



CITY OF GARDENA PARKS AND RECREATION MASTER PLAN APPENDIX

2024



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CITY OF GARDENA PARKS AND RECREATION MASTER PLAN

Kick-Off Meeting Agenda
April 18, 2023 at 10:00 am-11:00 am

- I. INTRODUCTION
 - A. City Project Team
 - B. RJM Project Team (handout)

- II. INFORMATION REQUEST – EXISTING DOCUMENTS (handout)

- III. DEMOGRAPHIC ASSESSMENT – We recommend using the ESRI Dataset 2022/27 Esri starts with the demographics data from the 2010 U.S. Census, American Community Survey (most recent published estimates are for 2022) then employs a time series of county-to-county migration data from the IRS, building permits, and residential postal delivery counts. The result balances the measures of growth or decline from a variety of data series.
 - City demographics from the 2020 Census will not be available until May 2023.
 - American Community Survey (Census) estimates the Gardena total 2021 population to be **59,702**
 - California Department of Finance estimates the Gardena 2022 population to be: **59,947**
 - Esri estimates the Gardena total 2022 population to be **61,543**

- IV. PROJECT SCHEDULE - Review Key Milestones and Target Dates (handout)
 - A. Demographics & Inventory: April/May
 - B. Benchmark Comparison: May
 - C. CPSC's: May/June
 - D. Public Outreach and Engagement
 1. Project Graphic and Website: Launch in June
 2. Stakeholder Interviews: June/July
 3. Statistically Valid, Multimodal Survey: June/July
 4. Community Workshop Process
 - i. Workshop #1: Characteristics and Issues in July
 - ii. Workshop #2: Parks, Facilities, and Program Needs in August/September
 - iii. Workshop #3: Summary and Prioritization in October

ACTION ITEMS

1. City to confirm City Project Team; RJM to set up ftp and send link/invite.
2. City to provide information requested.
3. City to provide list of possible stakeholders for interviews (12 total).
4. RJM to provide demographic assessment.
5. RJM to provide parks & recreation facility inventory matrix and map.
6. RJM to provide program inventory.
7. Schedule future monthly review meeting: May (Zoom)



CITY OF GARDENA
PARK AND RECREATION MASTER PLAN
Project Review Meeting Agenda
May 18, 2023 at 10:00 am to 11:00 am

- I. FOLLOW UP TO LAST MEETING
 - A. Information Request Memo (handout)
 - 1. City's website states that 'all nutrition sites are closed due to COVID and meals provided are frozen' and "Beginning Tuesday, June 29, 2021 City Hall reopening will be expanded to allow appointments and limited walk-in services."- does this need to be updated?
 - 2. Are there any COVID related restrictions still in place? When did the facilities reopen? When did programming resume?
 - 3. Could we get program registration data in Excel files?
 - B. City Team – additional staff members introduction (handout)

- II. PROJECT SCHEDULE - Review Key Milestones and Target Dates (handout)
 - A. Demographics & Inventory: May/June
 - B. Benchmark Comparison: June
 - C. CPSC'S: June/July
 - D. Public Outreach and Engagement
 - 1. Project Graphic and Website: Launch in June
 - 2. Stakeholder Interviews: June through August
 - 3. Multi-Modal Survey: June/July
 - 4. Community Workshop Process (Schedule Dates and Locations)
 - i. Workshop #1: Characteristics and Issues in August (1, 3, 15, 16, 17)
 - ii. Workshop #2: Parks, Facilities, and Program Needs in September (5,6,7,26,27,28)
 - iii. Workshop #3: Summary and Prioritization in October (17,18,19,24,25,26)

- III. PROJECT GRAPHIC AND WEBSITE (handout)

- IV. DEMOGRAPHIC ASSESSMENT (handout)

- V. STAKEHOLDER INTERVIEWS
 - A. Draft questionnaire and process (handout)
 - B. Discuss modification to task to include Commission Meeting (additional meeting)

ACTION ITEMS

- 1. City to provide information requested/existing documents.
- 2. City to approve project graphic and website.
- 3. City to provide comments on demographic assessment.
- 4. City to provide list of possible stakeholders for interviews (12 total).
- 5. City to confirm date/time/location for community workshops
- 6. City to select 3 cities for benchmark comparison; RJM suggests Torrance, Hermosa Beach, Hawthorne, Carson, Inglewood, or Manhattan Beach.
- 7. RJM to schedule 1-hour window for city to review LIVE website
- 8. RJM to provide parks & recreation facility inventory matrix and map.
- 9. RJM to provide program inventory and assessment.
- 10. Schedule future monthly review meeting: June (Zoom)



**CITY OF GARDENA
PARKS AND RECREATION MASTER PLAN
Project Review Meeting Agenda
July 27, 2023 at 2:00 pm to 3:00 pm**

- I. FOLLOW UP TO LAST MEETING
 - A. Information Request Memo
 - 1. Confirm no agreements or use of any school facilities.
 - 2. Confirm no agreements with Boys & Girls Club or other non-profits.
 - 3. Are floor plans available for the 2nd floor of Nakaoka Community Center?
 - B. Any comments on the demographic assessment, program inventory, and/or parks inventory? Discuss baseball vs. softball field in park amenity inventory
 - C. Is the additional service request approved? (to add Willows to CASp study)
- II. STAKEHOLDER INTERVIEWS
 - A. List of Stakeholders (handout); city to send email asap
- III. STATISTICALLY VALID, MULTIMODAL SURVEY TOPIC LIST (handout)
- IV. WORKSHOP #1 PROCESS, PROMOTION, AND SURVEY
 - A. Room Set Up and Guidelines (handout)
 - B. Draft Agenda and Survey (handout)
 - C. Flyer/Poster (handout); discuss raffle and pop up events
- V. PROJECT SCHEDULE - Review Key Milestones and Target Dates (handout)
 - A. Benchmark Comparison: August
 - B. CPSC'S: August/September
 - C. Public Outreach and Engagement
 - 1. Website launched 7/24: 72 views and 4 feedback comments
 - 2. Stakeholder Interviews: August
 - 3. Multi-Modal Survey: August
 - 4. Community Workshop Process (Schedule Dates and Locations)
 - i. Workshop #1: Characteristics and Issues on August 17
 - ii. Workshop #2: Parks, Facilities, and Program Needs on September 27
 - iii. Workshop #3: Summary and Prioritization on October 26

ACTION ITEMS

- 1. City to provide comments/approval on program inventory and parks inventory.
- 2. City to review and provide final topic list for multimodal survey asap.
- 3. City to send email with questionnaire attachment to stakeholders.
- 4. City to select 3 cities for benchmark comparison; RJM suggests Torrance, Hermosa Beach, Hawthorne, Carson, Inglewood, or Manhattan Beach.
- 5. RJM to update project website to add workshop dates.
- 6. RJM to provide Workshop #1 PowerPoint and commencement video for city review and approval.
- 7. RJM to provide link to online survey for sports organizations/city sports for CPSC's
- 8. RJM to provide CASp study summary report.
- 9. Schedule future monthly review meeting: August (Zoom)



CITY OF GARDENA
PARKS AND RECREATION MASTER PLAN
Project Review Meeting Agenda
August 31, 2023 at 2:00 pm to 3:00 pm



- I. FOLLOW UP TO LAST MEETING
 - A. Received comments on Program Assessment on 8/22; currently reviewing and will email city questions/request data by end of week.
 - B. Need to receive city's comments on Parks Inventory provided on 7/12.
 1. Per 8/21 email: add pickle ball at the gym and three courts at Fukai. We are also updating Rowley to have basketball/pickleball courts.
 - C. Demographic Assessment completed and will be added to FTP folder.
- II. STAKEHOLDER INTERVIEWS UPDATE (handout)
 - A. We have received 2 completed questionnaires. Can the city send another email to all? RJM will send emails to schedule Zoom meetings.
- III. STATISTICALLY VALID, MULTIMODAL SURVEY DRAFT QUESTIONNAIRE (handout)
 - A. Review and discuss playground accessibility; tennis/pickleball; sports programs including eSports.
- IV. DISCUSS SPORTS ORGANIZATION SURVEY AND CPSC'S (handout)
- V. WORKSHOP #1 SURVEY UPDATE
- VI. PROJECT SCHEDULE - Review Key Milestones and Target Dates (handout)
 - A. CASp Study: September
 - B. Benchmark Comparison: September
 - C. CPSC'S: September/October
 - D. Public Outreach and Engagement
 1. Website launched 7/24: ~~72~~ 646 views and 4 20 feedback comments.
 2. Stakeholder Interviews: September
 3. Multi-Modal Survey: September
 4. Community Workshop Process
 - i. Workshop #2: Parks, Facilities, and Program Needs on September 27
 - ii. Workshop #3: Summary and Prioritization on October 26

ACTION ITEMS

1. City to provide comments/approval on parks inventory.
2. City to approve multimodal survey questionnaire.
3. City to send another email with questionnaire attachment to stakeholders.
4. RJM to provide Benchmark Comparison Analysis summary report.
5. RJM to provide Workshop #1 summary report.
6. RJM to update project website to add flyer and Workshop #1 summary.
7. RJM to provide CASp Study summary report.
8. RJM to provide final Program Inventory & Assessment summary report.
9. Schedule future monthly review meeting: September (Zoom)



**CITY OF GARDENA
PARKS AND RECREATION MASTER PLAN
Project Review Meeting Agenda
September 28, 2023 at 2:00 pm to 3:00 pm**

- I. FOLLOW UP TO LAST MEETING
 - A. Is the current year (23/24) adopted Budget available?
 - B. Can we get a detailed breakdown of recreation revenue. Would be great to have for the last three years, if available.
 - C. Regarding information on the Seniors and Family Child Care special revenue funds, are they 100% fee supported or are there some GF dollars going into these?
 - D. For the Operations and Maintenance Plan summary report we need to speak with some representative from Public Works (in November) regarding park maintenance, current practices, etc. Can we get contact name and information?
 - E. Is Laguna Dominguez Trail along the Dominguez Channel maintained by the City?

- II. STAKEHOLDER INTERVIEWS UPDATE (handout)
 - A. We have only received 3 completed questionnaires. Stakeholders have been sent 2-3 emails each.
 - B. Consider City Council members and/or Commission representatives?

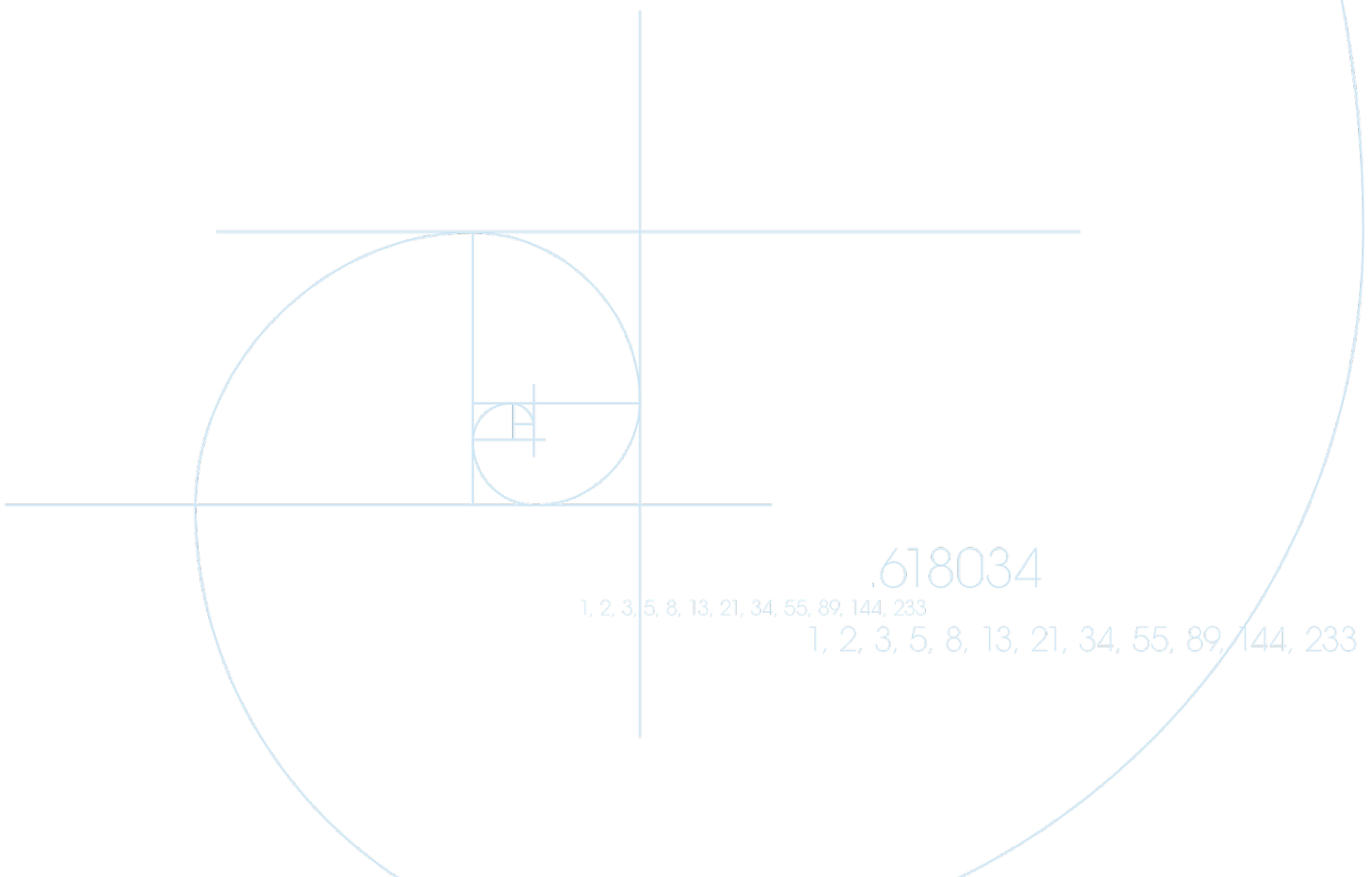
- III. WORKSHOP #1 SUMMARY (handout)

- IV. PROJECT SCHEDULE - Review Key Milestones and Target Dates (handout)
 - A. CASp Study: October
 - B. Benchmark Comparison: October
 - C. CPSC'S: October
 - D. Public Outreach and Engagement
 - 1. Website launched 7/24: 646 821 views and 20 25 Feedback survey comments.
 - 2. Stakeholder Interviews: September/October – need to complete by 10/13/23
 - 3. Multi-Modal Survey: September/October – summary report 10/13/23
 - 4. Community Workshop Process
 - i. Workshop #3: Summary and Prioritization on October 26

ACTION ITEMS

- 1. City to promote Workshop #2 survey.

2. City to select/replace stakeholders and send out email requesting completed questionnaire.
3. RJM to provide final Parks & Recreation Facility inventory, maps, and park profiles.
4. RJM to provide final Program Inventory and Assessment summary report.
5. RJM to provide Benchmark Comparison Analysis summary report.
6. RJM to provide Workshop #2 summary report.
7. RJM to update project website to add Workshop #1 summary.
8. RJM to provide CASp Study summary report.
9. RJM to add social media comments emailed by city to the Feedback comments.
10. Schedule future monthly review meeting: October (Zoom)





**CITY OF GARDENA
PARKS AND RECREATION MASTER PLAN
Project Review Meeting Agenda
October 18, 2023 at 3:00 pm to 4:00 pm**

- I. FOLLOW UP TO LAST MEETING
 - A. Program Inventory and Assessment completed.
 - B. Benchmark Comparison summary report submitted to city. Any comments or questions?
 - C. Stakeholder interview update from city.
 - D. Emails regarding parkland per person and pump track.
 - E. Update on Technical Assistance Program?
 - F. Tim Gallagher to contact Kevin Thomas in November to complete the Operations and Maintenance Plan summary report.

- II. PARKS AND RECREATION FACILITY INVENTORY
 - A. Revised city map, amenity inventory, and park profiles on ftp, will send link for City review and approval. (updated with new Mas Fukai and Senior Center/Aquatic Center amenities)
 - B. Is there an approved site plan to add pickleball courts at Rowley Park?
 - C. Rosecrans Park and Recreation Center (L.A. County Park in Gardena)

- III. REVIEW MULTIMODAL SURVEY SUMMARY REPORT (handout)

- IV. DISCUSS CPSC's – SPORTS SURVEY: Survey link for city to complete
 - A. <https://arcg.is/1S90K01>

- V. PROJECT SCHEDULE - Review Key Milestones and Target Dates (handout)
 - A. CASp Study: October
 - B. CPSC'S: October
 - C. Public Outreach and Engagement
 - 1. Website launched 7/24: ~~821~~ 1,124 views and ~~25~~ 25 Feedback survey comments.
 - 2. Stakeholder Interviews: October
 - 3. Community Workshop Process
 - i. Workshop #3: Summary and Prioritization on October 26

ACTION ITEMS

- 1. City to promote project website & Workshop #3 survey; add to city website if possible.
- 2. City to collect stakeholders completed questionnaires.
- 3. City to complete sports user/participation survey.
- 4. RJM to provide Workshop #2 summary report; and website update.
- 5. RJM to create "FACTS" to add on project website.
- 6. RJM to provide Workshop #3 draft survey, PowerPoint, and commencement video.
- 7. RJM to provide CASp Study summary report.
- 8. Schedule future monthly review meeting: November (Zoom)



**CITY OF GARDENA
PARKS AND RECREATION MASTER PLAN
Project Review Meeting Agenda
November 20, 2023 at 3:00 pm to 4:00 pm**

- I. FOLLOW UP TO LAST MEETING
 - A. Program Inventory and Assessment: email sent on 11/16/23
 - B. Parks and Recreation Facility Inventory: finalize park types (handouts)
 - C. Benchmark Comparison summary report submitted to city. Are there any comments or questions?
 - D. Stakeholder interview update from city.
 - E. Sports Organization Survey: any questions?
 - F. Add 'FACTS' update to project website?

- II. CASp STUDY REVIEW (handout)

- III. CUSTOM BINDER (handout)

- IV. PROJECT SCHEDULE - Review Key Milestones and Target Dates (handout)
 - A. CPSC'S: ~~October~~ November/December
 - B. Public Outreach and Engagement
 - 1. Website launched 7/24: ~~1,124~~ 1,611 views and ~~25~~ 49 Feedback survey comments.
 - 2. Stakeholder Interviews: ~~October~~ November/December
 - 3. Workshop #3: Summary and Prioritization - survey extended to close Dec. 3
 - C. Operations and Maintenance Plan: December
 - D. Financial Review: December
 - E. Draft Report: January/February
 - F. Commission/City Council Meetings: March

ACTION ITEMS

- 1. City to promote project website & Workshop #3 survey.
- 2. City to collect stakeholders completed questionnaires.
- 3. City to complete sports user/participation survey.
- 4. City to provide the approved new Master Plan for Rowley Park improvements? (adding Pickleball Courts)
- 5. RJM to provide final Parks/Facility Maps, Acreage Analysis and Service Area Gap Analysis.
- 6. RJM to provide General Plan Review summary report.
- 7. RJM to provide Operations and Maintenance Plan summary report.
- 8. RJM to provide Financial Review summary report.
- 9. Schedule future monthly review meeting: December (Zoom)



CITY OF GARDENA
PARKS AND RECREATION MASTER PLAN
Project Review Meeting Agenda
December 18, 2023 at 3:00 pm to 4:00 pm



- I. FOLLOW UP TO LAST MEETING
 - A. Program Inventory and Assessment: *final sent last week*
 - B. Parks and Recreation Facility Inventory – *revisions in progress*
 - C. Benchmark Comparison summary report submitted to city. *Are there any comments or questions?*
 - D. Stakeholder interview questionnaire email sent on 12/14.
Respond to Mary Santamaria
 - E. Sports Organization Survey: *any questions?*
 - F. Project Website Update: Workshop #3 results & Add 'FACTS' – *city to provided text?*
 - G. CASp Study update – *site visit scheduled on 12/21*
 - H. Custom Binder artwork – *approved?*

- II. PROJECT SCHEDULE - Review Key Milestones and Target Dates (handout)
 - A. CPSC'S: ~~October~~ December/January
 - B. Public Outreach and Engagement
 1. Website launched 7/24: ~~1,611~~ 1,685 views and ~~49~~ 50 Feedback survey comments.
 2. Stakeholder Interviews: December/January
 - C. General Plan Review: December/January
 - D. Operations and Maintenance Plan: January
 - E. Financial Review: January *{need from city a list of unfunded capital improvement projects and to confirm revenue amounts}*
 - F. Community Needs Assessment/Recommendations: December/January
 - G. Draft Report/Final Report: January/February
 - H. Commission/City Council Meetings: March

ACTION ITEMS

1. City to collect stakeholders completed questionnaires.
2. City to complete sports user/participation survey.
3. City to confirm revenue numbers and provide list of unfunded capital improvement projects.
4. RJM to provide final Parks/Facility Maps, Acreage Analysis, and Service Area Gap Analysis.
5. RJM to provide General Plan Review and Recommendations summary report.
6. RJM to provide Operations and Maintenance Plan summary report.
7. RJM to provide Financial Review summary report.
8. RJM to provide Community Needs Assessment.
9. RJM to provide Draft Recommendations.
10. Schedule future monthly review meeting: January (Zoom)



CITY OF GARDENA
PARKS AND RECREATION MASTER PLAN
Project Review Meeting Agenda
January 22, 2024 at 3:00 pm to 4:00 pm



- I. **PROJECT SCHEDULE - Review Key Milestones and Target Dates** (handout)
Need to adjust schedule for final report deliverable since community needs cannot be completed until we complete the stakeholder interview summary and CPSC's.
Goal: All community outreach and summary documents/deliverables completed, reviewed, and approved by February 5 (2 weeks).
 - A. CPSC'S: January
 - B. Public Outreach and Engagement
 1. Website launched 7/24: ~~1,685~~ 1,748 views and 50 51 Feedback survey comments.
 2. Stakeholder Interviews: January
 - C. General Plan Review: January
 - D. Operations and Maintenance Plan: January
 - E. Financial Review: February *{need from city a list of unfunded capital improvement projects and to confirm revenue amounts – if available}*
 - F. Community Needs Assessment: ~~December~~ February
 - G. Recommendations: ~~January~~ February
 - H. Draft Report/Final Report: ~~January/February~~ February/March
 - I. Commission/City Council Meetings: ~~March~~ April

- II. **FOLLOW UP TO LAST MEETING**
 - A. Need to Receive Final Comments from City for:
 - a. Program Inventory and Assessment summary report
 - b. Benchmark Comparison summary report
 - c. CASp Study
 - B. Stakeholder interview questionnaires and summary report
 - C. Project Website Update: Add 'FACTS' – *city to provided text?*
 - D. Custom Binder artwork – *confirm blue/background and gold/font?*
 - E. Parks and Recreation Facility Inventory – *RJM to send ASAP*

ACTION ITEMS

1. City to collect stakeholders completed questionnaires.
2. City to complete sports user/participation survey.
3. City to confirm revenue numbers and provide list of unfunded capital improvement projects.
4. RJM to provide proof of website project update for January 2024.
5. RJM to provide final Parks/Facility Maps, Acreage Analysis, and Service Area Gap Analysis.
6. RJM to provide General Plan Review and Recommendations summary report.
7. RJM to provide Operations and Maintenance Plan summary report.
8. RJM to provide Financial Review summary report.
9. Schedule future monthly review meeting: February (Zoom)



**CITY OF GARDENA
PARKS AND RECREATION MASTER PLAN
Project Review Meeting Agenda
February 15, 2024 at 10:30 am to 11:30 am**

- I. FOLLOW UP TO LAST MEETING
 - A. Need to Receive Final Comments from City by next week for:
 - a. Program Inventory and Assessment summary report dated 12/13/24
 - b. Benchmark Comparison summary report
 - c. CASp Study
 - B. Revised Custom Binder Artwork (handout)
 - C. Parks and Recreation Facility Inventory: files saved on FTP – RJM to send City link today.
 - D. TAP Coordination Update
- II. DRAFT STAKEHOLDER INTEVIEW SUMMARY (handout)
- III. DRAFT CPSC's
 - A. Sports (handout)
 - B. Multimodal Survey (handout)
- IV. DRAFT COMMUNITY NEEDS
 - A. Park/Facility Community Needs (handout)
 - B. Program Community Needs (handout)
- V. PROJECT SCHEDULE - Review Key Milestones and Target Dates (handout)
 - A. General Plan Review: February
 - B. Operations and Maintenance Plan: February
 - C. Financial Review: February
 - D. Recommendations: February/March
 - E. Draft Report/Final Report: March
 - F. Commission/City Council Meetings: Scheduled April 8 and 23 / Release March 11 date

ACTION ITEMS

1. City to return all comments on previous deliverables under Item IA asap.
2. City/Finance to confirm if revenue breakdown by camps, classes, senior programs is available.
3. City/Public Works to provide list of unfunded capital improvement projects and/or deferred maintenance.
4. RJM to provide proof of website project update for February 2024.
5. RJM to provide final Acreage Analysis and Service Area Gap Analysis.
6. RJM to provide General Plan Review and Recommendations summary report.
7. RJM to provide Operations and Maintenance Plan summary report.
8. RJM to provide Financial Review summary report. *{need from city a list of unfunded capital improvement projects and to confirm if there is a breakdown of the total revenue by classes, senior programs, camps, etc.}*
9. Schedule future monthly review meeting: early March (Zoom)



INFORMATION REQUEST MEMO

DATE: May 30, 2023
TO: CITY OF GARDENA
FROM: RJM Design Group
SUBJECT: Parks and Recreation Master Plan

Bold/Italic = Received by RJM

Please find a list of information requested by RJM Design Group related to the Gardena Parks and Recreation Master Plan.

PARKS AND FACILITIES

1. Park and amenity listing/map. **See FTP File.**
2. Square footage and floor plans for existing park/community buildings. **See FTP File.**
3. Utilized school recreation sites and amenity information. **NOT AVAILABLE**
4. Trails Map—including proposed trails. **See FTP File.**
5. Existing park improvement plans or conceptual sketches. **See FTP File.**
6. County parks list, if applicable **NOT AVAILABLE**
7. A list of all the organized sports leagues, youth and adult, (along with a contact name, email and phone) and which fields or courts in the City are currently utilized. **See FTP File**
8. Acreage and location of any undeveloped city-owned park property. **See FTP File.**
9. List of any opportunity sites (vacant publicly owned land, open space, etc.) if available.
10. List of HOA's with private parks (if available) **NOT AVAILABLE**
11. Undeveloped park or trail master plans or conceptual sketches. **NOT AVAILABLE**

POLICIES/EXISTING REPORTS

12. General Plan – **NOT AVAILABLE**
13. Youth Master Plan, if any. – **NOT AVAILABLE**
14. Senior Services Master Plan, if any. – **NOT AVAILABLE**
15. Joint Use agreements with School District, and other agencies for use of facilities or programming. – **NOT AVAILABLE**
16. Details of any working agreements with Boys and Girls Club, YMCA, and any other non-profit organization. – **NOT AVAILABLE**

RECREATION PROGRAMS/OPERATIONS & MAINTENANCE/FUNDING

17. Recreation Program Guides for the past 2 years—electronic and hard copies. **We are currently working on a Recreation Guide.**
18. Class Registration for the past 3 years include: **See FTP File. REVISED to EXCEL Files**
 - a. Attendance
 - b. Ages Served
 - c. Frequency of Programs
 - d. Information on Special Interest Classes and Luncheons
19. Do you have a scholarship program for recreation programming? If so, please provide the details. **- NOT AVAILABLE**
20. Contact listing for community organizations. **NOT AVAILABLE**
21. List of special interest groups, contact person and phone number. **NOT AVAILABLE**
22. Department organizational chart with a list of full-time positions. **See FTP File.**
23. Parks and Recreation Commission structure and terms. **See FTP File.**
24. Do you have a volunteer program? If so, any info on volunteer hours and what type of work they accomplish. Yes, we have a volunteer program that involves several different types of volunteers. **We have volunteers that are specific to the Seniors Division that assist in delivering meals to senior homes 2-3 hours a day/3-4 days a week. We have recreation volunteers that assist with special events, they would work perhaps 8-10 hours a month.**
25. Do you have a charitable 501(c)(3) Foundation? Details of organization and fund-raising history. **Yes, we have the Charitable Funds Benefitting Gardena. The foundation has several fund-raising events throughout the year. Fundraising includes the Jazz Festival and Casino Nights.**
26. Do you have a Public Art program? If yes, details of plan and inventory of public art in parks. **NOT AVAILABLE**
27. Do you have an IPM program? If yes—description. **NOT AVAILABLE**
28. Do you have a Native Plant Policy? If yes link or copy. **NOT AVAILABLE**
29. Do you have a green waste composting program? If yes, description. **NOT AVAILABLE**
30. Any community gardens, farmers markets? **NOT AVAILABLE**
31. Have you developed a lifecycle maintenance program for the buildings and facilities? If so, please provide. **NOT AVAILABLE**
32. Do you have a regular program of soil testing? **NOT AVAILABLE**
33. Have you developed a Maintenance Manual that details daily, weekly, etc. work task, objectives, and frequency? **NOT AVAILABLE**
34. Safety inspection forms for parks, buildings, or other facilities. **NOT AVAILABLE**
35. Capital Improvement project information—current level of funding, list of projects, and five-year projections. **Requested from Finance**
36. List of grants applied for and awarded for last three years. **Requested from Finance**
37. Fee schedule approved by City Council including development fees, Quimby, TOT, and other park, recreation, open space related fees. **See FTP File.**
38. Nexus study completed for park development (in-lieu) fees. **See FTP File.**
39. Copy or link to most recent department budget. Include for most recent two years: **See FTP File.**
 - a. Recreation revenue.
 - b. Details of any Landscape Maintenance Districts or other Assessments, including revenue and mapping.
 - c. Recreation Facilities Rental Data—Include frequency, revenue & group/event type.
 - d. Other Revenue.
 - e. General Fund support for most recent three years.

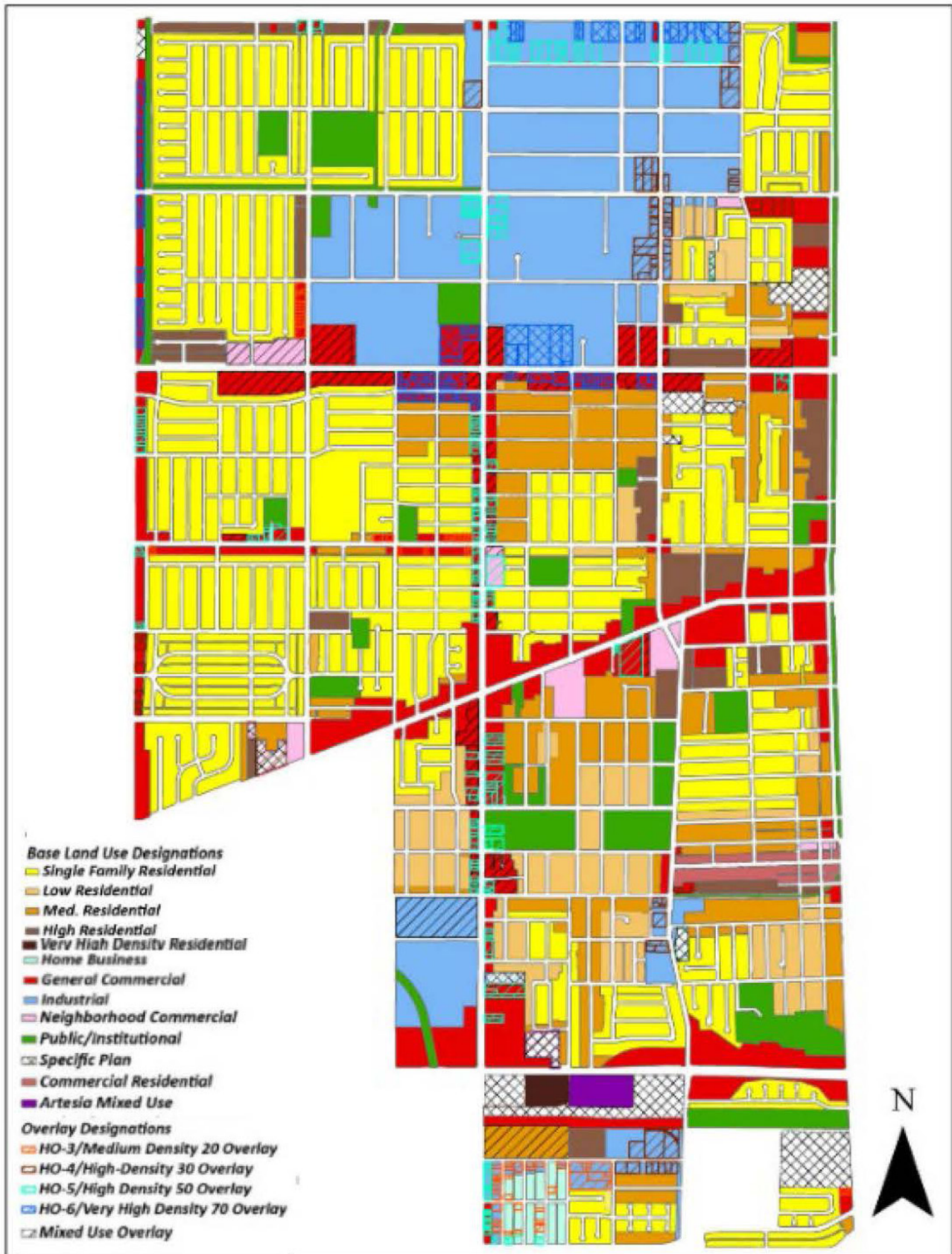


Figure LU-2
General Plan Land Use Policy Map 2023



City of Gardena Parks and Recreation Master Plan General Plan Review



To assist with the implementation of the Park and Recreation Master Plan a policy management approach is included within. This approach will help guide future park development and focus on coordinating recommendations for the Master Plan, General Plan, other planning documents.

Below is a review of the City of Gardena General Plan, with most elements adopted 2006 with some recent updates to select Elements, by the City Council. This review will include areas pertinent to park development and delivery of recreation and open space services. The General Plan serves as a blueprint for the community for a 25-year period.

Proposed amendments, deletions, and modification are shown by either ~~strikeout~~ or **bold underlined**, as appropriate. All proposed modifications are recommended in order to fully implement the goals and objectives of the Park and Recreation Master Plan.

Community Resources Element Open Space Plan Gardena General Plan 2006 (Complete Section)

Authority

State General Plan law requires every community to prepare and adopt an Open Space Plan which addresses the preservation and development of open space areas for outdoor recreation, and areas that serve as links between major recreational areas and programs. Open space resources include parks and other recreation facilities, such as public-school facilities, parks and ball fields, landscaped medians, open areas occupied by utilities, such as flood control channels and utility easements and private recreational facilities.

Purpose

The intent of the Open Space Plan is to encourage the preservation of existing open spaces and recreation facilities and the development of new resources. The Plan outlines goals and policies that maintain and upgrade existing recreation programs and considers new parks, open space provisions and recreation programs to meet the needs of all residents of the City.

Relationship to Other Plans and Programs

Several plans and programs have been enacted through State and local legislation that are applicable to the Open Space Plan. The following plans and programs help to ensure that parks, open space, and natural resources will continue to be available to the community.

The Quimby Act

The State Subdivision Map Act, Section 66477 (The Quimby Act) allows the legislative body of a city or county, by ordinance to require the dedication of land and the payment of fees in-lieu of or a combination of both, for park and recreational purposes as a condition of approval for a final tract map or parcel map.

Los Angeles County Proposition A

In 1992, a general election established the Los Angeles County Regional Park and Open Space District for the purpose of improving the safety of recreational areas and acquiring, restoring and preserving open space resources. This proposition allows a public agency or non-profit organization to receive funds in support of this purpose. The funds are authorized as grants on a competitive basis.

Federal and State Parks and Open Space Standards

The City's supply of parks, playgrounds, and open space is subject to various jurisdictional regulations. On the Federal level, the National Recreation and Parks Association (NRPA) sets the minimum standard of 2.5 acres of park space per 1,000 residents. On the State level, the California Department of Parks and Recreation sets forth the standard of 3.0 acres of park space per 1,000 residents.

City Municipal Code

Section 17.20.030 of the City Municipal Code requires the dedication of land or the payment of fees in lieu of land, which is based on a minimum of three (3) acres of usable park area per 1,000 persons residing within a subdivision. The amount and location of land, or the fee to be paid, should bear a reasonable relationship to the use of the park and recreational facilities by the future residents of a subdivision.

Existing Conditions

Existing Parks and Recreation Resources

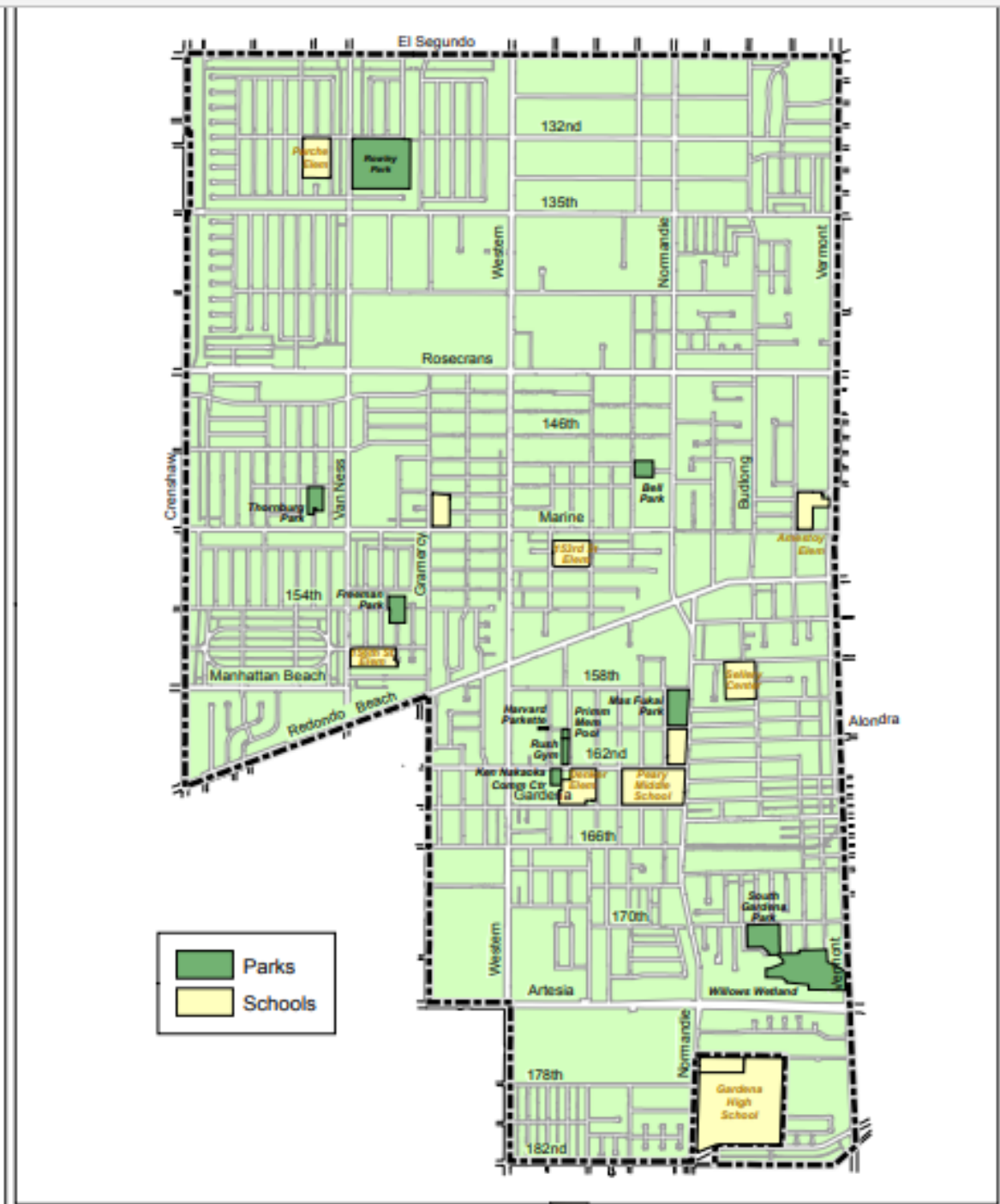
Similar to many cities in the Los Angeles County, Gardena is a totally developed community and therefore has limited opportunities to expand its parks and recreation resources. Gardena has six parks, one community center, one municipal pool, one parkette and two gymnasiums. The largest of the City parks is Rowley Park and Gymnasium. It occupies 18.7 acres of land and is located in the northeast quadrant of the City. The smallest of the City parks is Harvard Parkette and it is only 0.15 acres. Besides providing open space in the City, the parks and community buildings are also used by the Gardena Recreation and Human Services Department for hosting of various recreational and after-school programs. In addition to man-made parks, there is a natural willows wetland in the City that could also serve open space and recreational needs. The **Willows Wetland** is a protected natural habitat that occupies

eight acres of land in the far southeast portion of the City. It is currently gated, and access is allowed only through guided tours.

There is **are** several regional recreation and park facilities in close proximity to the City and are open to Gardena residents. To the east of the City is the Rosecrans Recreation Center, to the northeast is Helen Keller Park, to the west is Alondra Park and Golf Course, and to the north is Chester L. Washington Golf Course. These facilities offer a wide range of park and recreational amenities including basketball courts, baseball/soccer fields, volleyball court, golf course, lake fishing, playgrounds, as well as picnic and barbeque areas. All City parks and recreation facilities are presented in Table OS-1, and all City parks and possible joint-use schools are shown in Figure OS-1.

**Table OS-1
Parks and Recreational Facilities in Gardena**

Park Name	Location	Acres	Amenities
Bell Park	14708 S. Halldale Ave.	1.9	Recreation building, classroom, ball diamond, basketball court, handball court, 2 picnic shelters, 2 playground equipment areas, multi-purpose field.
Freeman Park	2100 W. 154 th Place	3.0	2 classrooms, ball diamond, basketball court, picnic shelter, playing field, playground equipment, multi-purpose field, tennis court.
Harvard Parkette	160 th St/Harvard Blvd.	0.15	Playground equipment, picnic area.
Ken Nakaoka Community Center	1670 W. 162 nd St.		6 meeting rooms, auditorium, kitchen, stage.
Mas Fukai Park	15800 S. Brighton Ave.	4.9	3 classrooms, 2 ball diamonds, 2 basketball courts, handball court, picnic shelter, and playground equipment.
Primm Memorial Pool	1650 W. 160 th St.		1 swimming pool
Rowley Park & Gym	13220 S. Van Ness Ave	18.7	Auditorium, weight room, 2 classrooms, kitchen, handball court, gymnasium, 4 ball diamonds, 2 basketball courts, 4 tennis courts, 2 picnic shelters, 2 playground equipment areas, wading pool.
Rush Gymnasium	1651 W. 162 nd St.		One gymnasium, 3 basketball courts.
South Gardena Park	1200 W. 170 th St.	6.8	1 playground, 1 ball diamond, 1 soccer field, 4 tennis courts, 1 picnic area, 1 meeting room, 2 basketball courts.
Thornburg Park	2320 W. 149 th St.	2.5	Recreation building, classroom, ball diamond, multi-purpose field, 2 basketball courts, handball court, 2 picnic shelters, playground area, horseshoe pitch, tumbling room.
Willows Wetland	North of Artesia Blvd. and west of Vermont Ave.	8.0	Waling paths, side walks.



Parks
 Schools

**Figure OS-1
Parks and Open Space Resources**



Goals and Policies

OS Goal 1 Maintain and upgrade the existing parks and recreation facilities to meet the needs of all residents.

Policies

OS 1.1: Maintain City parks in a clean, functional, safe, and attractive condition at all times.

OS 1.2: Encourage joint-use agreements with LAUSD to use schoolyard playgrounds and ball fields for public parks during nonschool hours.

OS 1.3: Encourage adequate funding and capital improvement program to promote the ongoing maintenance and rehabilitation of City facilities.

OS 1.4: Encourage joint recreational use with Los Angeles County.

OS 1.5 **1.4**: Require annual review of recreational programs **and review of community park needs and interests to inform maintenance and investment priorities and** to respond to changing needs of the community. **Consideration should be given to the needs of all age groups, abilities, disabilities, and special interest groups in park and recreation planning, and design.**

OS 1.6 **1.5**: Provide adequate parking for all parks and recreation facilities in the City.

OS 1.7 **1.6**: Promote creative financing mechanisms to fund the development and maintenance of parks and recreation programs, such as State grant funds, park in-lieu fees, and public private partnerships.

OS 1.7: Provide appropriate lighting and visibility within park facilities while avoiding adverse impacts to adjacent properties.

OS 1.8: Develop sustainable standards to design park facilities and landscaping that enhance and preserve natural site characteristics as appropriate, to minimize maintenance demands, encourage the planting of native landscapes, and to incorporate xeriscape (low-water demand) principles where feasible.

OS Goal 2 Increase the City's supply and quality of parkland, open space, and recreational programs.

Policies

2.1 **Enhance and expand accessible and affordable diverse recreation programs and sports facilities, providing new programs and adaptive facilities that respond to changing community demographics and needs.**

2.2 Parks fees. Require new discretionary development to contribute fees, consistent with State law, for expanded park space when publicly accessible open space is not provided on-site.

