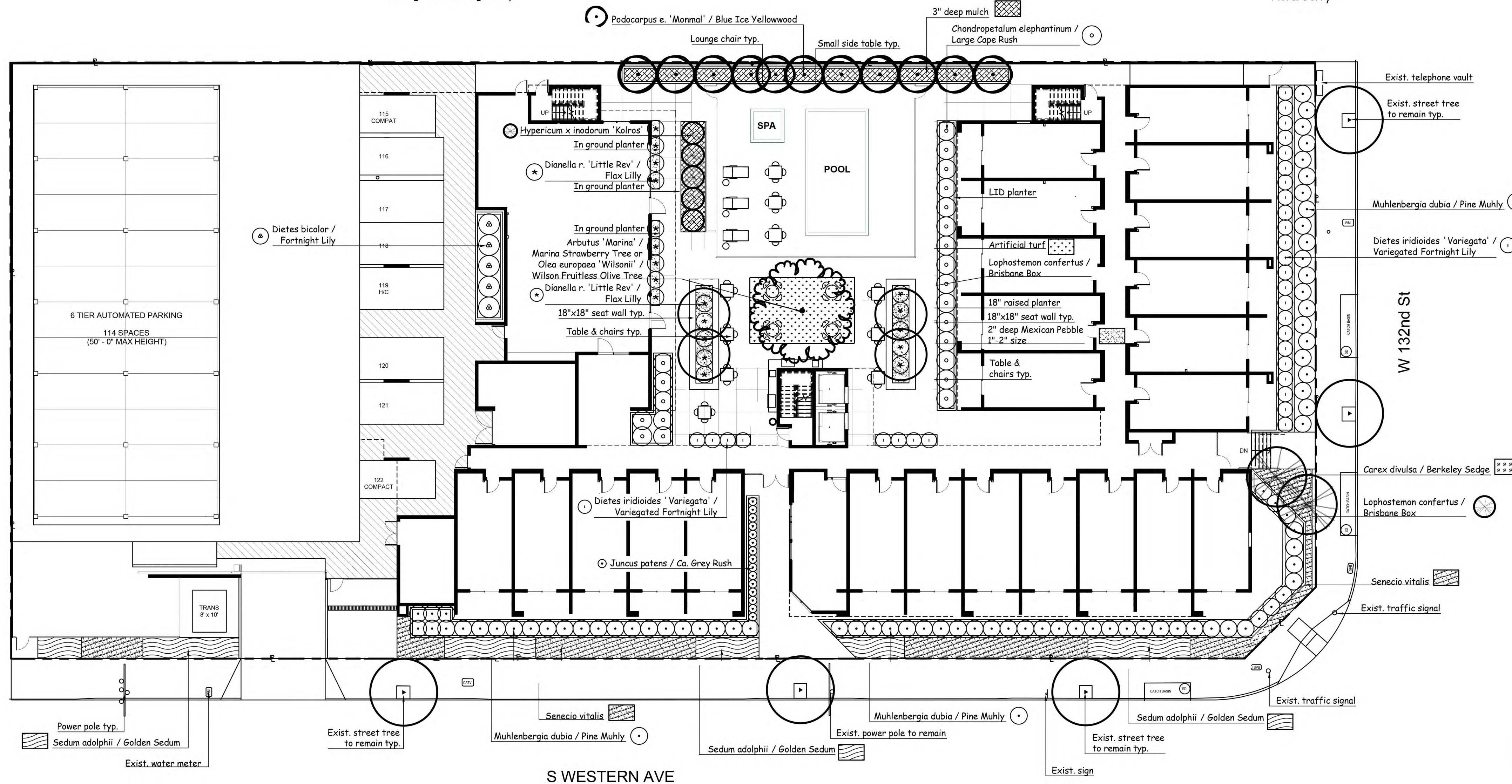


PLANTING NOTES

- DRAWING IS DIAGMMATIC: CONTRACTOR TO VERIFY ALL LOCATIONS AND CONDITIONS ON SITE. COUNT ALL PLANT MATERIAL BEFORE BIDDING.
- CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS ON SITE AND LOCATE ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS.
- CONTRACTOR TO REPAIR AT HIS OWN EXPENSE ALL PROPERTY DAMAGE WHICH OCCURS DURING PROJECT INSTALLATION.
- NOTE ADDITIONAL REMARKS ON SPECIFIC PLANTS IN PLANT LIST.
- ALL EXISTING PLANT MATERIAL TO BE REMOVED EXCEPT WHERE NOTED ON PLAN.
- CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR 90 DAYS FROM THE DATE OF ACCEPTANCE BY OWNER. PALM TO BE GUARANTEED FOR THE PERIOD OF 1 YEAR.
- FINISH GRADE TO BE 2" BELOW ALL WALKS, CURBS, AND PAVING.
- ALL PLANTED AREAS SHALL RECEIVE THE FOLLOWING AMENDMENTS PER 1,000 SQ. FT. OF SURFACE AREA. ROTO-TILL AMENDMENTS TO A DEPTH OF 6"
 - *150 LBS. GRO-POWER
 - *3 CU YDS NITROGENIZED, MINERALIZED FIR BARK
 - *ADD 8 LBS OF GRO-POWER CONTROLLED RELEASE 12-8-8 PER CU YD OF MIX.
- PLANT HOLE TO BE TWICE AS WIDE AND DEEP AS THE PLANT ROOT BALL. BACKFILL AND COMPACT TO 80% SOIL OF SITE AND 20% FIR BARK, AS DEFINED IN 48. PROVIDE GRO-POWER PLANT TABLETS AT THE FOLLOWING RATES:

5 GAL	6-9
24" box	14-16

PLACE RECOMMENDED TABLETS BETWEEN THE BOTTOM AND THE TOP OF THE ROOT BALL BUT NO HIGHER THAN 1/3 OF THE WAY UP TO THE TOP OF THE ROOT BALL. SPACE TABLETS EQUALLY AROUND THE PERIMETER OF THE ROOT BALL, APPROXIMATELY 2" FROM THE ROOT TIPS. PALM TREES ARE NOT TO RECEIVE TABLETS.
- ALL PROPOSED SHRUBS AND GROUND COVER AREAS ARE TO BE TREATED WITH A PRE-EMERGENT WEED KILLER (EPTAM / RONSTAR). APPLY PER MANUFACTURER'S SPECIFICATIONS: A) IMMEDIATELY AFTER PLANTING, B) AT THE BEGINNING OF THE MAINTENANCE PERIOD, AND C) AT THE END OF THE MAINTENANCE PERIOD.