OS 2.1 **2.3**: Maintain a list of sites in the City (vacant, underutilized, nonconforming uses, utility right of ways), with potential for future purchase, donation, or consolidation and future potential development as parks, particularly in the northeast quadrant of the City.

OS 2.2 **2.4**: Promote the expansion of the Civic Center complex to provide green open space for the community to gather.

OS 2.32.5: Encourage the conversion of utility easements and right of ways to multi-purpose parkland, trails and bicycle routes (i.e., the Southern California Edison right-of-way between Artesia Boulevard and 178th Street, storm channel side roads, and Vermont Avenue median strips).

OS 2.42.6: Preserve the Willows Wetland as a trail-oriented City park and passive natural open space with limited access to guided tours, volunteer activities, and educational programs.

OS 2.52.7: Expand the City's bicycle route plan and integrate the routes with other local and regional bike routes.

OS 2.8: Prioritize the investment and full funding for maintenance and upgrading of existing facilities prior to development and expansion of new facilities.

OS 2.9: Encourage private development and/or operation of new and existing recreational facilities that complement, supplement, and/or economize the public recreational system.

OS Goal 3 Parks should be designed and programmed to meet the community's diverse needs and interests through a variety of social, cultural, and recreational programs, which promote physical activity, facilitate cultural exchange, and increase community social interactions.

Policies

3.1 Encourage, permit, and support community group, nonprofit, or business organized events on City property that support physical activity, and family-friendly social interactions.

3.2 Design and program parks and open space to accommodate unique social and cultural events to foster understanding, connectedness, and interaction.

3.3 Balance the space needs and demand on public resources for formal and informal events.

3.4 Increase the availability of space facilities and variety of activities that promote community health and physical activity such as community gardens, fitness stations/equipment, and fields/courts.

OS Goal 4. Provide direct and accessible routes and connections to parks, recreational facilities, and open space areas. The active transportation and trail network should serve both recreational needs as well as viable transportation choice for commuting, shopping, and social activities.

Policies

4.1 Increase and enhance access to parks and open space, particularly across major thoroughfares, as well as access points that promote physical activity such as pedestrian- and bike-oriented access points.

4.2 Develop a network of safe and efficient trails, streets, and paths that connect residents, visitors, and neighboring communities to the beach, parks, and activity centers.

4.3 Install ADA and universally accessible amenities and equipment so that all parks, beach, and trail networks are accessible to all persons.

4.4 Improve and create connections between schools, recreational facilities, and neighborhoods, increasing the safety of the bicycle and pedestrian trails system.

Conservation Plan Gardena General Plan 2006

Authority

California Government Code Section 65302(d) requires a general plan of every city to include

“...a conservation element for the conservation, development and utilization of natural resources including water and its hydraulic force, forests, soils, rivers and other waters, harbors, fisheries, wildlife, minerals, and other natural resources”. Also included in this element are water pollution control, recycling of solid wastes, hazardous waste control, and preservation of culturally and historically significant sites.”

Purpose

The purpose of the Conservation Plan is to provide direction regarding the conservation, development, and utilization of natural resources. Although the requirement of a Conservation Plan overlaps those of the Open Space Plan as well as the Land Use Plan, this Plan is distinguished by being oriented primarily toward natural resources. The City of Gardena is a fully developed community with less than two percent of vacant land. Similar to all other cities, population growth and development in Gardena continually requires the use of finite, non-renewable resources as well as those that are renewable. Therefore, the role of the Conservation Plan is to establish goals and policies that reconcile conflicting demands on those resources.

Relationship to Other Plans and Programs

A Plan for the Gardena Willows Wetland

In April 1999, the City of Gardena adopted A Plan for the Gardena Willows Wetland. The purpose of this plan is to provide a comprehensive guide for preserving and enhancing the Willows Wetland’s environmental integrity and quality, while providing a place where the community can experience, appreciate, and enjoy the natural environment.

The Willows Wetland is located north of the commercial development at the northwest corner of Vermont Avenue and Artesia Boulevard. Biological resources in the Willows Wetland, as well as preservation and enhancement strategies are documented in the Plan for the Gardena Willows Wetland. Implementation of the Plan will also require compliance with the Clean Water Act, the Federal Endangered Species Act, the National Historic Preservation Act, the California Fish and Game Code, and the California Environmental Quality Act.

National Pollutant Discharge Elimination System

Gardena, along with other municipalities in Los Angeles County, is required to control pollutant discharges in runoff from construction projects, commercial and industrial uses, and significant new development/redevelopment projects. Under the National Pollutant Discharge Elimination System (NPDES) Permit, the City is obligated to require compliance with runoff pollution mitigation approaches known as Best Management Practices (BMPs).

Source Recovery and Recycling Element

The City of Gardena has adopted a Source Recovery and Recycling Element (SRRE) as required by Assembly Bill (AB) 939, the California Integrated Waste Management Act of 1989. AB 939 required the City to adopt an SRRE, and to divert 25 percent of the solid waste from its landfills by January 1, 1995 and 50 percent by the year 2000. The City continues to struggle to meet the solid waste diversion goals established in the SRRE.

Southern California Edison Programs

Southern California Edison offers a variety of energy conservation services under the Low-Income Energy Efficiency programs (LIEE), which help qualified homeowners and renters conserve energy and control electricity costs. Eligible customers receive services from local community agencies and licensed contractors working with Edison. Services include weatherization, efficient lighting and cooling, refrigerator replacement, and energy education.

Title 24, Part 6

Title 24, Part 6 of the California Administrative Code, the Energy Efficiency Standards for Residential and Nonresidential Buildings, were established in 1978 in response to a legislative mandate to reduce California's energy consumption. Title 24 requires local jurisdiction to use energy efficient appliances, weatherization techniques and efficient cooling and heating systems to reduce energy demand stemming from new development.

Goals and Policies

Goal 1 Preserve and enhance the Willows Wetland and protect its natural resources.

Policies

CN 1.1: Foster the implementation of the recommendations identified in A Plan for the Gardena Willows Wetland, which was adopted by the City in April 1999.

CN 1.2: Foster environmental education, passive recreation, and volunteer programs that are compatible with the protection and enhancement of the wetland.

CN 1.3: Encourage community involvement in preserving the wetland.

CN 1.4: Promote collaboration with regional or State agencies in protecting the biological resources of the Willows Wetland.

CN 1.5: Work with Los Angeles County, and adjacent cities, landowners, and conservation organizations to preserve, protect, and enhance Willows Wetlands and other regional natural resources.

CN 1.6: Preserve the integrity of Willow Wetland's drainages and riparian habitat areas through the preservation of native plants through the removal of non-natives and reintroduction of native species.

Goal 2 Conserve and protect groundwater supply and water resources.

Policies

CN 2.1: Encourage water conservation through education and water-conserving technology.

CN 2.2: Comply with the water conservation measures set forth by the California Department of Water Resources.

CN 2.3: ~~Promote the use of reclaimed water for irrigation of public lands and for industrial uses, as feasible.~~ **Increase the availability of recycled water supply (i.e., purple pipes) and facilitate the installation of distribution facilities throughout the city to conserve potable water use by expanding the use of reclaimed water for irrigation and other applications within parks and public rights-of-ways as permitted under state law.**

CN 2.4: Increase the quantity and maintain the quality of the City's water table to provide an independent source of water.

CN 2.5: Within available resources, utilize the low-impact development plans to design all parking lots, walkways, and other paved surfaces with bioswales or other similar on-site facilities to help environmentally process water runoff.

CN 2.5: Encourage citizens to report illegal dumping and vigorously prosecute illicit dumping of toxic hazardous materials into the ground water.

CN 2.6: Encourage and support the proper disposal of hazardous waste and waste oil. Monitor businesses that generate hazardous waste materials to ensure compliance with approved disposal procedures.

CN 2.7: Conserve the water supply available to the City and promote water conservation in the management of public properties.

CN Goal 3 Reduce the amount of solid waste produced in Gardena.

Policies

CN 3.1: Comply with the requirements set forth in the City's Source Reduction and Recycling Element.

CN 3.2: Maximize public awareness of all source reduction and recycling programs.

CN 3.3: Encourage participation in local and County waste disposal programs for such household hazardous waste items as automotive products, paints, chemicals, tires, and batteries.

Goal 4 Conserve energy resources through the use of technology and conservation methods.

Policies

CN 4.1: Encourage innovative building designs that conserve and minimize energy consumption.

CN 4.2: Require compliance with Title 24 regulations to conserve energy.

CN 4.3: Encourage the residential and business community to install energy saving features and appliances in existing structures.

Goal 5 Protect the City's cultural resources.

Policies

CN 5.1: Maintain an inventory of the City's historical resources, including a survey of buildings of architectural, cultural, or historical significance.

CN 5.2: Provide provisions in the Municipal Code to protect historical and cultural resources.

CN 5.3: Protect and preserve cultural resources of the Gabrielino Native American Tribe found or uncovered during construction.

Community Development Element Land Use Plan 2023 Update Gardena General Plan (Related Sections)

Authority

The State of California has mandated, through Title 7, Chapter 3, Article 5, the requirement that city and county governments adopt a general plan. Section 65302(a) requires a land use element as part of the general plan and reads as follows: “A land use element which designates the proposed general distribution and general location and extent of the uses of the land for housing, business, industry, open space, including agriculture, natural resources, recreation and enjoyment of scenic beauty, education, public buildings and grounds, and other categories of public and private uses of the land. The land use element shall include a statement of the standards of population density and building intensity recommended for the various districts and other territory covered by the plan which are subject to flooding and shall be reviewed annually with respect to such areas.”

Purpose

The purpose of the land use element of a general plan is to improve the use of the land and relationships between the different land uses in the way that best serves the health, safety, welfare, and convenience of the general public. Of all sections and elements of the general plan, the land use element is the foundation and focal point of the general plan. However, it does not stand alone. Significant policy exchange and interaction must exist with the other general plan elements to form a basis for a successful general plan. Gardena is a fully developed city, and, to a large degree, the land use pattern is established. Therefore, the purpose of the Gardena General Plan 2006, as updated in 2023, is to focus on refinements to the land use patterns and policies which will encourage community rejuvenation and address changes in the marketplace and demands for housing imposed by the State that have occurred since the original General Plan was adopted in 1975. Ideally, these refinements will enhance the community over time and provide direction for the future growth of the community.

Relationship to Other Plans and Planning Tools

There are eight mandated elements to the General Plan: Land Use; Circulation; Housing; Conservation; Open Space; Noise; Safety; and Environmental Justice. Gardena has adopted each of these elements, although some elements are grouped together under a “super” element and the documents are referred to as plans, rather than elements. Gardena’s Land Use Plan is part of the Community Development Element which also includes an Economic Development Plan, a Community Design Plan, and a Circulation Plan.

The inseparable relationship between the Land Use Plan and all other plans and elements in the General Plan is especially true with the mandated Circulation Plan, Open Space Plan and Housing Element. Of all the elements required by State law, the Land Use Plan has the broadest scope. Since it governs how land is to be utilized,

virtually all of the issues and policies contained in other elements are embodied and reflected in the Land Use Plan. The Land Use Plan should serve to promote a balance between and among conflicting forces of growth and change as represented by the other plans and elements. In Gardena's case, with a well-defined land use pattern in existence, the land use refinements discussed in this Land Use Plan need to take into consideration the impact on traffic, housing, noise, etc. Every aspect of the environment is directly or indirectly affected by land use; this is true also in the social and economic sectors.

The General Plan Law and Guidelines and the Planning, Zoning, and Development Laws govern the scope and content of the Land Use Plan for the State (California Government Code Sections 65000 et seq.). Several regional plans and programs are also considered in the formulation, adoption, and implementation of local land use policy and they are discussed as follows.

Goals and Policies

Public and Institutional

LU Goal 4 Provide the highest quality of public facilities possible to meet the needs of the City's residents and businesses and promote the City's image and cultural heritage.

Policies

LU 4.1: Design parks and public facilities that enhance the appearance of the surrounding areas and promote the City's identity.

LU 4.2: Require all new public buildings to provide adequate and safe off-street parking facilities to accommodate employees and the public **and to be designed with pedestrian friendly features such as sidewalks and tree-shaded streets.**

~~LU 4.3: Design public improvements to encourage pedestrian activity and access and to provide safe and convenient pedestrian circulation.~~

LU 4.3: Proactively beautify existing streetscapes with street trees, landscaping, and pedestrian-scaled lighting.

LU 4.4: Utilize public easements and right of way (flood control, power lines) for recreational, open space, and beautification purposes **for all non-motorized travelers.**

Community Development Element Economic Development Plan Gardena General Plan 2006 (No Recommendations)

Community Development Element Community Design Plan Gardena General Plan 2006 (Related Sections)

Authority

While the Community Design Plan is not a required element of a General Plan, it is included because improving the community appearance and image is paramount to the overall quality of life in the City. This Plan focuses on the aesthetic qualities of existing and future developments in the City and its relationship to the surrounding environment. The desire to make Gardena visually attractive is the foundation of the Community Design Plan.

Purpose

Throughout the public participation process in the development of the General Plan, one common theme was continually voiced by the community – “we need to beautify the City.” Improving the visual aspects of the City through building and property maintenance, landscape and streetscape, signage and other urban design features create a positive and strong community identity. Residents and businesses begin to take pride in their property, neighborhood, and City, which positively impacts the economic stability and growth of the City. Commuters viewing Gardena from the streets will want to experience the City by shopping at retail centers or dining at many of the numerous restaurants. For this reason, the Community Design Plan provides policy guidance for the built environments.

Goals and Policies

Image and Identity

DS Goal 1 Enhance the visual environment and create a positive image of the City.

Policies

DS 1.1: Foster proactive code enforcement on maintenance of properties and compliance with adopted development standards.

DS 1.2: Encourage the maintenance, use and improvement of key City landmarks to promote Gardena's visual image and identity.

DS 1.3: Promote a stronger design review process to ensure that public and private projects comply with the best design practices and standards.

DS 1.4: Provide a sense of arrival to Gardena through entry monument signs, landscaping features, architectural and motifs at key gateway locations.

DS 1.5: Promote a citywide beautification program that includes detailed landscaping standards and comprehensive tree preservation/planting plan **based on a native planting policy**.

DS 1.6: Require streetscape development standards for major corridors, including streetlights, landscaping, public signage, and street furniture, to reinforce Gardena's community image.

DS 1.7: Require citywide landscaping standards to ensure adequate landscaping on commercial, industrial, and public uses, **based on a native planting policy.**

DS 1.8: Develop and adopt a native plant policy. The policy should set a minimum percent of Mediterranean/Southern California adaptable species (80% or greater) that will be used in new and renovations of existing landscaping.

~~DS 1.8~~**1.9:** Encourage neighborhood district identity.

~~DS 1.9~~**1.10:** Provide a unique system of directional signage for vehicular and pedestrian circulation.

~~DS 1.10~~**1.11:** Encourage private participation in a public arts program.

Streetscape

DS Goal 7 Utilize extensive landscaping to beautify Gardena's streets and sidewalks.

Policies

DS 7.1: Pursue unifying streetscape elements for major corridors, including landscaping, public signage, banners, streetlights, and street furniture to foster the City's streetscape.

DS 7.2: Provide landscaped medians on Rosecrans Avenue, Western Avenue and Redondo Beach Boulevard.

DS 7.3: Provide opportunities to incorporate public art as part of new development **and publicly funded** projects to enhance the public streetscape **and or public buildings** ~~or to incorporate into public improvement projects.~~

DS 7.4: Screen or underground unsightly equipment cabinets, infrastructure support structures and equipment.

DS 7.5: Underground electric and communication line.

DS 7.6: Require consistent landscaping character along streets that reinforces the unique qualities of each corridor and neighborhood.

DS 7.7: Maintain landscape parkways in residential areas and decorative parkways in commercial and industrial areas.

DS 7.8: Use consistent and sustainable landscape and streetscape designs that reflect the city's community identity; showcase local assets and the community's unique and vibrant culture.

DS 7.9: Based on a native plant policy, the City should develop and implement an Urban Tree and Forest Management and Development Plan. When completed, this plan should lay out for the City its urban forestry-related operations, inventory, policies, programs, and financial implications.

Community Development Element Circulation Plan Gardena General Plan 2006, Updated 2020 (Related Sections)

Authority

As one of the seven State-mandated general plan elements, State Government Code Section 65302(b) requires each city have a circulation element that addresses the general location and extent of existing and proposed major thoroughfares, transportation routes, terminals, and other local public utilities and facilities, all correlated with the land use plan.

Purpose

The purpose of the Circulation Plan is to design and improve the circulation system to meet the future needs of Gardena's residents and visitors. The proposed circulation system should promote the safe and efficient movement of both people and goods through the City. The implementation of the policies in this Plan will enhance the development and maintenance of a transportation system that will support the safe and convenient movement of people through the City, regardless of mode. This Plan will guide the planning, development and enhancement of Gardena's circulation system based upon the lands patterns and intensities identified in the Land Use Plan.

In addition, pursuant to the Complete Streets Act (Assembly Bill 1358) that was passed in 2008, the Circulation Element must also plan for a balanced, multimodal transportation network that meets the needs of all users of streets, roads, and highways for safe and convenient travel in a manner that is suitable to the local context of the community. "Users of streets, roads, and highways" means bicyclists, children, persons with disabilities, motorists, movers of commercial goods, pedestrians, users of public transportation, and seniors. "Complete Streets" is the term given to streets that accommodate all forms of travel, including automobiles, bicycles, pedestrians, personal mobility devices, transit, and freight in a safe environment on designated City streets.

Bicycle Facilities

Caltrans has developed statewide standards and definitions for the planning, design, and implementation of bicycle facilities. The following is a summation of these standards.

Class I (Bicycle Path) – A bicycle path is a special facility that is designed exclusively for the use of bicycles. They are physically separated from motor vehicle traffic by a barrier or spatial distance. Bicycle paths are more often used for recreation and are generally found in Los Angeles County in parks and recreation areas such as the beach and along river channels.

Class II (Bicycle Lane) – A bicycle lane is a facility where a portion of the paved roadway area is marked as a special lane for use by bicycles only. It is identified by signage along the street that denotes "BIKE LANE", pavement markings and lane line

markings. Motor vehicles are prohibited from driving in bike lanes except when turning to and from driveways, intersections, or on-street parking.

Class III (Bicycle Route) – A bicycle route is defined as a bicycle way designated within a public right-of-way. The purpose of the bicycle route is to encourage the sharing of the roadway between vehicles and bicycles. They are identified by signage along the street that denotes “BIKE ROUTE.” No other pavement markings are employed with these facilities.

Gardena General Plan 2006
Circulation Plan Updated 2020

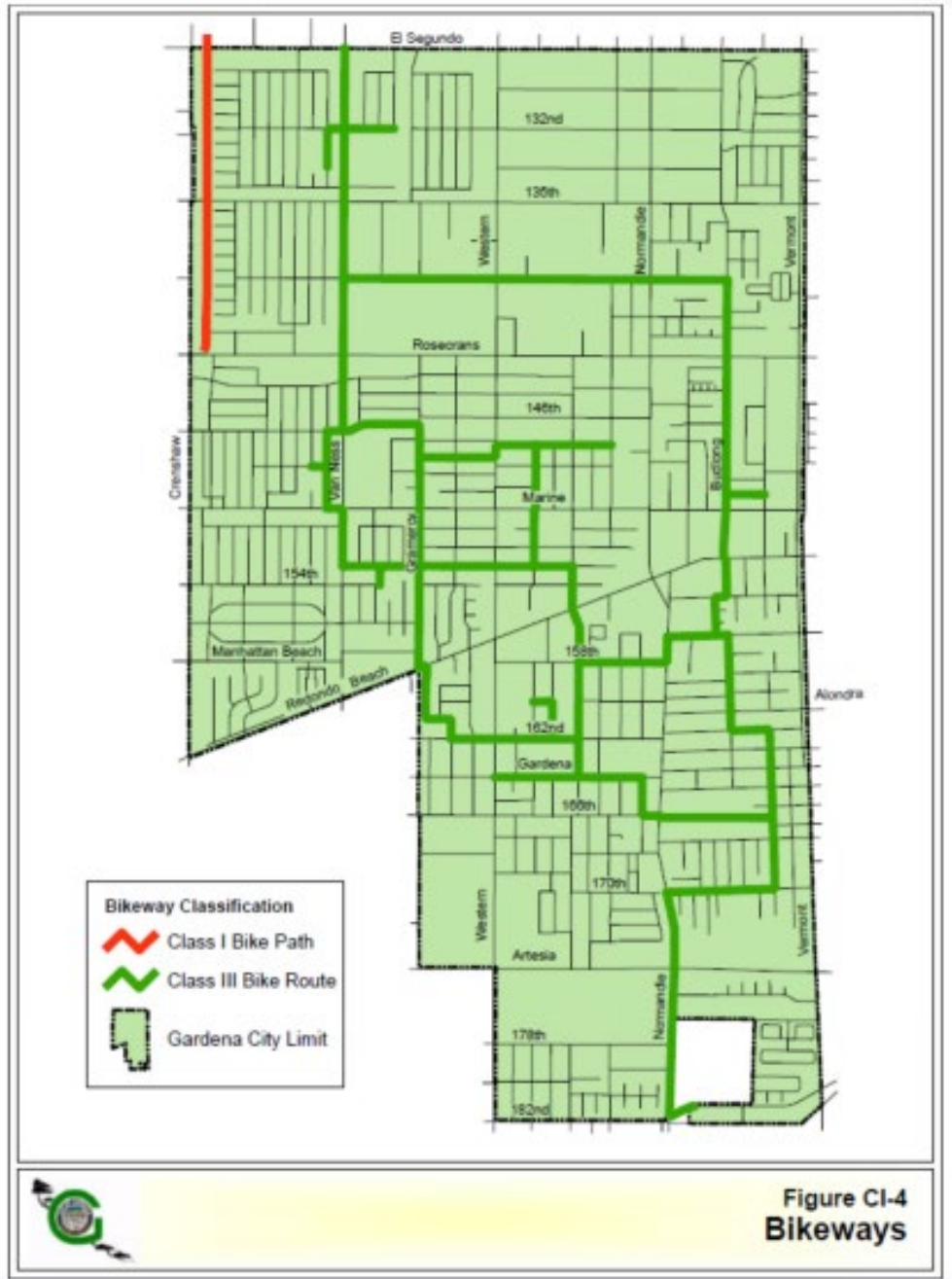


Figure CI-4
Bikeways

Community Development Element
Circulation Plan

Pedestrian Circulation

Pedestrian walking areas are an integral part of a city's circulation system.

The connectivity of a sidewalk system is a primary factor in pedestrian mobility between origin and a destination. A sidewalk is an area of refuge from vehicle traffic that provides a safe route for pedestrian transport.

In order for sidewalks to be an effective choice for circulation, they need to be kept free of obstructions. When equipment such as utility poles, fire hydrants, traffic controls or street lighting must be placed on the sidewalk, it should be placed to minimize interference with pedestrian flow.

When street furniture becomes an obstacle to pedestrian flow, it should be prohibited or placed on an adjacent street segment with wider sidewalk facilities.

Goals and Policies

CI Goal 3 Develop Complete Streets to promote alternative modes of transportation that are safe and efficient for commuters, and available to persons of all income levels and disabilities.

Policies

CI 3.1: Work with Gardena Municipal Bus Lines and MTA to increase the use of public transit, establish or modify routes, and improve connectivity to regional services.

CI 3.2: Maintain, to the extent fiscally feasible, and regularly evaluate the efficiency and effectiveness of the Gardena Municipal Bus Lines and Dial-a-Ride services for City residents.

CI 3.3: Maintain and expand sidewalk installation and repair programs, particularly in areas where sidewalks link residential neighborhoods to local schools, parks, and shopping areas.

CI 3.4: Maintain a citywide bicycle route and maintenance plan that promotes efficient and safe bikeways integrated with the MTA's regional bicycle system.

CI 3.5: As roadways are repaved or otherwise improved, evaluate opportunities to enhance the quality and safety of the roadway by implementing new or improved walking, bicycling, or public transit infrastructure. If no walking, bicycling, or public transit improvements are being provided, a report to the City Council should provide an explanation for why such improvements are not needed along this roadway segment.

CI 3.6: Improve and create connections between schools, recreational facilities, and neighborhoods, increasing the safety of the bicycle and pedestrian trails system.

Environmental Justice Element

City of Gardena

(Related Sections)

Authority

Senate Bill 1000 (SB 1000), the Planning for Healthy Communities Act, was signed into law by Governor Edmond G. Brown, Jr. on September 24, 2016, mandating that cities and counties with disadvantaged communities (defined below) adopt an Environmental Justice (EJ) Element or integrate EJ goals, objectives, and policies into other elements of their General Plans, with the intent to create healthier cities and counties by protecting sensitive land uses and prioritizing the needs of disadvantaged communities.

The term “disadvantaged community” is a broad designation that includes any community disproportionately affected by environmental, health, and other burdens or low-income areas disproportionately affected by environmental pollution and other hazards. In relation to environmental justice, disadvantaged communities typically disproportionately face the burdens of environmental hazards. Government Code Section 65302, as amended by SB 1000, defines a disadvantaged community as follows:

A Disadvantaged Community (DAC) is “An area identified by the California Environmental Protection Agency (CalEPA) pursuant to Section 39711 of the Health and Safety Code or an area that is a low-income area that is disproportionately affected by environmental pollution and other hazards that can lead to negative health effects, exposure, or environmental degradation.”

The Office of Environmental Health Hazard Assessment (OEHHA), on behalf of the California Environmental Protection Agency (CalEPA), produces an online map called the California Communities Environmental Health Screening Tool (CalEnviroScreen). CalEnviroScreen identifies communities that are disproportionately affected by environmental hazards. It is a science-based tool that uses existing environmental, health, and socioeconomic data to rank all census tracts in California with a CalEnviroScreen score. CalEPA designates the tracts with a CalEnviroScreen score in the top 25 percentile as DACs.

Based on CalEnviroScreen, 10 out of 14 census tracts within the City of Gardena have a CalEnviroScreen score in the top 25 percentile, as illustrated in Figure 1, qualifying them as DACs. This means that Gardena is required to prepare an EJ Element to satisfy SB 1000. This determination will be regularly evaluated and updated, as necessary.

Purpose

The purpose of the EJ Element is to identify goals and policies that promote environmental justice citywide with a focus on reducing disproportionate impacts on DACs.

Element Organization

This EJ Element addresses the following issue areas:

1. Reduce Pollution Exposure and Improve Air Quality
2. Promote Access to Public Facilities
3. Healthy Food Access
4. Safe and Sanitary Homes
5. Promote Physical Activity
6. Promote Civic Engagement

Goals and Policies

2. Promote Access to Public Facilities

EJ Goal 2 Locate public facilities and services equitably throughout the community.

The adequate provision of public facilities is a critical component to the current and future prosperity of a community. Under state law (SB 1000), “public facilities” is an umbrella term that includes “public improvements, public services, and community amenities.” This covers a wide spectrum of publicly provided uses and services including infrastructure, school facilities, parks, and transportation and emergency services. These amenities and services act to improve the health, safety, and well-being of a community by either enhancing the public sphere or providing services that are available to every resident.

Policies

~~EJ 2.1: Ensure that the development of parks and recreation facilities and services keep pace with development and growth within the City.~~ **Distribute parks equitably across all areas of the community, with a particular focus on neighborhoods located more than half mile from neighborhood parks.**

Because the city is built out, future parkland opportunities would largely result from redevelopment of key major sites, which would result from private initiative, and thus the City may not be in position to finely distribute parkland sites so that parkland is fully evenly distributed throughout the community. Nonetheless, the need is particularly greater in neighborhoods that are more than a half mile from any neighborhood park.

EJ 2.2: Work with the community to identify gaps in the bicycle and pedestrian network.

EJ 2.3: Explore the possibility of adding more recreation classes to meet the needs of the community.

EJ 2.4: Consider distributing City events across multiple parks as feasible.

~~EJ 2.5: Coordinate with the Police Department to address safety in parks.~~ **Encourage public safety and compatibility with adjacent uses in park design and development, including location of buildings, activity areas, lighting, and parking.**

EJ 2.6: Coordinate with partnering agencies that provide public facilities and services within the City to ensure effective, efficient, and equitable service delivery.

EJ 2.7: Work with GTrans to establish and maintain routes and services that provide the community with convenient access to jobs, shopping, schools, parks, and healthcare facilities.

EJ 2.8: Evaluate City facilities for health hazards or major sources of contamination and create a strategy to address any contamination or health hazards identified.

EJ 2.9: Provide the highest quality of public facilities possible to meet the needs of the City's residents and businesses and promote the City's image and cultural heritage.

(See Goal LU 4)

EJ 2.10: Design public improvements to encourage pedestrian activity and access and to provide safe and convenient pedestrian circulation. (See Policy LU 4.3)

EJ 2.11: Provide adequate public facilities and services for the convenience and safety of each neighborhood. (See Policy LU 4.7)

EJ 2.12: Promote a safe and efficient circulation system that benefits residents and businesses and integrates with the greater Los Angeles/South Bay transportation system.

(See Goal CI 1) EJ

2.13: Promote a safe and efficient local street system that is attractive and meets the needs of the community. (See Goal CI 2)

EJ 2.14: Develop Complete Streets to promote alternative modes of transportation that are safe and efficient for commuters, and available to persons of all income levels and disabilities. (See CI Goal 3)

EJ 2.15: Provide adequate public facilities and infrastructure that support the needs of City residents and businesses. (See CI Goal 4)

EJ 2.16: Maintain and upgrade the existing parks and recreation facilities to meet the needs of all residents. (See OS Goal 1)

EJ 2.17: Increase the City's supply and quality of parkland, open space, and recreational programs. (See OS Goal 2)

EJ 2.18: Maintain a high level of fire and police protection for residents, businesses, and visitors. (See PS Goal 1)

EJ 2.19: Promote an attractive, clean, and well-maintained environment in commercial areas, especially in public meeting places, transit stops, and public buildings by providing pedestrian amenities such as attractive permanent trashcan enclosures and benches. (See Policy DS 4.4)

EJ 2.20: Promote pedestrian-friendly corridors by improving traffic and pedestrian safety and by providing pedestrian amenities such as benches and outdoor seating, potted plants, decorative paving, and detailed lighting elements along the street frontage. (See Policy DS 4.6)

EJ 2.21: Ensure that youth and teen activities and programs are provided or are accessible by all neighborhoods, either in City facilities or through joint-use or cooperative agreements with other public, private, or non-profit service providers.

5. Promote Physical Activity

EJ Goal 5 Encourage physical activity and improved physical fitness.

Physical activity is a large contributor to the physical and mental health of Gardena residents. Research by Centers for Disease Control and Prevention shows that physically active people tend to live longer and have lower risk for heart disease, stroke, type 2 diabetes, depression, and some cancers. Physical activity is promoted by the built environment through providing places that encourage walking, biking, and other forms of exercise. These places include parks, open space, trails, urban green spaces, areas with robust tree canopies, and active transportation networks. If a community has facilities that promote physical activity, community members are more likely to be physically active within that community.

Policies

EJ 5.1: Prioritize increasing opportunities for physical activity within DACs.

EJ 5.2: Provide neighborhood commercial centers with convenient and safe pedestrian access. (See Policy LU 2.4)

EJ 5.3: Design public improvements to encourage pedestrian activity and access and to provide safe and convenient pedestrian circulation. (See Policy LU 4.3)

EJ 5.4: Traffic-calming measures and devices (e.g., sidewalks, streetscapes, speed humps, traffic circles, cul-de-sacs, and signals) should promote safe routes through neighborhoods for pedestrians. (See Policy CI 2.5)

EJ 5.5: Maintain and expand sidewalk installation and repair programs, particularly in areas where sidewalks link residential neighborhoods to local schools, parks, and shopping areas. (See Policy CI 3.3) EJ 5.6: Maintain a citywide bicycle route and maintenance plan that promotes efficient and safe bikeways integrated with the MTA's regional bicycle system. (See Policy CI 3.4)

EJ 5.7: As roadways are repaved or otherwise improved, evaluate opportunities to enhance the quality and safety of the roadway by implementing new or improved walking, bicycling, or public transit infrastructure. If no walking, bicycling, or public transit improvements are being provided, a report to the City Council should provide an explanation for why such improvements are not needed along this roadway segment. (See Policy CI 3.5)

EJ 5.8: Encourage walking, biking, carpooling, use of public transit and other alternative modes of transportation to minimize vehicular use and associated traffic noise. (See Policy N 1.8)

EJ 5.9: Promote pedestrian amenities in mixed-use developments and along arterials. (See Policy DS 3.2) EJ 5.10: Support mixed-use developments that include adequate open space areas and a full range of site amenities. (See Policy DS 3.4)

EJ 5.11: Promote pedestrian-friendly corridors by improving traffic and pedestrian safety and by providing pedestrian amenities such as benches and outdoor seating, potted plants, decorative paving, and detailed lighting elements along the street frontage. (See Policy DS 4.6)

EJ 5.12: Increase the City's supply and quality of parkland, open space, and recreational programs. (See Goal OS 2)

EJ 5.13: Encourage the conversion of utility easements and right of ways to multi-purpose parkland, trails, and bicycle routes (i.e., the Southern California Edison right-of-way between Artesia Boulevard and 178th Street, storm channel side roads, and Vermont Avenue median strips). (See Policy OS 2.3)

EJ 5.14: Expand the City's bicycle route plan and integrate the routes with other local and regional bike routes. (See Policy OS 2.5)

EJ 5.15: Improve and create connections between schools, recreational facilities, and neighborhoods increasing the safety of the bicycle and pedestrian trail system.

EJ 5.16: Develop multi-disciplinary health partnerships with schools, local hospitals, and health care providers, private health clubs, and other agencies to bring public information and educational programs that prevent obesity and successfully promote physical activity across entire communities.

EJ 5.17: Work with Los Angeles County, Los Angeles County School District, and other public agencies to determine the needs of the Gardena community and initiate a city-wide strategic planning effort for a Healthy Gardena program.

EJ 5.18: Report on an on-going basis to the public and policy makers on the health and wellness outcomes of the City's programs and facilities.

EJ 5.19: Promote healthy eating throughout the community by providing healthy snacks at City sponsored programs, day camps, and special events that meet state nutritional standards.

6. Promote Civic Engagement

EJ Goal 6 Support accessible and culturally appropriate opportunities for all people regardless of race, color, national origin, language, or income to engage in the decision-making process.

Civic or community engagement is an important goal across all local planning and decision-making processes. It can help foster a strong sense of place within a neighborhood and can deepen the investment of stakeholders in working toward neighborhood improvements. Environmental justice issues will be more effectively identified and resolved if accessible and culturally appropriate opportunities to engage in local decision-making are created for low-income, minority, and linguistically isolated stakeholders. Effective civic engagement not only provides the City with an opportunity to strengthen its relationship with the community but provides for sound investment in better decision-making by ensuring decisions are informed by community needs and aspirations.

Policies

EJ 6.1: Support an equitable and comprehensive approach to civic engagement and public outreach on all aspects of City governance and delivery of services.

EJ 6.2: Promote, sponsor, and support a variety of community events to strengthen social cohesion and the overall identity of the City. **that enhance the sense of community, celebrate diversity, improve economic vitality, and foster a healthy environment and active lifestyles.**

EJ 6.3: Make City information such as numbers to call for code enforcement, programs offered through the City, and housing needs easily accessible.

EJ 6.4: Specifically invite residents from traditionally underrepresented demographic groups to become board, commission, and committee members **and/or to work at a Community Center.** as openings occur.

EJ 6.5: Coordinate with the school district, neighborhood groups, and religious institutions to distribute information and promote input opportunities.

EJ 6.6: Explore ways to provide information to older residents who don't use computers or social media through the Senior Citizens Bureau, Nakaoka Community Center, and Gardena Senior Center.

EJ 6.7: Ensure meaningful cross-cultural participation in local planning and decisionmaking processes by:

- Providing City-sponsored material in multiple languages.
- Organizing outreach events and conducting surveys directly to specific demographic groups.
- Partnering with community-based organizations that have relationships, trust, and cultural competency with target communities to conduct outreach for local initiatives and issues.

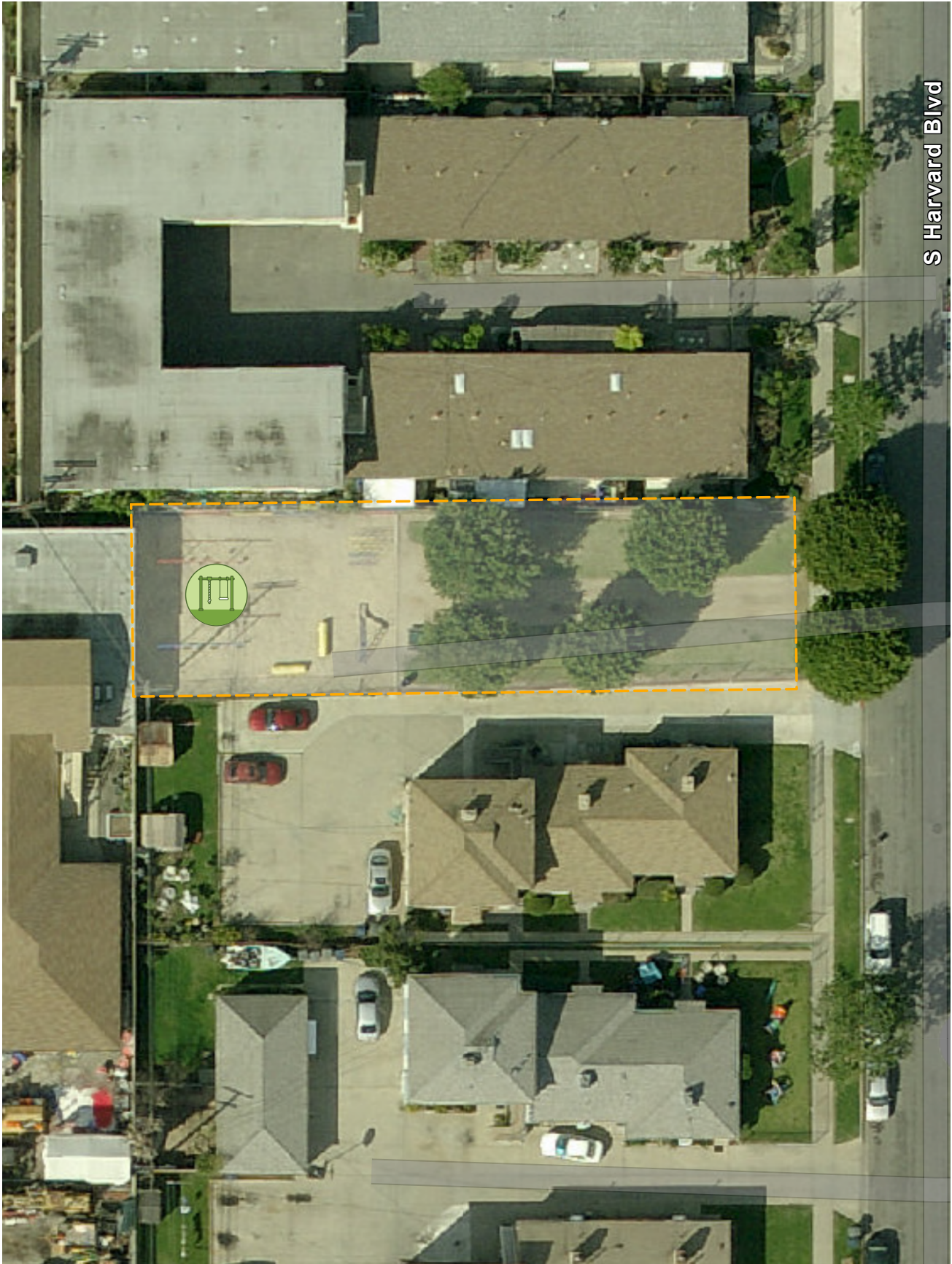
EJ 6.8: Ensure that meetings and other public engagement forums are accessible to a wide range of residents and encourage greater attendance by:

- Holding meetings at different locations and times and in different formats.
- Targeting outreach to communities that will be most impacted by an issue or decision.
- Ensuring any materials are distributed far enough in advance of meetings to allow sufficient time for review and comment.
- Using communication methods that convey complex or technical information in an easily understandable manner.
- Facilitating meetings using diverse methods that can engage all participants and can appeal to multiple styles of learning.

EJ 6.9: Utilize Channel 22 to advertise opportunities for community input.

EJ 6.10: Publish **and mail to all households** the information booklet called "Gardena Live, Work and Play" at least twice a year so residents can be aware of City events and services.

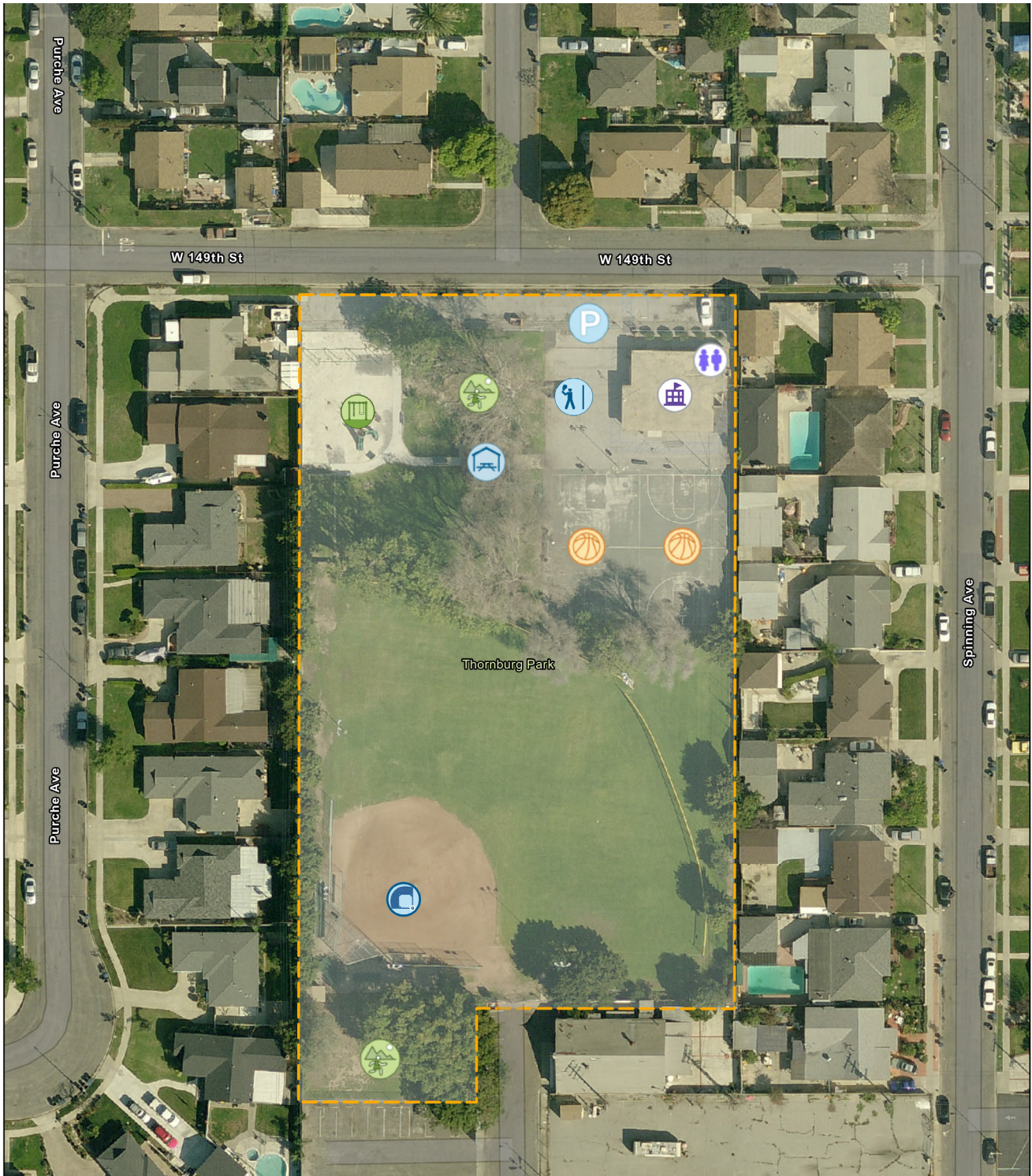
EJ 6.11: Consider establishing an Environmental Justice Committee to monitor the City's progress on implementation of the Environmental Justice Element.






S Harvard Blvd

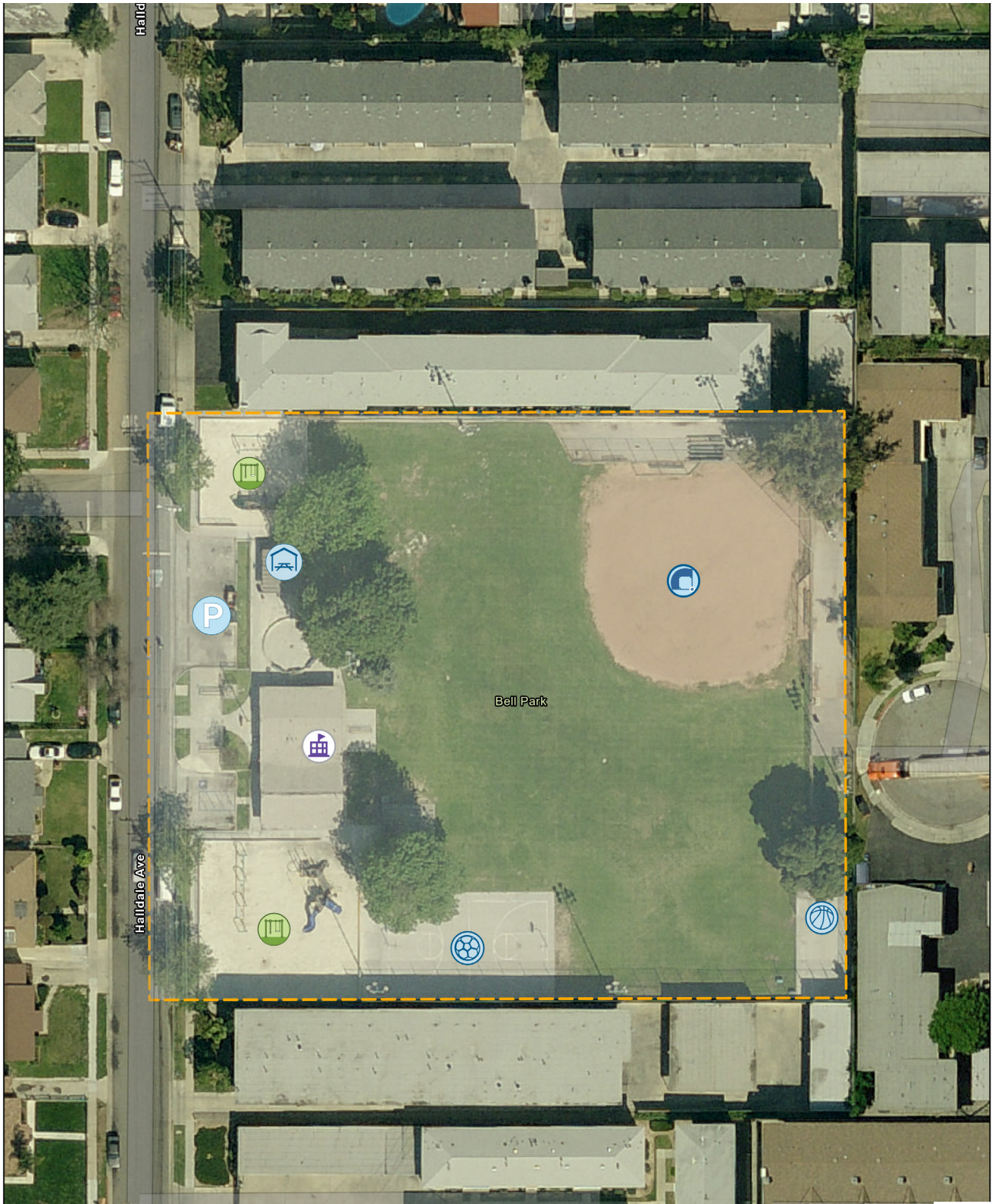
 Playground (1)








Harvard Parkette



-  Basketball - Full Court (2)
-  Community Building (1)
-  Handball/Racquetball (1)
-  OpenPlayArea (2)
-  Parking Lot (1)
-  Picnic Shelter (1)
-  Playground (1)
-  Restrooms (1)
-  Softball Field - Youth (Lit) (1)












Edward L. Thornburg Park



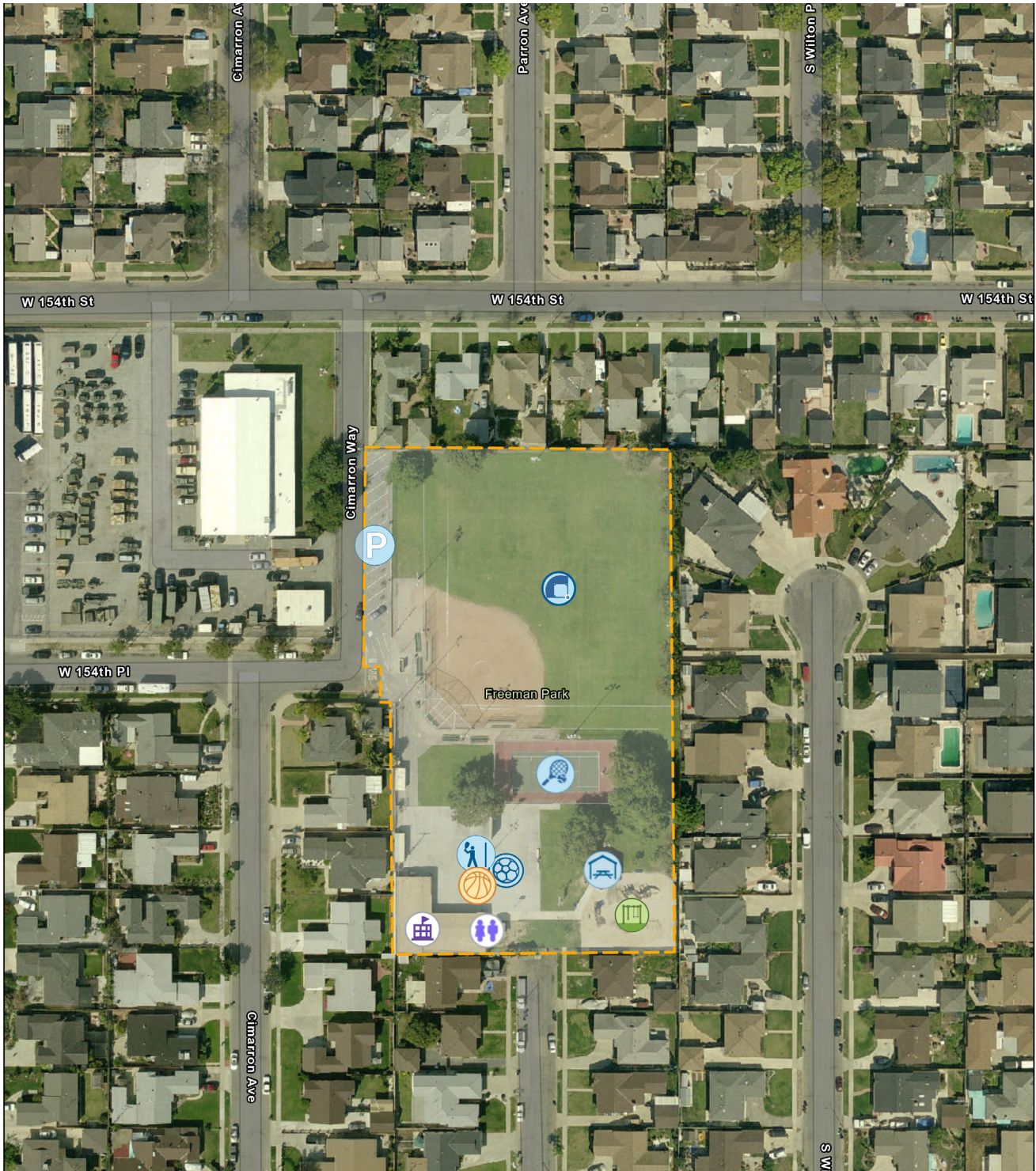
-  Basketball - Half Court (1)
-  Community Building (1)
-  Parking Lot (1)
-  Picnic Shelter (1)
-  Playground (2)
-  Soccer Field - Mini Pitch (Lit) (1)
-  Softball Field - Youth (Lit) (1)

Vincent Bell Memorial Park



- | | | |
|---|--|--|
|  Basketball - Full Court (2) |  Parking Lot (1) |  Skate Park (Lit) (1) |
|  Community Building (1) |  Picnic Shelter (1) |  Soccer Field - Youth (Lit) (1) |
|  Community Center (1) |  Playground (1) |  Tennis Courts (Lit) (4) |
|  OpenPlayArea (1) |  Restrooms (1) | |

Arthur Johnson Park



- | | |
|---|---|
|  Basketball - Full Court (1) |  Playground (1) |
|  Community Building (1) |  Restrooms (1) |
|  Handball/Racquetball (1) |  Soccer Field - Mini Pitch (Lit) (1) |
|  Parking Lot (1) |  Softball Field - Youth (Lit) (1) |
|  Picnic Shelter (1) |  Tennis Courts (Lit) (1) |

George H. Freeman Park



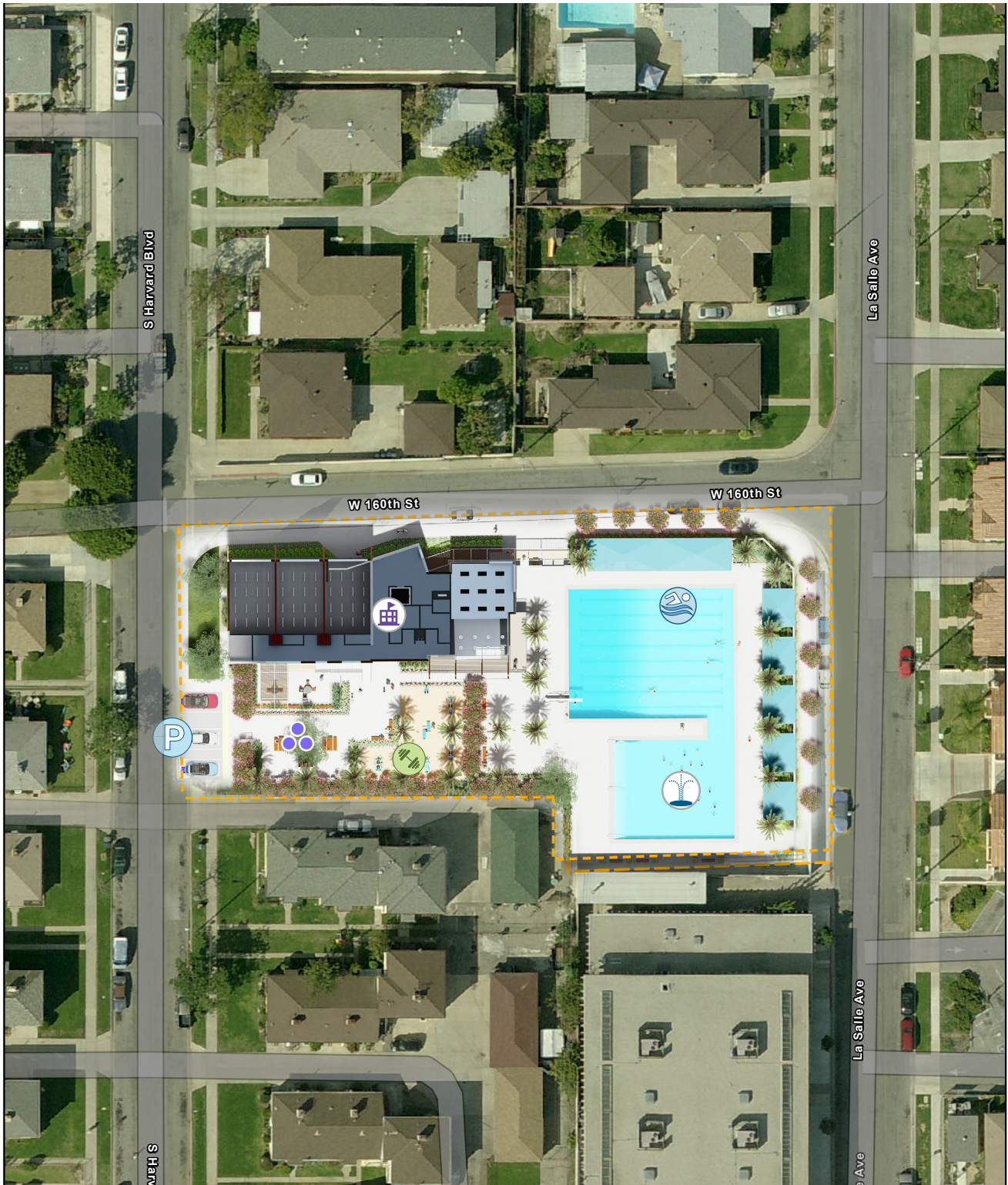
- | | |
|---|--|
|  Basketball - Full Court (2) |  Pickleball (Lit) (3) |
|  Community Building (1) |  Picnic Shelter (2) |
|  Cornhole Area (3) |  Playground (1) |
|  Fitness Station (1) |  Restroom (2) |
|  OpenPlayArea (2) |  Softball Field - Youth (Lit) (2) |

Mas Fukai Park



- | | | |
|-----------------------------------|----------------------|----------------------------------|
| Basketball - Adult (Lit) (1) | OpenPlayArea (3) | Restrooms (1) |
| Basketball - Half Court (Lit) (2) | Parking Lot (2) | Skate Park (1) |
| Community Building (1) | Pickleball (Lit) (1) | Softball Field - Youth (Lit) (4) |
| Fitness Station (2) | Picnic Shelter (3) | Tennis Courts (Lit) (4) |
| Gymnasium (1) | Playground (2) | Walking Jogging Loop (2) |

Paul A. Rowley Park



-  Senior Center (1)
-  Fitness Center (1)
-  Plaza (1)
-  Parking Lot (1)
-  SplashPad / Wading Pool (1)
-  Swimming Pool (1)

Aquatic Center and Senior Center

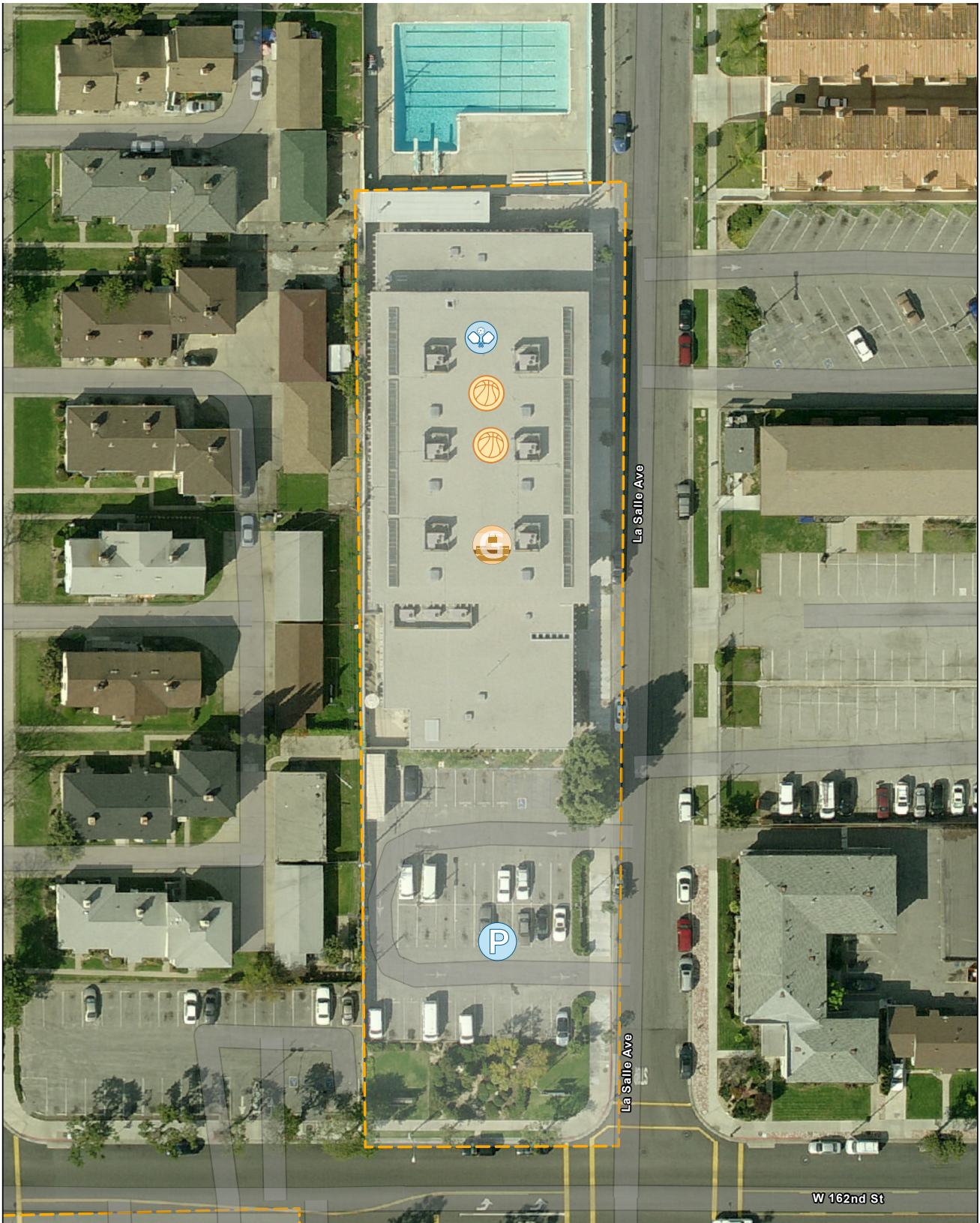






 Bridge (2)  Walking Jogging Loop

The Willows Wetland Preserve



Nakaoka Community Center



-  Pickleball (Indoor) (1)
-  Basketball - Adult (Indoor) (2)
-  Gymnasium (1)
-  Parking Lot (1)

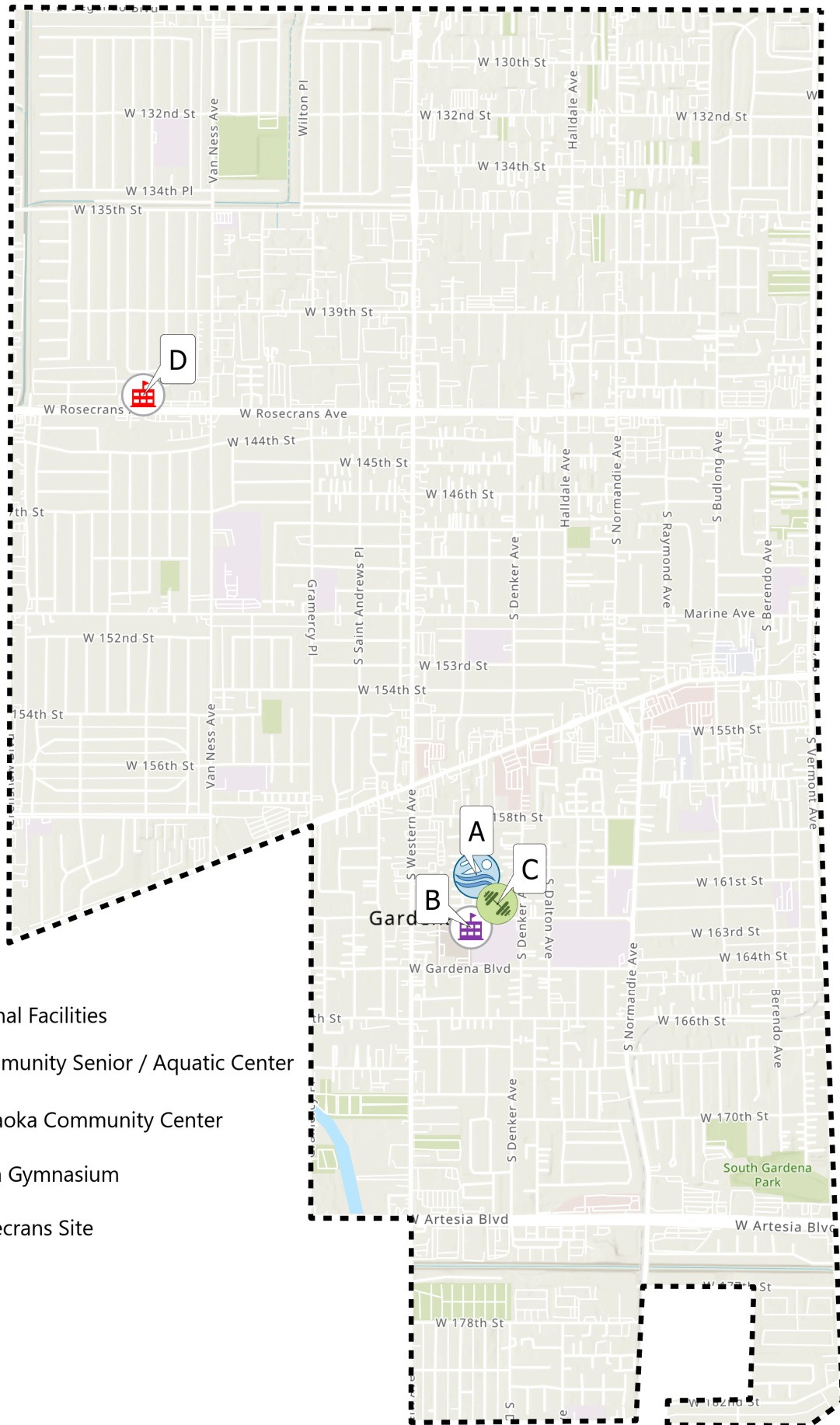
Rush Gymnasium







Chase Building



Barn/Building Site

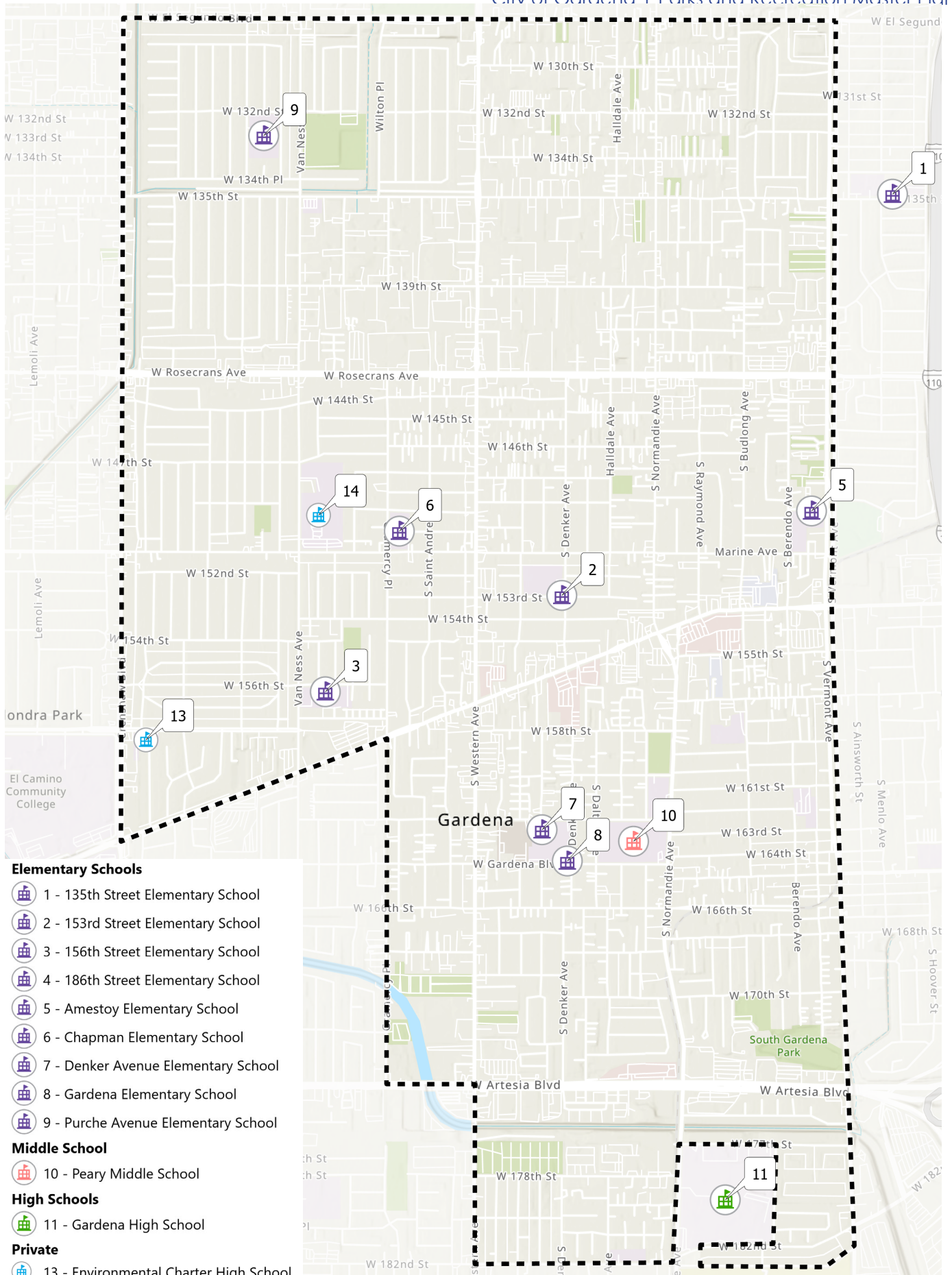


City Recreational Facilities

-  A - Community Senior / Aquatic Center
-  B - Nakaoka Community Center
-  C - Rush Gymnasium
-  D - Rosecrans Site

City Recreation Facilities Map

CITY OF GARDENA EXISTING PARKS & RECREATION FACILITIES					Baseball Field	Basketball Court - Full Court	Basketball - Half-Court	Community Building	Cornhole	Fitness Stations	Gymnasium	Handball / Racquetball	Open Play Area	Parking Lot (off street parking)	Pickleball Court	Picnic Shelter	Playground Area	Restroom Building	Skatepark	Soccer Field	Soccer Field (Mini Pitch)	Softball Field	Swimming Pool	Tennis Court	Wading Pool	Walking/Jogging Loop Trail	
MAP KEY	PARK NAME	ADDRESS	PARK TYPE	PARKLAND ACREAGE																							
PARKETTE																											
1	Sister City Harvard Parkette	160th Street/Harvard Blvd.	Parkette	0.2													1										
NEIGHBORHOOD PARK																											
2	Edward L. Thornburg Park	2320 West 149th Street	Neighborhood	2.5		2		1				1	2	1		1	1					1L					
3	Vincent Bell Memorial Park	14708 South Halldale Ave.	Neighborhood	1.9			1	1						1		1	2				1L	1L					
COMMUNITY PARK																											
4	Arthur Johnson Park	1200 West 170th Street	Community	6.8		2		1					1	1		1	1	1	1L	1L					4L		
5	George H. Freeman Park	2100 West 154th Place	Community	3.0		1		1				1		1		1	1	1			1L	1L		1L			
6	Mas Fukai Park	15800 South Brighton Ave.	Community	4.9		2L		1	3	1					3L	2	1	2				2L					
7	Paul A. Rowley Park & Gymnasium	13220 Van Ness Avenue	Community	18.7		1L/ 1(l)	2L	1		2	1		3	2	1L	3	2	1	1			4L		4L		2	
SPECIAL USE PARK																											
8	Aquatic Center & Senior Center	1650 West 162nd Street	Special Use	0.7				1		1				2										1		1	
9	The Willows Wetland Preserve	1200 West 170th Street	Special Use	8.0																						1	
				Total City Parks Acreage:	46.7																						
RECREATION FACILITIES																											
A	Nakaoka Community Center	1670 West 162nd Street	Recreation Facility	1.8				1					3	1													
B	Rush Gymnasium	1651 West 162nd Street	Recreation Facility	0.9		1(l)	3(l)	1			1			1	1*												
				Total City Parkland Acreage:	49.4																						
OPPORTUNITY SITES																											
I.	Chase Bank Building Site	Rosecrans and Purche Ave.	Opportunity Site	1.0																							
II.	Barn/Building Site	15016 Nader Place	Opportunity Site	0.1																							



Elementary Schools

- 1 - 135th Street Elementary School
- 2 - 153rd Street Elementary School
- 3 - 156th Street Elementary School
- 4 - 186th Street Elementary School
- 5 - Amestoy Elementary School
- 6 - Chapman Elementary School
- 7 - Denker Avenue Elementary School
- 8 - Gardena Elementary School
- 9 - Purche Avenue Elementary School

Middle School

- 10 - Peary Middle School

High Schools

- 11 - Gardena High School

Private

- 13 - Environmental Charter High School
- 14 - Junipero Serra High School

Gardena Schools Map

Gardena Accessibility Improvements Summary

November 20, 2023

2. Gardena City Hall

2.1. Site Summary

- The grounds surrounding the City Hall are in very good condition and is well maintained. Minimal accessibility improvements are required.

2.2. General Site Accessibility

- Adequate access from the public right of way is provided to the City Hall.

2.3. Accessible Parking

- While there are adequate accessible parking spaces, the angled layout of the spaces does not allow for full 18' depth on both sides.
- Curb ramps and built-up ramps at the head-end of the access aisles should be replaced with compliant means of access.
- Minor restriping modifications are required.

2.4. Building Entries

- Ramp entries to the building require modification to the handrails.
- Handrails need to be provided at all entry stairs.
- Floor mats at the entry doors need to be removed or secured.

2.5. Lobby

- The City Hall lobby is fully accessible from all public entries.
- The reception counter at the lobby is compliant and does not require modifications.

2.6. Restrooms and Drinking Fountains

- There are two public restrooms near the lobby. At least one should be modified to provide maximum accessibility.
- Side clearances on the push sides of both restroom entry doors are not compliant. Removing the automatic closer could solve this problem.
- Dispensers require relocation in both restrooms.
- There are two single-unit drinking fountains provided (one is not currently operational).
- The newer drinking fountain/water bottle filling station requires side protection.

2.7. Council Chambers

- The public areas of the Council Chambers provide adequate accessibility. No modifications are required.

2.8. Planning Department

- Minor corrections are required at the entry door.

3. Nakaoka Community Center

3.1. Site Summary

- The grounds surrounding the Community Center are in very good condition and is well maintained. Minimal accessibility improvements are required.

3.2. General Site Accessibility

- Adequate access from the public right of way is provided to the Community Center.

3.3. Accessible Parking

- There are two accessible parking spaces provided in the parking lot adjacent to the Community Center.
- While there are adequate accessible parking spaces, the angled layout of the spaces does not allow for full 18' depth on both sides.
- Both spaces have minor areas of non-compliant slopes requiring correction.
- The far accessible parking space requires pedestrians to travel behind other vehicles. This requires correction.
- The curb ramp connecting the parking to the accessible path of travel to the building requires modification.

3.4. Building Entries

- The ramp to the main entrance requires a handrail on the left side. The right handrail requires adequate extensions, and a wheelguard is required at the bottom of the rail.
- The main entry stairs require handrails on both sides.
- There are unsecured floor mats at the entry doors requiring removal or securing.

3.5. Lobby, Reception and Interior Circulation

- The lobby is generally accessible.
- The reception counter is compliant and does not require modifications.

3.6. Restrooms and Drinking Fountain

- There are gender-specific multiple-occupant restrooms on both floors of the building.
- The first floor restrooms require minor adjustments to the door operation.
- The first floor restroom lavatories require pipe insulation.
- Various dispensers in the first floor restrooms require adjustment to their location/height.
- The accessible toilets at both first floor restrooms are too far from the side wall.
- The urinal in the first floor men's restroom is too high.
- The second floor restrooms require minor adjustment to the door operation.
- Both accessible toilet compartments in the second floor restrooms are too narrow.
- Both accessible toilet compartments in the second floor restrooms have non-compliant rear grab bars.
- The drinking fountain at the first floor corridor to the parking lot is not currently operational. Dimensionally, it appears to be compliant.

3.7. Interior Vertical Circulation

- There are two sets of stairs and one elevator providing access between the floors.
- Both stairs require the addition of compliant handrails with compliant extensions.
- Contrasting stripes at the bottom tread and top landings at each stair run are inadequate and should be replaced.
- The elevator requires correct first floor jamb signage.
- The elevator requires adjustment to the closing timing on both floors.

3.8. Classrooms and Meeting Rooms

- The interiors of the classrooms and meeting rooms are generally accessible.
- Several entry doors require adjustment of closing speeds and operating force.
- In some cases, there is inadequate clearance adjacent to the doors, requiring modifications.

3.9. Auditorium

- The auditorium is in good condition. No fixed seating is provided, so access around the space is not impeded.
- The stairs on either side of the stage require upgrading.
- The platform lift to the stage is inaccessible and was not found to be in operating condition. There is no signage provided directing persons requiring use of the lift.

4. James Rush Gymnasium and Offices

4.1. Site Summary

- The Rush Gymnasium building is directly adjacent to W. 162nd Street.
- The site generally consists of the gymnasium building and the adjacent parking lot.

4.2. General Site Accessibility

- The Rush Gymnasium building is directly adjacent to W. 162nd Street.
- The building entries are immediately adjacent to the public right of way.
- See Accessible Parking and Building Entries sections for improvements required.

4.3. Accessible Parking

- There are two accessible parking spaces requiring minor modifications.
- The farther accessible space requires traveling behind other vehicles to gain access to the building. This is not allowable and needs to be addressed.
- The only route to the building is within the vehicular driveway and presents a dangerous condition.

4.4. Building Entries

- Both entry ramps into the two public entries require modifications.
- Ramp slopes are not compliant.
- Ramp handrails require modifications.
- Both entry stairs into the two public entries require modifications.
- The gym stairs have non-compliant slopes at the lower landing.
- Both stairs require modifications to the handrails.
- Both stairs require nosing striping.
- The gym entry door requires some modest modifications.
- The floor mat at the office entry door should be removed or secured to the floor.

4.5. Gymnasium

- The gymnasium is generally compliant and does not require accessibility modifications.

4.6. Restrooms and Drinking Fountain

- There are two gender-specific multiple-occupant restrooms in the gymnasium and two gender-specific multiple-occupant restrooms in the office portion of the building.
- There are locker rooms adjacent to the gymnasium restrooms. These rooms are locked and not in use.
- The gym restrooms require compliant signage.
- In general, the gym restrooms require significant remodeling to meet access compliance requirements. Neither restroom has an accessible toilet compartment.
- The men's restroom has no compliant urinal.
- The office restrooms require compliant signage.
- In general, the office restrooms require moderate remodeling to meet access compliance requirements. Neither restroom has an accessible toilet compartment, the lavatories are too high, and the entry doors are too narrow.

- There is a single drinking fountain/water bottle filling station located in the lobby. It is a contemporary model, but requires side protection on both sides.

4.7. Reception Counter

- The lobby reception counter is compliant and requires no accessibility improvements.

5. Arthur Lee Johnson Memorial Park

5.1. Site Summary

- This is one of the larger parks in the city with multiple activity areas.

5.2. General Site Accessibility

- There are several concrete walkways throughout the park that have panels which have heaved. Grinding or removal and replacement of the uneven panels is required.

5.3. Accessible Parking

- Accessible parking is split into three areas.
- All three parking areas require improvements.
- Parking surfaces are showing significant wear.
- Parking striping is in poor condition and in need of repair.
- Curb ramps at Parking Spaces 1, 2 and 3 require removal and replacement.

5.4. Play Area

- There is one play area in this park.
- The play equipment is contemporary and in good condition.
- The ground surface at the play area is rubberized material throughout. There are a few areas where the material is failing and in need of repair.

5.5. Picnic Area

- There is one covered picnic area. Access around the picnic area is adequate. However, there are no accessible seating areas at any of the tables. Replacement with accessible tables is recommended.

5.6. Sports Facilities

- There are several different sports activity areas throughout the park including basketball courts, a skateboard park, tennis courts and an open sports field.
- Access to the basketball court requires improvement. The ramp is not compliant. The four stairs into the court area require handrail replacement and markings on the stair nosings.
- The skateboard park is compliant and does not require accessibility improvements.
- The tennis courts require repair to the approach walkways.
- The tennis court gates require accessible hardware.
- The open sports field viewing area is compliant.

5.7. Restroom Building

- There is one stand-alone restroom building with individual toilet rooms.
- Minor modifications to the accessible toilet rooms are required.
- Signage should be revised to clearly identify which toilets are accessible and which are not.

5.8. Other Facilities

- There is one community building on site.
- The entry doors are compliant, however the ramping up to the doors includes raised curbs which present possible tripping hazards. These should be removed

and the concrete walkway/landings should be modified to eliminate the trip hazard.

- A new drinking fountain/water bottle filling station was recently installed and is compliant.

6. Willows Wetlands

6.1. Site Summary

- There are no accessible parking spaces near the Wetlands entry.
- If parking at Johnson Park is intended to serve the Wetlands, an accessible path from the park along the playfield should be installed along the driveway.

6.2. Wetlands Entry

- The approach to the Wetlands is a dirt/decomposed granite pathway.
- The approach to the entry gate includes a short concrete approach with an uneven transition from the path. The landing should be extended and the transition surface should be leveled and smoothed.

6.3. Entry Bridge

- The entry bridge immediately after the entry gate requires handrails on both sides.
- There are gaps between the ramp walkway boards that are in excess of the ½" maximum allowable. Modifications should be performed to narrow the gaps to meet code.

6.4. General Trail Accessibility

- Where feasible, paths should be widened and leveled to provide a minimally accessible path of travel. Pathway improvements should focus on connecting the Overlook, Amphitheater and Educational Center to the accessible path of travel.
- There are areas within the Wetlands that would be extremely difficult to modify to provide minimal access. Signage should be provided directing the public to the most accessible routes within the Wetlands.

6.5. Overlook

- Similar to the Entry Bridge, the Overlook walkway boards are spaced with gaps in excess of ½". Modifications should be performed to narrow the gaps to meet code.

6.6. Zigzag Bridge

- Similar to the Entry Bridge, the Zigzag Bridge walkway boards are spaced with gaps in excess of ½". Modifications should be performed to narrow the gaps to meet code.
- There is an uneven approach surface between the dirt path and the bridge surface. Improvements are recommended.

6.7. Amphitheater

- The amphitheater is generally a minimally maintained gathering location.
- A clear level area on the bottom surface adjacent to the seating should be created to provide an identifiable space for disabled seating and companion seating.

6.8. Educational Center Area

- The Educational Center area has a covered area with picnic tables and a water bottle filling station.
- Neither of the picnic tables provide a seating space for the disabled. At least one table should be replaced with an accessible space.

- There is no clear path of travel to the water bottle filling station. Table locations should be modified to provide a clear pathway.

7. George H. Freeman Park

7.1. Site Summary

- This is one of the smaller parks within the city. It includes one baseball field, a basketball court, a mini-pitch court, one tennis court, a play area and picnic area, and one community building.

7.2. Accessible Parking

- There is one accessible parking space provided.
- Slopes at the parking are severe and in need of significant re-leveling.

7.3. Pathways

- Compliant access into the park is extremely limited. The walkway from the parking lot side of the park has severe slopes and is poorly defined. The approach from Parron Avenue is via a stairway at the end of the public sidewalk and ends just inside the entry gate.
- Improvement to both pedestrian entry sides of the park is required.

7.4. Play Area

- There is one play area with two structures and one swingset.
- All play equipment is contemporary and in good condition.
- No modifications are required.

7.5. Picnic Area

- There is one covered picnic area.
- While the tables are a mix of types, there are two metal tables with open ends which provide accessible seating areas.
- There are two barbeques in the lawn area. Neither are accessible models nor are they on an accessible path. These should be replaced with accessible units and an accessible path should be included.

7.6. Sports Areas

- The basketball court and adjacent ball wall are compliant and do not require accessibility upgrades.
- The mini-pitch court is compliant and does not require accessibility upgrades.
- The tennis court is compliant. However the entry gate hardware is not compliant requires replacement.
- The baseball field is in good condition. However the approach to the bleacher areas has significant slopes, hampering accessibility.
- The dugout areas on each side of the field have compliant concrete clear space for accessible seating. However, the transition from the infield dirt surface to the dugouts are uneven and in need of leveling.

7.7. Buildings

- There is one large community building and one newer stand-alone restroom building located in the park.
- The door thresholds to the rooms within the community building are fairly steep. New ramping thresholds should be installed to improve access.
- There are doors with non-compliant knob hardware. These doors should be upgraded.

- The stand-alone restroom building is generally compliant. However dispensers require height/location adjustments.
- The pipes under the lavatory should be wrapped.
- Door operation should be adjusted.

7.8. Drinking Fountain

- A contemporary drinking fountain/water bottle filling station is located adjacent to the restroom building. It is compliant and no modifications are required.

8. Edward L. Thornburg Park

8.1. Site Summary

- Thornburg Park is currently identified as closed for public activities.
- The park appears to still be open for private/individual use.

8.2. Accessible Parking

- The parking along the adjacent street is in very poor condition.
- It is nearly impossible to identify any parking along the street.
- The entire parking area should be repaired and accessible parking should be improved.

8.3. Pathways

- In general, the pathways within the park are level and compliant.
- There is no accessible path of travel from the main park to the baseball field.
- There is an entry gate at the end of Nader Place with a concrete walkway. This walkway ends approximately 20 feet within the gate and does not connect to any areas within the park.

8.4. Play Area

- There is one play area with one large play structure, a swingset and two spring riders and one standing post platform.
- All equipment is in good condition and adequate accessibility is provided. No improvements are required.

8.5. Picnic Area

- There is one covered picnic area with four tables.
- None of the tables provide accessible seating areas. The tables should be replaced with units that provide accessible seating areas for at least two individuals.
- There is one barbeque in the lawn area. It is not an accessible model nor is it on an accessible path. This should be replaced with an accessible unit and an accessible path should be included.

8.6. Sports Areas

- This park includes two basketball courts, a ball wall and one baseball field.
- The basketball court and ball wall are in good condition and do not require accessibility upgrades.
- The baseball field is in poor condition and in need of improvements. There are no accessible routes to any other areas of the park. The bleachers are in extremely poor condition and block any path of travel around the perimeter of the field. While the dugouts have concrete surfaces, there are no places provided for wheelchair seating. Significant improvements are required.

8.7. Buildings

- There is one community building within the park. It is currently closed and not in use.
- The building has two gender-specific restrooms. However, these restrooms are gated and locked. If the park is reopened in the future, the restrooms should be fully examined and upgraded as required to meet accessibility requirements.

8.8. Drinking Fountain

- There is one older concrete drinking fountain. While it meets most compliance requirements, it should be replaced with a contemporary unit.

9. Vincent Bell Park

9.1. Site Summary

- This is one of the smaller parks within the city. It includes one baseball field, one half basketball court, one mini-pitch court, two play areas, one covered picnic area and one community building (currently closed). There is street parking along Halldale Avenue.

9.2. Accessible Parking

- There is one accessible parking space along Halldale Avenue.
- There is a speedbump at the entry side of the space which could create a trip hazard. If it is not required by the city, it is recommended that the speedbump be removed.
- There is a curb ramp to the left of parking space is missing detectable warnings. These should be installed at the bottom portion of the curb ramp.

9.3. Pathways

- Pathways within the areas closest to the parking are in good condition. However, there are some heaving panels adjacent to the barbeques requiring removal and replacement.
- There is no accessible path of travel from the front side of the park to the baseball field or the half basketball court near the 148th Street entry.
- The paved paths near the baseball field are in poor condition and should be removed and replaced.

9.4. Play Areas

- There are two play areas near the parking side of the park. These are divided into one area for smaller children (ages 2 to 5) and one area for older children (ages 5 to 12).
- The small child play area includes one large play structure and one swingset. Both are contemporary installations and are in adequate condition.
- The older children play area includes one large play structure and one swingset.
- While adequate padded surfaces are included under the equipment, there are issues with sand encroachment onto the accessible surface, making access difficult. This is more of a programmatic issue rather than a design issue. However, extending the padded surface to a larger area could keep the sand from the areas required for accessibility.
- The padded surface under the swingset is showing significant wear and should be patched.

9.5. Picnic Area

- There is one covered picnic area located near the front of the park. The tables do not provide any accessible seating. Replacement of the tables is recommended.
- The ground surface at the barbeques is uneven and should be replaced. At the same time, the barbeques should be replaced with accessible models.

9.6. Sports Areas

- The baseball field is located near the back of the park. As noted above, there is no accessible path from the front of the park to the spectator area or the playing field.

- The bleachers at the baseball field are showing significant wear and should be rehabilitated.
- There are holes and damage in the paved area behind the backstop. The entire area should be repaired.
- Access to the dugout areas is limited and the finish transition surfaces are uneven. These should be leveled.

9.7. Building

- The existing building is closed and not currently in use. There are two restrooms along the street side of the building. Both are locked and were not surveyed.
- When the building is reopened, knob door hardware should be replaced with lever type.

9.8. Drinking Fountain

- There is one old concrete drinking fountain in the front area of the park. The water flow is poor and the unit is marginally accessible. It should be replaced with a modern drinking fountain/water bottle filling station similar to units recently installed in other city parks.

10. Harvard Parkette

10.1. Site Summary

- While this park is well maintained, the play area is extremely out of date.
- Full renovation of this park is recommended.

10.2. Accessible Parking

- There is no parking connected to this park.

10.3. Pathways

- There is a single dirt pathway into the park from the public right of way.
- There are tree roots that slightly impede the path of travel and should be addressed.

10.4. Play Area

- The play area should be completely renovated.
- All play equipment should be replaced.
- A portion of the ground surface should be made accessible.
- Entry into the play area needs to be improved.

10.5. Picnic Area

- There are two picnic tables providing no accessible seating space. Replacement of the picnic tables with accessible space is recommended.

11. Rowley Park

11.1. Site Summary

- This is the largest park in the city. It includes four baseball fields, four tennis courts, one full size basketball court and two half courts, a small skateboard park, several picnic areas, and several play areas. A substantial portion of the park is open activity area for the general public. Parking is separated into two parking lots. Also within the park is the Rowley Gymnasium and Rowley Community Building (both reviewed separately below).