- CONTRACTOR TO INSTALL AND MAINTAIN LANDSCAPE PLANTING IN ACCORDANCE WITH THE GOVERNING AGENCY'S GUIDELINES AND SPECIFICATIONS UNLESS NOTED OTHERWISE IN THESE NOTES OR ON THE PLANS.
- SOIL SAMPLES TAKEN FROM VARIOUS LOCATIONS IN THE PLANTING AREAS WILL BE SENT TO A SOIL LAB FOR PROFESSIONAL ANALYSIS AND RECOMMENDATIONS FOR SOIL IMPROVEMENT. CONTRACTOR TO FOLLOW SOIL TESTING RECOMMENDATIONS.



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 Yael Lir Landscape Architects
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 yael@yaellir.com

13126 WESTERN AVE.
 GARDENA, CA 90249

**FIRST FLOOR
 PLANTING PLAN**



DATE: JUNE 28, 2021
 SCALE: 1/16" = 1'-0"
 JOB NUMBER: 224221
 DRAWN BY:

SHRUBS AND GROUND COVER LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
⊙	Chondropetalum tectorum	Cape Rush	5-gal	9		low 0.3
⊖	Euphorbia tirucalli 'Sticks on Fire'	Red Pencil Tree	5-gal	12		low 0.3
✱	Senecio mandraliscae		5-gal	24		low 0.3
⊙	Senecio vitalis		5-gal	19		low 0.3
★	Tradescantia zebrina 'Purpusii'	Wandering Jew	5-gal	11		low 0.3

Landscape Form items		
Item	Model	Color
Table	Cheap Chic square top	Flambe Orange
Chairs	Catena	Flambe Orange
Trash	Lakeside	Stainless Steel

tel: 800.521.2546

SELUX LIGHT LEGEND

SYM.	NAME	WATTS	FINISH	REMARKS
■	Ritorno Square Asymmetric	84	Silver	12' pole

Tel: 845.834.1400 Transformers/Timer by FX Luminaire:
 [T-1] LX-300-SS

LIGHTING NOTES

Landscape lighting system to be energized, and shut off by timer.
 Use 12-2 wire on 12V system.
 Fixtures shall be placed subsequent to planting.
 Lamping shall be done upon completion of plant material installation approved by the Landscape Architect.