11.2. General Site Accessibility

- In general, the area around the gymnasium and community building is level and accessible.
- There is one walkway to the street on the north side of the community building with a raised step. This should be removed and replaced with a sloped surface.
- The concrete walkway around the tennis courts has cross slopes in some areas in excess of 2%. Releveling is required.
- There is no accessible means of travel from the 132nd Street parking lot to the lower open park area. A new paved path with ramping or sloped walks should be considered.
- There is accessible route from the 132nd Street parking lot to the tennis courts or any areas to the west of the tennis courts. New paved walkways should be considered to provide full access across this area of the park.
- While Baseball Fields 1 and 2 are immediately adjacent to the Van Ness parking lot, there are no accessible routes to Baseball Fields 3 and 4. There is an existing 'V' gutter running east to west just north of the fields which is used for pedestrian travel, but this surface has significant cross slopes and should not be considered an accessible path of travel. Complete paths of travel around the baseball fields should be added with any park improvements.

11.3. Accessible Parking

- The parking lot along Van Ness Avenue has three accessible parking spaces (Spaces 1 through 3) near the gymnasium and two at the south end just to the south of Baseball Field 4.
- The accessible parking spaces near the gymnasium are in satisfactory condition. They do require minor modifications including restriping and improved signage.
- The accessible parking spaces in the south end of the parking lot (Spaces 4 and 5) do not adequately connect to any accessible route. A walk aisle at the head end of the parking spaces should be added to connect to the open park area.
- There is an existing stair from Parking Spaces 4 and 5 to Baseball Field 4. This stair is completely inadequate for access and should be replaced or have significant upgrades.
- The north parking lot along 132nd Street includes five accessible parking spaces. These spaces are completely inadequate and need to be replaced with properly dimensioned spaces. Additionally, the curb ramps serving these spaces are far too steep and do not meet any compliance requirements. If new spaces are to be placed in this location, a single lowered sidewalk along the head end of the

accessible parking spaces would be recommended to provide a level travel surface.

11.4. Playground Areas

- There are three play areas within the park. The main play area is located near the basketball courts and skateboard park. There are two other smaller play areas in the lower park area.
- The upper play area consists of contemporary play equipment which are in good condition. The ground surface is both padded as well as sand. There are a few areas where the padded surface requires repair where it has delaminated. Additionally, some of the padded accessible pathways should be extended to provide adequate access to the equipment.
- The larger lower area play area includes several old pieces of play equipment including a metal slide, swings, a wooden structure and monkey bars. The entire ground surface is sand and is not accessible. This entire play area should be removed and replaced with new equipment mounted on a compliant padded surface.
- The third play area, also located in the lower area, consists of one old swingset over sand. It is ringed by a pipe fence. The entire area is not compliant and should be removed and replaced with accessible equipment mounted on a compliant padded surface.

11.5. Picnic Areas

- There are three covered picnic areas located within the park. There is one small area adjacent to the skateboard park and upper play area. There is another small picnic area in the lower park area and one large covered picnic area in the far southeast corner of the park.
- The upper picnic area is on a level concrete surface flush with pedestrian paths of travel. At the time of the survey, there were no tables in this area. If tables are added to this area, at least one must have an accessible seating area included.
- The smaller lower picnic area includes five picnic tables. None of these tables provide accessible seating areas. These tables should be replaced and should have at least two accessible seating areas provided. There are also non-compliant barbeques in the lawn area adjacent to the picnic area. These should be replaced with compliant models and accessible paths of travel should be included.
- The large picnic area has picnic bench seat for up to 80 persons. Two of the existing tables have wheelchair spaces, but the table legs encroach into the required clear space. If these tables can be adjusted, they could provide accessible seating. However, based on the total seating of 80 persons, at least two additional accessible seating areas are required. Existing tables should be modified or new tables should be installed to meet the accessibility requirements.

11.6. Sports Facilities

- This park includes a full size basketball court, two half courts, a small skateboard park, four tennis courts, four baseball fields, a fitness area and one old (possibly no longer used) skating rink.

- The basketball courts are fully accessible. However, the existing fixed bench seating is in poor condition and should be replaced.
- The area around the skateboard park is fully accessible. No improvements are required.
- As noted above, the pathway to the tennis courts from the Van Ness side of the park have cross slopes in excess of 2% and should be repaired.
- Additionally, there is no accessible path of travel from the adjacent accessible parking or the adjacent restroom building to the tennis courts. New paths should be provided.
- The gate hardware at the tennis courts should be replaced with compliant hardware at compliant heights.
- As noted above, there are no accessible paths of travel to Baseball Fields 3 and 4. Full accessible paths of travel to all baseball fields should be included.
- The bleachers at Baseball Fields 3 and 4 are inaccessible. Accessible paths should be included.
- The dugout areas in each of the baseball fields are minimally accessible. While the dugouts are finished with concrete surface, the entries into these spaces have uneven surfaces.
- The fitness area in the lower park is a recent addition to the park. The ground surface is fully accessible and various pieces of equipment are identified as ADA Accessible. No improvements to the equipment are required (although improved paths of travel, as noted above, are required).
- There is an old skating rink in the center of the lower park area. There are entry slopes into the area that are in excess of 5% and should be modified if this space is to be utilized.

11.7. Restroom Buildings

- There are two restroom buildings within the park. The older restroom building is located adjacent to the 132nd Street parking lot and a new restroom building is located adjacent to Baseball Field 1.
- The older restroom building requires modest improvements including new signage, pipe insulation at the lavatories, relocation of various accessories, and replacement of toilet compartment hardware.
- The new restroom building is fully compliant and does not require additional modifications for accessibility.

12. Rowley Gymnasium

12.1. Site Summary

- This building is located directly adjacent to the Van Ness Avenue parking lot. It includes one full-size basketball court with bleachers (which can be modified to two courts with no bleachers). There are gender-specific, multiple-occupant restrooms located in the building. There are locker rooms which are no longer in use (and were not surveyed). There is one newer computer lab adjacent to the lobby.

12.2. General Accessibility and Lobby

- The main entrance is fully accessible via a sliding door. No improvements required.
- There is another sliding door from the lobby to the basketball court area. It is also compliant and does not require improvements.
- There is a single drinking fountain/water bottle filling station located in the lobby. It requires side protection on both sides. Ideally, this unit should be enhanced with a second higher drinking fountain for standing users.

12.3. Restrooms

- The two restrooms in the building require moderate improvements to meet access compliance. These include the following:
Improved wall signage.
Repair of automatic door openers.
Adjust lavatory heights.
Adjust dispenser heights and locations.
Wrap lavatory pipes.
Repair toilet compartment hardware.
Adjust toilet offsets from side walls.
Adjust toilet grab bars.
Relocate toilet paper dispensers.

12.4. Computer Lab

- The computer lab is a recent addition to the gymnasium building. Entry into the room is compliant and the workstations provide full accessibility. No additional accessibility improvements are required.

12.5. Gymnasium

- The gymnasium has full access around the perimeter as well as in between the two side-configured courts. However, the bleachers may require dedicated seating areas adjacent to the systems when fully extended to allow for wheelchairs adjacent to companion seating space.

13. Rowley Community Building

13.1. Site Summary

- The Community Building is also located adjacent to the Van Ness parking lot. It includes a large community room and two gender-specific, multiple-occupant restrooms.

13.2. General Accessibility and Lobby

- Entry into the building is via an automatic sliding entry door. This door is in proper working order and meets accessibility requirements.
- There is a pair of swinging doors from the lobby into the community room. These doors are connected to automatic door openers. While these openers are meant to improve accessibility, they were not in operating order at the time of the inspection. Therefore, the automatic mechanisms made the doors more difficult to operate. If these openers are repaired, the doors may be fully accessible. However, at the time of the inspection, operating force was well beyond the maximum 5 lbs of pressure allowable.
- There is a single drinking fountain/water bottle filling station located in the lobby. While this is a recently installed compliant model, it requires side protection on both sides. Additionally, it should be considered to add a higher, standing height drinking fountain adjacent to the existing unit.

13.3. Restrooms

- There are two gender-specific, multiple-occupant restrooms within the community building. Both restrooms require modest improvements to meet access compliance requirements.
- Similar to the door to the community room, the doors to the restrooms are equipped with automatic door openers. However, these openers were not in working order and should be repaired as soon as possible.
- Compliant restroom signage should be installed.
- Lavatory accessories should be relocated to compliant heights and locations.
- Both accessible toilet compartments are too narrow. They need to be widened to a minimum of 60".
- The men's restroom toilet is too far from the side wall and needs to be relocated.

13.4. Community Room

- The community room has no fixed seating and is level throughout. There is no raised platform or other impediments within the space. This room should be considered fully accessible and does not require additional improvements.

Volume 1

Gardena Parks and Recreation Facilities Accessibility Survey and Report



10/5/2023

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1. MASTER PLAN SUMMARY

1.1 Survey Summary

This accessibility survey includes inspections of buildings within the Gardena Civic Center area (including City Hall, Nakaoka Community Center and Rush Gymnasium), various larger parks (excluding Mas Fukai Park), and the Willows Wetlands. The intent of the following survey report is to identify key areas throughout each of the sites which require accessibility upgrades to provide universal access to the entire Gardena community and their guests.



Volume 1 of this report provides accessibility information for the following facilities:

- Gardena City Hall
- Nakaoka Community Center
- James Rush Gymnasium and Offices

Each facility is followed by specific checklists identifying areas requiring accessibility upgrades.

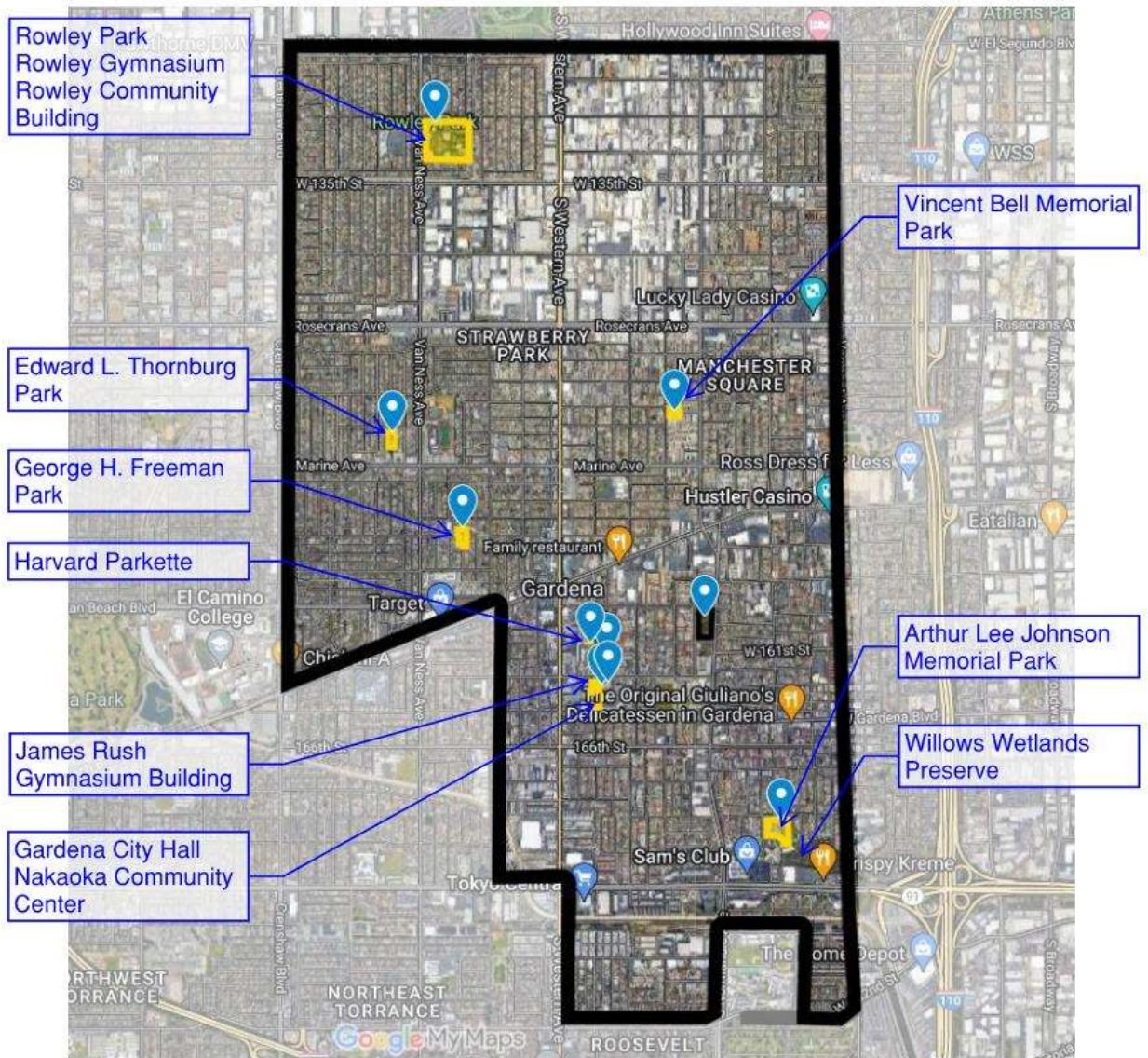
Volumes 2 includes the following facilities:

- Arthur Lee Johnson Memorial Park
- Willows Wetlands Preserve
- George H. Freeman Park
- Edward L. Thornburg Park
- Vincent Bell Memorial Park
- Harvard Parkette

Volume 3 includes the following facilities:

- Rowley Park
- Rowley Gymnasium
- Rowley Community Building

Gardena Facilities Map



2. GARDENA CITY HALL

2.1 Summary

Location: 1700 W. 162nd Street
 Parking: 62 spaces

The Gardena City Hall is an existing 19,000 SF one-story building that dates to 1962. The building faces Gardena Blvd and is located on the same campus with the Gardena Police Department building and the Nakaoka Community Center. Parking is provided in front of the building as well as the east side of the building. A total of five accessible parking spaces are provided within both parking lot areas.



The Gardena City Hall building has three public entrances (one at the south side and one at the east side of the building), one at each parking area (on the south and east side of the building) as well as one to the north leading to the Gardena Police Department and the Nakaoka Community Center. Public spaces within the building include the main lobby and reception, the Gardena Planning and Zoning offices, and the Gardena City Council Chambers. Two single occupant all-gender restrooms are provided adjacent to the Council Chambers. Public areas within the building are included in the following assessment.

2.2 General Site Accessibility

In general, the City Hall site is level and allows access throughout. There is an accessible walkway from the public sidewalk on the south side to the building. Additionally, there are direct paths of travel between City Hall, Nakaoka Community Center and the Gardena Police Department.

See SITE Checklist for complete details.



City Hall Main Entry

2.3 Accessible Parking

The parking lot is divided into two areas on a generally flat grade. There are a total of 62 parking spaces including five accessible parking spaces provided lot serving the Gardena City Hall. All five accessible spaces are angled spaces and directly connected to the walkways that leads to the building entrances. Based on the total count of 62 parking spaces provided, three accessible spaces are required including one van accessible space. The current accessible parking count provided meets and exceeds the code required parking requirements.



Parking Spaces 1 & 2 and Access Aisle 1-2

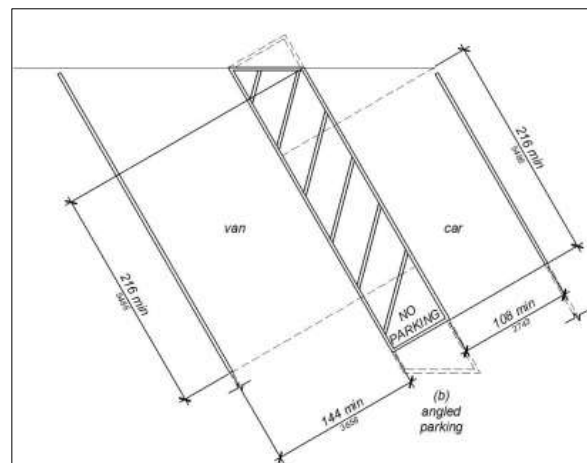
2.3.1 Parking Space 1

This parking space is located at the far left side of the parking lot.

Areas requiring correction include:

1. Extend parking space striping to provide 18' deep rectangular 'box per CBC Figure 11B-502.2.
2. When removing built-up ramp in access aisle, re-level surface in upper right corner to meet maximum slope limits.

See PK1 Checklist for complete details.



CBC Figure 11B-502.2

2.3.2 Access Aisle 12

This access aisle is located directly between Space 1 and 2. It includes a non-compliant built-up ramp within the aisle space.

Areas requiring correction include:

1. Remove built-up ramp.
2. Restripe access aisle striping to match accessible parking space depths on both sides per CBC Figure 11B-502.2.
3. Restripe diagonal hatching at 36" o.c. max.

See AA12 Checklist for complete details.



Built-up ramp in Access Aisle 1-2

2.3.3 Parking Space 2

This parking space is located to the right of Space 1 and Access Aisle 12.

Areas requiring correction include:

1. Revise signage to remove reference to Van Accessible parking. Angled parking with the access aisle on the left side are not permitted to be van accessible spaces.
2. Extend parking space striping to provide 18' deep rectangular 'box' per CBC Figure 11B-502.2.
3. Adjust slopes at entry side of parking space if 18' deep rectangular 'box' encroaches into non-compliant slope area.

See PK2 Checklist for complete details.

2.3.4 Parking Space 3

This space is the left-hand accessible space in the parking row directly facing the main entrance of the City Hall.

Areas requiring correction include:

1. Restripe parking space to 9'-0" minimum width.
2. Extend parking space striping to provide 18' deep rectangular 'box' per CBC Figure 11B-502.2.

See PK3 Checklist for complete details.



Parking Spaces 3 & 4 and Access Aisle 34

2.3.5 Access Aisle 34

This access aisle is located directly between Space 3 and 4. It includes a non-compliant curb ramp in the public walkway leading to the main entry. There is a no-compliant curb ramp connecting the access aisle to the accessible path of travel to the building entrance.

Areas requiring correction include:

1. Restripe access aisle striping to match accessible parking space depths on both sides per CBC Figure 11B-502.2.
2. Restripe diagonal hatching at 36" o.c. max.
3. Remove and rebuild curb ramp with compliant slopes and dimensions.



Curb Ramp 34

See AA34 and CR34 Checklists for complete details.

2.3.6 Parking Space 4

This space is the right-hand accessible space in the parking row directly facing the main entrance of the City Hall.

Areas requiring correction include:

1. Restripe parking space to 9'-0" minimum width.
2. Revise signage to remove reference to Van Accessible parking. Angled parking with the access aisle on the left side are not permitted to be van accessible spaces.
3. Extend parking space striping to provide 18' deep rectangular 'box' per CBC Figure 11B-502.2.

See PK4 Checklist for complete details.

2.3.7 Parking Space 5

This space is located in the east side parking lot and directly adjacent to the side entrance of the building.

Areas requiring correction include:

1. Extend parking space striping to provide 18' deep rectangular 'box' per CBC Figure 11B-502.2.

See PK5 Checklist for complete details.



Parking Space 5 and Access Aisle 5

2.3.8 Access Aisle 5

This access aisle is located to the right of Space 5. It includes a non-compliant curb ramp in the public walkway leading to the side entrance of the building. There is a no-compliant curb ramp connecting the access aisle to the accessible path of travel to the building entrance.

Areas requiring correction include:

1. Restripe access aisle striping to match accessible parking space depths on both sides per CBC Figure 11B-502.2. Required clear space cannot step up at curb.
2. Restripe diagonal hatching at 36" o.c. max.
3. Remove and rebuild curb ramp with compliant slopes and dimensions.

See AA5 and CR5 Checklists for complete details.



Curb Ramp 5

2.4 Building Entries

There are three building entrances. Two entrances lead to the parking lot areas on the south and east side and one on the north side that leads to the police department and Nakaoka Community Center. The building is slightly raised above the adjacent grade. To access the building, there are ramps and stairs at each of the three entrances.

2.4.1 Ramp 1

This ramp provides access to the main City Hall lobby from the south parking lot side of the building. It has a vertical rise of approximately 12”.

Areas requiring correction include:

1. Lengthen handrail extensions at top and bottom to provide a full 12” horizontal surface between 34” and 38” above the landings.
2. Adjust all handrail heights to have top surfaces between 34” and 38” above the ramp surfaces and/or landing surfaces.

See RA1 Checklist for complete details.

2.4.2 Stair 1

This stair is adjacent to Ramp 1 and provides access to the main City Hall lobby from the south parking lot side of the building. It contains two risers.

Areas requiring correction include:

1. Add compliant handrails at both sides of the stair.
2. Add compliant striping at the stair and top landing nosings.

See ST1 Checklist for complete details.



Main South Entrance



Ramp 1



Stair 1

2.4.3 Door 1

This automatic operating sliding door provides access into the City Hall building from the south approach.

Areas requiring correction include:

1. Remove or secure floor mats on both sides of the entry door.

See DR1 Checklist for complete details.



Door 1 Entry

2.4.4 Ramp 2

This ramp provides access to the main City Hall lobby from the north side of the building. It has a vertical rise of approximately 12”.

Areas requiring correction include:

1. Lengthen handrail extensions at top and bottom to provide a full 12” horizontal surface between 34” and 38” above the landings.

See RA2 Checklist for complete details.



Ramp 2

2.4.5 Stair 2

This stair is adjacent to Ramp 2 and provides access to the main City Hall lobby from the north side of the building. It contains two risers.

Areas requiring correction include:

1. Add compliant handrails at both sides of the stair.
2. Add compliant striping at the stair and top landing nosings.

See ST2 Checklist for complete details.



Stair2 and Door 2

2.4.6 Door 2

This automatic operating sliding door provides access into the City Hall building from the south approach.

Areas requiring correction include:

1. Remove or secure floor mats on both sides of the entry door.

See DR1 Checklist for complete details.

2.4.7 Ramp 3

This ramp provides access to the main City Hall lobby from the east side parking lot. It has a vertical rise of approximately 12”.

Areas requiring correction include:

1. Add handrail on left side of ramp at wall.
2. Extend lower right handrail extension.
3. Ramp is too steep and should be rebuilt at compliant slope.

See RA3 Checklist for complete details.

2.4.8 Stair 3

This stair is adjacent to Ramp 3 and provides access to the main City Hall lobby from the east side parking lot. It contains two risers.

Areas requiring correction include:

1. Add compliant handrails at both sides of the stair.
2. Add compliant striping at the stair and top landing nosings.

See ST3 Checklist for complete details.

2.4.9 Door 3

This automatic operating sliding door provides access into the City Hall building from the east parking lot.

Areas requiring correction include:

1. Remove or secure floor mats on both sides of the entry door.

See DR3 Checklist for complete details.



Ramp 3



Stair 3



Door 3

2.5 Lobby

The lobby is a generally open area with unsecured seating throughout. There is one service counter adjacent to the administrative offices. There are public entry doors on the north and south sides of the lobby and an open corridor on the east side leading to the side public entrance, the Planning Department, the Council Chambers, and two public restrooms. The routes to all areas are level and unobstructed.

The lobby seating area contains a total of 14 chairs distributed throughout the space. There is ample room for accessible seating. Chairs are unsecured, allowing redistribution as needed to accommodate disabled patrons and their companions.

The reception/service counter was inspected and found to provide an accessible space for the public to utilize. While the depth of the knee space is slightly less than the code requires for front approach, there is ample room for side approach to the transaction counter.

See Service Counter 1 Checklist for complete details.



City Hall Lobby



City Hall Reception Counter

2.6 Restrooms and Drinking Fountains

There are two single occupant restrooms located near the council chambers. There are also two single station drinking fountains in the corridor near the restrooms. Neither restroom is fully access compliant. At a minimum, it is recommended that one restroom be upgraded to meet all accessibility requirements. Both restrooms should be marked to identify the accessible restroom.

2.6.1 Restroom 1

This single occupant restroom is on the left-hand side when approaching down the corridor. There is a short alcove leading to this restroom. The restroom includes one lavatory and one toilet.

Areas requiring correction include:

1. Entry door does not have adequate side clearance on the push side of the door.
2. Entry door requires closing speed adjustment and door operating pressure adjustment.
3. The lavatory is too close to the side wall.
4. The soap and paper towel dispensers are mounted too high.
5. The toilet is too far from the side wall.
6. The side grab bar at the toilet is too close to the rear wall.
7. The toilet paper dispenser requires relocation to a location below the side grab bar.
8. The coat hook is mounted too high.



Restroom 1 Entry



Lavatory offset



Toilet Paper Dispenser location

2.6.2 Restroom 2

This single occupant restroom is on the right-hand side when approaching down the corridor. There is a short alcove leading to this restroom. The restroom includes one lavatory and one toilet.

Areas requiring correction include:

1. Entry door does not have adequate side clearance on the push side of the door. There is a wall shelf located within the required clear space on the pull side of the door which should be removed.
2. Entry door requires closing speed adjustment and door operating pressure adjustment.
3. The lavatory is slightly within the minimum distance from the side wall.
4. The soap and paper towel dispensers are mounted too high.
5. The side grab bar at the toilet is too far from the rear wall.
6. The rear grab bar at the toilet is not centered properly above the centerline of the toilet.
7. The toilet paper dispenser requires relocation to a location below the side grab bar.



Restroom 2 Entry

See RR2 Checklist for complete details.



Toilet Paper Dispenser location



Rear Grab Bar location

2.6.3 Drinking Fountain 1

This drinking fountain appears to be a newer model Elkay unit that includes a water bottle filling station. In general, this drinking fountain is compliant, however, drinking fountain rails should be added on either side of the alcove to protect the visually impaired from walking into the unit.

See DF1 Checklist for complete details.



Drinking Fountain 1

2.6.4 Drinking Fountain 2

This drinking fountain appears to be an older unit and is currently not in operation. The alcove is slightly out of compliance, requiring approximately 1" depth increase to meet the alcove requirement. Since Drinking Fountain 1 is an upgraded unit with a water bottle filling station, it is recommended that this unit be replaced and mounted to meet the requirement for a standing drinking fountain.

See DF2 Checklist for complete details.



Drinking Fountain 2

2.7 Council Chambers (public areas)

The council chambers public seating area is a level surface with eight rows of bench seating. At the front of the public area, there is an adjustable height podium for use by the public. A low partition divides the public space from the council area. The area behind the divider is not a part of this report.

While there are no dedicated wheelchair spaces within the public area, the entire floor is level and the walk aisles on either side are over 6 feet wide. This allows for accessible seating on either side of the room throughout the public gallery space.

The public podium was inspected for accessibility and the adjustable height top can be lowered to 34", providing an accessible surface. There is limited knee space provided under the unit for front approach, however, side approach is achievable as the entire space surrounding the unit is unobstructed and clear.



Council Chambers Seating Area



Council Chambers Public Podium

2.8 Planning Department

The planning department office is located directly across from the public restrooms. It has one public entry door and interior counter space. There is one lowered counter on the left to provide accessibility to the public. The office space is separated from the public space and is not a part of this report.

2.8.1 Door 6

This door is a single glass door from the corridor space into the Planning office. Minor corrections are required at this door.

See DR6 Checklist for complete details.

2.8.2 Service Counter

The service counter is located on the far right side of the public space. It provides adequate accessible space for business.

See SERV2 Checklist for complete details.



Planning Entry Door Clearance



Accessible Planning Station

Project: Gardena: City Hall					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant. Please see individual findings in report for specific details.					
Area:	SITE- General Accessibility				Code Cycle
Description:	General City Hall site information				2022
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Site Signage	Unauthorized Parking Signage Provided	SITE- 1.01	Provided	17" wide x 22" high (min dimensions)	11B-502.8 11B-502.8.1
	Unauthorized Parking Signage completed information.	SITE- 1.02	Provided	All blank spaces shall be completed with appropriate information.	11B-502.8.2
Path of Travel from Public Right Of Way to Main Entrances	Path of Travel width from Public Right of Way to building entrance.	SITE- 2.01	Provided from sidewalk at W. Gardena Blvd on south and W. 162nd St. on north side of building.	Continuous path of travel from public right of way	11B-206.2.1
	Path of Travel width	SITE- 2.02	> 48" on both sides of building.	48" min.	11B-403.5.1 Exception 3
	Path of Travel width-exception	SITE- 2.03	N/A	Due to natural barriers or other obstructions, width may be reduced to 36"	11B-403.5.1 Exception 3
	Path of Travel Cross Slopes	SITE- 2.04	Compliant	1:48 slope max.	11B-403.3
	Path of Travel Running Slopes	SITE- 2.05	Compliant	1:20 slope max.	11B-403.3
	Path of Travel Running-Slope adjacent to street/highway	SITE- 2.06	N/A	Where sidewalk is adjacent to vehicle way, slope may not exceed roadway slope.	11B-403.3 Exception
Path of Travel from Accessible Parking to subject building	<i>Path of Travel from Accessible Parking to building entrance(s).</i>	<i>SITE- 3.01</i>	<i>Provided, but some access issues. See Parking, Access Aisle and Curb Ramp Checklists.</i>	<i>Continuous path of travel from accessible parking</i>	<i>11B-206.2.1</i>
	Path of Travel width	SITE- 3.02	Compliant	48" min.	11B-403.5.1 Exception 3
	Path of Travel width-exception	SITE- 3.03	N/A	Due to natural barriers or other obstructions, width may be reduced to 36"	11B-403.5.1 Exception 3
	Path of Travel Cross Slopes	SITE- 3.04	Compliant	1:48 slope max.	11B-403.3
	Path of Travel Running Slopes	SITE- 3.05	Compliant	1:20 slope max.	11B-403.3
	Path of Travel Running-Slope adjacent to street/highway	SITE- 3.06	N/A	Where sidewalk is adjacent to vehicle way, slope may not exceed roadway slope.	11B-403.3 Exception

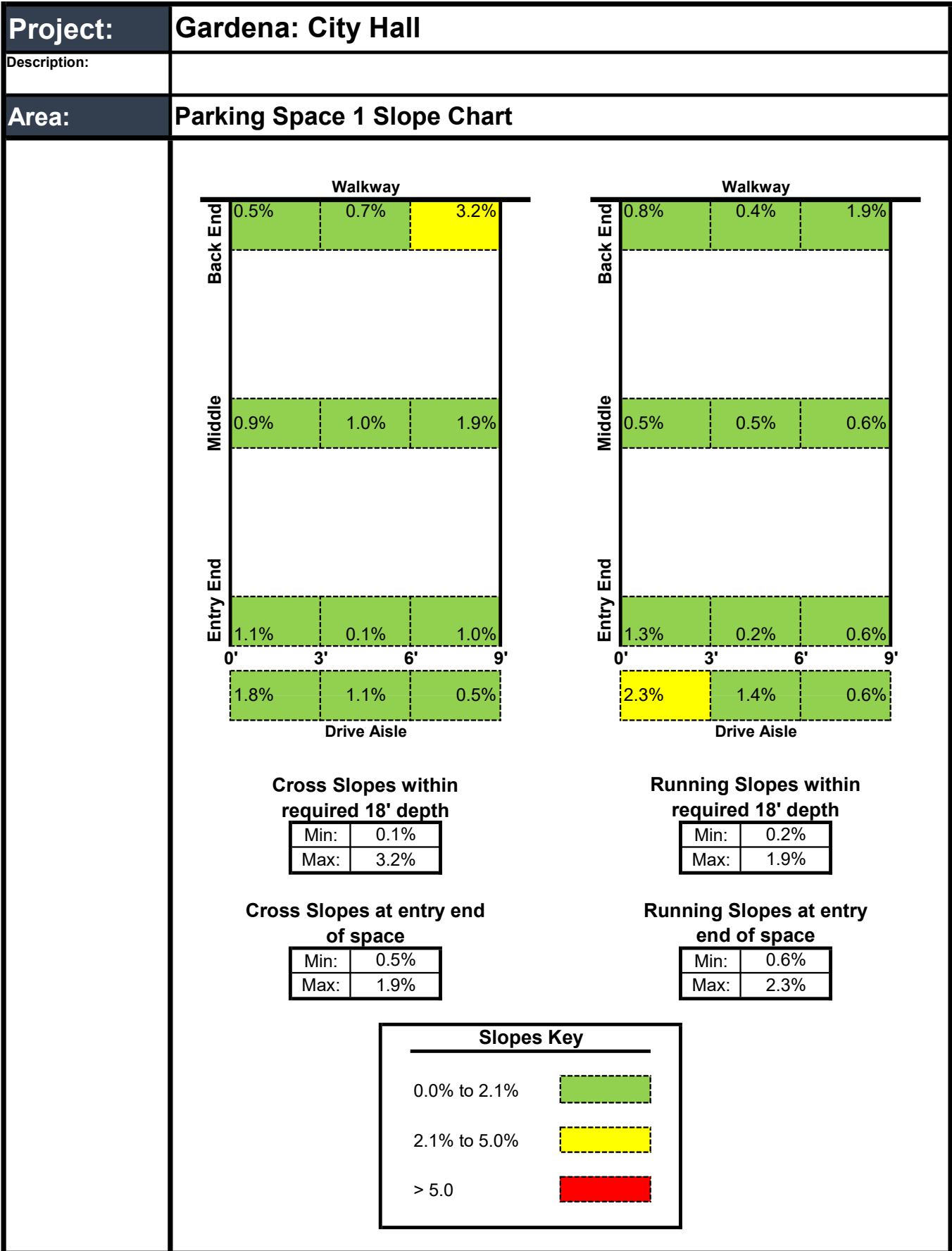
SITE

Project: Gardena: City Hall					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant. Please see individual findings in report for specific details.					
Area:	SITE- General Accessibility				Code Cycle
Description:	General City Hall site information				2022
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Path of Travel from subject building and other facilities on site	Path of Travel width from subject building to other facilities on site	SITE- 4.01	Continuous path of travel provided to police department and Nakaoka Community Center	Continuous path of travel to other facilities on site (where occurs)	11B-206.2.1
	Path of Travel width	SITE- 4.02	>48"	48" min.	11B-403.5.1 Exception 3
	Path of Travel width-exception	SITE- 4.03	N/A	Due to natural barriers or other obstructions, width may be reduced to 36"	11B-403.5.1 Exception 3
	Path of Travel Cross Slopes	SITE- 4.04	Compliant	1:48 slope max.	11B-403.3
	Path of Travel Running Slopes	SITE- 4.05	Compliant	1:20 slope max.	11B-403.3
	Path of Travel Running Slope adjacent to street/highway	SITE- 4.06	N/A	Where sidewalk is adjacent to vehicle way, slope may not exceed roadway slope.	11B-403.3 Exception
On Site Parking	Total number of spaces	SITE- 5.01	43 spaces	Informational	---
	Total number of accessible spaces	SITE- 5.02	5	See Parking Spaces Table	Table 11B-208.2
	Total number of van accessible spaces	SITE- 5.03	5 (2 spaces do not qualify as van accessible)	1 for every 6 accessible spaces	11B-208.2.4

SITE

Project:		Gardena: City Hall			
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant. Please see individual findings in report for specific details.					
Area:	PK1- Parking Space 1				Code Cycle 2022
Description:	Far left accessible parking space				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Accessible Space	Angled, Straight or Parallel	PK1- 1.01	Angled	Informational	N/A
	Van or Standard accessible stall?	PK1- 1.02	Van accessible space	Informational	N/A
	Parking space width	PK1- 1.03	12'-4"	9'-0" or 12'-0" at Van Accessible Space	11B-502.2
	Parking space depth	PK1- 1.04	Left: 13'-0" Right: 25'-0"	18'-0"	11B-502.2
	Side stripe color	PK1- 1.05	Both sides blue	Both sides blue	11B-502.3.3
	Does parked car encroach into required adjacent 48" wide pedestrian route?	PK1- 1.06	Yes	Parked vehicles may not obstruct required width of adjacent accessible route	11B-502.7.2
	Wheel stop or curb provided to prevent encroachment	PK1- 1.07	Wheelstop provided within parking space	Required if vehicle encroaches into pedestrian way.	11B-502.7.2
	ISA symbol provided at bottom of stall	PK1- 1.08	Yes	Aligned with bottom end of space.	11B-502.6.4
	ISA symbol width x height	PK1- 1.09	44" x 48"	36" x 36"	11B-502.6.4.1 11B-502.6.4.2
	ISA symbol condition	PK1- 1.10	Showing slight wear	Unfaded, no repainting required	Assumed, not specified in code
	ISA symbol alignment within parking space	PK1- 1.11	75" 73"	Within 6" of centerline of space and sides parallel to space length	11B-502.6.4.2
	70 Sq. In accessible signage provided at head of stall	PK1- 1.12	Correct Sign Provided	ReflectORIZED. White on blue background with ISA symbol	11B-502.6 11B-502.6.1
	Required Fine Signage	PK1- 1.13	Correct Sign Provided	Minimum Fine \$250	11B-502.6.2
	Van Accessible signage provided	PK1- 1.14	Correct Sign Provided	Van Accessible signage required	11B-502.6
	Is the stall signage located within the accessible route?	PK1- 1.15	In sidewalk / walkway	Informational	---
	Stall signage height	PK1- 1.16	83"	80" if within accessible route. 60" if not within accessible route.	11B-502.6 11B-502.6 Exception
	Paving surface condition	PK1- 1.17	Good	Smooth & undamaged	Assumed, not specified in code
	Parking Space Cross Slope %	PK1- 1.18	Generally compliant. Small area in upper right side of space at 3.2% See chart.	1:48 max (2.1% max)	11B-502.4 Exception
Parking Space Running Slope %	PK1- 1.19	Generally compliant. Area at bottom left side of space at 2.3% where parking extension is required. See chart.	1:48 max (2.1% max)	11B-502.4 Exception	

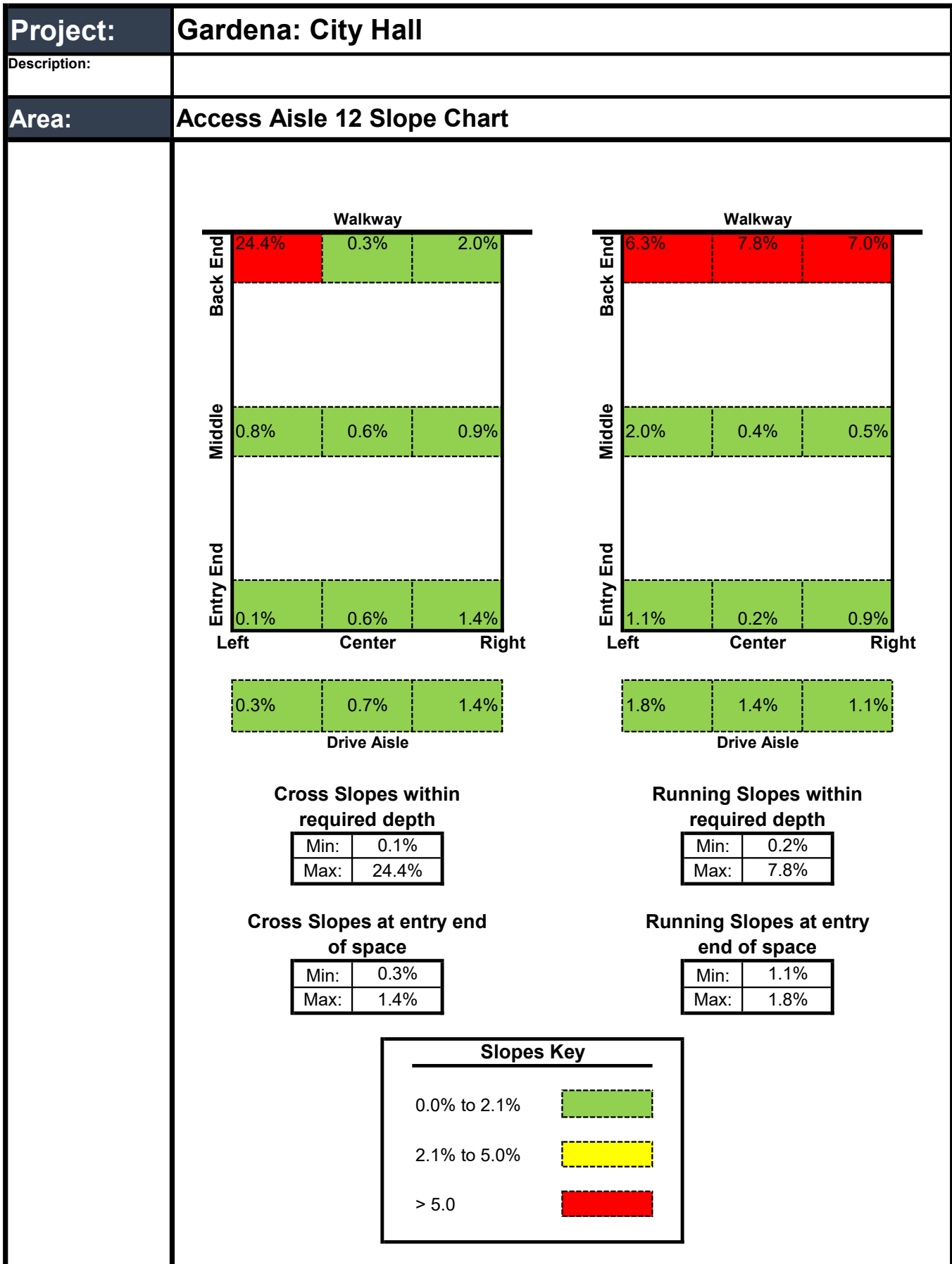
PARKING-1



Project: Gardena: City Hall

Item Observations in **RED** were observed to be non-compliant. Items Observations in *PINK ITALICS* were observed to be partially compliant. Please see individual findings in report for specific details.