NOTES:
 Waterproofing and drains in planters by others.



Chondropetalum tectorum / Cape Rush



Euphorbia tirucalli 'Sticks on Fire' / Red Pencil Tree



Pole lighting



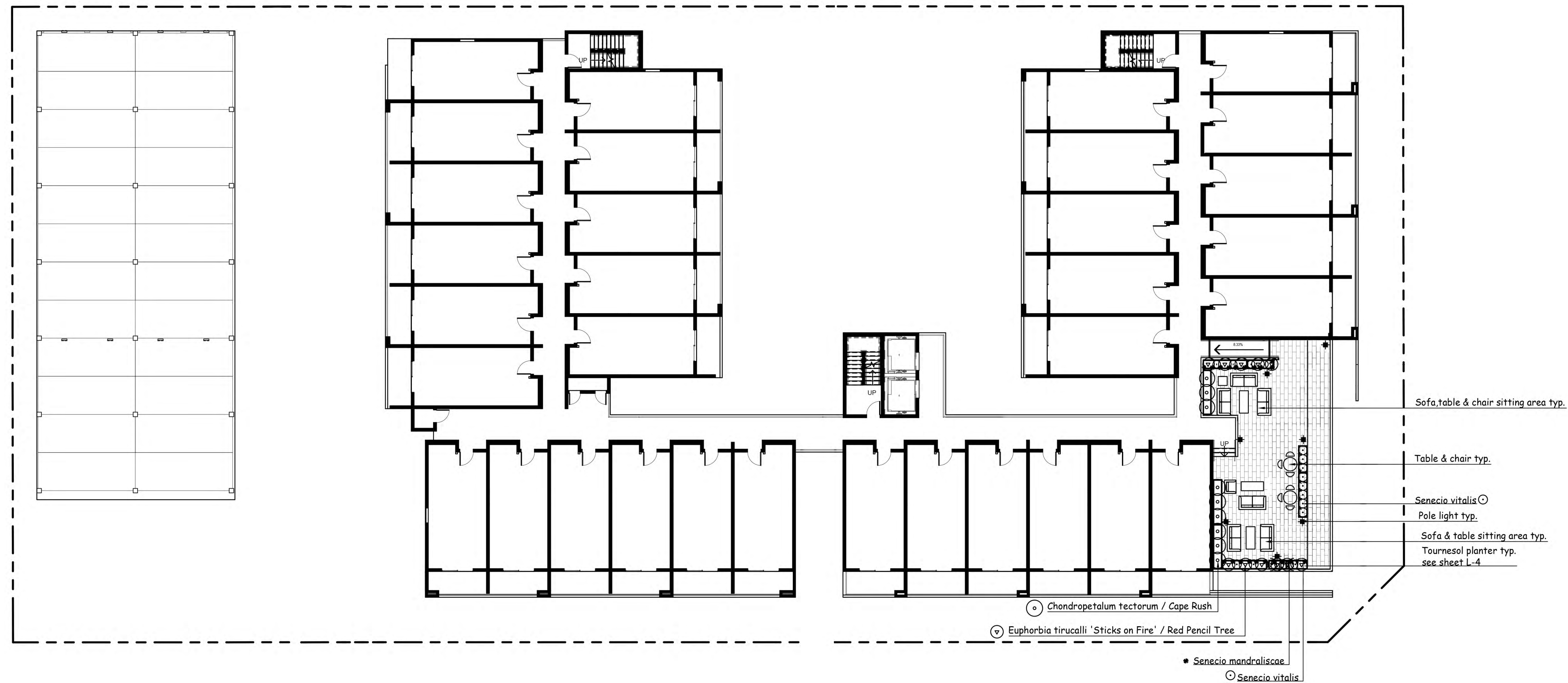
Senecio mandraliscae



Senecio vitalis



Tradescantia zebrina 'Purpusii' / Wandering Jew



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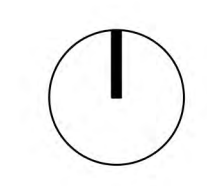
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 GARDENA, CA 90249

**THIRD FLOOR
 PLANTING PLAN**



DATE: JUNE 28, 2021
 SCALE: 1/16"=1'-0"
 JOB NUMBER: 224221
 DRAWN BY:



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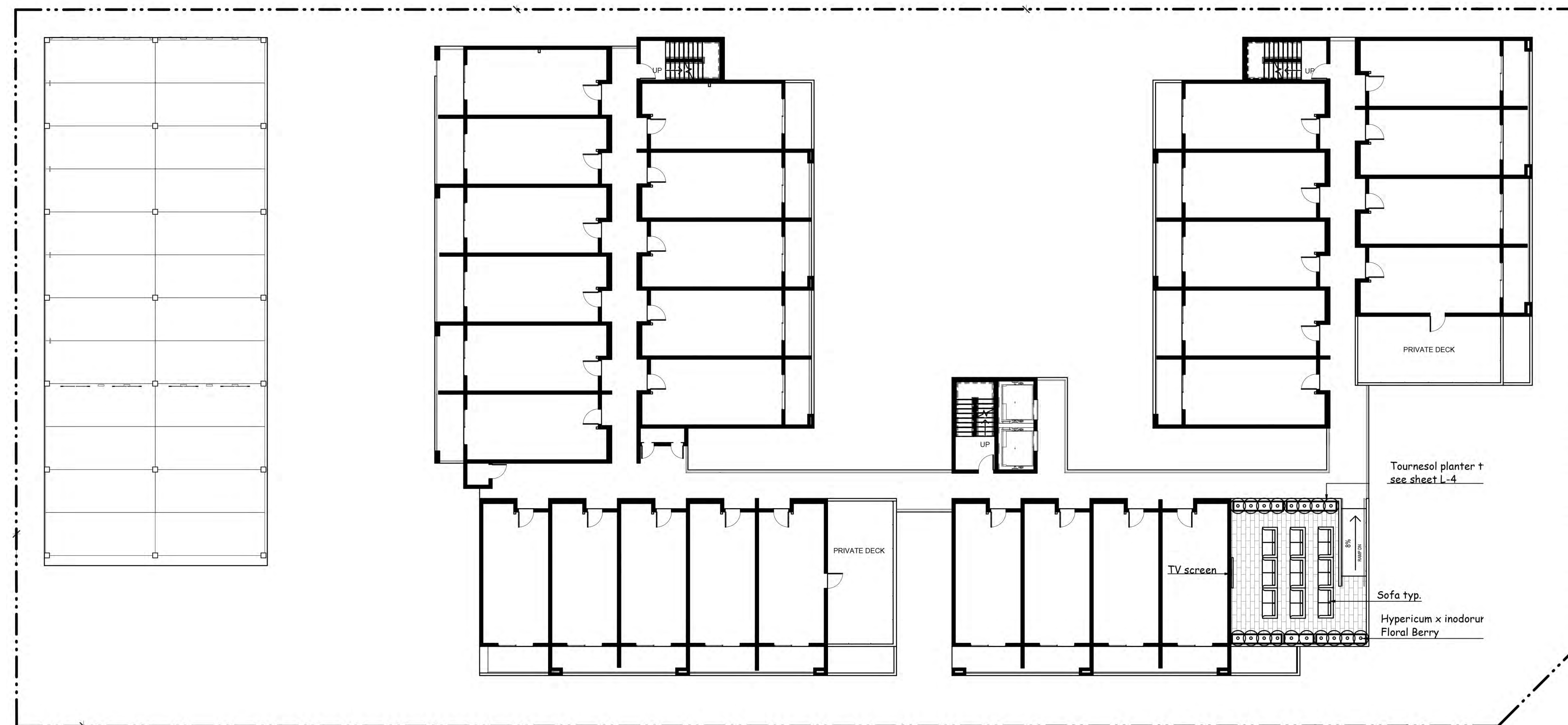
SHRUBS AND GROUND COVER LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
⊙	<i>Hypericum x inodorum</i> 'Kolpinot'	Floral Berry	5-gal	18		low 0.3

NOTES:
Waterproofing and drains in planters by others.