Area:		AA12- Access Aisle 12				Code Cycle 2022
Description:		Access aisle between the two accessible parking spaces				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Access Aisle	Connected to accessible route	AA12- 1.01	Aisle is connected to accessible route	Must be connected to accessible route	11B-502.3	
	Parking space(s) served	AA12- 1.02	1 & 2	Informational	---	
	Access aisle location	AA12- 1.03	Between spaces	Either side of standard space. Right side of van accessible space	11B-502.3.4	
	Are occupants required to pass behind other parked vehicles?	AA12- 1.04	No	Not permitted	11B-502.7.1	
	Built-up ramp inside aisle?	AA12- 1.05	Yes	Not permitted	11B-502.4	
	Access aisle width	AA12- 1.06	5'-5"	Std Space: 60" Van Space: 96" Van Space: 60" if 12' wide parking space	11B-502.3.1	
	<i>Access aisle depth</i>	<i>AA12- 1.07</i>	<i>Full depth for Space 1 Inadequate depth for Space 2</i>	<i>Full length of adjacent stall</i>	<i>11B-502.3.1</i>	
	Paving condition	AA12- 1.08	Good	Stable, firm and slip-resistant	11B-302.1	
	Access aisle cross slope %	AA12- 1.09	Built up ramp at nose end of access aisle has cross slope of 24.4%. All other areas in compliance. See chart.	1:48 max. (2.1%)	11B-502.4 Exception 1	
	Access aisle running slope %	AA12- 1.10	Built up ramp at nose end of access aisle has running slopes between 6.3% and 7.8%. See chart.	1:48 max. (2.1%)	11B-502.5 Exception 1	
	Access aisle border	AA12- 1.11	Good condition. Correct color.	4" wide blue border on all sides of access aisle	11B-503.3	
	Access aisle diagonal hatching spacing	AA12- 1.12	48" 45" 45" 45" 39"	36" max o.c.	11B-502.3.3	
	"NO PARKING" at bottom of access aisle	AA12- 1.13	Good condition. Correct text.	12" high letters painted white	11B-502.3.3	
	"NO PARKING" paint condition	AA12- 1.14	Good condition. Correct text.	Text must be legible	11B-502.3.3	



Project: Gardena: City Hall					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant. Please see individual findings in report for specific details.					
Area:	PK2- Parking Space 2				Code Cycle 2022
Description:	Parking space to the right of the access aisle.				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Accessible Space	Angled, Straight or Parallel	PK2- 1.01	Angled	Informational	N/A
	Van or Standard accessible stall?	PK2- 1.02	Standard	Informational	N/A
	Parking space width	PK2- 1.03	10'-1"	9'-0" or 12'-0" at Van Accessible Space	11B-502.2
	Parking space depth	PK2- 1.04	Left: 17'-0" Right: 25'-6"	18'-0"	11B-502.2
	Side stripe color	PK2- 1.05	Side stripes ok. Top stripe missing or peeling/fading.	Both sides blue	11B-502.3.3
	Does parked car encroach into required adjacent 48" wide pedestrian route?	PK2- 1.06	Yes	Parked vehicles may not obstruct required width of adjacent accessible route	11B-502.7.2
	Wheel stop or curb provided to prevent encroachment	PK2- 1.07	Wheelstop provided within parking space	Required if vehicle encroaches into pedestrian way.	11B-502.7.2
	ISA symbol provided at bottom of stall	PK2- 1.08	Yes	Aligned with bottom end of space.	11B-502.6.4
	ISA symbol width x height	PK2- 1.09	38' x 48"	36" x 36"	11B-502.6.4.1 11B-502.6.4.2
	ISA symbol condition	PK2- 1.10	Showing slight wear	Unfaded, no repainting required	Assumed, not specified in code
	ISA symbol alignment within parking space	PK2- 1.11	61" 60" Compliant	Within 6" of centerline of space and sides parallel to space length	11B-502.6.4.2
	70 Sq. In accessible signage provided at head of stall	PK2- 1.12	Correct Sign Provided	Reflectorized. White on blue background with ISA symbol	11B-502.6 11B-502.6.1
	Required Fine Signage	PK2- 1.13	Correct Sign Provided	Minimum Fine \$250	11B-502.6.2
	Van Accessible signage provided	PK2- 1.14	Space incorrectly identified as a van accessible space	Van Accessible signage required	11B-502.6
	Is the stall signage located within the accessible route?	PK2- 1.15	In planter / landscape area	Informational	---
	Stall signage height	PK2- 1.16	Required sign: 81" Van sign: 75"	80" if within accessible route. 60" if not within accessible route.	11B-502.6 11B-502.6 Exception
	Paving surface condition	PK2- 1.17	Good	Smooth & undamaged	Assumed, not specified in code
Parking Space Cross Slope %	PK2- 1.18	Ranges between 0.3% and 2.3% within space, Ranges between 2.7% and 4.3% at entry end of space. See Chart	1:48 max (2.1% max)	11B-502.4 Exception	
Parking Space Running Slope %	PK2- 1.19	Ranges between 0.1% and 2.0%. See Chart	1:48 max (2.1% max)	11B-502.4 Exception	

PARKING-2

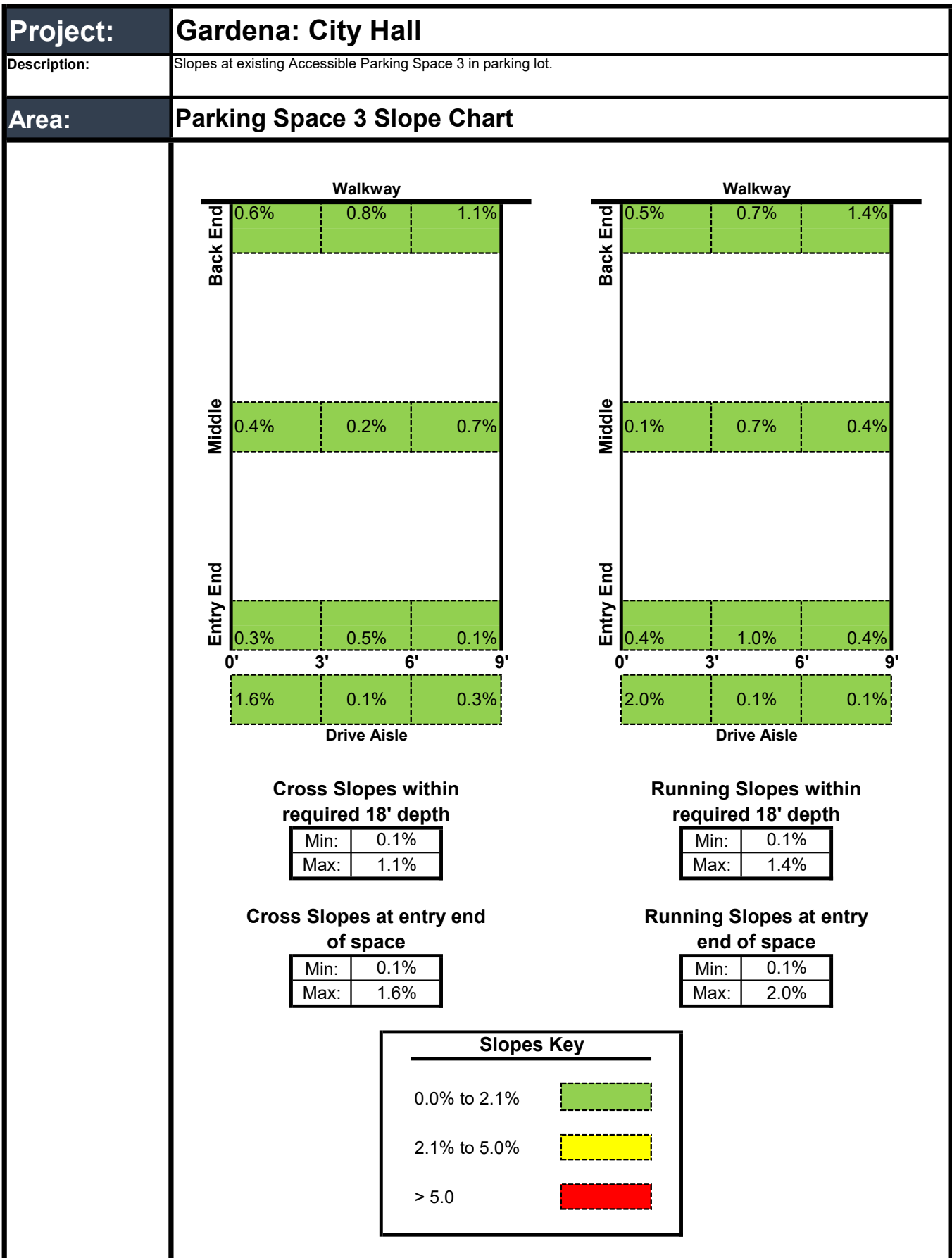


Project: Gardena: City Hall

Item Observations in **RED** were observed to be non-compliant. Items Observations in **PINK ITALICS** were observed to be partially compliant. Please see individual findings in report for specific details.

Area:		PK3- Parking Space 3				Code Cycle 2022
Description:		Parking space to the right of the access aisle.				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Accessible Space	Angled, Straight or Parallel	PK3- 1.01	Angled	Informational	N/A	
	Van or Standard accessible stall?	PK3- 1.02	Van accessible space	Informational	N/A	
	Parking space width	PK3- 1.03	8'-5"	9'-0" or 12'-0" at Van Accessible Space	11B-502.2	
	Parking space depth	PK3- 1.04	Left: 16'-1" Right: 25'-8"	18'-0"	11B-502.2	
	Side stripe color	PK3- 1.05	Both sides blue	Both sides blue	11B-502.3.3	
	Does parked car encroach into required adjacent 48" wide pedestrian route?	PK3- 1.06	Yes	Parked vehicles may not obstruct required width of adjacent accessible route	11B-502.7.2	
	Wheel stop or curb provided to prevent encroachment	PK3- 1.07	Wheelstop provided within parking space	Required if vehicle encroaches into pedestrian way.	11B-502.7.2	
	ISA symbol provided at bottom of stall	PK3- 1.08	Yes	Aligned with bottom end of space.	11B-502.6.4	
	ISA symbol width x height	PK3- 1.09	38' x 48"	36" x 36"	11B-502.6.4.1 11B-502.6.4.2	
	ISA symbol condition	PK3- 1.10	Showing slight wear	Unfaded, no repainting required	Assumed, not specified in code	
	ISA symbol alignment within parking space	PK3- 1.11	50" 51"	Within 6" of centerline of space and sides parallel to space length	11B-502.6.4.2	
	70 Sq. In accessible signage provided at head of stall	PK3- 1.12	Correct Sign Provided	ReflectORIZED. White on blue background with ISA symbol	11B-502.6 11B-502.6.1	
	Required Fine Signage	PK3- 1.13	Correct Sign Provided	Minimum Fine \$250	11B-502.6.2	
	Van Accessible signage provided	PK3- 1.14	Correct Sign Provided	Van Accessible signage required	11B-502.6	
	Is the stall signage located within the accessible route?	PK3- 1.15	In planter / landscape area	Informational	---	
	Stall signage height	PK3- 1.16	79"	80" if within accessible route. 60" if not within accessible route.	11B-502.6 11B-502.6 Exception	
	Paving surface condition	PK3- 1.17	Good	Smooth & undamaged	Assumed, not specified in code	
Parking Space Cross Slope %	PK3- 1.18	Ranges between 0.1% and 1.1% within space, Ranges between 0.1% and 1.6% at entry end of space. See Chart	1:48 max (2.1% max)	11B-502.4 Exception		
Parking Space Running Slope %	PK3- 1.19	Ranges between 0.1% and 1.4% within space, Ranges between 0.1% and 2.0% at entry end of space. See Chart	1:48 max (2.1% max)	11B-502.4 Exception		

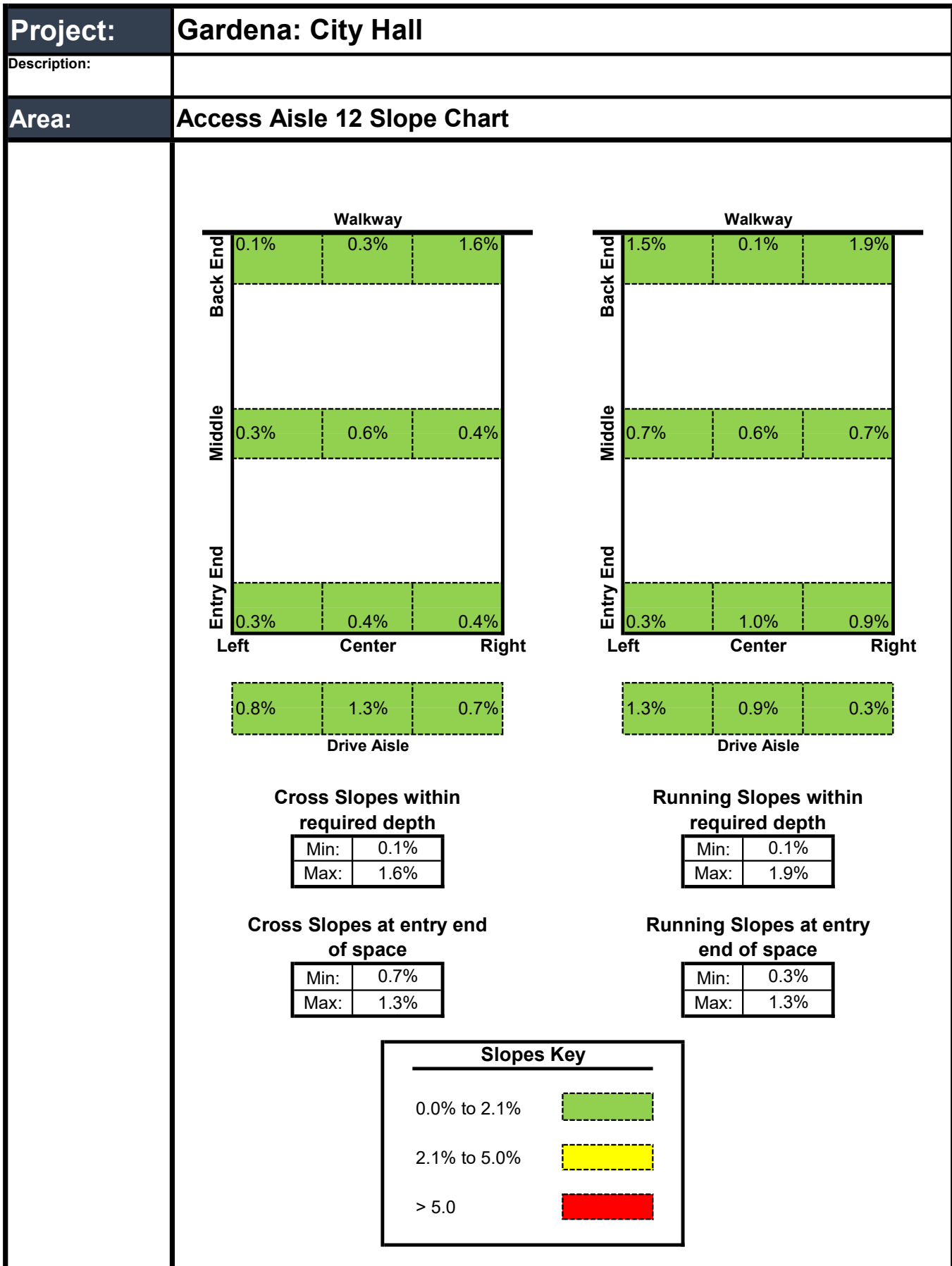
PARKING-3



Project: Gardena: City Hall

Item Observations in **RED** were observed to be non-compliant. Items Observations in **PINK ITALICS** were observed to be partially compliant. Please see individual findings in report for specific details.

Area:		AA34- Access Aisle 3/4				Code Cycle 2022
Description:		Access aisle between the two accessible parking spaces				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Access Aisle	Connected to accessible route	AA34- 1.01	Aisle is connected to accessible route	Must be connected to accessible route	11B-502.3	
	Parking space(s) served	AA34- 1.02	3 & 4	Informational	---	
	Access aisle location	AA34- 1.03	Between spaces	Either side of standard space. Right side of van accessible space	11B-502.3.4	
	Are occupants required to pass behind other parked vehicles?	AA34- 1.04	No	Not permitted	11B-502.7.1	
	Built-up ramp inside aisle?	AA34- 1.05	No	Not permitted	11B-502.4	
	Access aisle width	AA34- 1.06	8'-0"	Std Space: 60" Van Space: 96" Van Space: 60" if 12' wide parking space	11B-502.3.1	
	<i>Access aisle depth</i>	<i>AA34- 1.07</i>	<i>Full depth for Space 3 Inadequate depth for Space 4</i>	<i>Full length of adjacent stall</i>	<i>11B-502.3.1</i>	
	Paving condition	AA34- 1.08	Good	Stable, firm and slip-resistant	11B-302.1	
	Access aisle cross slope %	AA34- 1.09	Ranges between 0.1% and 1.6% within striped area. Ranges between 0.7% and 1.3% at entry end of space. See Chart	1:48 max. (2.1%)	11B-502.4 Exception 1	
	Access aisle running slope %	AA34- 1.10	Ranges between 0.1% and 1.9% within striped area. Ranges between 0.3% and 1.3% at entry end of space. See Chart	1:48 max. (2.1%)	11B-502.5 Exception 1	
	Access aisle border	AA34- 1.11	Good condition. Correct color.	4" wide blue border on all sides of access aisle	11B-503.3	
	<i>Access aisle diagonal hatching spacing</i>	<i>AA34- 1.12</i>	<i>Ranges between 23" and 50"</i>	<i>36" max o.c.</i>	<i>11B-502.3.3</i>	
	"NO PARKING" at bottom of access aisle	AA34- 1.13	Good condition. Correct text.	12" high letters painted white	11B-502.3.3	
	"NO PARKING" paint condition	AA34- 1.14	Good condition. Correct text.	Text must be legible	11B-502.3.3	



Project: Gardena: City Hall

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:		CR34- Flared Curb Ramp 3/4				Code Cycle 2022
Description:		Curb ramp associated with Access Aisle 3/4				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Curb Ramp	Curb Ramp Type	CR34- 1.01	Standard Curb Ramp with flared sides	Informational	---	
	Curb Ramp Width	CR34- 1.02	48"	48" wide minimum	11B-406.5.2	
	Upper Landing Depth	CR34- 1.03	46.5"	48" deep minimum	11B-406.5.3	
	Upper Landing Width	CR34- 1.04	Compliant	At least as wide as the ramp width	11B-406.5.3	
	Upper Landing Slope	CR34- 1.05	Running: 1.3% Cross: 0.6%	1:48 max. (2.1%)	11B-406.5.3	
	Ramp Running Slope	CR34- 1.06	7.5%	1:12 max. (8.33%)	11B-406.3.1	
	Ramp Cross Slope	CR34- 1.07	0.3%	1:48 max. (2.1%)	11B-406.5.7	
	Left flared side slope	CR34- 1.08	11.3%	1:10 max. (10.0%)	11B-406.2.2	
	Right flared side slope	CR34- 1.09	12.9%	1:10 max. (10.0%)	11B-406.2.2	
	Detectable warnings	CR34- 1.10	Not provided	Curb ramps shall have detectable warnings extending 36" in the direction of travel.	11B-406.5.12 11B-705.1.2.2	
	Counter Slope	CR34- 1.11	Level at Access Aisle 3/4	1:20 max. for first 24" from end of curb ramp	11B-406.5.8	
	Grade Break at Bottom of Ramp	CR34- 1.12	Compliant	Perpendicular to direction of ramp at top/bottom. Surface slopes at grade breaks shall be flush.	11B-406.5.6	

Project: Gardena: City Hall

Item Observations in **RED** were observed to be non-compliant. Items Observations in **PINK ITALICS** were observed to be partially compliant. Please see individual findings in report for specific details.

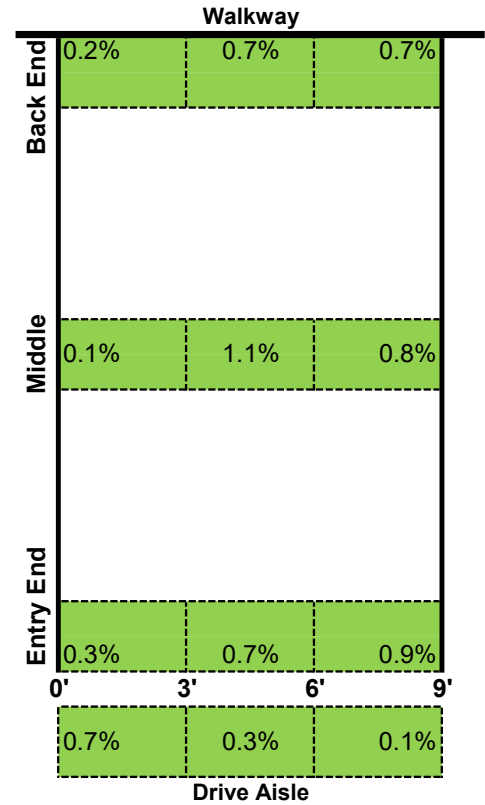
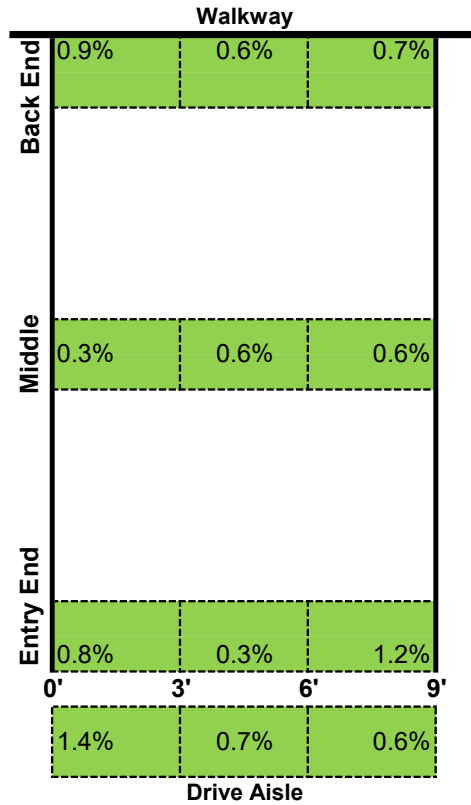
Area:		PK4- Parking Space 4			Code Cycle
Description:		Parking space to the right of the access aisle.			2022
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Accessible Space	Angled, Straight or Parallel	PK4- 1.01	Angled	Informational	N/A
	Van or Standard accessible stall?	PK4- 1.02	Identified as van, does not qualify as van accessible	Informational	N/A
	Parking space width	PK4- 1.03	8'-5"	9'-0" or 12'-0" at Van Accessible Space	11B-502.2
	Parking space depth	PK4- 1.04	Left: 16'-9" Right: 26'-0"	18'-0"	11B-502.2
	Side stripe color	PK4- 1.05	Both sides blue	Both sides blue	11B-502.3.3
	Does parked car encroach into required adjacent 48" wide pedestrian route?	PK4- 1.06	Yes	Parked vehicles may not obstruct required width of adjacent accessible route	11B-502.7.2
	Wheel stop or curb provided to prevent encroachment	PK4- 1.07	Wheelstop provided within parking space	Required if vehicle encroaches into pedestrian way.	11B-502.7.2
	ISA symbol provided at bottom of stall	PK4- 1.08	Yes	Aligned with bottom end of space.	11B-502.6.4
	ISA symbol width x height	PK4- 1.09	38" x 48"	36" x 36"	11B-502.6.4.1 11B-502.6.4.2
	ISA symbol condition	PK4- 1.10	Showing slight wear	Unfaded, no repainting required	Assumed, not specified in code
	ISA symbol alignment within parking space	PK4- 1.11	50" 51"	Within 6" of centerline of space and sides parallel to space length	11B-502.6.4.2
	70 Sq. In accessible signage provided at head of stall	PK4- 1.12	Correct Sign Provided	ReflectORIZED. White on blue background with ISA symbol	11B-502.6 11B-502.6.1
	Required Fine Signage	PK4- 1.13	Correct Sign Provided	Minimum Fine \$250	11B-502.6.2
	Van Accessible signage provided	PK4- 1.14	Space incorrectly identified as a van accessible space	Van Accessible signage required	11B-502.6
	Is the stall signage located within the accessible route?	PK4- 1.15	In planter / landscape area	Informational	---
	Stall signage height	PK4- 1.16	65"	80" if within accessible route. 60" if not within accessible route.	11B-502.6 11B-502.6 Exception
	Paving surface condition	PK4- 1.17	Good	Smooth & undamaged	Assumed, not specified in code
Parking Space Cross Slope %	PK4- 1.18	Ranges between 0.3% and 1.2% within space, Ranges between 0.6% and 1.4% at entry end of space. See Chart	1:48 max (2.1% max)	11B-502.4 Exception	
Parking Space Running Slope %	PK4- 1.19	Ranges between 0.1% and 1.1% within space, Ranges between 0.1% and 0.7% at entry end of space. See Chart	1:48 max (2.1% max)	11B-502.4 Exception	

PARKING-4

Project: Gardena: City Hall

Description: Slopes at existing Accessible Parking Space 4 in parking lot.

Area: Parking Space 4 Slope Chart



Cross Slopes within required 18' depth

Min:	0.3%
Max:	1.2%

Running Slopes within required 18' depth

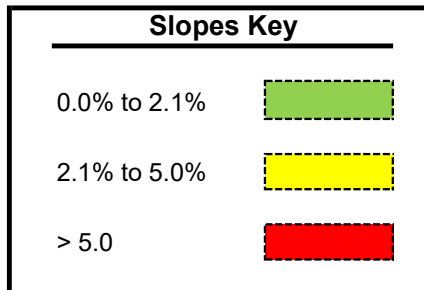
Min:	0.1%
Max:	1.1%

Cross Slopes at entry end of space

Min:	0.6%
Max:	1.4%

Running Slopes at entry end of space

Min:	0.1%
Max:	0.7%



Project: Gardena: City Hall

Item Observations in **RED** were observed to be non-compliant. Items Observations in **PINK ITALICS** were observed to be partially compliant. Please see individual findings in report for specific details.

Area:		PK4- Parking Space 4			Code Cycle
Description:		Parking space to the right of the access aisle.			2022
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Accessible Space	Angled, Straight or Parallel	PK4- 1.01	Angled	Informational	N/A
	Van or Standard accessible stall?	PK4- 1.02	Identified as van, does not qualify as van accessible	Informational	N/A
	Parking space width	PK4- 1.03	9'-0"	9'-0" or 12'-0" at Van Accessible Space	11B-502.2
	Parking space depth	PK4- 1.04	Left: 11'-3" Right: 19'-11"	18'-0"	11B-502.2
	Side stripe color	PK4- 1.05	Both sides blue	Both sides blue	11B-502.3.3
	Does parked car encroach into required adjacent 48" wide pedestrian route?	PK4- 1.06	Yes	Parked vehicles may not obstruct required width of adjacent accessible route	11B-502.7.2
	Wheel stop or curb provided to prevent encroachment	PK4- 1.07	Wheelstop provided within parking space	Required if vehicle encroaches into pedestrian way.	11B-502.7.2
	ISA symbol provided at bottom of stall	PK4- 1.08	Yes	Aligned with bottom end of space.	11B-502.6.4
	ISA symbol width x height	PK4- 1.09	38' x 48"	36" x 36"	11B-502.6.4.1 11B-502.6.4.2
	ISA symbol condition	PK4- 1.10	Good condition. Correct color.	Unfaded, no repainting required	Assumed, not specified in code
	ISA symbol alignment within parking space	PK4- 1.11	54" 54"	Within 6" of centerline of space and sides parallel to space length	11B-502.6.4.2
	70 Sq. In accessible signage provided at head of stall	PK4- 1.12	Correct Sign Provided	ReflectORIZED. White on blue background with ISA symbol	11B-502.6 11B-502.6.1
	Required Fine Signage	PK4- 1.13	Correct Sign Provided	Minimum Fine \$250	11B-502.6.2
	Van Accessible signage provided	PK4- 1.14	Correct Sign Provided	Van Accessible signage required	11B-502.6
	Is the stall signage located within the accessible route?	PK4- 1.15	Mounted on wall or other vertical surface	Informational	---
	Stall signage height	PK4- 1.16	62"	80" if within accessible route. 60" if not within accessible route.	11B-502.6 11B-502.6 Exception
	Paving surface condition	PK4- 1.17	Good	Smooth & undamaged	Assumed, not specified in code
Parking Space Cross Slope %	PK4- 1.18	Ranges between 0.1% and 1.4% within space, Ranges between 1.3% and 1.9% at entry end of space. See Chart	1:48 max (2.1% max)	11B-502.4 Exception	
Parking Space Running Slope %	PK4- 1.19	Ranges between 0.2% and 1.7% within space, Ranges between 0.7% and 1.3% at entry end of space. See Chart	1:48 max (2.1% max)	11B-502.4 Exception	

PARKING-5

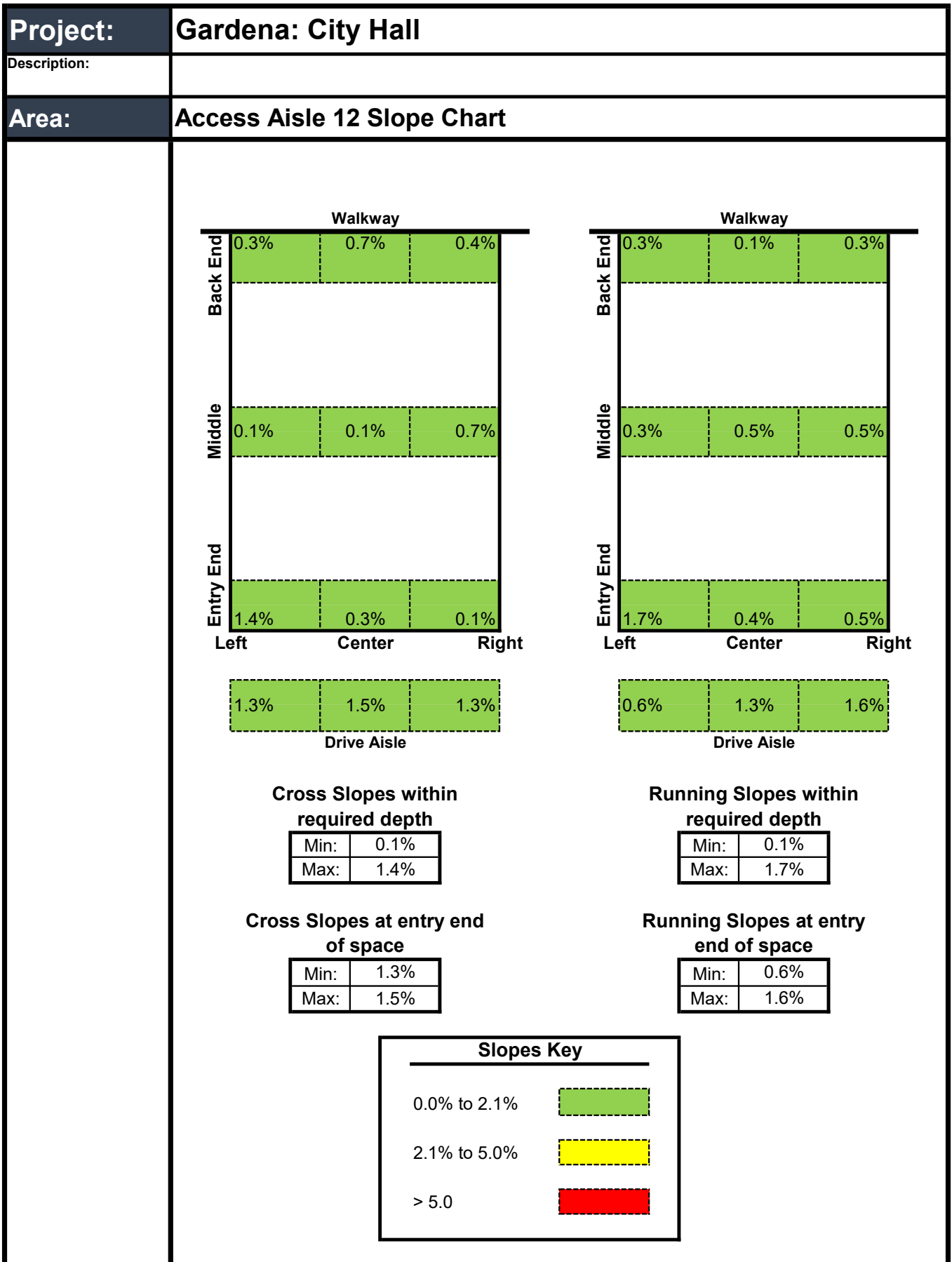


Project: Gardena: City Hall

Item Observations in **RED** were observed to be non-compliant. Items Observations in **PINK ITALICS** were observed to be partially compliant. Please see individual findings in report for specific details.

Area:		AA5- Access Aisle 5			Code Cycle
Description:		Access aisle between the two accessible parking spaces			2022
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Access Aisle	Connected to accessible route	AA5- 1.01	Aisle is connected to accessible route	Must be connected to accessible route	11B-502.3
	Parking space(s) served	AA5- 1.02	5	Informational	---
	Access aisle location	AA5- 1.03	To the right side of Space 5	Either side of standard space. Right side of van accessible space	11B-502.3.4
	Are occupants required to pass behind other parked vehicles?	AA5- 1.04	No	Not permitted	11B-502.7.1
	Built-up ramp inside aisle?	AA5- 1.05	No	Not permitted	11B-502.4
	Access aisle width	AA5- 1.06	8'-8"	Std Space: 60" Van Space: 96" Van Space: 60" if 12' wide parking space	11B-502.3.1
	<i>Access aisle depth</i>	<i>AA5- 1.07</i>	<i>Full depth, but required clear space encroaches into walk aisle and non-compliant curb ramp</i>	<i>Full length of adjacent stall</i>	<i>11B-502.3.1</i>
	Paving condition	AA5- 1.08	Good	Stable, firm and slip-resistant	11B-302.1
	Access aisle cross slope %	AA5- 1.09	Ranges between 0.1% and 1.4% within striped area. Ranges between 1.3% and 1.5% at entry end of space. See Chart	1:48 max. (2.1%)	11B-502.4 Exception 1
	Access aisle running slope %	AA5- 1.10	Ranges between 0.1% and 1.7% within striped area. Ranges between 0.6% and 1.6% at entry end of space. See Chart	1:48 max. (2.1%)	11B-502.5 Exception 1
	Access aisle border	AA5- 1.11	Good condition. Correct color.	4" wide blue border on all sides of access aisle	11B-503.3
	<i>Access aisle diagonal hatching spacing</i>	<i>AA5- 1.12</i>	<i>Ranges between 36" and 51"</i>	<i>36" max o.c.</i>	<i>11B-502.3.3</i>
	"NO PARKING" at bottom of access aisle	AA5- 1.13	Good condition. Correct text.	12" high letters painted white	11B-502.3.3
	"NO PARKING" paint condition	AA5- 1.14	Good condition. Correct text.	Text must be legible	11B-502.3.3

AISLE-5



Project: Gardena: City Hall

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:	CR5- Flared Curb Ramp 5	Code Cycle 2022
Description:	Curb ramp associated with Access Aisle 5	

MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Curb Ramp	Curb Ramp Type	CR5- 1.01	Standard Curb Ramp with flared sides	Informational	---
	Curb Ramp Width	CR5- 1.02	43"	48" wide minimum	11B-406.5.2
	Upper Landing Depth	CR5- 1.03	28"	48" deep minimum	11B-406.5.3
	Upper Landing Width	CR5- 1.04	Compliant	At least as wide as the ramp width	11B-406.5.3
	Upper Landing Slope	CR5- 1.05	Running: 0.6% Cross: 0.6%	1:48 max. (2.1%)	11B-406.5.3
	Ramp Running Slope	CR5- 1.06	12.8%	1:12 max. (8.33%)	11B-406.3.1
	Ramp Cross Slope	CR5- 1.07	0.8%	1:48 max. (2.1%)	11B-406.5.7
	Left flared side slope	CR5- 1.08	13.1%	1:10 max. (10.0%)	11B-406.2.2
	Right flared side slope	CR5- 1.09	12.5%	1:10 max. (10.0%)	11B-406.2.2
	Detectable warnings	CR5- 1.10	Not provided	Curb ramps shall have detectable warnings extending 36" in the direction of travel.	11B-406.5.12 11B-705.1.2.2
	Counter Slope	CR5- 1.11	Level at Access Aisle 5	1:20 max. for first 24" from end of curb ramp	11B-406.5.8
	Grade Break at Bottom of Ramp	CR5- 1.12	Compliant	Perpendicular to direction of ramp at top/bottom. Surface slopes at grade breaks shall be flush.	11B-406.5.6

CURB RAMP 5

Project: Gardena: City Hall					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant. Please see individual findings in report for specific details.					
Area:	RA1- Ramp 1				Code Cycle 2022
Description:	Ramp leading from parking to south building entrance				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Lower Landing	Lower landing depth	RA1- 1.01	Unlimited	72" min.	11B-405.7.3.1
	Lower landing width	RA1- 1.02	Unlimited	At least as wide as the ramp	11B-405.7.2
	Lower landing surface slope	RA1- 1.03	Cross: 0.3% Running: 0.1%	1:48 slope in all directions	11B-405.7.1
	Left handrail extension from bottom approach	RA1- 1.04	6"	12" level beyond bottom edge of ramp.	11B-505.10.3
	Right handrail extension from bottom approach	RA1- 1.05	6"	12" level beyond bottom edge of ramp.	11B-505.10.3
	Left handrail extension height	RA1- 1.06	34"	34" to 38" high. Level with floor	11B-505.4
	Right handrail extension height	RA1- 1.07	34"	34" to 38" high. Level with floor	11B-505.4
Ramp Run	Ramp width	RA1- 1.08	49.5"	48" minimum	11B-405.5
	Ramp slope	RA1- 1.09	8.30%	1:12 max (ramp) 1:20 max (sloped walk)	11B-405.2 11B-403.3
	Cross slope	RA1- 1.10	0.2%	2% max.	11B-405.3
	Handrail diameter or perimeter	RA1- 1.11	1.75" diameter	1.25" to 2" circular cross section or 4" to 6.25" perimeter at non-circular cross section and 2.25" max cross section	11B-505.7.1
	Left handrail clearance and surface	RA1- 1.12	Unlimited	1.5" min. from adjacent surfaces. Free of sharp or abrasive elements.	11B-505.5 11B-505.8
	Right handrail clearance and surface	RA1- 1.13	Unlimited	1.5" min. from adjacent surfaces. Free of sharp or abrasive elements.	11B-505.5 11B-505.8
	Left handrail height	RA1- 1.14	33.5"	34" to 38" high above stair nosing	11B-505.4
	Right handrail height	RA1- 1.15	33.5"	34" to 38" high above stair nosing	11B-505.4
	Left handrail wheel entrapment protection	RA1- 1.16	Provided	2" high curb or continuous barrier to prevent 4" sphere from passing below.	11B-405.9.2
	Right handrail wheel entrapment protection	RA1- 1.17	Provided	2" high curb or continuous barrier to prevent 4" sphere from passing below.	11B-405.9.2

RAMP-1

Project: Gardena: City Hall					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant. Please see individual findings in report for specific details.					
Area:	RA1- Ramp 1				Code Cycle 2022
Description:	Ramp leading from parking to south building entrance				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Upper Landing	Upper landing depth	RA1- 1.18	86"	48" min.	11B-405.7.3.1
	Upper landing surface slope	RA1- 1.19	Cross: 1.2% Running: 0.6%	1:48 slope in all directions	11B-405.7.1
	Left handrail extension	RA1- 1.20	Wraps 90 degrees to side wall.	12" min. level	11B-505.10.1
	Right handrail extension	RA1- 1.21	6"	12" min. level	11B-505.10.1
	Left handrail extension height	RA1- 1.22	34"	34" to 38" high	11B-505.4
	Right handrail extension height	RA1- 1.23	33"	34" to 38" high. Level with floor	11B-505.4

RAMP-1

Project: Gardena: City Hall					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant. Please see individual findings in report for specific details.					
Area:	ST1- Stair 1				Code Cycle
Description:	Single short stair run from parking lot to main entrance.				2022
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Lower Landing	Landing depth	ST1- 1.01	Unlimited	48" min. Not less than width of stair	CBC Chapter 10 1011.6
	Landing Slopes	ST1- 1.02	Cross: 0.4% Runnig: 0.2%	1:48 slope in all directions	CBC Chapter 10 1011.6
	Left handrail extension length.	ST1- 1.03	Handrail missing	Tread length plus 12" minimum	11B-505.10.3
	Right handrail extension length.	ST1- 1.04	Handrail missing	Tread length plus 12" minimum	11B-505.10.3
	Left handrail extension height.	ST1- 1.05	Handrail missing	34" to 38" above bottom landing	11B-505.4
	Right handrail extension height.	ST1- 1.06	Handrail missing	34" to 38" above bottom landing	11B-505.4
Stair Run	Riser height	ST1- 2.01	2 @ 6"	Uniform riser height. 4" to 7" high	11B-504.2
	Tread length	ST1- 2.02	12"	Uniform tread length. 11" minimum	11B-504.2
	Stair width	ST1- 2.03	17'-0"	Egress issue. Not an access issue	CBC Chapter 10 1009.3
	Stair nosing	ST1- 2.04	Square	1/2" maximum radius	11B-504.5
	Contrasting stripe at bottom stair	ST1- 2.05	Missing	Full width. 2 to 4" wide. 1" max. from stair nosing	11B-504.4.1
	Contrasting stripe at all treads (exterior conditions only)	ST1- 2.06	N/A	Full width. 2 to 4" wide. 1" max. from stair nosing	11B-504.4.1
	Contrasting stripe at top landing	ST1- 2.07	Missing	Full width. 2 to 4" wide. 1" max. from stair nosing	11B-504.4.1
	Handrail diameter or perimeter	ST1- 2.08	Handrail missing	1.25" to 2" circular cross section or 4" to 6.25" perimeter for non-circular handrails. 2.25" max cross section	11B-505.7.1
	Left handrail clearance and surface	ST1- 2.09	Handrail missing	1.5" min. from adjacent surfaces. Free of abrasive elements	11B-505.5 11B-505.8
	Right handrail clearance and surface	ST1- 2.10	Handrail missing	1.5" min. from adjacent surfaces. Free of abrasive elements	11B-505.5 11B-505.8
	Left handrail height from stair nosing	ST1- 2.11	Handrail missing	34" to 38" high above stair nosing	11B-505.4
	Right handrail height from stair nosing	ST1- 2.12	Handrail missing	34" to 38" high above stair nosing	11B-505.4
	Left Guardrail protection	ST1- 2.13	Not required	42" high at drop offs 30" high or more.	CBC-1013.2 CBC 1013.3
	Right Guardrail protection	ST1- 2.14	Not required	42" high at drop offs 30" high or more.	CBC-1013.2 CBC 1013.3

STAIR-1

Project: Gardena: City Hall					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant. Please see individual findings in report for specific details.					
Area:	ST1- Stair 1				Code Cycle 2022
Description:	Single short stair run from parking lot to main entrance.				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Upper Landing	Landing depth	ST1- 3.01	84"	Not less than the width of the stair	CBC Chapter 1010.1.6
	Landing slopes	ST1- 3.02	Cross: 0.1% Running: 0.4%	1:48 slope in all directions	CBC Chapter 10 1010.1.6
	Left handrail extension length	ST1- 3.03	Handrail missing	12" beyond the top riser	11B-505.10.2
	Right handrail extension length	ST1- 3.04	Handrail missing	12" beyond the top riser	11B-505.10.2
	Left handrail extension height	ST1- 3.05	Handrail missing	34" to 38" above top landing	11B-505.4
	Right handrail extension height	ST1- 3.06	Handrail missing	34" to 38" above top landing	11B-505.4
Other Issues	Vertical Clearance under stairs	ST1- 4.01	N/A	80" high min. or 27" high barrier protecting area below min. clearance	11B-307.4
	Open Risers	ST1- 4.02	Compliant risers	Open stairs are not permitted. 1/2" openings permitted on exterior stairs.	11B-504.3

STAIR-1

Project: Gardena: City Hall

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:	DR1- Door 1	Code Cycle 2022
Description:	Main entry door	

MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Door	Door Swing Direction	DR1- 1.01	Sliding Door	Informational	---
	Clear Door Width	DR1- 1.02	72"	32" clear	11B-404.3.1
	Closer Provided	DR1- 1.03	Automatic operating door. No user assistance required	Informational	---
	Pull Approach Direction (Exterior)	DR1- 1.04	Pull Side Exterior Front Approach	Informational	---
	Pull Side Clearance from Latch	DR1- 1.05	N/A	24" min.	Table-11B-404.2.4.1
	Pull Side Clearance from Hinge	DR1- 1.06	N/A	0"	Table-11B-404.2.4.1
	Pull Front Approach Depth	DR1- 1.07	Unlimited	60" min.	Table 11B-404.2.4.1
	Pull Side Landing Slopes	DR1- 1.08	Level	1:48 slope in all directions	11B-305.2
	Push Approach Direction (Interior)	DR1- 1.09	Push Side Front Approach w/ closer and latch	Informational	---
	Push Side Clearance from Latch	DR1- 1.10	N/A	42" min.	Table-11B-404.2.4.1
	Push Side Clearance from Hinge	DR1- 1.11	N/A	0"	Table-11B-404.2.4.1
	Push Front Approach Depth	DR1- 1.12	Unlimited	48" min.	Table 11B-404.2.4.1
	Push Side Landing Slopes	DR1- 1.13	Level interior	1:48 slope in all directions	11B-305.2
	Exterior hardware type	DR1- 1.14	N/A	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7
	Exterior hardware height	DR1- 1.15	N/A	34" to 44"	11B-404.2.7
	Interior hardware type	DR1- 1.16	N/A	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7
	Interior hardware height	DR1- 1.17	N/A	34" to 44"	11B-404.2.7
	Door Closer Speed Standard Closer	DR1- 1.18	N/A	Must open 90°- 5 second min. time from 90° to 12°	11B-404.2.8.1
	Door Closer Speed Spring Closer	DR1- 1.19	N/A	Must open 90°- 1.5 second min from 70° to closed.	11B-404.2.8.2
	Door Opening Force	DR1- 1.20	N/A	5 lbs. max.	11B-404.2.9
Smooth Bottom Panel (push conditions only)	DR1- 1.21	10"	10" min. at bottom of door.	11B-404.2.10	

DOOR-1

Project: Gardena: City Hall					
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.					
Area:	DR1- Door 1				Code Cycle 2022
Description:	Main entry door				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Door continued	Threshold	DR1- 1.22	Compliant	1/4" vertical + 1/4" bevel max.	11B-303.2 11B-404.2.5
	Floor mats	DR1- 1.23	Unsecured mats at both sides of door	Must be secured.	11B-302.2
	Secondary interior lock height	DR1- 1.24	N/A	48" max. at front approach	44B-308.2.4
	Peephole / vision light height	DR1- 1.25	Full height glass.	43" max. to bottom of clear panel	11B-404.2.11

DOOR-1

Project: Gardena: City Hall					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant. Please see individual findings in report for specific details.					
Area:	RA2- Ramp 2				Code Cycle 2022
Description:	Ramp leading from policed station and Nakaoka Community Center to north building entrance				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Lower Landing	Lower landing depth	RA2- 1.01	Unlimited	72" min.	11B-405.7.3.1
	Lower landing width	RA2- 1.02	Compliant	At least as wide as the ramp	11B-405.7.2
	Lower landing surface slope	RA2- 1.03	Cross: 0.4% Running: 1.0%	1:48 slope in all directions	11B-405.7.1
	Left handrail extension from bottom approach	RA2- 1.04	8"	12" level beyond bottom edge of ramp.	11B-505.10.3
	Right handrail extension from bottom approach	RA2- 1.05	7"	12" level beyond bottom edge of ramp.	11B-505.10.3
	Left handrail extension height	RA2- 1.06	34.5"	34" to 38" high. Level with floor	11B-505.4
	Right handrail extension height	RA2- 1.07	35"	34" to 38" high. Level with floor	11B-505.4
Ramp Run	Ramp width	RA2- 1.08	49"	48" minimum	11B-405.5
	Ramp slope	RA2- 1.09	6.8% to 8.3%	1:12 max (ramp) 1:20 max (sloped walk)	11B-405.2 11B-403.3
	Cross slope	RA2- 1.10	0.5%	2% max.	11B-405.3
	Handrail diameter or perimeter	RA2- 1.11	1.75" diameter	1.25" to 2" circular cross section or 4" to 6.25" perimeter at non-circular cross section and 2.25" max cross section	11B-505.7.1
	Left handrail clearance and surface	RA2- 1.12	Unlimited	1.5" min. from adjacent surfaces. Free of sharp or abrasive elements.	11B-505.5 11B-505.8
	Right handrail clearance and surface	RA2- 1.13	Unlimited	1.5" min. from adjacent surfaces. Free of sharp or abrasive elements.	11B-505.5 11B-505.8
	Left handrail height	RA2- 1.14	34.5"	34" to 38" high above stair nosing	11B-505.4
	Right handrail height	RA2- 1.15	34.5"	34" to 38" high above stair nosing	11B-505.4
	Left handrail wheel entrapment protection	RA2- 1.16	Curb	2" high curb or continuous barrier to prevent 4" sphere from passing below.	11B-405.9.2
	Right handrail wheel entrapment protection	RA2- 1.17	Curb	2" high curb or continuous barrier to prevent 4" sphere from passing below.	11B-405.9.2

RAMP-2

Project: Gardena: City Hall					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant. Please see individual findings in report for specific details.					
Area:	RA2- Ramp 2				Code Cycle 2022
Description:	Ramp leading from policed station and Nakaoka Community Center to north building entrance				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Upper Landing	Upper landing depth	RA2- 1.18	84"	48" min.	11B-405.7.3.1
	Upper landing surface slope	RA2- 1.19	Cross: 0.4% Running 0.5%	1:48 slope in all directions	11B-405.7.1
	Left handrail extension	RA2- 1.20	11"	12" min. level	11B-505.10.1
	Right handrail extension	RA2- 1.21	10"	12" min. level	11B-505.10.1
	Left handrail extension height	RA2- 1.22	34.5"	34" to 38" high	11B-505.4
	Right handrail extension height	RA2- 1.23	35"	34" to 38" high. Level with floor	11B-505.4

RAMP-2

Project: Gardena: City Hall

Item Observations in **RED** were observed to be non-compliant. Items Observations in **PINK ITALICS** were observed to be partially compliant. Please see individual findings in report for specific details.