Hypericum x inodorum 'Kolpinot' / Floral Berry

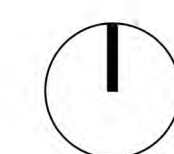


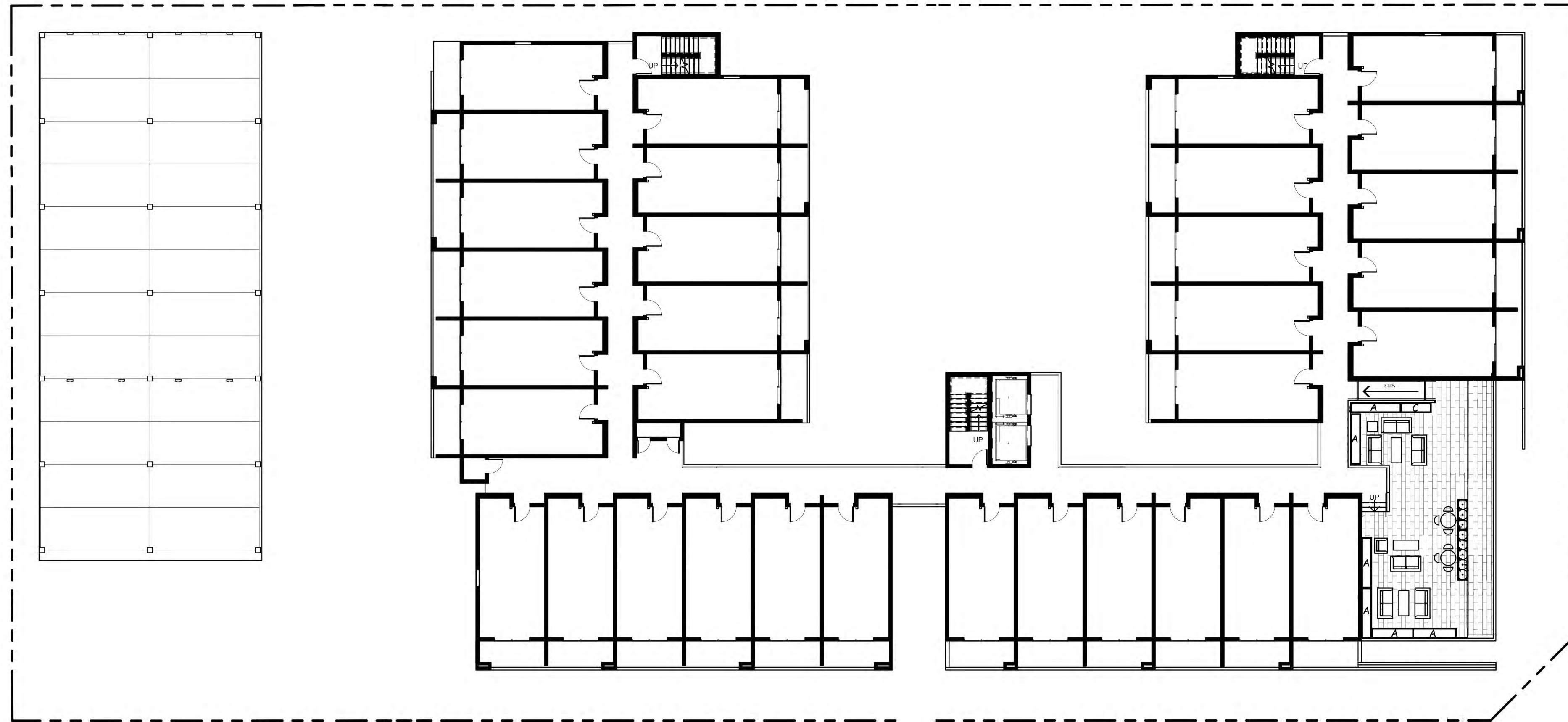
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**FOURTH FLOOR
PLANTING PLAN**