Area:		ST2- Stair 2				Code Cycle
Description:		Single short stair leading from policed station and Nakaoka Community Center to north building entrance				2022
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Lower Landing	Landing depth	ST2- 1.01	Unlimited	48" min. Not less than width of stair	CBC Chapter 10 1011.6	
	<i>Landing Slopes</i>	<i>ST2- 1.02</i>	<i>Cross: 0.2% Running: 2.0%</i>	<i>1:48 slope in all directions</i>	<i>CBC Chapter 10 1011.6</i>	
	Left handrail extension length.	ST2- 1.03	Handrail missing	Tread length plus 12" minimum	11B-505.10.3	
	Right handrail extension length.	ST2- 1.04	Handrail missing	Tread length plus 12" minimum	11B-505.10.3	
	Left handrail extension height.	ST2- 1.05	Handrail missing	34" to 38" above bottom landing	11B-505.4	
	Right handrail extension height.	ST2- 1.06	Handrail missing	34" to 38" above bottom landing	11B-505.4	
Stair Run	Riser height	ST2- 2.01	2 @ 6"	Uniform riser height. 4" to 7" high	11B-504.2	
	Tread length	ST2- 2.02	12"	Uniform tread length. 11" minimum	11B-504.2	
	Stair width	ST2- 2.03	16'-10"	Egress issue. Not an access issue	CBC Chapter 10 1009.3	
	Stair nosing	ST2- 2.04	Square	1/2" maximum radius	11B-504.5	
	Contrasting stripe at bottom stair	ST2- 2.05	Missing	Full width. 2 to 4" wide. 1" max. from stair nosing	11B-504.4.1	
	Contrasting stripe at all treads (exterior conditions only)	ST2- 2.06	N/A	Full width. 2 to 4" wide. 1" max. from stair nosing	11B-504.4.1	
	Contrasting stripe at top landing	ST2- 2.07	Missing	Full width. 2 to 4" wide. 1" max. from stair nosing	11B-504.4.1	
	Handrail diameter or perimeter	ST2- 2.08	Handrail missing	1.25" to 2" circular cross section or 4" to 6.25" perimeter for non-circular handrails. 2.25" max cross section	11B-505.7.1	
	Left handrail clearance and surface	ST2- 2.09	Handrail missing	1.5" min. from adjacent surfaces. Free of abrasive elements	11B-505.5 11B-505.8	
	Right handrail clearance and surface	ST2- 2.10	Handrail missing	1.5" min. from adjacent surfaces. Free of abrasive elements	11B-505.5 11B-505.8	
	Left handrail height from stair nosing	ST2- 2.11	Handrail missing	34" to 38" high above stair nosing	11B-505.4	
	Right handrail height from stair nosing	ST2- 2.12	Handrail missing	34" to 38" high above stair nosing	11B-505.4	
	Left Guardrail protection	ST2- 2.13	Not required	42" high at drop-offs 30" high or more.	CBC-1013.2 CBC-1013.3	
Right Guardrail protection	ST2- 2.14	Not required	42" high at drop-offs 30" high or more.	CBC-1013.2 CBC-1013.3		

STAIR-2

Project: Gardena: City Hall					
Item Observations in RED were observed to be non-compliant. Items Observations in <i>PINK ITALICS</i> were observed to be partially compliant. Please see individual findings in report for specific details.					
Area:	ST2- Stair 2				Code Cycle 2022
Description:	Single short stair leading from policed station and Nakaoka Community Center to north building entrance				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Upper Landing	Landing depth	ST2- 3.01	85"	Not less than the width of the stair	CBC Chapter 1010.1.6
	Landing slopes	ST2- 3.02	Cross: 0.1% Running: 0.0%	1:48 slope in all directions	CBC Chapter 10 1010.1.6
	Left handrail extension length	ST2- 3.03	Handrail missing	12" beyond the top riser	11B-505.10.2
	Right handrail extension length	ST2- 3.04	Handrail missing	12" beyond the top riser	11B-505.10.2
	Left handrail extension height	ST2- 3.05	Handrail missing	34" to 38" above top landing	11B-505.4
	Right handrail extension height	ST2- 3.06	Handrail missing	34" to 38" above top landing	11B-505.4
Other Issues	Vertical Clearance under stairs	ST2- 4.01	N/A	80" high min. or 27" high barrier protecting area below min. clearance	11B-307.4
	Open Risers	ST2- 4.02	Compliant risers	Open stairs are not permitted. 1/2" openings permitted on exterior stairs.	11B-504.3

STAIR-2

Project: Gardena: City Hall

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:	DR2- Door 2	Code Cycle 2022
Description:	North entry door	

MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Door	Door Swing Direction	DR2- 1.01	Sliding Door	Informational	---
	Clear Door Width	DR2- 1.02	72"	32" clear	11B-404.3.1
	Closer Provided	DR2- 1.03	Automatic operating door. No user assistance required	Informational	---
	Pull Approach Direction (Exterior)	DR2- 1.04	Pull Side Exterior Front Approach	Informational	---
	Pull Side Clearance from Latch	DR2- 1.05	N/A	24" min.	Table-11B-404.2.4.1
	Pull Side Clearance from Hinge	DR2- 1.06	N/A	0"	Table-11B-404.2.4.1
	Exterior Front Approach Depth	DR2- 1.07	84"	60" min.	Table 11B-404.2.4.1
	Exterior Landing Slopes	DR2- 1.08	Cross: 0.3% Running: 0.0%	1:48 slope in all directions	11B-305.2
	Interior Approach Direction	DR2- 1.09	Push Side Front Approach w/ closer and latch	Informational	---
	Push Side Clearance from Latch	DR2- 1.10	N/A	42" min.	Table-11B-404.2.4.1
	Push Side Clearance from Hinge	DR2- 1.11	N/A	0"	Table-11B-404.2.4.1
	Push Front Approach Depth	DR2- 1.12	Unlimited	48" min.	Table 11B-404.2.4.1
	Push Side Landing Slopes	DR2- 1.13	Level interior	1:48 slope in all directions	11B-305.2
	Exterior hardware type	DR2- 1.14	N/A	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7
	Exterior hardware height	DR2- 1.15	N/A	34" to 44"	11B-404.2.7
	Interior hardware type	DR2- 1.16	N/A	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7
	Interior hardware height	DR2- 1.17	N/A	34" to 44"	11B-404.2.7
	Door Closer Speed Standard Closer	DR2- 1.18	N/A	Must open 90°- 5 second min. time from 90° to 12°	11B-404.2.8.1
	Door Closer Speed Spring Closer	DR2- 1.19	N/A	Must open 90°- 1.5 second min from 90° to closed.	11B-404.2.8.2
	Door Opening Force	DR2- 1.20	N/A	5 lbs. max.	11B-404.2.9
Smooth Bottom Panel (push conditions only)	DR2- 1.21	10"	10" min. at bottom of door.	11B-404.2.10	

DOOR-2

Project: Gardena: City Hall					
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.					
Area:	DR2- Door 2				Code Cycle 2022
Description:	North entry door				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Door continued	Threshold	DR2- 1.22	Compliant	1/4" vertical + 1/4" bevel max.	11B-303.2 11B-404.2.5
	Floor mats	DR2- 1.23	Unsecured mats at both sides of door	Must be secured.	11B-302.2
	Secondary interior lock- height	DR2- 1.24	N/A	48" max. at front approach	44B-308.2.4
	Peephole / vision light height	DR2- 1.25	Full height glass.	43" max. to bottom of clear panel	11B-404.2.11

DOOR-2

Project: Gardena: City Hall					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant. Please see individual findings in report for specific details.					
Area:	RA3- Ramp 3				Code Cycle 2022
Description:	Ramp at east entry				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Lower Landing	<i>Lower landing depth</i>	<i>RA3- 1.01</i>	<i>71.5"</i>	<i>72" min.</i>	<i>11B-405.7.3.1</i>
	Lower landing width	RA3- 1.02	Compliant	At least as wide as the ramp	11B-405.7.2
	Lower landing surface slope	RA3- 1.03	Cross: 1.9% Running: 0.3%	1:48 slope in all directions	11B-405.7.1
	Left handrail extension from bottom approach	RA3- 1.04	Handrail missing	12" level beyond bottom edge of ramp.	11B-505.10.3
	Right handrail extension from bottom approach	RA3- 1.05	5.5"	12" level beyond bottom edge of ramp.	11B-505.10.3
	Left handrail extension height	RA3- 1.06	Handrail missing	34" to 38" high. Level with floor	11B-505.4
	Right handrail extension height	RA3- 1.07	34"	34" to 38" high. Level with floor	11B-505.4
Ramp Run	Ramp width	RA3- 1.08	63"	48" minimum	11B-405.5
	Ramp slope	RA3- 1.09	9.10%	1:12 max (ramp) 1:20 max (sloped walk)	11B-405.2 11B-403.3
	Cross slope	RA3- 1.10	2.1%	2% max.	11B-405.3
	Handrail diameter or perimeter	RA3- 1.11	1.75" diameter	1.25" to 2" circular cross section or 4" to 6.25" perimeter at non-circular cross section and 2.25" max cross section	11B-505.7.1
	Left handrail clearance and surface	RA3- 1.12	Handrail missing	1.5" min. from adjacent surfaces. Free of sharp or abrasive elements.	11B-505.5 11B-505.8
	Right handrail clearance and surface	RA3- 1.13	Unlimited	1.5" min. from adjacent surfaces. Free of sharp or abrasive elements.	11B-505.5 11B-505.8
	Left handrail height	RA3- 1.14	Handrail missing	34" to 38" high above stair nosing	11B-505.4
	Right handrail height	RA3- 1.15	34"	34" to 38" high above stair nosing	11B-505.4
	Left handrail wheel entrapment protection	RA3- 1.16	Wall condition.	2" high curb or continuous barrier to prevent 4" sphere from passing below.	11B-405.9.2
	Right handrail wheel entrapment protection	RA3- 1.17	Rail provided	2" high curb or continuous barrier to prevent 4" sphere from passing below.	11B-405.9.2

RAMP-3

Project: Gardena: City Hall					
Item Observations in RED were observed to be non-compliant. Items Observations in <i>PINK ITALICS</i> were observed to be partially compliant. Please see individual findings in report for specific details.					
Area:	RA3- Ramp 3				Code Cycle 2022
Description:	Ramp at east entry				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Upper Landing	Upper landing depth	RA3- 1.18	56"	48" min.	11B-405.7.3.1
	Upper landing surface slope	RA3- 1.19	Cross: 1.0% Running: 0.5%	1:48 slope in all directions	11B-405.7.1
	Left handrail extension	RA3- 1.20	Handrail missing	12" min. level	11B-505.10.1
	Right handrail extension	RA3- 1.21	Continuous beyond 12"	12" min. level	11B-505.10.1
	Left handrail extension height	RA3- 1.22	Handrail missing	34" to 38" high	11B-505.4
	Right handrail extension height	RA3- 1.23	34"	34" to 38" high. Level with floor	11B-505.4

RAMP-3

Project: Gardena: City Hall

Item Observations in **RED** were observed to be non-compliant. Items Observations in *PINK ITALICS* were observed to be partially compliant. Please see individual findings in report for specific details.

Area:		ST3- Stair 3				Code Cycle
Description:		Single short stair leading from policed station and Nakaoka Community Center to north building entrance				2022
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Lower Landing	Landing depth	ST3- 1.01	80"	48" min. Not less than width of stair	CBC Chapter 10 1011.6	
	<i>Landing Slopes</i>	<i>ST3- 1.02</i>	<i>Cross: 0.0% Running: 0.1%</i>	<i>1:48 slope in all directions</i>	<i>CBC Chapter 10 1011.6</i>	
	Left handrail extension length.	ST3- 1.03	Handrail missing	Tread length plus 12" minimum	11B-505.10.3	
	Right handrail extension length.	ST3- 1.04	Handrail missing	Tread length plus 12" minimum	11B-505.10.3	
	Left handrail extension height.	ST3- 1.05	Handrail missing	34" to 38" above bottom landing	11B-505.4	
	Right handrail extension height.	ST3- 1.06	Handrail missing	34" to 38" above bottom landing	11B-505.4	
Stair Run	Riser height	ST3- 2.01	6"	Uniform riser height. 4" to 7" high	11B-504.2	
	Tread length	ST3- 2.02	12.5"	Uniform tread length. 11" minimum	11B-504.2	
	Stair width	ST3- 2.03	15'-5"	Egress issue. Not an access issue	CBC Chapter 10 1009.3	
	Stair nosing	ST3- 2.04	Square	1/2" maximum radius	11B-504.5	
	Contrasting stripe at bottom stair	ST3- 2.05	Missing	Full width. 2 to 4" wide. 1" max. from stair nosing	11B-504.4.1	
	Contrasting stripe at all treads (exterior conditions only)	ST3- 2.06	N/A	Full width. 2 to 4" wide. 1" max. from stair nosing	11B-504.4.1	
	Contrasting stripe at top landing	ST3- 2.07	Missing	Full width. 2 to 4" wide. 1" max. from stair nosing	11B-504.4.1	
	Handrail diameter or perimeter	ST3- 2.08	Handrail missing	1.25" to 2" circular cross section or 4" to 6.25" perimeter for non-circular handrails. 2.25" max cross section	11B-505.7.1	
	Left handrail clearance and surface	ST3- 2.09	Handrail missing	1.5" min. from adjacent surfaces. Free of abrasive elements	11B-505.5 11B-505.8	
	Right handrail clearance and surface	ST3- 2.10	Handrail missing	1.5" min. from adjacent surfaces. Free of abrasive elements	11B-505.5 11B-505.8	
	Left handrail height from stair nosing	ST3- 2.11	Handrail missing	34" to 38" high above stair nosing	11B-505.4	
	Right handrail height from stair nosing	ST3- 2.12	Handrail missing	34" to 38" high above stair nosing	11B-505.4	
	Left Guardrail protection	ST3- 2.13	Not required	42" high at drop-offs 30" high or more.	CBC-1013.2 CBC-1013.3	
	Right Guardrail protection	ST3- 2.14	Not required	42" high at drop-offs 30" high or more.	CBC-1013.2 CBC-1013.3	

STAIR-3

Project: Gardena: City Hall					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant. Please see individual findings in report for specific details.					
Area:	ST3- Stair 3				Code Cycle 2022
Description:	Single short stair leading from policed station and Nakaoka Community Center to north building entrance				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Upper Landing	Landing depth	ST3- 3.01	84"	Not less than the width of the stair	CBC Chapter 1010.1.6
	Landing slopes	ST3- 3.02	Cross: 0.3% Running: 0.7%	1:48 slope in all directions	CBC Chapter 1010.1.6
	Left handrail extension length	ST3- 3.03	Handrail missing	12" beyond the top riser	11B-505.10.2
	Right handrail extension length	ST3- 3.04	Handrail missing	12" beyond the top riser	11B-505.10.2
	Left handrail extension height	ST3- 3.05	Handrail missing	34" to 38" above top landing	11B-505.4
	Right handrail extension height	ST3- 3.06	Handrail missing	34" to 38" above top landing	11B-505.4
Other Issues	Vertical Clearance under stairs	ST3- 4.01	N/A	80" high min. or 27" high barrier protecting area below min. clearance	11B-307.4
	Open Risers	ST3- 4.02	Compliant risers	Open stairs are not permitted. 1/2" openings permitted on exterior stairs.	11B-504.3

STAIR-3

Project: Gardena: City Hall					
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.					
Area:	DR3- Door 3				Code Cycle 2022
Description:	East entry door				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Door	Door Swing Direction	DR3- 1.01	Sliding Door	Informational	---
	Clear Door Width	DR3- 1.02	41"	32" clear	11B-404.3.1
	Closer Provided	DR3- 1.03	Automatic operating door. No user assistance required	Informational	---
	Pull Approach Direction (Exterior)	DR3- 1.04	Pull Side Exterior Front Approach	Informational	---
	Pull Side Clearance from Latch	DR3- 1.05	N/A	24" min.	Table- 11B-404.2.4.1
	Pull Side Clearance from Hinge	DR3- 1.06	N/A	0"	Table- 11B-404.2.4.1
	Exterior Front Approach Depth	DR3- 1.07	84"	60" min.	Table 11B-404.2.4.1
	Exterior Landing Slopes	DR3- 1.08	Cross: 0.6% Running: 1.9%	1:48 slope in all directions	11B-305.2
	Interior Approach Direction	DR3- 1.09	Push Side Front Approach w/ closer and latch	Informational	---
	Push Side Clearance from Latch	DR3- 1.10	N/A	42" min.	Table- 11B-404.2.4.1
	Push Side Clearance from Hinge	DR3- 1.11	N/A	0"	Table- 11B-404.2.4.1
	Push Front Approach Depth	DR3- 1.12	Unlimited	48" min.	Table 11B-404.2.4.1
	Push Side Landing Slopes	DR3- 1.13	Level interior	1:48 slope in all directions	11B-305.2
	Exterior hardware type	DR3- 1.14	N/A	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7
	Exterior hardware height	DR3- 1.15	N/A	34" to 44"	11B-404.2.7
	Interior hardware type	DR3- 1.16	N/A	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7
	Interior hardware height	DR3- 1.17	N/A	34" to 44"	11B-404.2.7
	Door Closer Speed Standard Closer	DR3- 1.18	N/A	Must open 90°- 5 second min. time from 90° to 12°	11B-404.2.8.1
	Door Closer Speed Spring Closer	DR3- 1.19	N/A	Must open 90°- 1.5 second min from 90° to closed.	11B-404.2.8.2
	Door Opening Force	DR3- 1.20	N/A	5 lbs. max.	11B-404.2.9
Smooth Bottom Panel (push conditions only)	DR3- 1.21	10"	10" min. at bottom of door.	11B-404.2.10	

DOOR-3

Project: Gardena: City Hall					
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.					
Area:	DR3- Door 3				Code Cycle 2022
Description:	East entry door				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Door continued	Threshold	DR3- 1.22	Compliant	1/4" vertical + 1/4" bevel max.	11B-303.2 11B-404.2.5
	Floor mats	DR3- 1.23	Unsecured mats at both sides of door	Must be secured.	11B-302.2
	Secondary interior lock height	DR3- 1.24	N/A	48" max. at front approach	44B-308.2.4
	Peephole / vision light height	DR3- 1.25	Full height glass.	43" max. to bottom of clear panel	11B-404.2.11

DOOR-3

Project: Gardena: City Hall					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant. Please see individual findings in report for specific details.					
Area:	SERV1- Service Counter 1				Code Cycle 2022
Description:	Reception counter at City Hall lobby				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Counter Measurements	Are lowered counters provided for disabled	SERV1- 1.01	Yes	Required	---
	Front or Side Approach	SERV1- 1.02	Side approach	Required	---
	Counter Height	SERV1- 1.03	34"	34" max.	11B-904.4.1
	Counter Width	SERV1- 1.04	36"	36" min.	11B-904.4.1
	Counter Depth	SERV1- 1.05	Full depth	Must extend the same depth as the non-compliant counter	11B-904.4
	Knee & Toe Clearance at forward approach conditions	SERV1- 1.06	Provided	Knee: 27" h x 11"d Toe: 9" h x 6" d beyond knee space	11B-904.2 11B-306
	Clear Floor Space	SERV1- 1.07	Provided	30" x 48"	11B-602.2
	Existing Conditions- alternative	SERV1- 1.08	N/A	N/A	N/A
	Counter Identification	SERV1- 1.08	Not required	Where not all counters are accessible, 4"x4" ISA required at accessible counter	11B-904.3.4

SERVICE-1

Project: Gardena: City Hall					
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.					
Area:	RR1- Restroom 1				Code Cycle 2022
Description:	Left side all-gender restroom				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Door	Door Swing Direction	RR1- 1.01	Single Inswinging Interior Door	Informational	---
	Clear Door Width	RR1- 1.02	33"	32" clear	11B-404.3.1
	Closer Provided	RR1- 1.03	Standard Closer	Informational	---
	Pull Approach Direction	RR1- 1.04	Pull Side Interior Front Approach	Informational	---
	Pull Side Clearance from Latch	RR1- 1.05	18"	18" min.	Table 11B-404.2.4.1
	Pull Side Clearance from Hinge	RR1- 1.06	N/A	0"	Table-11B-404.2.4.4
	Exterior Front Approach Depth	RR1- 1.07	Unlimited	60" min.	Table 11B-404.2.4.1
	Exterior Landing Slopes	RR1- 1.08	Level interior	1:48 slope in all directions	11B-305.2
	Interior Approach Direction	RR1- 1.09	Push Side Front Approach w/ closer and latch	Informational	---
	Push Side Clearance from Latch	RR1- 1.10	7"	12" min.	Table 11B-404.2.4.1
	Push Side Clearance from Hinge	RR1- 1.11	N/A	0"	Table-11B-404.2.4.4
	Push Front Approach Depth	RR1- 1.12	Unlimited	48" min.	Table 11B-404.2.4.1
	Push Side Landing Slopes	RR1- 1.13	Level interior	1:48 slope in all directions	11B-305.2
	Exterior hardware type	RR1- 1.14	Lever	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7
	Exterior hardware height	RR1- 1.15	36"	34" to 44"	11B-404.2.7
	Interior hardware type	RR1- 1.16	Lever	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7
	Interior hardware height	RR1- 1.17	Lever: 36" Lock: 39"	34" to 44"	11B-404.2.7
	Door Closer Speed Standard Closer	RR1- 1.18	1.70 seconds	Must open 90°. 5 second min. time from 90°	11B-404.2.8.1
	Door Closer Speed Spring Closer	RR1- 1.19	N/A	Must open 90°- 1.5 second min from 70° to	11B-404.2.8.2
	Door Opening Force	RR1- 1.20	13 lbs	5 lbs. max.	11B-404.2.9
	Smooth Bottom Panel (push conditions only)	RR1- 1.21	Solid door	10" min. at bottom of door.	11B-404.2.10

RR1

Project: Gardena: City Hall

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:		RR1- Restroom 1				Code Cycle 2022
Description:		Left side all-gender restroom				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Entry Signage	Wall sign provided	RR1- 2.01	Provided	Provide at entry to restrooms	11B-216.2	
	Characters	RR1- 2.02	Compliant	Tactile and Braille panel below pictogram	11B-703.6.1	
	Pictogram	RR1- 2.03	Compliant	6" high pictogram field	11B-703.6.1	
	Latch Sign Height	RR1- 2.04	48" to bottom of Braille	48" to bottom of Braille, 60" to bottom of tactile	11B-703.4.1	
	Latch Sign Offset from door	RR1- 2.05	N/A	Centerline at 9" min. offset from door on pull side	11B-703.4.2	
	Geometric Door Sign provided	RR1- 2.06	Provided	Required at toilet room entries.	11B-216.8.1	
	Geometric Door Sign Configuration	RR1- 2.07	Compliant	12" equilateral triangle inside circle. Color shall contrast with door color.	11B-703.7.2.6.3	
	Geometric Door Sign Height	RR1- 2.08	59"	58" to 60" to centerline	11B-703.7.2.6	
	Geometric Door Sign Horizontal Location	RR1- 2.09	Centered	Within 1" of door centerline	11B-703.7.2.6	
Accessible Lavatory	Sink Height	RR1- 3.01	34"	34" max. to top of rim	11B-606.3	
	Under-sink clearance	RR1- 3.02	Front: 29" 8" inboard: 27"	29" min. at front, 27" min. at 8" inboard	11B-306.3.1	
	P Trap Clearance	RR1- 3.03	Clear	P trap may not encroach into clear space.	11B-306.3.1	
	Clear width under sink	RR1- 3.04	Provided	30" wide x 48" deep	11B-602.2	
	Toe Clearance	RR1- 3.05	Provided	25" max depth x 9" min. height	11B-306.3.2	
	Horizontal Sink Depth	RR1- 3.06	Provided	Comply with 11B-306	11B-606.7	
	Offset from side wall	RR1- 3.07	13" from side wall	Centered 18" min. from side wall	11B-606.6	
	Faucet Controls	RR1- 3.08	Single lever	Lever or automatic	11B-606.4	
	Wrapped pipes	RR1- 3.09	Provided	All pipes under lavs shall be insulated.	11B-606.5	
	Mirror max. height	RR1- 3.10	40"	40" to bottom of reflective surface	11B-603.5	
	Soap dispenser height	RR1- 3.11	59"	40" max. to operable parts	11B-603.5	
	Paper towel dispenser or automatic hand dryer height	RR1- 3.12	42" and 52"	40" high to operable parts or sensor	11B-603.5	

RR1

Project: Gardena: City Hall

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:	RR1- Restroom 1	Code Cycle 2022
Description:	Left side all-gender restroom	

MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Water Closet	Clearance in front of WC	RR1- 4.01	95"	48" min	11B-604.3.1
	WC offset from side wall	RR1- 4.02	19.5"	17" to 18"	11B-604.2
	WC clearance on wide side	RR1- 4.03	72"	60" min. from side wall to lavatory or other obstruction at back wall.	11B-604.3.1
	WC seat height	RR1- 4.04	19"	17" to 19"	11B-604.4
	WC controls side	RR1- 4.05	Wide side	On wide side or automatic operation	11B-604.9.5
	Side grab bar length	RR1- 4.06	48"	42" min.	11B-604.5.1
	Side grab bar diameter	RR1- 4.07	1.25" diameter	1.25" to 2" diameter	11B-609.2.1
	Side grab bar distance to wall	RR1- 4.08	1.5"	1.5" clearance	11B-609.3
	Side grab bar height	RR1- 4.09	33"	33" to 36" to top of bar	11B-609.4
	Side grab bar offset from rear wall	RR1- 4.10	5.5"	12" max.	11B-604.5.1
	Side grab bar extent from rear wall	RR1- 4.11	53.5"	54" min.	11B-604.5.1
	Rear grab bar length	RR1- 4.12	36"	36" min.	11B-604.5.2
	Rear grab bar diameter	RR1- 4.13	1.25" diameter	1.25" to 2" diameter	11B-609.2.1
	Rear grab bar distance to wall	RR1- 4.14	1.5"	1.5" clearance	11B-609.3
	Rear grab bar height	RR1- 4.15	33.5"	33" to 36" to top of bar	11B-609.4
	Rear grab bar centerline offsets	RR1- 4.16	12" 24"	12" min. CL to side wall, 24" min. CL to open side.	11B-604.5.2
	Toilet paper dispenser model type	RR1- 4.17	Compliant model	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-309.4
	Toilet paper dispenser height	RR1- 4.18	Located above side grab bar	19" min. ht. to outlet.	11B-604.7
	Toilet paper dispenser vertical distance to side grab bar	RR1- 4.19	4" above side grab bar	1.5" clearance below bar 12" clearance above bar	11B-604.9.6
	Toilet paper dispenser offset from WC front	RR1- 4.20	4.5"	CL between 7" and 9" in front of WC	11B-604.7
	Seat cover dispenser model type	RR1- 4.21	Compliant	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-309.4
	Seat cover dispenser height	RR1- 4.22	25"	40" max ht to operable part	11B-603.5

RR1

Project: Gardena: City Hall					
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.					
Area:	RR1- Restroom 1				Code Cycle 2022
Description:	Left side all-gender restroom				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Accessible Urinal	Urinal Provided	RR1- 5.01	None provided	Informational	---
	Urinal clearance width	RR1- 5.02	N/A	30" wide x 48" deep	11B-605.3 11B-305
	Urinal rim height	RR1- 5.03	N/A	17" max.	11B-605.2
	Urinal depth	RR1- 5.04	N/A	13.5" min.	11B-605.2
	Urinal controls height	RR1- 5.05	N/A	44" max.	11B-605.4
Baby Changing Station	Baby Changing Station provided	RR1- 6.01	None provided	Informational	---
	Pull down device height	RR1- 6.01	N/A	48" max.	11B-309
	Changing surface height when in use	RR1- 6.02	N/A	34" max.	11B-309
	Underside clearance	RR1- 6.03	N/A	27" min clearance at front-access	Knee space if front-approach
	Clearance at path of travel	RR1- 6.04	N/A	When in use, fixture may not block path of travel.	11B-226.4
	Operable parts	RR1- 6.05	N/A	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-309.4
Miscellaneous Features	Coat hook height	RR1- 7.01	69"	48" max.	11B-603.4
	Trash can height	RR1- 7.02	Freestanding unit	40" max. to operable parts	11B-603.5
	Light switch height	RR1- 7.03	47"	48" to top of box.	11B-308.1.2
	Electrical outlet height	RR1- 7.04	47"	48" max. to top of box or 15" min. to bottom of box	11B-308.1.2

RR1

Project: Gardena: City Hall					
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.					
Area:	RR2- Restroom 2				Code Cycle 2022
Description:	Right side all-gender restroom				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Door	Door Swing Direction	RR2- 1.01	Single Inswinging Interior Door	Informational	---
	Clear Door Width	RR2- 1.02	33"	32" clear	11B-404.3.1
	Closer Provided	RR2- 1.03	Standard Closer	Informational	---
	Pull Approach Direction	RR2- 1.04	Pull Side Interior Front Approach	Informational	---
	Pull Side Clearance from Latch	RR2- 1.05	>18" to sink 11" to shelf on side wall	18" min.	Table 11B-404.2.4.1
	Pull Side Clearance from Hinge	RR2- 1.06	N/A	0"	Table- 11B-404.2.4.4
	Exterior Front Approach Depth	RR2- 1.07	Unlimited	60" min.	Table 11B-404.2.4.1
	Exterior Landing Slopes	RR2- 1.08	Level interior	1:48 slope in all directions	11B-305.2
	Interior Approach Direction	RR2- 1.09	Push Side Front Approach w/ closer and latch	Informational	---
	Push Side Clearance from Latch	RR2- 1.10	7"	12" min.	Table 11B-404.2.4.1
	Push Side Clearance from Hinge	RR2- 1.11	N/A	0"	Table- 11B-404.2.4.4
	Push Front Approach Depth	RR2- 1.12	Unlimited	48" min.	Table 11B-404.2.4.1
	Push Side Landing Slopes	RR2- 1.13	Level interior	1:48 slope in all directions	11B-305.2
	Exterior hardware type	RR2- 1.14	Lever	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7
	Exterior hardware height	RR2- 1.15	35"	34" to 44"	11B-404.2.7
	Interior hardware type	RR2- 1.16	Lever	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7
	Interior hardware height	RR2- 1.17	Lever: 35" Lock: 39"	34" to 44"	11B-404.2.7
	Door Closer Speed Standard Closer	RR2- 1.18	2.81 seconds	Must open 90°. 5 second min. time from 90°	11B-404.2.8.1
	Door Closer Speed Spring Closer	RR2- 1.19	N/A	Must open 90°- 1.5 second min from 70° to	11B-404.2.8.2
	Door Opening Force	RR2- 1.20	10 lbs	5 lbs. max.	11B-404.2.9
	Smooth Bottom Panel (push conditions only)	RR2- 1.21	Solid door	10" min. at bottom of door.	11B-404.2.10

RR2

Project: Gardena: City Hall

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:		RR2- Restroom 2			Code Cycle
Description:		Right side all-gender restroom			2022
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Signage	Wall sign provided	RR2- 2.01	Provided	Provide at entry to restrooms	11B-216.2
	Characters	RR2- 2.02	Compliant	Tactile and Braille panel below pictogram	11B-703.6.1
	Pictogram	RR2- 2.03	Compliant	6" high pictogram field	11B-703.6.1
	Latch Sign Height	RR2- 2.04	48" to bottom of Braille	48" to bottom of Braille, 60" to bottom of tactile	11B-703.4.1
	Latch Sign Offset from door	RR2- 2.05	N/A	Centerline at 9" min. offset from door on pull side	11B-703.4.2
	Geometric Door Sign provided	RR2- 2.06	Provided	Required at toilet room entries.	11B-216.8.1
	Geometric Door Sign Configuration	RR2- 2.07	Compliant	12" equilateral triangle inside circle. Color shall contrast with door color.	11B-703.7.2.6.3
	Geometric Door Sign Height	RR2- 2.08	60"	58" to 60" to centerline	11B-703.7.2.6
	Geometric Door Sign Horizontal Location	RR2- 2.09	17.75" 18.25"	Within 1" of door centerline	11B-703.7.2.6
Accessible Lavatory	Sink Height	RR2- 3.01	34"	34" max. to top of rim	11B-606.3
	Under-sink clearance	RR2- 3.02	Front: 30" 8" inboard: 27"	29" min. at front, 27" min. at 8" inboard	11B-306.3.1
	P Trap Clearance	RR2- 3.03	Slight encroachment	P trap may not encroach into clear space.	11B-306.3.1
	Clear width under sink	RR2- 3.04	Provided	30" wide x 48" deep	11B-602.2
	Toe Clearance	RR2- 3.05	Provided	25" max depth x 9" min. height	11B-306.3.2
	Horizontal Sink Depth	RR2- 3.06	Provided	Comply with 11B-306	11B-606.7
	Offset from side wall	RR2- 3.07	17.75"	Centered 18" min. from side wall	11B-606.6
	Faucet Controls	RR2- 3.08	Single lever	Lever or automatic	11B-606.4
	Wrapped pipes	RR2- 3.09	Provided	All pipes under lavs shall be insulated.	11B-606.5
	Mirror max. height	RR2- 3.10	40"	40" to bottom of reflective surface	11B-603.5
	Soap dispenser height	RR2- 3.11	58.5"	40" max. to operable parts	11B-603.5
	Paper towel dispenser or automatic hand dryer height	RR2- 3.12	47" and 50"	40" high to operable parts or sensor	11B-603.5

RR2

Project: Gardena: City Hall

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:	RR2- Restroom 2	Code Cycle 2022
Description:	Right side all-gender restroom	

MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Water Closet	Clearance in front of WC	RR2- 4.01	94"	48" min	11B-604.3.1
	WC offset from side wall	RR2- 4.02	18"	17" to 18"	11B-604.2
	WC clearance on wide side	RR2- 4.03	60"	60" min. from side wall to lavatory or other obstruction at back wall.	11B-604.3.1
	WC seat height	RR2- 4.04	18.5"	17" to 19"	11B-604.4
	WC controls side	RR2- 4.05	Wide side	On wide side or automatic operation	11B-604.9.5
	Side grab bar length	RR2- 4.06	48"	42" min.	11B-604.5.1
	Side grab bar diameter	RR2- 4.07	1.25" diameter	1.25" to 2" diameter	11B-609.2.1
	Side grab bar distance to wall	RR2- 4.08	1.5"	1.5" clearance	11B-609.3
	Side grab bar height	RR2- 4.09	33.5"	33" to 36" to top of bar	11B-609.4
	Side grab bar offset from rear wall	RR2- 4.10	13"	12" max.	11B-604.5.1
	Side grab bar extent from rear wall	RR2- 4.11	61"	54" min.	11B-604.5.1
	Rear grab bar length	RR2- 4.12	36"	36" min.	11B-604.5.2
	Rear grab bar diameter	RR2- 4.13	1.25" diameter	1.25" to 2" diameter	11B-609.2.1
	Rear grab bar distance to wall	RR2- 4.14	1.5"	1.5" clearance	11B-609.3
	Rear grab bar height	RR2- 4.15	33.5"	33" to 36" to top of bar	11B-609.4
	Rear grab bar centerline offsets	RR2- 4.16	14" 22"	12" min. CL to side wall, 24" min. CL to open side.	11B-604.5.2
	Toilet paper dispenser model type	RR2- 4.17	Compliant model	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-309.4
	Toilet paper dispenser height	RR2- 4.18	Located above side grab bar	19" min. ht. to outlet.	11B-604.7
	Toilet paper dispenser vertical distance to side grab bar	RR2- 4.19	3" above side grab bar	1.5" clearance below bar 12" clearance above bar	11B-604.9.6
	Toilet paper dispenser offset from WC front	RR2- 4.20	3.5"	CL between 7" and 9" in front of WC	11B-604.7
	Seat cover dispenser model type	RR2- 4.21	Compliant	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-309.4
	Seat cover dispenser height	RR2- 4.22	25"	40" max ht to operable part	11B-603.5

RR2

Project: Gardena: City Hall

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:		RR2- Restroom 2			Code Cycle
Description:		Right side all-gender restroom			2022
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Accessible Urinal	Urinal Provided	RR2- 5.01	None provided	Informational	---
	Urinal clearance width	RR2- 5.02	N/A	30" wide x 48" deep	11B-605.3 11B-305
	Urinal rim height	RR2- 5.03	N/A	17" max.	11B-605.2
	Urinal depth	RR2- 5.04	N/A	13.5" min.	11B-605.2
	Urinal controls height	RR2- 5.05	N/A	44" max.	11B-605.4
Baby Changing Station	Baby Changing Station provided	RR2- 6.01	None provided	Informational	---
	Pull down device height	RR2- 6.01	N/A	48" max.	11B-309
	Changing surface height when in use	RR2- 6.02	N/A	34" max.	11B-309
	Underside clearance	RR2- 6.03	N/A	27" min clearance at front-access	Knee space if front-approach
	Clearance at path of travel	RR2- 6.04	N/A	When in use, fixture may not block path of travel.	11B-226.4
	Operable parts	RR2- 6.05	N/A	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-309.4
Miscellaneous Features	Coat hook height	RR2- 7.01	40"	48" max.	11B-603.4
	Trash can height	RR2- 7.02	Freestanding unit	40" max. to operable parts	11B-603.5
	Light switch height	RR2- 7.03	47"	48" to top of box.	11B-308.1.2
	Electrical outlet height	RR2- 7.04	47"	48" max. to top of box or 15" min. to bottom of box	11B-308.1.2

RR2

Project: Gardena: City Hall					
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.					
Area:	DF1- Drinking Fountain 1				Code Cycle 2022
Description:	Single Elkay unit with bottle filling station above				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
General Drinking Fountain requirements	Accessible Route	DF1- 1.01	Compliant	Units must be on an accessible route.	---
	<i>Minimum Number</i>	<i>DF1- 1.02</i>	<i>Single lower unit only.</i>	<i>No fewer than two located together</i>	<i>11B-211.2</i>
	Clear Floor Space	DF1- 1.03	Provided	30"x48"	11B-602.2
	Drinking Fountain Depth	DF1- 1.04	19"	Wall and post mounted fountains: 18" min., 19" max. depth	11B-602.8
	Pedestrian protection	DF1- 1.05	None provided. Alcove is only 7" deep	Fountain in 18" deep alcove or protected by wing walls that extend within 6" of floor.	11B-602.9
	Alcove width	DF1- 1.06	42" wide	32" wide min.	11B-602.9
Low fountain	Knee Clearance under unit	DF1- 1.07	26.5"	27" clear	11B-602.2 11B-306
	Operable parts	DF1- 1.08	Compliant	Accessible within 6" of front edge of fountain or automatic	11B-602.3
	Spout outlet height	DF1- 1.09	33"	36" max.	11B-602.4
	Spout Location (horizontal from back wall)	DF1- 1.10	16" from back 3" from front edge	15" min. from vertical support, 5" max from front edge.	11B-602.5
	Water Flow Height	DF1- 1.11	5.5"	4" min. above fountain rim height	11B-602.6
	Water Flow, Spouts less than 3" from front	DF1- 1.12	Compliant	Water stream angle shall be 30° max.	11B-602.6
	Water Flow, Spouts 3" to 5" from front	DF1- 1.13	N/A	Water stream angle shall be 45° max.	11B-602.6
High fountain (standing person)	Is a high drinking fountain provided?	DF1- 2.01	No	Required	11B-602.7
	Spout outlet height	DF1- 2.02	None provided.	38" to 43"	11B-602.7
Water Bottle Filling Station	Is a water bottle filling station provided?	DF1- 3.01	Yes	Informational	---
	Front approach or side approach	DF1- 3.02	Both directions	Informational	---
	Reach range	DF1- 3.03	<48"	48" max to operable parts	11B-308.3.1

DF1

Project: Gardena: City Hall					
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.					
Area:	DF2- Drinking Fountain 2				Code Cycle 2022
Description:	Older single drinking fountain. Not currently operational.				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
General Drinking Fountain requirements	Accessible Route	DF2- 1.01	Compliant	Units must be on an accessible route.	---
	<i>Minimum Number</i>	<i>DF2- 1.02</i>	<i>Single lower unit only.</i>	<i>No fewer than two located together</i>	<i>11B-211.2</i>
	Clear Floor Space	DF2- 1.03	Provided	30"x48"	11B-602.2
	Drinking Fountain Depth	DF2- 1.04	18"	Wall and post mounted fountains: 18" min., 19" max. depth	11B-602.8
	Pedestrian protection	DF2- 1.05	17" deep alcove	Fountain in 18" deep alcove or protected by wing walls that extend within 6" of floor.	11B-602.9
	Alcove width	DF2- 1.06	36.5" wide	32" wide min.	11B-602.9
Low fountain	Knee Clearance under unit	DF2- 1.07	21.5"	27" clear	11B-602.2 11B-306
	Operable parts	DF2- 1.08	Unable to test. Unit is not operational.	Accessible within 6" of front edge of fountain or automatic	11B-602.3
	Spout outlet height	DF2- 1.09	31"	36" max.	11B-602.4
	Spout Location (horizontal from back wall)	DF2- 1.10	15" from back 3" from front edge	15" min. from vertical support, 5" max from front edge.	11B-602.5
	Water Flow Height	DF2- 1.11	Unable to test. Unit is not operational.	4" min. above fountain rim height	11B-602.6
	Water Flow, Spouts less than 3" from front	DF2- 1.12	Unable to test. Unit is not operational.	Water stream angle shall be 30° max.	11B-602.6
	Water Flow, Spouts 3" to 5" from front	DF2- 1.13	Unable to test. Unit is not operational.	Water stream angle shall be 15° max.	11B-602.6
High fountain (standing person)	Is a high drinking fountain provided?	DF2- 2.01	No	Required	11B-602.7
	Spout outlet height	DF2- 2.02	None provided.	38" to 43"	11B-602.7
Water Bottle Filling Station	Is a water bottle filling station provided?	DF2- 3.01	Not provided at this location.	Informational	---
	Front approach or side approach	DF2- 3.02	N/A	Informational	---
	Reach range	DF2- 3.03	N/A	48" max to operable parts	11B-308.3.1

DF2

Project: Gardena: City Hall						
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.						
Area:	DR4- Door 4					Code Cycle 2022
Description:	Council Chambers door					
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Entry Door	Door Swing Direction	DR4- 1.01	Double Outswinging Interior Door	Informational	---	
	Clear Door Width	DR4- 1.02	2 @ 33.5"	32" clear	11B-404.3.1	
	Closer Provided	DR4- 1.03	Standard Closer	Informational	---	
	Pull Approach Direction (Exterior)	DR4- 1.04	Pull Side Exterior Front Approach	Informational	---	
	Pull Side Clearance from Latch	DR4- 1.05	51"	24" min.	Table 11B-404.2.4.1	
	Pull Side Clearance from Hinge	DR4- 1.06	51"	0"	Table 11B-404.2.4.1	
	Pull Front Approach Depth	DR4- 1.07	Unlimited	60" min.	Table 11B-404.2.4.1	
	Pull Side Landing Slopes	DR4- 1.08	Level interior	1:48 slope in all directions	11B-305.2	
	Push Approach Direction (Interior)	DR4- 1.09	Push Side Front Approach w/ closer and latch	Informational	---	
	Push Side Clearance from Latch	DR4- 1.10	Unlimited	12" min.	Table 11B-404.2.4.1	
	Push Side Clearance from Hinge	DR4- 1.11	Unlimited	0"	Table 11B-404.2.4.1	
	Push Front Approach Depth	DR4- 1.12	83"	48" min.	Table 11B-404.2.4.1	
	Push Side Landing Slopes	DR4- 1.13	Level interior	1:48 slope in all directions	11B-305.2	
	Exterior hardware type	DR4- 1.14	D Handle	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7	
	Exterior hardware height	DR4- 1.15	33" to 46"	34" to 44"	11B-404.2.7	
	Interior hardware type	DR4- 1.16	Horizontal push/pull bar	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7	
	Interior hardware height	DR4- 1.17	36"	34" to 44"	11B-404.2.7	
	Door Closer Speed Standard Closer	DR4- 1.18	Left: 2.76 seconds Right: 2.81 seconds	Must open 90°. 5 second min. time from 90° to 12°	11B-404.2.8.1	
	Door Closer Speed Spring Closer	DR4- 1.19	N/A	Must open 90°. 1.5 second min from 70° to closed.	11B-404.2.8.2	
	Door Opening Force	DR4- 1.20	Left: 10 lbs Right: 11 lbs	5 lbs. max.	11B-404.2.9	
Smooth Bottom Panel (push conditions only)	DR4- 1.21	Solid panel door	10" min. at bottom of door.	11B-404.2.10		

DOOR-4

Project: Gardena: City Hall					
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.					
Area:	DR4- Door 4				Code Cycle 2022
Description:	Council Chambers door				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Door continued	Threshold	DR4- 1.22	Compliant	1/4" vertical + 1/4" bevel max.	11B-303.2 11B-404.2.5
	Floor mats	DR4- 1.23	None	Must be secured.	11B-302.2
	Secondary interior lock- height	DR4- 1.24	N/A	48" max. at front approach	41B-308.2.1
	Peephole / vision light height	DR4- 1.25	N/A	43" max. to bottom of clear- panel	11B-404.2.11

DOOR-4

Project: Gardena: City Hall

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:	DR5- Door 5	Code Cycle 2022
Description:	Planning Department door	

MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Door	Door Swing Direction	DR5- 1.01	Single Outswinging Interior Door	Informational	---
	Clear Door Width	DR5- 1.02	32.5"	32" clear	11B-404.3.1
	Closer Provided	DR5- 1.03	Standard Closer	Informational	---
	Pull Approach Direction (Exterior)	DR5- 1.04	Pull Side Interior Front Approach	Informational	---
	Pull Side Clearance from Latch	DR5- 1.05	16"	18" min.	Table 11B-404.2.4.1
	Pull Side Clearance from Hinge	DR5- 1.06	N/A	0"	Table 11B-404.2.4.1
	Pull Front Approach Depth	DR5- 1.07	Unlimited	60" min.	Table 11B-404.2.4.1
	Pull Side Landing Slopes	DR5- 1.08	Level interior	1:48 slope in all directions	11B-305.2
	Push Approach Direction (Interior)	DR5- 1.09	Push Side Front Approach w/ closer and latch	Informational	---
	Push Side Clearance from Latch	DR5- 1.10	15"	12" min.	Table 11B-404.2.4.1
	Push Side Clearance from Hinge	DR5- 1.11	N/A	0"	Table 11B-404.2.4.1
	Push Front Approach Depth	DR5- 1.12	Unlimited	48" min.	Table 11B-404.2.4.1
	Push Side Landing Slopes	DR5- 1.13	Level interior	1:48 slope in all directions	11B-305.2
	Exterior hardware type	DR5- 1.14	D Handle	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7
	Exterior hardware height	DR5- 1.15	30" to 44"	34" to 44"	11B-404.2.7
	Interior hardware type	DR5- 1.16	Horizontal push/pull bar	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7
	Interior hardware height	DR5- 1.17	41" to 43"	34" to 44"	11B-404.2.7
	Door Closer Speed Standard Closer	DR5- 1.18	2.35 seconds	Must open 90°. 5 second min. time from 90° to 12°	11B-404.2.8.1
	Door Closer Speed Spring Closer	DR5- 1.19	N/A	Must open 90°. 1.5 second min from 70° to closed.	11B-404.2.8.2
	Door Opening Force	DR5- 1.20	11 lbs.	5 lbs. max.	11B-404.2.9
	Smooth Bottom Panel (push conditions only)	DR5- 1.21	4" vertical metal surface, then full height glass.	10" min. at bottom of door.	11B-404.2.10

DOOR-5

Project: Gardena: City Hall					
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.					
Area:	DR5- Door 5				Code Cycle 2022
Description:	Planning Department door				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Door continued	Threshold	DR5- 1.22	Compliant	1/4" vertical + 1/4" bevel max.	11B-303.2 11B-404.2.5
	Floor mats	DR5- 1.23	None	Must be secured.	11B-302.2
	Secondary interior lock- height	DR5- 1.24	N/A	48" max. at front approach	44B-308.2.1
	Peephole / vision light height	DR5- 1.25	Full height glass	43" max. to bottom of clear panel	11B-404.2.11

DOOR-5

Project: Gardena: City Hall					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant. Please see individual findings in report for specific details.					
Area:	SERV2- Service Counter 2				Code Cycle 2022
Description:	Service counter at Planning Department				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Counter Measurements	Are lowered counters provided for disabled	SERV2- 1.01	Yes	Required	---
	Front or Side Approach	SERV2- 1.02	Front	Required	---
	Counter Height	SERV2- 1.03	30.5"	34" max.	11B-904.4.1
	Counter Width	SERV2- 1.04	66"	36" min.	11B-904.4.1
	Counter Depth	SERV2- 1.05	31.5"	Must extend the same depth as the non-compliant counter	11B-904.4
	Knee & Toe Clearance at forward approach conditions	SERV2- 1.06	Provided	Knee: 27" h x 11"d Toe: 9" h x 6" d beyond knee space	11B-904.2 11B-306
	Clear Floor Space	SERV2- 1.07	Provided	30" x 48"	11B-602.2
	Existing Conditions-alternative	SERV2- 1.08	N/A	N/A	N/A
	Counter Identification	SERV2- 1.08	Not required	Where not all counters are accessible, 4"x4" ISA required at accessible counter	11B-904.3.4

SERVICE-2

3. NAKAOKA COMMUNITY CENTER

3.1 Summary

Location: 1670 W. 162nd Street
 Parking: 20 spaces

The Nakaoka Community Center is an existing two-story community building facing 162nd Street that was first built in 1973. There is a small parking lot directly adjacent to the building on the north side. It includes two accessible parking spaces. The main entrance to the building faces the open lawn area across from the Gardena Police Department and adjacent to the Gardena City Hall. Pedestrian access is provided throughout this open area.



3.2 General Site Accessibility

In general, compliant access is provided from the public right of way, adjacent buildings and the public parking lot. There are some areas related to parking, site stairs and ramps requiring modifications. See specific sections later in this building assessment.

See SITE checklist for complete site details.

3.3 Accessible Parking

The parking lot on the north side of the Center has 20 total parking space. There are two accessible parking spaces located in the corner of the lot closest to the building entrance. On the left side of the spaces, there is an existing curb ramp which leads to both building entrances.

Parking Space 1

This parking space includes the following non-compliant conditions:

- The depth is not compliant on the left side.
- Missing fine signage
- Minor slope issues

Access Aisle 1

The access aisle includes the following non-compliant conditions:

- The access aisle is too narrow.
- Path of travel for persons using Parking Space 2 requires traveling behind other vehicles

Parking Space 2

This parking space includes the following non-compliant conditions:

- The depth is not compliant on the left side.
- Missing fine signage
- Minor slope issues
- There is no compliant path of travel to the building entrance.

Curb Ramp 1

While the curb ramp is in good condition, there are some non-compliant conditions including the following:

- The top landing has non-compliant slopes
- The counter slope at the bottom of the curb ramp is too steep
- The transition between the curb ramp and the adjacent asphalt is too steep.

See PK1, PK2, AA12 and CR1 Checklists for complete details.



Nakaoka Community Center Accessible Parking



7'-5" wide access aisle



Curb Ramp at Accessible Parking

3.4 Building Entries

There are two primary public entrances to the Nakaoka Community Center. The main entrance faces the lawn area between the Center and the Police Department. A second entry faces the public parking lot on the north side of the building.

3.4.1 Main Entry Ramp

The entry ramp leads from the parking area to the north side of the building to the main entrance.

Areas requiring correction include:

1. Missing handrail on right side
2. Missing wheelguard on left side handrail.
3. Non-compliant handrail extensions.

See RA1 Checklist for complete details.

3.4.2 Main Entry Stairs

There is one large stair facing the main entrance to the building. While the approach to the stairs, the rise and run of the stairs are compliant, there are elements of the stairs which require modification. These include the following:

- Missing handrails at both sides of the stair
- Contrasting striping at the stair nosings

See ST1 Checklist for complete details.

3.4.3 Main Entry Door

The main entry door is a double automatic sliding door system facing the greenbelt area to the west of the building. In general, it is a compliant entry. However, there are unsecured floor mats on either side of the door which should be removed or secured.

See DR1 Checklist for complete details.



Main Entry Ramp



Main Entry Stairs



Main Entry Door

3.4.4 Parking Lot Entry Door

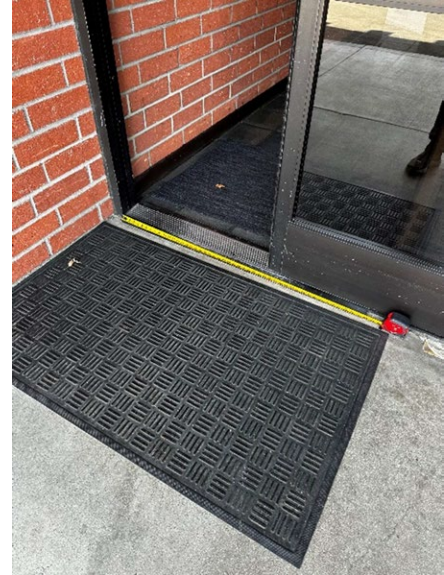
There is a single automatic sliding door facing the parking lot. In general it is a compliant entry. However, there are unsecured floor mats on either side of the door which should be removed or secured.

See DR2 Checklist for complete details.

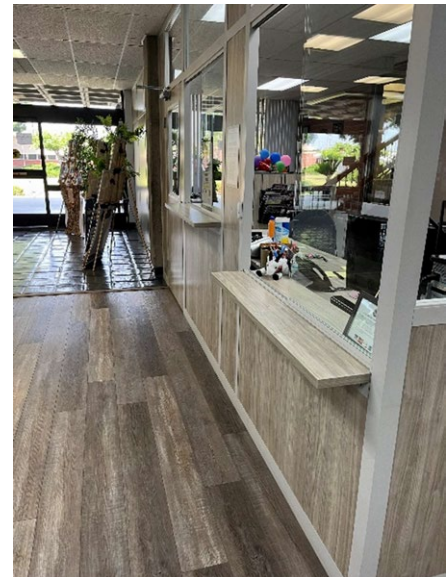
3.5 Lobby, Reception and Interior Circulation

The lobby space includes direct access to the auditorium, elevator, stairs and reception counter. It contains non-fixed furniture throughout. There is adequate access provided throughout the space.

See SERV1 Checklist for Reception Counter complete details.



Parking Lot Entry Door



Reception Counter

3.6 Restrooms and Drinking Fountains

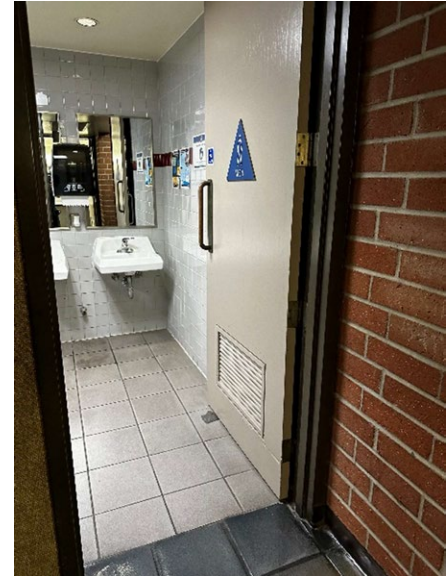
There are two gender-specific public restrooms located on each floor of this building. Additionally, there is a public drinking fountain (not currently operating) on the first floor near the parking lot entrance.

3.6.1 First Floor Men's Restroom

The first floor men's restroom is a multiple occupant facility located across from Stair 3. It includes four sinks, one baby changing station, three urinals and multiple toilets, including one accessible toilet compartment. In general, access into the restroom is acceptable. However, there are multiple elements requiring modification including the following:

- Minor door operation adjustments required
- Missing entry signage
- Minor modifications required at the lavatories
- Dispensers at incorrect heights
- Minor modifications at accessible toilet compartment required
- Toilet is centered too far from side wall
- Urinal height

See RR1 Checklist for complete details.



First Floor Men's Restroom



Toilet paper dispenser incorrectly located



Dispenser height too high

3.6.2 First Floor Women's Restroom

The first floor women's restroom is a multiple occupant facility located across from Stair 3. It includes four sinks, one baby changing station, and multiple toilets, including one accessible toilet compartment. In general, access into the restroom is acceptable. However, there are multiple elements requiring modification including the following:

- Minor door operation adjustments required
- Missing entry signage
- Minor modifications required at the lavatories
- Missing pipe insulation at sinks
- Dispensers at incorrect heights
- Toilet compartment is too narrow
- Minor modifications at accessible toilet compartment required
- Toilet is centered too far from side wall

See RR2 Checklist for complete details.



First Floor Women's Restroom Toilet



Missing insulation on pipes

3.6.3 Second Floor Men's Restroom

The second floor men's restroom is a multiple occupant facility located along the hallway. It includes two sinks, two urinals and multiple toilets, including one accessible toilet compartment. In general, access into the restroom is acceptable. However, there are multiple elements requiring modification including the following:

- Minor door operation adjustments required
- Missing entry signage
- Minor modifications required at the lavatories
- Dispensers at incorrect heights
- Toilet compartment is too narrow
- Minor modifications at accessible toilet compartment required
- Toilet is centered too far from side wall
- Incorrect rear grab bar



Second Floor Men's Restroom

See RR3 Checklist for complete details.



Non-Compliant Rear Grab Bar



Toilet centered too far from side wall

3.6.4 Second Floor Women's Restroom

The second floor women's restroom is a multiple occupant facility located along the hallway. It includes two sinks and multiple toilets, including one accessible toilet compartment. In general, access into the restroom is acceptable. However, there are multiple elements requiring modification including the following:

- Minor door operation adjustments required
- Missing entry signage
- Minor modifications required at the lavatories
- Dispensers at incorrect heights
- Toilet compartment is too narrow
- Minor modifications at accessible toilet compartment required
- Toilet is centered too far from side wall
- Incorrect rear grab bar



Second Floor Women's Restroom



Accessory mounting heights too high



Toilet centered too far from side wall

3.6.5 Drinking Fountains

There is a public drinking fountain located at the rear of the building near the parking lot entry. It is currently not operational. Inspection was limited to dimensional clearance requirements.

See DF1 Checklist for complete details.



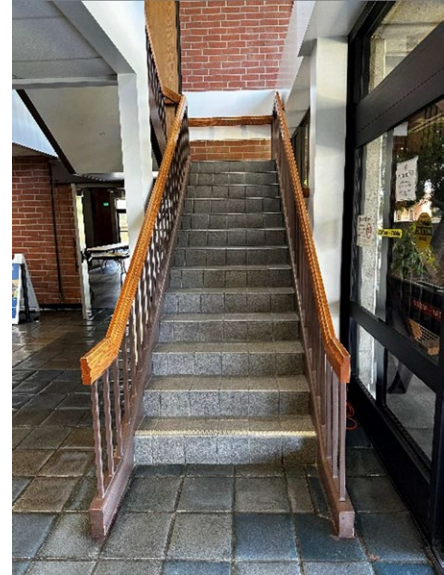
3.7 Interior Vertical Circulation

3.7.1 Stair 2

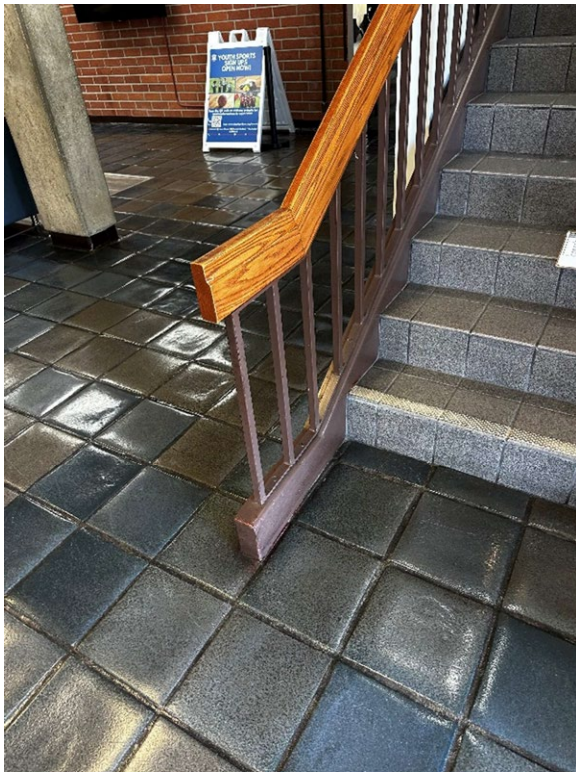
There is a primary stair to the second floor near the front of the lobby. While the configuration of the stairs is generally compliant, there are several elements to the stairs requiring modifications. These include the following:

- The handrail profiles are not compliant and need full replacement.
- The handrails extensions are not compliant in several locations.
- The handrails are not continuous where required.
- The contrasting stripes at stair nosings are missing.

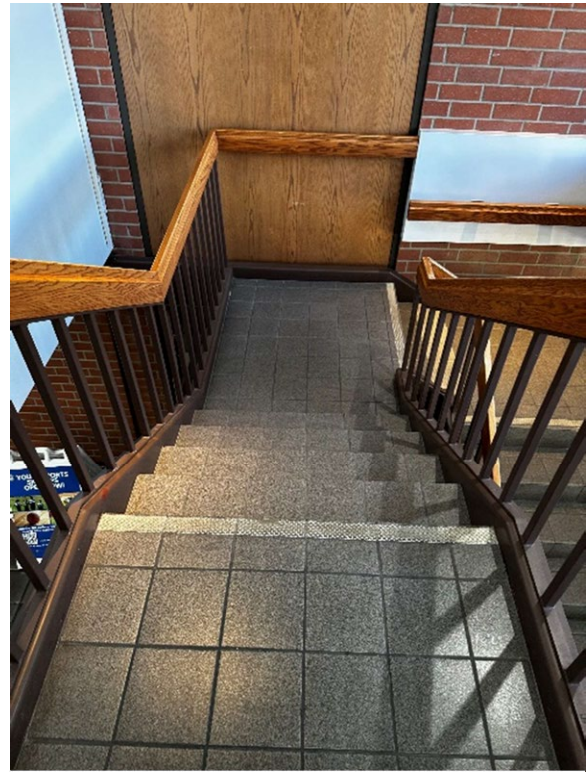
See ST2 Checklist for complete details.



Stair 2 at First Floor



Non-compliant handrail profile



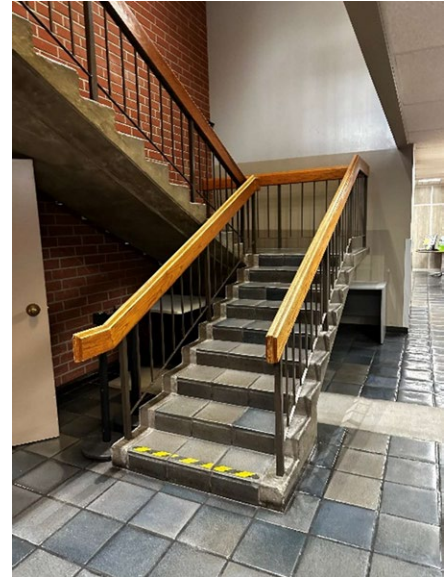
Stair 2 at Second Floor

3.7.2 Stair 3

This stair is located across from the first floor restrooms and near the parking lot entry to the building. While the configuration of the stairs is generally compliant, there are several elements to the stairs requiring modifications. These include the following:

- The handrail profiles are not compliant and need full replacement.
- The handrails extensions are not compliant in several locations.
- The handrails are not continuous where required.
- There is a potential clearance violation at the underside of the intermediate landing.

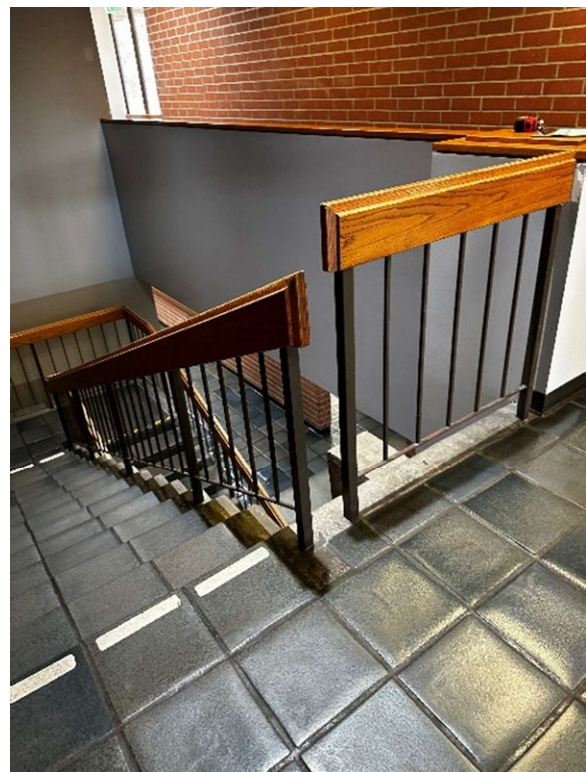
See ST3 Checklist for complete details.



Stair 3 at First Floor



Non-compliant clearance under stair landing



Stair 3 at Second Floor

3.7.3 Elevator

There is one two-stop elevator located in the main lobby on the first floor. While it is nearly fully compliant, the following modifications are required:

- Incorrect jamb signage at first floor (missing STAR)
- Closing timing adjustments required

See ELEV, ELFLR1 and ELFLR2 Checklists for complete detailed information.



Elevator Landing



Incorrect Jamb Signage at First Floor Landing

3.8 Classrooms and Meeting Rooms

There are multiple classrooms/meeting rooms on both floors of the building. Inspection was limited to the entry doors and their operation.

General Comments

There is no consistent signage at the inspected rooms. Public rooms are required to have signage mounted adjacent to the entry doors with Braille and tactile characters. Bottom of the Braille characters shall be no lower than 48" and the bottom of the tactile characters shall be no higher than 60". Signs should be centered a minimum of 9" from the swing of the door in outswinging conditions.

Clifford Holliday Memorial Room

This room on the first floor has an outswinging door. This door requires the following modifications:

- The side clearance on the push side is only 6.5". A minimum of 12" is required.
- The door operating force and closing time require adjustment.
 - Door operating force: 8 lbs
 - Door closing speed: 3.28 seconds

Senior Citizens Bureau

This room on the first floor has a reception desk adjacent to the entrance. The door and room require the following modifications:

- The door knob requires replacement with lever hardware
- The door operating force and closing time require adjustment
 - Door operating force: 9 lbs
 - Door closing speed: 3.55 seconds
- There is no compliant surface meeting the requirements for service counters.

Meeting Room C

The door to this room on the second floor requires the following modifications:

- The door knob requires replacement with lever hardware.
- There is no latch side clearance at the door on the interior side. A minimum of 12" is required.
- The door operating force and closing time require adjustment.
 - Door operating force: 6 lbs
 - Door closing speed: 4.50 seconds

Meeting Room D

The door to this room on the second floor requires the following modifications:

- The door knob requires replacement with lever hardware.

There is also a built-in cabinet with sink in this room. While the counter height is 35.5" and there is no knee space provided under the sink, this height and clearance is acceptable in a break room condition if there is compliant parallel approach. This requirement is satisfied with the existing conditions.

Meeting Room E

The door to this room on the second floor requires the following modifications:

- The door knob requires replacement with lever hardware.
- The door operating force and closing time require adjustment.
 - Door operating force: 7 lbs
 - Door closing speed: 3.47 seconds

Meeting Room F

This room on the second floor has two entry doors. Door 1 is across from the elevator. Door 2 is across from the restrooms. Both doors have had the knob hardware replaced with compliant lever hardware. However, the doors require the following modifications:

- The door operating force and closing time at both doors require adjustment.
 - Door 1 operating force: 10 lbs
 - Door 1 closing speed: 2.86 seconds
 - Door 2 operating force: 14 lbs
 - Door 2 closing speed: 2.51 seconds

Meeting Room G

This room on the second floor has had the knob hardware replaced with compliant lever hardware. However, the door requires the following modifications:

- The door operating force and closing time require adjustment.
 - Door operating force: 16 lbs
 - Door closing speed: 2.15 seconds

There is also a built-in cabinet with sink in this room. While the counter height is 36.5" and there is no knee space provided under the sink, this height and clearance is acceptable in a break room condition if there is compliant parallel approach. This requirement is satisfied with the existing conditions.

3.9 Auditorium

3.9.1 General

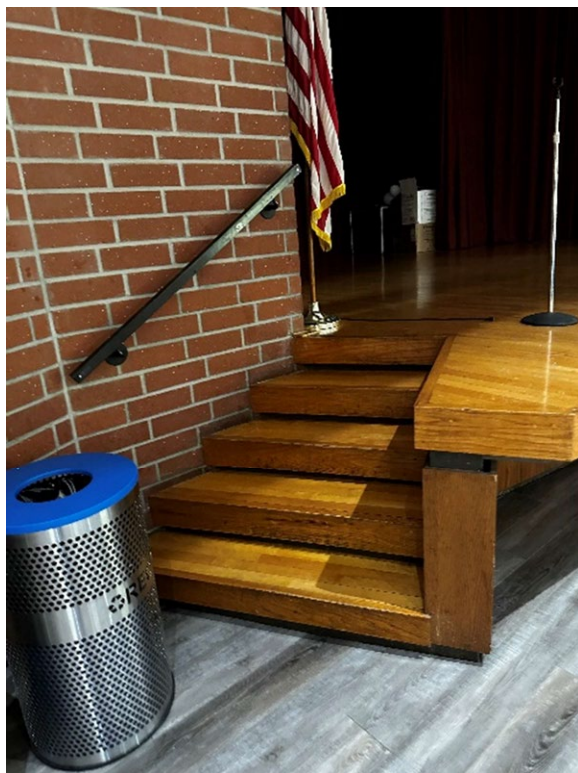
The auditorium is a large open space with no fixed seating. There are no accessibility issues related to the public area of this space.

3.9.2 Stage Stairs

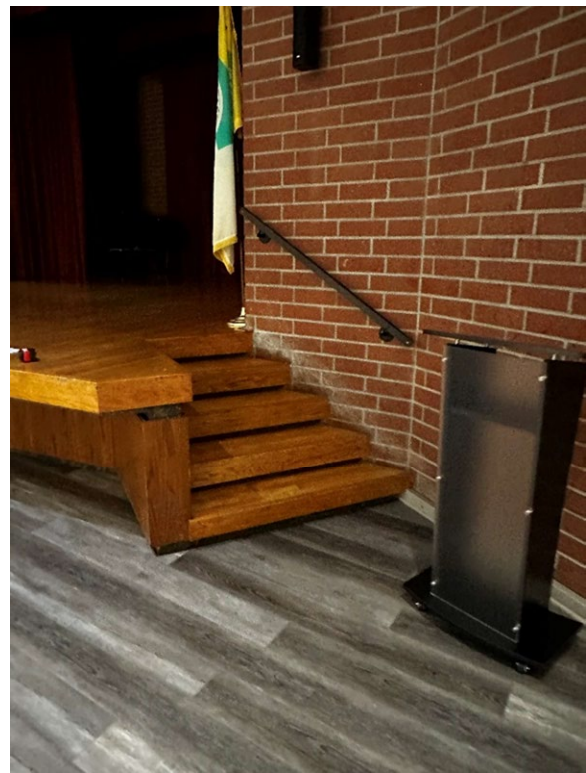
There are stairs at either side of the stage. These stairs have handrails on the wall side only and taper from wide at the bottom to narrow at the top. To meet accessibility, these should be removed and rebuilt with compliant widths and handrails.



Auditorium



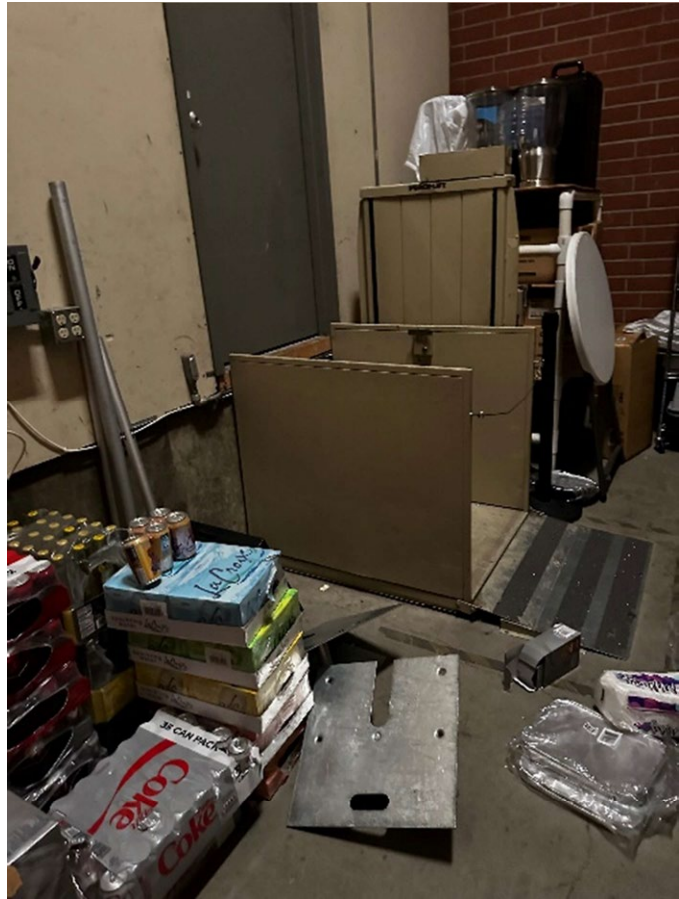
Left Side Stairs



Right Side Stairs

3.9.3 Platform Lift

There is a platform lift in a small room on the right side of the stage. There is no signage identifying the location of this unit. The room containing the lift is cluttered and the lift appears to not have been operated in a long time. It is currently not operable. It is recommended that the lift be replaced with a new lift and approaches on the lower and upper sides of the lift meet access requirements.



Platform Lift

Project: Gardena: Nakaoka Community Center					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant. Please see individual findings in report for specific details.					
Area:	SITE- General Accessibility				Code Cycle
Description:	General site information				2022
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Site Signage	Unauthorized Parking Signage Provided	SITE- 1.01	Provided	17" wide x 22" high (min dimensions)	11B-502.8 11B-502.8.1
	Unauthorized Parking Signage completed information.	SITE- 1.02	Provided	All blank spaces shall be completed with appropriate information.	11B-502.8.2
Path of Travel from Public Right Of Way to Main Entrances	Path of Travel width from Public Right of Way to building entrance.	SITE- 2.01	Provided. See Ramp 1 and Stair 1 checklists	Continuous path of travel from public right of way	11B-206.2.1
	Path of Travel width	SITE- 2.02	60"	48" min.	11B-403.5.1 Exception 3
	Path of Travel width-exception	SITE- 2.03	N/A	Due to natural barriers or other obstructions, width may be reduced to 36"	11B-403.5.1 Exception 3
	Path of Travel Cross Slopes	SITE- 2.04	Compliant	1:48 slope max.	11B-403.3
	Path of Travel Running Slopes	SITE- 2.05	Compliant	1:20 slope max.	11B-403.3
	Path of Travel Running-Slope adjacent to street/highway	SITE- 2.06	N/A	Where sidewalk is adjacent to vehicle way, slope may not exceed roadway slope.	11B-403.3 Exception
Path of Travel from Accessible Parking to subject building	Path of Travel from Accessible Parking to building entrance(s).	SITE- 3.01	Provided. See Curb Ramp 1 Checklist	Continuous path of travel from accessible parking	11B-206.2.1
	Path of Travel width	SITE- 3.02	60"	48" min.	11B-403.5.1 Exception 3
	Path of Travel width-exception	SITE- 3.03	N/A	Due to natural barriers or other obstructions, width may be reduced to 36"	11B-403.5.1 Exception 3
	Path of Travel Cross Slopes	SITE- 3.04	Compliant	1:48 slope max.	11B-403.3
	Path of Travel Running Slopes	SITE- 3.05	Compliant	1:20 slope max.	11B-403.3
	Path of Travel Running-Slope adjacent to street/highway	SITE- 3.06	N/A	Where sidewalk is adjacent to vehicle way, slope may not exceed roadway slope.	11B-403.3 Exception

SITE

Project: Gardena: Nakaoka Community Center					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant. Please see individual findings in report for specific details.					
Area:	SITE- General Accessibility				Code Cycle
Description:	General site information				2022
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Path of Travel from subject building and other facilities on site	Path of Travel width from subject building to other facilities on site	SITE- 4.01	Provided.	Continuous path of travel to other facilities on site (where occurs)	11B-206.2.1
	Path of Travel width	SITE- 4.02	60" wide to City Hall. 60" wide to Police Dept.	48" min.	11B-403.5.1 Exception 3
	Path of Travel width-exception	SITE- 4.03	N/A	Due to natural barriers or other obstructions, width may be reduced to 36"	11B-403.5.1 Exception 3
	Path of Travel Cross Slopes	SITE- 4.04	City Hall: 0.7% Police Dept: 0.3%	1:48 slope max.	11B-403.3
	Path of Travel Running Slopes	SITE- 4.05	City Hall: 0.3% Police Dept: 0.9%	1:20 slope max.	11B-403.3
	Path of Travel Running-Slope adjacent to street/highway	SITE- 4.06	N/A	Where sidewalk is adjacent to vehicle way, slope may not exceed roadway slope.	11B-403.3 Exception
On Site Parking	Total number of spaces	SITE- 5.01	20	Informational	---
	Total number of accessible spaces	SITE- 5.02	2	See Parking Spaces Table	Table 11B-208.2
	Total number of van accessible spaces	SITE- 5.03	1	1 for every 6 accessible spaces	11B-208.2.4

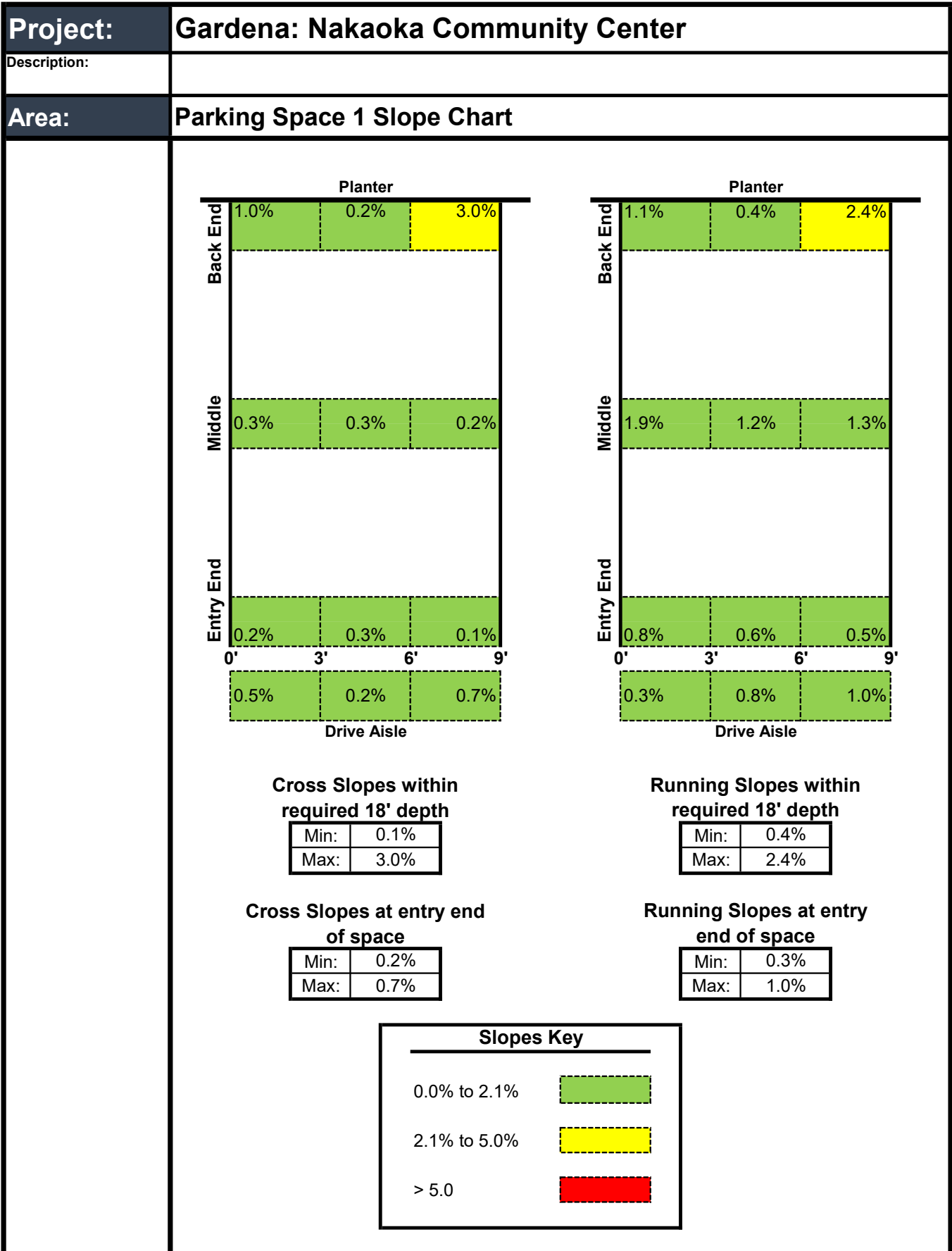
SITE

Project: Gardena: Nakaoka Community Center

Item Observations in **RED** were observed to be non-compliant. Items Observations in **PINK ITALICS** were observed to be partially compliant. Please see individual findings in report for specific details.

Area:		PK1- Parking Space 1				Code Cycle 2022
Description:		Parking space to the left of the access aisle.				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Accessible Space	Angled, Straight or Parallel	PK1- 1.01	Angled	Informational	N/A	
	Van or Standard accessible stall?	PK1- 1.02	Van	Informational	N/A	
	Parking space width	PK1- 1.03	9'-3"	9'-0" or 12'-0" at Van Accessible Space	11B-502.2	
	Parking space depth	PK1- 1.04	Left: 14'-11" Right: 23'-7"	18'-0"	11B-502.2	
	Side stripe color	PK1- 1.05	Both sides blue	Both sides blue	11B-502.3.3	
	Does parked car encroach into required adjacent 48" wide pedestrian route?	PK1- 1.06	No	Parked vehicles may not obstruct required width of adjacent accessible route	11B-502.7.2	
	Wheel stop or curb provided to prevent encroachment	PK1- 1.07	Wheelstop provided within parking space	Required if vehicle encroaches into pedestrian way.	11B-502.7.2	
	ISA symbol provided at bottom of stall	PK1- 1.08	Yes	Aligned with bottom end of space.	11B-502.6.4	
	ISA symbol width x height	PK1- 1.09	44" x 44"	36" x 36"	11B-502.6.4.1 11B-502.6.4.2	
	ISA symbol condition	PK1- 1.10	Good condition. Correct color.	Unfaded, no repainting required	Assumed, not specified in code	
	ISA symbol alignment within parking space	PK1- 1.11	59" 52" Compliant	Within 6" of centerline of space and sides parallel to space length	11B-502.6.4.2	
	70 Sq. In accessible signage provided at head of stall	PK1- 1.12	Correct Sign Provided	Reflectorized. White on blue background with ISA symbol	11B-502.6 11B-502.6.1	
	Required Fine Signage	PK1- 1.13	Sign Missing	Minimum Fine \$250	11B-502.6.2	
	Van Accessible signage provided	PK1- 1.14	Correct Sign Provided	Van Accessible signage required	11B-502.6	
	Is the stall signage located within the accessible route?	PK1- 1.15	In planter / landscape area	Informational	---	
	Stall signage height	PK1- 1.16	60" above pavement	80" if within accessible route. 60" if not within accessible route.	11B-502.6 11B-502.6 Exception	
	Paving surface condition	PK1- 1.17	Good	Smooth & undamaged	Assumed, not specified in code	
	Parking Space Cross Slope %	PK1- 1.18	Within space: 0.1% to 3.0% Entry end: 0.2% to 0.7% Pavement is heaving due to tree roots from adjacent planter. See Chart	1:48 max (2.1% max)	11B-502.4 Exception	
Parking Space Running Slope %	PK1- 1.19	Within space: 0.4% to 2.4% Entry end: 0.3% to 1.0% Pavement is heaving due to tree roots from adjacent planter. See Chart	1:48 max (2.1% max)	11B-502.4 Exception		

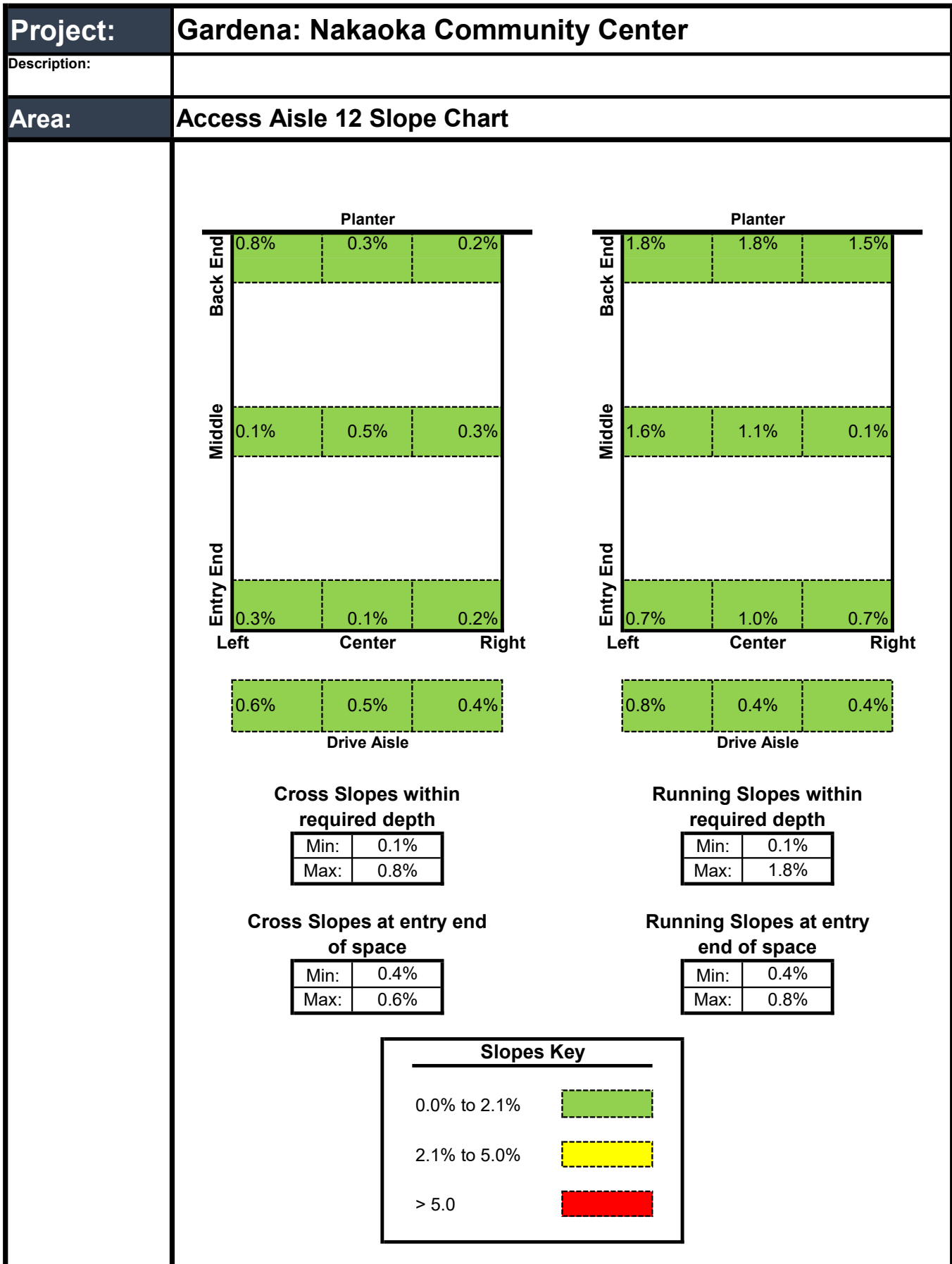
PARKING-1



Project: Gardena: Nakaoka Community Center

Item Observations in **RED** were observed to be non-compliant. Items Observations in **PINK ITALICS** were observed to be partially compliant. Please see individual findings in report for specific details.