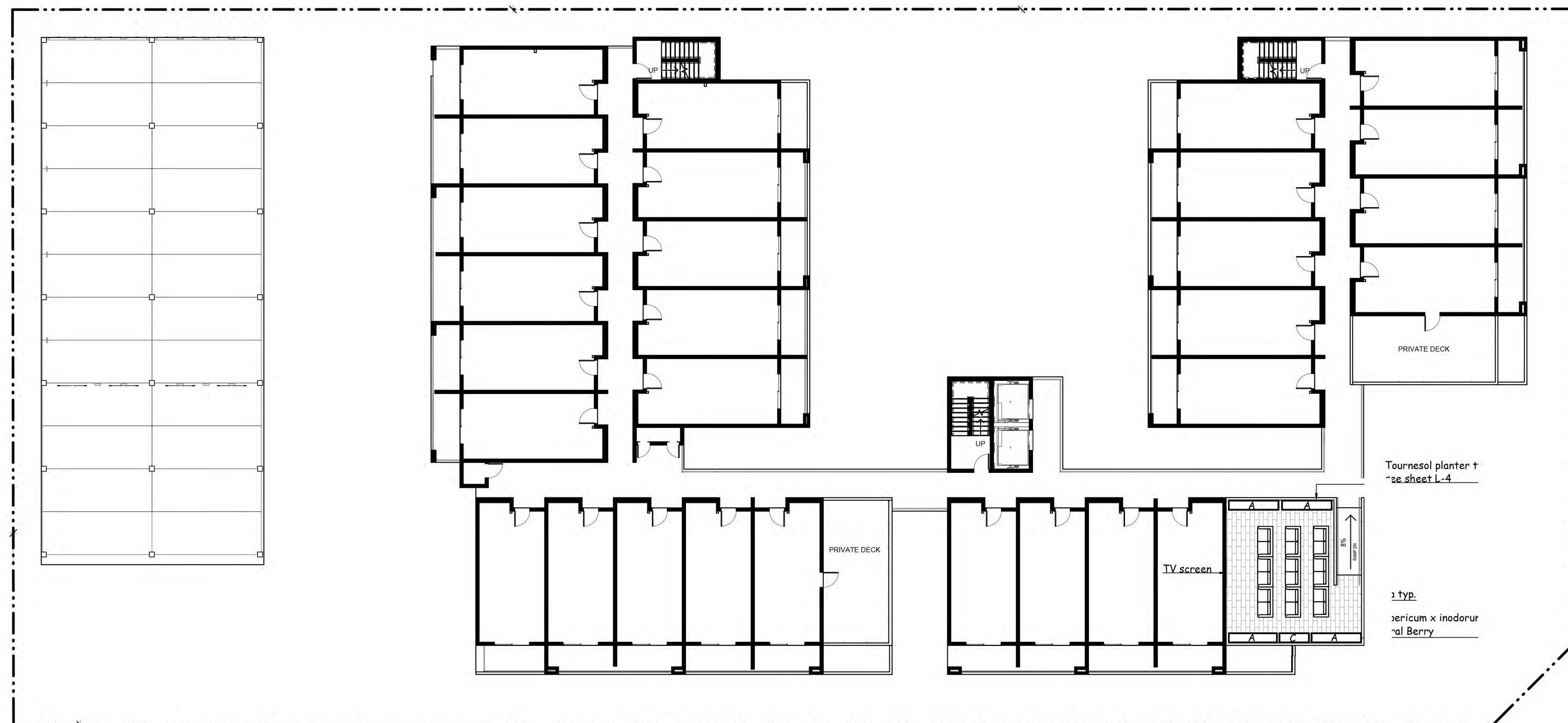
DATE: JUNE 28, 2021
SCALE: 1/16" = 1'-0"
JOB NUMBER: 224221
DRAWN BY:





TOURNESOL PLANTER				
PLANTER	MAKE	MODEL	COLOR	
A	Wilshire	WR1202430	Shadow	rectangle
B	Wilshire	WR482430	Shadow	rectangle
C	Wilshire	WR722430	Shadow	rectangle

EVC-30 1.5" thick mat to be installed at the bottom of planter and under.
www.tournesol.com
 tel: 800.542.2282



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FOURTH FLOOR
 PLANTER LAYOUT



DATE: JUNE 28, 2021
 SCALE: 1/16" = 1'-0"
 JOB NUMBER: 224221
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