Area:		AA12- Access Aisle				Code Cycle
Description:		Access aisle between the two accessible parking spaces				2022
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Access Aisle	Connected to accessible route	AA12- 1.01	Travel behind other vehicles required to get to accessible route	Must be connected to accessible route	11B-502.3	
	Parking space(s) served	AA12- 1.02	1 & 2	Informational	---	
	Access aisle location	AA12- 1.03	Between spaces	Either side of standard space. Right side of van accessible space	11B-502.3.4	
	Are occupants required to pass behind other parked vehicles?	AA12- 1.04	Yes	Not permitted	11B-502.7.1	
	Built-up ramp inside aisle?	AA12- 1.05	No	Not permitted	11B-502.4	
	Access aisle width	AA12- 1.06	7'-5"	Std Space: 60" Van Space: 96" Van Space: 60" if 12' wide parking space	11B-502.3.1	
	Access aisle depth	AA12- 1.07	Full depth for Space 1 Inadequate depth for Space 2	Full length of adjacent stall	11B-502.3.1	
	Paving condition	AA12- 1.08	Good	Stable, firm and slip-resistant	11B-302.1	
	Access aisle cross slope %	AA12- 1.09	Within aisle: 0.1% to 0.8% Entry end: 0.4% to 0.6%	1:48 max. (2.1%)	11B-502.4 Exception 1	
	Access aisle running slope %	AA12- 1.10	Within aisle: 0.1% to 1.8% Entry end: 0.4% to 0.8%	1:48 max. (2.1%)	11B-502.5 Exception 1	
	Access aisle border	AA12- 1.11	Good condition. Correct color.	4" wide blue border on all sides of access aisle	11B-503.3	
	Access aisle diagonal hatching spacing	AA12- 1.12	35" 35" 36" 35"	36" max o.c.	11B-502.3.3	
	"NO PARKING" at bottom of access aisle	AA12- 1.13	Good condition. Correct text.	12" high letters painted white	11B-502.3.3	
	"NO PARKING" paint condition	AA12- 1.14	Good condition. Correct text.	Text must be legible	11B-502.3.3	



Project: Gardena: Nakaoka Community Center

Item Observations in **RED** were observed to be non-compliant. Items Observations in **PINK ITALICS** were observed to be partially compliant. Please see individual findings in report for specific details.

Area:		PK2- Parking Space 2				Code Cycle 2022
Description:		Parking space to the right of the access aisle.				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Accessible Space	Angled, Straight or Parallel	PK2- 1.01	Angled	Informational	N/A	
	Van or Standard accessible stall?	PK2- 1.02	Standard	Informational	N/A	
	Parking space width	PK2- 1.03	10'-2"	9'-0" or 12'-0" at Van Accessible Space	11B-502.2	
	Parking space depth	PK2- 1.04	Left: 15'-1" Right: 23'-11"	18'-0"	11B-502.2	
	Side stripe color	PK2- 1.05	Both sides blue	Both sides blue	11B-502.3.3	
	Does parked car encroach into required adjacent 48" wide pedestrian route?	PK2- 1.06	No	Parked vehicles may not obstruct required width of adjacent accessible route	11B-502.7.2	
	Wheel stop or curb provided to prevent encroachment	PK2- 1.07	Wheelstop provided within parking space	Required if vehicle encroaches into pedestrian way.	11B-502.7.2	
	ISA symbol provided at bottom of stall	PK2- 1.08	Yes	Aligned with bottom end of space.	11B-502.6.4	
	ISA symbol width x height	PK2- 1.09	44" x 44"	36" x 36"	11B-502.6.4.1 11B-502.6.4.2	
	ISA symbol condition	PK2- 1.10	Good condition. Correct color.	Unfaded, no repainting required	Assumed, not specified in code	
	ISA symbol alignment within parking space	PK2- 1.11	63" 58" Compliant	Within 6" of centerline of space and sides parallel to space length	11B-502.6.4.2	
	70 Sq. In accessible signage provided at head of	PK2- 1.12	Correct Sign Provided	Reflectorized. White on blue background with ISA symbol	11B-502.6 11B-502.6.1	
	Required Fine Signage	PK2- 1.13	Sign Missing	Minimum Fine \$250	11B-502.6.2	
	Van Accessible signage provided	PK2- 1.14	Sign Not Required	Van Accessible signage required	11B-502.6	
	Is the stall signage located within the accessible route?	PK2- 1.15	In planter / landscape area	Informational	---	
	Stall signage height	PK2- 1.16	69" above pavement	80" if within accessible route. 60" if not within accessible route.	11B-502.6 11B-502.6 Exception	
	Paving surface condition	PK2- 1.17	Good	Smooth & undamaged	Assumed, not specified in code	
Parking Space Cross Slope %	PK2- 1.18	Within space: 0.1% to 1.4% Entry end: 0.1% to 0.6%	1:48 max (2.1% max)	11B-502.4 Exception		
Parking Space Running Slope %	PK2- 1.19	Within space: 0.4% to 1.8% Entry end: 0.5% to 1.4%	1:48 max (2.1% max)	11B-502.4 Exception		

PARKING-2



Project: Gardena: Nakaoka Community Center

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:		CR1- Flared Curb Ramp			Code Cycle
Description:		Curb ramp with flared sides adjacent to accessible parking.			2022
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Curb Ramp	Curb Ramp Type	CR1- 1.01	Standard Curb Ramp with flared sides	Informational	---
	Curb Ramp Width	CR1- 1.02	48"	48" wide minimum	11B-406.5.2
	Upper Landing Depth	CR1- 1.03	> 48"	48" deep minimum	11B-406.5.3
	Upper Landing Width	CR1- 1.04	Compliant	At least as wide as the ramp width	11B-406.5.3
	Upper Landing Slope	CR1- 1.05	Running: 2.9% Cross: 0.6%	1:48 max. (2.1%)	11B-406.5.3
	Ramp Running Slope	CR1- 1.06	8.1%	1:12 max. (8.33%)	11B-406.3.1
	Ramp Cross Slope	CR1- 1.07	0.9%	1:48 max. (2.1%)	11B-406.5.7
	Left flared side slope	CR1- 1.08	5.9%	1:10 max. (10.0%)	11B-406.2.2
	Right flared side slope	CR1- 1.09	6.8%	1:10 max. (10.0%)	11B-406.2.2
	Detectable warnings	CR1- 1.10	48" wide x 36" deep provided	Curb ramps shall have detectable warnings extending 36" in the direction of travel.	11B-406.5.12 11B-705.1.2.2
	Counter Slope	CR1- 1.11	5.1% slope at asphalt at bottom of ramp.	1:20 max. for first 24" from end of curb ramp	11B-406.5.8
	Grade Break at Bottom of Ramp	CR1- 1.12	Uneven surface at concrete to asphalt edge.	Perpendicular to direction of ramp at top/bottom. Surface slopes at grade breaks shall be flush.	11B-406.5.6

Project: Gardena: Nakaoka Community Center

Item Observations in **RED** were observed to be non-compliant. Items Observations in **PINK ITALICS** were observed to be partially compliant. Please see individual findings in report for specific details.

Area:		RA1- Ramp 1				Code Cycle 2022
Description:		Ramp leading from parking to main building entrance				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Lower Landing	Lower landing depth	RA1- 1.01	Unlimited	72" min.	11B-405.7.3.1	
	Lower landing width	RA1- 1.02	Unlimited	At least as wide as the ramp	11B-405.7.2	
	Lower landing surface slope	RA1- 1.03	Cross: 2.1% Running: 1.2%	1:48 slope in all directions	11B-405.7.1	
	Left handrail extension from bottom approach	RA1- 1.04	8"	12" level beyond bottom edge of ramp.	11B-505.10.3	
	Right handrail extension from bottom approach	RA1- 1.05	Handrail missing	12" level beyond bottom edge of ramp.	11B-505.10.3	
	Left handrail extension height	RA1- 1.06	32"	34" to 38" high. Level with floor	11B-505.4	
	Right handrail extension height	RA1- 1.07	Handrail missing	34" to 38" high. Level with floor	11B-505.4	
Ramp Run	Ramp width	RA1- 1.08	Concrete: 47.5" Post to conc edge: 44"	48" minimum	11B-405.5	
	Ramp slope	RA1- 1.09	Ranges between 5.3% and 5.8%	1:12 max (ramp) 1:20 max (sloped walk)	11B-405.2 11B-403.3	
	Cross slope	RA1- 1.10	Ranges between 0.1% and 2.1%	2% max.	11B-405.3	
	Handrail diameter or perimeter	RA1- 1.11	1.25" square rail. 5" perimeter	1.25" to 2" circular cross section or 4" to 6.25" perimeter at non-circular cross section and 2.25" max cross section	11B-505.7.1	
	Left handrail clearance and surface	RA1- 1.12	Unlimited	1.5" min. from adjacent surfaces. Free of sharp or abrasive elements.	11B-505.5 11B-505.8	
	Right handrail clearance and surface	RA1- 1.13	Handrail missing	1.5" min. from adjacent surfaces. Free of sharp or abrasive elements.	11B-505.5 11B-505.8	
	Left handrail height	RA1- 1.14	32"	34" to 38" high above stair nosing	11B-505.4	
	Right handrail height	RA1- 1.15	Handrail missing	34" to 38" high above stair nosing	11B-505.4	
	Left handrail wheel entrapment protection	RA1- 1.16	Not provided	2" high curb or continuous barrier to prevent 4" sphere from passing below.	11B-405.9.2	
	Right handrail wheel entrapment protection	RA1- 1.17	Handrail missing	2" high curb or continuous barrier to prevent 4" sphere from passing below.	11B-405.9.2	

RAMP-1

Project: Gardena: Nakaoka Community Center					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant. Please see individual findings in report for specific details.					
Area:	RA1- Ramp 1				Code Cycle 2022
Description:	Ramp leading from parking to main building entrance				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Upper Landing	Upper landing depth	RA1- 1.18	Unlimited	48" min.	11B-405.7.3.1
	Upper landing surface slope	RA1- 1.19	Cross: 0.7% Running: 0.9%	1:48 slope in all directions	11B-405.7.1
	Left handrail extension	RA1- 1.20	9"	12" min. level	11B-505.10.1
	Right handrail extension	RA1- 1.21	Handrail missing	12" min. level	11B-505.10.1
	Left handrail extension height	RA1- 1.22	32"	34" to 38" high	11B-505.4
	Right handrail extension height	RA1- 1.23	Handrail missing	34" to 38" high. Level with floor	11B-505.4

RAMP-1

Project: Gardena: Nakaoka Community Center

Item Observations in **RED** were observed to be non-compliant. Items Observations in **PINK ITALICS** were observed to be partially compliant. Please see individual findings in report for specific details.

Area:		ST1- Stair 1				Code Cycle 2022
Description:		Single short stair run at front of main entrance.				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Lower Landing	Landing depth	ST1- 1.01	Unlimited	48" min. Not less than width of stair	CBC Chapter 10 1011.6	
	<i>Landing Slopes</i>	<i>ST1- 1.02</i>	<i>Cross: 0.1% to 0.9% Running: 1.3% to 2.6%</i>	<i>1:48 slope in all directions</i>	<i>CBC Chapter 10 1011.6</i>	
	Left handrail extension length.	ST1- 1.03	Handrail missing	Tread length plus 12" minimum	11B-505.10.3	
	Right handrail extension length.	ST1- 1.04	Handrail missing	Tread length plus 12" minimum	11B-505.10.3	
	Left handrail extension height.	ST1- 1.05	Handrail missing	34" to 38" above bottom landing	11B-505.4	
	Right handrail extension height.	ST1- 1.06	Handrail missing	34" to 38" above bottom landing	11B-505.4	
Stair Run	Riser height	ST1- 2.01	3 @ 6"	Uniform riser height. 4" to 7" high	11B-504.2	
	Tread length	ST1- 2.02	2 @ 18"	Uniform tread length. 11" minimum	11B-504.2	
	Stair width	ST1- 2.03	42'-4"	Egress issue. Not an access issue	CBC Chapter 10 1009.3	
	Stair nosing	ST1- 2.04	Square with 3" high vertical face	1/2" maximum radius	11B-504.5	
	Contrasting stripe at bottom stair	ST1- 2.05	4" at stair edge	Full width. 2 to 4" wide. 1" max. from stair nosing	11B-504.4.1	
	Contrasting stripe at all treads (exterior conditions only)	ST1- 2.06	4" at stair edge	Full width. 2 to 4" wide. 1" max. from stair nosing	11B-504.4.1	
	Contrasting stripe at top landing	ST1- 2.07	4" at stair edge	Full width. 2 to 4" wide. 1" max. from stair nosing	11B-504.4.1	
	Handrail diameter or perimeter	ST1- 2.08	Handrail missing	1.25" to 2" circular cross section or 4" to 6.25" perimeter for non-circular handrails. 2.25" max cross section	11B-505.7.1	
	Left handrail clearance and surface	ST1- 2.09	Handrail missing	1.5" min. from adjacent surfaces. Free of abrasive elements	11B-505.5 11B-505.8	
	Right handrail clearance and surface	ST1- 2.10	Handrail missing	1.5" min. from adjacent surfaces. Free of abrasive elements	11B-505.5 11B-505.8	
	Left handrail height from stair nosing	ST1- 2.11	Handrail missing	34" to 38" high above stair nosing	11B-505.4	
	Right handrail height from stair nosing	ST1- 2.12	Handrail missing	34" to 38" high above stair nosing	11B-505.4	
	Left Guardrail protection	ST1- 2.13	Not required	42" high at drop offs 30" high or more.	CBC-1013.2 CBC-1013.3	
	Right Guardrail protection	ST1- 2.14	Not required	42" high at drop offs 30" high or more.	CBC-1013.2 CBC-1013.3	

STAIR-1

Project: Gardena: Nakaoka Community Center					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant. Please see individual findings in report for specific details.					
Area:	ST1- Stair 1				Code Cycle 2022
Description:	Single short stair run at front of main entrance.				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Upper Landing	Landing depth	ST1- 3.01	Unlimited	Not less than the width of the stair	CBC Chapter 1010.1.6
	Landing slopes	ST1- 3.02	Cross: 0.5% to 0.8% Running: 0.1% to 1.4%	1:48 slope in all directions	CBC Chapter 1010.1.6
	Left handrail extension length	ST1- 3.03	Handrail missing	12" beyond the top riser	11B-505.10.2
	Right handrail extension length	ST1- 3.04	Handrail missing	12" beyond the top riser	11B-505.10.2
	Left handrail extension height	ST1- 3.05	Handrail missing	34" to 38" above top landing	11B-505.4
	Right handrail extension height	ST1- 3.06	Handrail missing	34" to 38" above top landing	11B-505.4
Other Issues	Vertical Clearance under stairs	ST1- 4.01	N/A	80" high min. or 27" high barrier protecting area below min. clearance	11B-307.4
	Open Risers	ST1- 4.02	Compliant risers	Open stairs are not permitted. 1/2" openings permitted on exterior stairs.	11B-504.3

STAIR-1

Project: Gardena: Nakaoka Community Center						
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.						
Area:	DR1- Door 1					Code Cycle 2022
Description:	Main entry door					
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Entry Door	Door Swing Direction	DR1- 1.01	Sliding Door	Informational	---	
	Clear Door Width	DR1- 1.02	72"	32" clear	11B-404.3.1	
	Closer Provided	DR1- 1.03	Automatic operating door. No user assistance required	Informational	---	
	Pull Approach Direction (Exterior)	DR1- 1.04	Pull Side Exterior Front Approach	Informational	---	
	Pull Side Clearance from Latch	DR1- 1.05	N/A	24" min.	Table-11B-404.2.4.4	
	Pull Side Clearance from Hinge	DR1- 1.06	N/A	0"	Table-11B-404.2.4.4	
	Pull Front Approach Depth	DR1- 1.07	Unlimited	60" min.	Table 11B-404.2.4.1	
	Pull Side Landing Slopes	DR1- 1.08	Level	1:48 slope in all directions	11B-305.2	
	Push Approach Direction (Interior)	DR1- 1.09	Push Side Front Approach w/ closer and latch	Informational	---	
	Push Side Clearance from Latch	DR1- 1.10	N/A	12" min.	Table-11B-404.2.4.4	
	Push Side Clearance from Hinge	DR1- 1.11	N/A	0"	Table-11B-404.2.4.4	
	Push Front Approach Depth	DR1- 1.12	Unlimited	48" min.	Table 11B-404.2.4.1	
	Push Side Landing Slopes	DR1- 1.13	Level interior	1:48 slope in all directions	11B-305.2	
	Exterior hardware type	DR1- 1.14	N/A	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7	
	Exterior hardware height	DR1- 1.15	N/A	34" to 44"	11B-404.2.7	
	Interior hardware type	DR1- 1.16	N/A	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7	
	Interior hardware height	DR1- 1.17	N/A	34" to 44"	11B-404.2.7	
	Door Closer Speed Standard Closer	DR1- 1.18	N/A	Must open 90°- 5-second min. time from 90° to 12°	11B-404.2.8.1	
	Door Closer Speed Spring Closer	DR1- 1.19	N/A	Must open 90°- 1.5-second min from 70° to closed.	11B-404.2.8.2	
	Door Opening Force	DR1- 1.20	N/A	5 lbs. max.	11B-404.2.9	
	Smooth Bottom Panel (push conditions only)	DR1- 1.21	10"	10" min. at bottom of door.	11B-404.2.10	

DOOR-1

Project: Gardena: Nakaoka Community Center					
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.					
Area:	DR1- Door 1				Code Cycle 2022
Description:	Main entry door				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Door continued	Threshold	DR1- 1.22	Compliant	1/4" vertical + 1/4" bevel max.	11B-303.2 11B-404.2.5
	Floor mats	DR1- 1.23	Unsecured mats at both sides of door	Must be secured.	11B-302.2
	Secondary interior lock-height	DR1- 1.24	N/A	48" max. at front approach	41B-308.2.1
	Peephole / vision light height	DR1- 1.25	Full height glass.	43" max. to bottom of clear panel	11B-404.2.11

DOOR-1

Project: Gardena: Nakaoka Community Center

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:	DR2- Door 2				Code Cycle 2022
Description:	Parking lot entry door				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Door	Door Swing Direction	DR2- 1.01	Sliding Door	Informational	---
	Clear Door Width	DR2- 1.02	44"	32" clear	11B-404.3.1
	Closer Provided	DR2- 1.03	Automatic operating door. No user assistance required	Informational	---
	Pull Approach Direction (Exterior)	DR2- 1.04	Pull Side Exterior Front Approach	Informational	---
	Pull Side Clearance from Latch	DR2- 1.05	N/A	24" min.	Table-11B-404.2.4.4
	Pull Side Clearance from Hinge	DR2- 1.06	N/A	0"	Table-11B-404.2.4.4
	Pull Front Approach Depth	DR2- 1.07	Unlimited	60" min.	Table 11B-404.2.4.1
	Pull Side Landing Slopes	DR2- 1.08	Level	1:48 slope in all directions	11B-305.2
	Push Approach Direction (Interior)	DR2- 1.09	Push Side Front Approach w/ closer and latch	Informational	---
	Push Side Clearance from Latch	DR2- 1.10	N/A	12" min.	Table-11B-404.2.4.4
	Push Side Clearance from Hinge	DR2- 1.11	N/A	0"	Table-11B-404.2.4.4
	Push Front Approach Depth	DR2- 1.12	Unlimited	48" min.	Table 11B-404.2.4.1
	Push Side Landing Slopes	DR2- 1.13	Level interior	1:48 slope in all directions	11B-305.2
	Exterior hardware type	DR2- 1.14	N/A	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7
	Exterior hardware height	DR2- 1.15	N/A	34" to 44"	11B-404.2.7
	Interior hardware type	DR2- 1.16	N/A	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7
	Interior hardware height	DR2- 1.17	N/A	34" to 44"	11B-404.2.7
	Door Closer Speed Standard Closer	DR2- 1.18	N/A	Must open 90°- 5 second min. time from 90° to 12°	11B-404.2.8.1
	Door Closer Speed Spring Closer	DR2- 1.19	N/A	Must open 90°- 1.5 second min from 70° to closed.	11B-404.2.8.2
	Door Opening Force	DR2- 1.20	N/A	5 lbs. max.	11B-404.2.9
	Smooth Bottom Panel (push conditions only)	DR2- 1.21	10"	10" min. at bottom of door.	11B-404.2.10

DOOR-2

Project: Gardena: Nakaoka Community Center					
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.					
Area:	DR2- Door 2				Code Cycle 2022
Description:	Parking lot entry door				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Door continued	Threshold	DR2- 1.22	Compliant	1/4" vertical + 1/4" bevel max.	11B-303.2 11B-404.2.5
	Floor mats	DR2- 1.23	Unsecured mats at both sides of door	Must be secured.	11B-302.2
	Secondary interior lock-height	DR2- 1.24	N/A	48" max. at front approach	44B-308.2.1
	Peephole / vision light height	DR2- 1.25	Full height glass.	43" max. to bottom of clear panel	11B-404.2.11

DOOR-2

Project: Gardena: Nakaoka Community Center					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant. Please see individual findings in report for specific details.					
Area:	SERV1- Service Counter 1				Code Cycle 2022
Description:	Reception counter at lobby				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Counter Measurements	Are lowered counters provided for disabled	SERV1- 1.01	Yes	Required	---
	Front or Side Approach	SERV1- 1.02	Side approach	Required	---
	Counter Height	SERV1- 1.03	34"	34" max.	11B-904.4.1
	Counter Width	SERV1- 1.04	48"	36" min.	11B-904.4.1
	Counter Depth	SERV1- 1.05	15.5" Full depth	Must extend the same depth as the non-compliant counter	11B-904.4
	Knee & Toe Clearance at forward approach conditions	SERV1- 1.06	33" height 6.5" depth	Knee: 27" h x 11"d Toe: 9" h x 6" d beyond knee space	11B-904.2 11B-306
	Clear Floor Space	SERV1- 1.07	Provided	30" x 48"	11B-602.2
	Existing Conditions- alternative	SERV1- 1.08	N/A	N/A	N/A
	Counter Identification	SERV1- 1.08	Not provided. Recommended.	Where not all counters are accessible, 4"x4" ISA required at accessible counter	11B-904.3.4

SERVICE-1

Project: Gardena: Nakaoka Community Center

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:		ST2- Stair 2				Code Cycle Verify
Description:	Interior stair in lobby					
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Stair Landing 1.0	Landing depth	ST2- 10.01	Unlimited	Informational	CBC Chapter 10	
	Left handrail extension	ST2- 10.02	23.5"	Tread length +12" min.	11B-505.10.3	
	Right handrail extension	ST2- 10.03	23.5"	Tread length +12" min.	11B-505.10.3	
	Left handrail height	ST2- 10.04	35"	34" to 38" high. Level with floor	11B-505.4	
	Right handrail height	ST2- 10.05	35"	34" to 38" high. Level with floor	11B-505.4	
Stair Run 1.0	Risers / Treads	ST2- 10.06	Risers: 7" Treads: 11"	Equal risers: 4" to 7". Equal Treads: 11" min.	11B-504.2	
	Stair width	ST2- 10.07	45"	Coordinate with occupancy load	CBC 1009.3	
	Contrasting Stripe - Bottom	ST2- 10.08	Provided	Full width. 2" to 4" wide. 1" max from stair nose	11B-504.4.1	
	Contrasting Stripe - All treads at exterior	ST2- 10.09	N/A	Full width. 2" to 4" wide. 1" max from stair nose	11B-504.4.1	
	Contrasting Stripe - Top Landing	ST2- 10.10	Provided	Full width. 2" to 4" wide. 1" max from stair nose	11B-504.4.1	
	Handrail Diameter	ST2- 10.11	Not a compliant handrail	1.25" to 2" dia. or 4" to 6.25" perimeter at non-circular rail w/ max cross section of 2.25"	11B-505.7.1	
	Left Handrail clearance and surface	ST2- 10.12	Unlimited	1.5" min from adjacent smooth surface	11B-505.5 11B-505.8	
	Right Handrail clearance and surface	ST2- 10.13	Unlimited	1.5" min from adjacent smooth surface	11B-505.5 11B-505.8	
	Left handrail height from stair nosing	ST2- 10.14	34"	34" to 38" above stair nosing	11B-505.4	
	Right handrail height from stair nosing	ST2- 10.15	34"	34" to 38" above stair nosing	11B-505.4	
	Left Guardrail protection	ST2- 10.16	None provided	42" high at drop offs 30" high or more. 4" max. sphere opening	CBC-1013.2 CBC-1013.3	
	Right Guardrail protection	ST2- 10.17	None provided	42" high at drop offs 30" high or more. 4" max. sphere opening	CBC-1013.2 CBC-1013.3	

STAIR-2

Project: Gardena: Nakaoka Community Center

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:	ST2- Stair 2	Code Cycle Verify
Description:	Interior stair in lobby	

MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Stair Landing 1.1	Left Handrail extension from Stair Run 1.0	ST2- 11.01	Wraps around to next stair run	12" beyond the top riser or wrap to next stair run	CBC 1014.6
	Right Handrail extension from Stair Run 1.0	ST2- 11.02	Wraps around landing	12" beyond top riser or wrap to Stair Run 1.5	CBC 1014.6
	Left landing handrail height from Stair Run 1.0	ST2- 11.03	33.5"	34" to 38" high	11B-505.4
	Right landing handrail height from Stair Run 1.0	ST2- 11.04	33.5"	34" to 38" high	11B-505.4
	Landing depth from Stair Run 1.0	ST2- 11.05	52.5"	Informational	CBC Chapter 10
	Landing depth to Stair Run 1.5	ST2- 11.06	52.5"	Informational	CBC Chapter 10
	Left handrail extension from Stair Run 1.5	ST2- 11.07	Wraps around stair run	12" + tread length at bottom of stair run or wrap from adjacent stair run.	
	Right Handrail extension from Stair Run 1.5	ST2- 11.08	Not a compliant handrail	12" + tread length at bottom of stair run or wrap from adjacent stair run.	
	Left landing handrail height at Stair Run 1.5	ST2- 11.09	33.5"	34" to 38" high	11B-505.4
	Right landing handrail height from Stair Run 1.5	ST2- 11.10	42"	34" to 38" high	11B-505.4
Stair Run 1.2	Risers / Treads	ST2- 12.01	Risers: 7" Treads: 11"	Equal risers: 4" to 7". Equal treads: 11" min.	11B-504.2
	Stair width	ST2- 12.02	44"	Coordinate with occupancy load	CBC 1009.4
	Contrasting Stripe - Bottom	ST2- 12.03	N/A Single riser	Full width. 2" to 4" wide. 1" max from stair nose	11B-504.4.1
	Contrasting Stripe - All treads at exterior	ST2- 12.04	N/A	Full width. 2" to 4" wide. 1" max from stair nose	11B-504.4.1
	Contrasting Stripe - Top Landing	ST2- 12.05	Provided	Full width. 2" to 4" wide. 1" max from stair nose	11B-504.4.1
	Handrail Diameter	ST2- 12.06	Not a compliant handrail	1.25" to 2" dia. or 4" to 6.25" perimeter at non-circular rail w/ max cross section of 2.25"	11B-505.7.1
	Left Handrail clearance and surface	ST2- 12.07	Compliant	1.5" min. from adjacent smooth surfaces	11B-505.5 11B-505.8
	Right Handrail clearance and surface	ST2- 12.08	Not a compliant handrail	1.5" min. from adjacent smooth surfaces	11B-505.5 11B-505.8
	Left handrail height from stair nosing	ST2- 12.09	32"	34" to 38" high above stair nosing	11B-505.4
	Right handrail height from stair nosing	ST2- 12.10	Not a compliant handrail	34" to 38" high above stair nosing	11B-505.4
	Left Guardrail protection	ST2- 12.11	N/A	42" high at drop offs 30" high or more. 4" max. sphere opening	CBC-1013.2 CBC-1013.3
	Right Guardrail protection	ST2- 12.12	N/A	42" high at drop offs 30" high or more. 4" max. sphere opening	CBC-1013.2 CBC-1013.3

STAIR-2

Project: Gardena: Nakaoka Community Center					
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.					
Area:	ST2- Stair 2				Code Cycle Verify
Description:	Interior stair in lobby				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Landing 1.3	Left Handrail extension from Stair Run 1.5	ST2- 13.01	Wraps to next stair run	12" beyond the top riser or wrap to next stair run	CBC 1014.6
	Right Handrail extension from Stair Run 1.5	ST2- 13.02	Not a continuous handrail	12" beyond top riser or wrap to Stair Run 1.5	CBC 1014.6
	Left landing handrail height from Stair Run 1.5	ST2- 13.03	33.5"	34" to 38" high	11B-505.4
	Right landing handrail height from Stair Run 1.5	ST2- 13.04	42"	34" to 38" high	11B-505.4
	Landing depth from Stair Run 1.5	ST2- 13.05	52"	Informational	CBC Chapter 10
	Landing depth to Stair Run 2.0	ST2- 13.06	62"	Informational	CBC Chapter 10
	Left handrail extension from Stair Run 2.0	ST2- 13.07	Wraps to lower stair run	12" + tread length at bottom of stair run or continuous wrap from adjacent stair run.	
	Right Handrail extension from Stair Run 2.0	ST2- 13.08	Continues full depth of landing	12" + tread length at bottom of stair run or continuous wrap from adjacent stair run.	
	Left landing handrail height at Stair Run 2.0	ST2- 13.09	33.5"	34" to 38" high	11B-505.4
	Right landing handrail height from Stair Run 2.0	ST2- 13.10	42"	34" to 38" high	11B-505.4

STAIR-2

Project: Gardena: Nakaoka Community Center

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:	ST2- Stair 2	Code Cycle Verify
Description:	Interior stair in lobby	

MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Stair Run 1.4	Risers / Treads	ST2- 14.01	Risers: 7" Treads: 11"	Equal risers: 4" to 7". Equal treads: 11" min.	11B-504.2
	Stair width	ST2- 14.02	44"	Coordinate with occupancy load	CBC 1009.3
	Contrasting Stripe - Bottom	ST2- 14.03	Missing	Full width. 2" to 4" wide. 1" max from stair nose	11B-504.4.1
	Contrasting Stripe - All treads at exterior	ST2- 14.04	N/A	Full width. 2" to 4" wide. 1" max from stair nose	11B-504.4.1
	Contrasting Stripe - Top Landing	ST2- 14.05	Provided	Full width. 2" to 4" wide. 1" max from stair nose	11B-504.4.1
	Handrail Diameter	ST2- 14.06	Not a compliant handrail	1.25" to 2" dia. or 4" to 6.25" perimeter at non-circular rail w/ max cross section of 2.25"	11B-505.7.1
	Left Handrail clearance and surface (from bottom approach)	ST2- 14.07	Unlimited	1.5" min. from adjacent surfaces. Free of sharp or abrasive elements.	11B-505.5 11B-505.8
	Right Handrail clearance and surface (from bottom approach)	ST2- 14.08	Unlimited	1.5" min. from adjacent surfaces. Free of sharp or abrasive elements.	11B-505.5 11B-505.8
	Left handrail ht. from stair nosing	ST2- 14.09	34"	34" to 38" high above nosing	11B-505.4
	Right handrail ht. from stair nosing	ST2- 14.10	34"	34" to 38" high above nosing	11B-505.4
	Left Guardrail protection	ST2- 14.11	Not provided	42" at drop offs ≥30" high. 4" max. sphere openings in guard	CBC-1013.2 CBC-1013.3
	Right Guardrail protection	ST2- 14.12	Not provided	42" at drop offs ≥30" high. 4" max. sphere openings in guard	CBC-1013.2 CBC-1013.3
	Landing 2.0	Landing depth	ST2- 20.01	> 60"	Informational
Left handrail extension		ST2- 20.02	29"	12" beyond the top riser	CBC 1014.6
Right handrail extension		ST2- 20.03	29"	12" beyond the top riser	CBC 1014.6
Left handrail height		ST2- 20.04	42"	34" to 38" high	11B-505.4
Right handrail height		ST2- 20.05	41.5"	34" to 38" high	11B-505.4

STAIR-2

Project: Gardena: Nakaoka Community Center

Item Observations in **RED** were observed to be non-compliant. Items Observations in **PINK ITALICS** were observed to be partially compliant. Please see individual findings in report for specific details.

Area:		ST3- Stair 3				Code Cycle 2022
Description:		Stairway near first floor restrooms				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Lower Landing	Landing depth	ST3- 1.01	Unlimited	48" min. Not less than width of stair	CBC Chapter 10 1011.6	
	Landing Slopes	ST3- 1.02	Level	1:48 slope in all directions	CBC Chapter 10 1011.6	
	Left handrail extension length.	ST3- 1.03	12"	Tread length plus 12" minimum	11B-505.10.3	
	Right handrail extension length.	ST3- 1.04	0"	Tread length plus 12" minimum	11B-505.10.3	
	Left handrail extension height.	ST3- 1.05	38.5"	34" to 38" above bottom landing	11B-505.4	
	Right handrail extension height.	ST3- 1.06	No handrail extension	34" to 38" above bottom landing	11B-505.4	
Stair Run 1	Riser height	ST3- 1.07	5.5"	Uniform riser height. 4" to 7" high	11B-504.2	
	Tread length	ST3- 1.08	11.5"	Uniform tread length. 11" minimum	11B-504.2	
	Stair width	ST3- 1.09	41.5"	Egress issue. Not an access issue	CBC Chapter 10 1009.3	
	Contrasting stripe - Bottom tread	ST3- 1.10	Provided	Full width. 2 to 4" wide. 1" max. from stair nosing	11B-504.4.1	
	Contrasting Stripe - All treads at exterior	ST3- 1.11	N/A	Full width. 2 to 4" wide. 1" max. from stair nosing	11B-504.4.1	
	Contrasting stripe - top landing	ST3- 1.12	Provided	Full width. 2 to 4" wide. 1" max. from stair nosing	11B-504.4.1	
	Handrail diameter or perimeter	ST3- 1.13	Not a compliant handrail	1.25" to 2" circular cross section or 4" to 6.25" perimeter for non-circular handrails. 2.25" max cross section	11B-505.7.1	
	Left handrail clearance and surface	ST3- 1.14	Unlimited	1.5" min. from adjacent surfaces. Free of abrasive elements	11B-505.5 11B-505.8	
	Right handrail clearance and surface	ST3- 1.15	Unlimited	1.5" min. from adjacent surfaces. Free of abrasive elements	11B-505.5 11B-505.8	
	Left handrail height from stair nosing	ST3- 1.16	34.5"	34" to 38" high above stair nosing	11B-505.4	
	Right handrail height from stair nosing	ST3- 1.17	34"	34" to 38" high above stair nosing	11B-505.4	
	Left Guardrail protection	ST3- 1.18	None provided	42" high at drop offs 30" high or more. 4" max. sphere opening	CBC-1013.2 CBC-1013.3	
	Right Guardrail protection	ST3- 1.19	None provided	42" high at drop offs 30" high or more. 4" max. sphere opening	CBC-1013.2 CBC-1013.3	

STAIR-3

Project: Gardena: Nakaoka Community Center					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant. Please see individual findings in report for specific details.					
Area:	ST3- Stair 3				Code Cycle 2022
Description:	Stairway near first floor restrooms				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Intermediate Landing	Landing width	ST3- 2.01	96"	Informational	---
	Landing depth	ST3- 2.02	49.5"	Informational	---
	Left Handrail extension from lower stair run to Intermediate Landing 1	ST3- 2.03	Wraps to next stair run	Where handrails are not continuous between flights, the handrails shall extend horizontally not less than 12" beyond the top riser and continue to slope for the depth of one tread beyond the bottom riser.	CBC 1014.6
	Right Handrail extension from lower stair run to Intermediate Landing 1	ST3- 2.04	Continues full length of landing	Where handrails are not continuous between flights, the handrails shall extend horizontally not less than 12" beyond the top riser and continue to slope for the depth of one tread beyond the bottom riser.	CBC 1014.6
	Lower Run Left Handrail height at landing	ST3- 2.05	35.5"	34" to 38" high	11B-505.4
	Lower Run Right Handrail height at landing	ST3- 2.06	42"	34" to 38" high	11B-505.4
	Left Handrail extension from upper stair run to Intermediate Landing 1	ST3- 2.07	Wraps to lower stair run	Where handrails are not continuous between flights, the handrails shall extend horizontally not less than 12" beyond the top riser and continue to slope for the depth of one tread beyond the bottom riser.	
	Right Handrail extension from upper stair run to Intermediate Landing 1	ST3- 2.08	18"	Where handrails are not continuous between flights, the handrails shall extend horizontally not less than 12" beyond the top riser and continue to slope for the depth of one tread beyond the bottom riser.	
	Upper Run Left Handrail height at Intermediate Landing	ST3- 2.09	35.5"	34" to 38" high	11B-505.4
	Upper Run Right Handrail height at Intermediate Landing	ST3- 2.10	36"	34" to 38" high	11B-505.4

STAIR-3

Project: Gardena: Nakaoka Community Center					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant. Please see individual findings in report for specific details.					
Area:	ST3- Stair 3				Code Cycle 2022
Description:	Stairway near first floor restrooms				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Stair Run 2	Risers / Treads	ST3- 3.01	Risers: 5.5" Treads: 11.5"	Uniform Riser height/tread depth Risers: 4" to 7" high Treads: 11" deep min.	11B-504.2
	Stair width	ST3- 3.02	44"	44" min. 36" at occupancy < 50 Egress issue, not access issue	CBC 1009.4
	Contrasting Stripe - Bottom tread	ST3- 3.03	Not a continuous solid stripe	Full width. 2" to 4" wide. 1" max from stair nose	11B-504.4.1
	Contrasting Stripe - All treads at exterior	ST3- 3.04	N/A	Full width. 2" to 4" wide. 1" max from stair nose	11B-504.4.1
	Contrasting Stripe - top landing	ST3- 3.05	Not a continuous solid stripe	Full width. 2" to 4" wide. 1" max from stair nose	11B-504.4.1
	Handrail Diameter	ST3- 3.06	Not a compliant handrail	1.25" to 2" circular cross section or 4" to 6.25" perimeter at non-circular cross section and max cross section of 2.25"	11B-505.7.1
	Left Handrail clearance and surface (from bottom approach)	ST3- 3.07	Unlimited	1.5" min. from adjacent surfaces	11B-505.5 11B-505.8
	Right Handrail clearance and surface (from bottom approach)	ST3- 3.08	2"	1.5" min. from adjacent surfaces	11B-505.5 11B-505.8
	Left handrail Height (from top of stair nosing)	ST3- 3.09	34"	34" to 38" high above stair nosing	11B-505.4
	Right Handrail Height (from top of stair nosing)	ST3- 3.10	34"	34" to 38" high above stair nosing	11B-505.4
	Left Guardrail protection	ST3- 3.11	None provided	42" high at drop offs 30" high or more. 4" max. sphere opening	CBC-1013.2 CBC-1013.3
	Right Guardrail protection	ST3- 3.12	Not required at wall condition.	42" high at drop offs 30" high or more. 4" max. sphere opening	CBC-1013.2 CBC-1013.3

STAIR-3

Project: Gardena: Nakaoka Community Center					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant. Please see individual findings in report for specific details.					
Area:	ST3- Stair 3				Code Cycle 2022
Description:	Stairway near first floor restrooms				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Upper Landing	Landing Depth	ST3- 4.01	Unlimited	Informational	---
	Left Handrail extension from upper stair run to Upper Landing	ST3- 4.02	6" Not level with floor surface	12" beyond the top riser	CBC 1014.6
	Right Handrail extension from upper stair run to Upper Landing	ST3- 4.03	19"	12" beyond the top riser	CBC 1014.6
	Upper Run Left Handrail height at Upper Landing	ST3- 4.04	Not measurable	34" to 38" high	11B-505.4
	Upper Run Right Handrail height at landing	ST3- 4.05	37"	34" to 38" high	11B-505.4
Other Issues	<i>Vertical Clearance under stairs</i>	<i>ST3- 5.01</i>	<i>Middle landing could create non-compliant condition. May not be in path of travel.</i>	<i>80" high min. or 27" high barrier protecting area below min. clearance</i>	<i>11B-307.4</i>
	Open Risers	ST3- 5.02	N/A	Open stairs are not permitted. 1/2" openings permitted on exterior stairs.	11B-504.3

STAIR-3

Project: Gardena: Nakaoka Community Center

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:		RR1- Men's Restroom				Code Cycle 2022
Description:	First floor men's restroom					
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Entry Door	Door Swing Direction	RR1- 1.01	Single Inswinging Interior Door	Informational	---	
	Clear Door Width	RR1- 1.02	33"	32" clear	11B-404.3.1	
	Closer Provided	RR1- 1.03	Standard Closer	Informational	---	
	Pull Approach Direction	RR1- 1.04	Pull Side Interior Front Approach	Informational	---	
	Pull Side Clearance from Latch	RR1- 1.05	Unlimited	18" min.	Table 11B-404.2.4.1	
	Pull Side Clearance from Hinge	RR1- 1.06	N/A	0"	Table 44B-404.2.4.4	
	Exterior Front Approach Depth	RR1- 1.07	Unlimited	60" min.	Table 11B-404.2.4.1	
	Exterior Landing Slopes	RR1- 1.08	Level interior	1:48 slope in all directions	11B-305.2	
	Interior Approach Direction	RR1- 1.09	Push Side Front Approach	Informational	---	
	Push Side Clearance from Latch	RR1- 1.10	16.5"	0"	Table 11B-404.2.4.1	
	Push Side Clearance from Hinge	RR1- 1.11	N/A	0"	Table 44B-404.2.4.4	
	Push Front Approach Depth	RR1- 1.12	> 48"	48" min.	Table 11B-404.2.4.1	
	Push Side Landing Slopes	RR1- 1.13	Level interior	1:48 slope in all directions	11B-305.2	
	Exterior hardware type	RR1- 1.14	D Handle	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7	
	Exterior hardware height	RR1- 1.15	41" to 53"	34" to 44"	11B-404.2.7	
	Interior hardware type	RR1- 1.16	D Handle	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7	
	Interior hardware height	RR1- 1.17	35" to 49"	34" to 44"	11B-404.2.7	
	Door Closer Speed Standard Closer	RR1- 1.18	3.35 seconds	Must open 90°. 5 second min. time from 90° to 12°	11B-404.2.8.1	
	Door Closer Speed Spring Closer		N/A	Must open 90°. 1.5 second min from 70° to closed.	44B-404.2.8.2	
	Door Opening Force	RR1- 1.19	12 lbs	5 lbs. max.	11B-404.2.9	
Smooth Bottom Panel (push conditions only)	RR1- 1.20	Solid door	10" min. at bottom of door.	11B-404.2.10		

RR1-MEN

Project: Gardena: Nakaoka Community Center

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:	RR1- Men's Restroom	Code Cycle 2022
Description:	First floor men's restroom	

MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Signage	Wall sign provided	RR1- 2.01	Missing	Provide at entry to restrooms	11B-216.2
	Characters	RR1- 2.02	Missing	Tactile and Braille panel below pictogram	11B-703.6.1
	Pictogram	RR1- 2.03	Missing	6" high pictogram field	11B-703.6.1
	Latch Sign Height	RR1- 2.04	Missing	48" to bottom of Braille, 60" to bottom of tactile	11B-703.4.1
	Latch Sign Offset from door	RR1- 2.05	Missing	Centerline at 9" min. offset from door on pull side	11B-703.4.2
	Geometric Door Sign provided	RR1- 2.06	Provided	Geometric signage shall be provided at toilet room entrances.	11B-216.8.1
	Geometric Door Signage configuration	RR1- 2.07	Compliant	12" Equilateral triangle, color shall contrast with door color	11B-703.7.2.6.3
	Geometric Door Signage Height	RR1- 2.08	60.75"	58" to 60"	11B-703.7.2.6
	Geometric Door Signage Horiz. Location	RR1- 2.09	Centered on door	Within 1" of door centerline	11B-703.7.2.6
Accessible Lavatory	Sink Height	RR1- 3.01	33"	34" max. to top of rim	11B-606.3
	Under sink vertical clearances	RR1- 3.02	Front: 27" 8" inboard; 26"	29" min. at front, 27" min. at 8" inboard	11B-306.3.1
	P Trap Clearance	RR1- 3.03	Slight encroachment	P trap under sink may not encroach into clear space.	11B-306.3.1
	Clear floor space at sink	RR1- 3.04	Compliant	30" wide x 48" deep	11B-602.2
	Max Knee Clearance	RR1- 3.05	Compliant	Extend 25" deep x 9" above floor	11B-306.3.2
	Toe Clearance Depth	RR1- 3.06	Compliant	17" min. under element.	11B-306.2.3
	Offset from side wall	RR1- 3.07	End sink is 16" from side wall. Other sinks are compliant	18" min. from side wall	11B-606.6
	Faucet Controls	RR1- 3.08	Single lever	Lever or automatic	11B-606.4
	Wrapped pipes	RR1- 3.09	Missing	All pipes under lavs shall be insulated.	11B-606.5
	Mirror max. height	RR1- 3.10	40"	40" max to bottom of reflective surface	11B-603.5
	Soap dispenser height	RR1- 3.11	46"	40" max. to operable parts	11B-603.5
	Paper towel dispenser or automatic hand dryer height	RR1- 3.12	48" to 49"	40" high to operable parts or sensor	11B-603.5

RR1-MEN

Project: Gardena: Nakaoka Community Center

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:		RR1- Men's Restroom				Code Cycle 2022
Description:		First floor men's restroom				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Accessible Water Closet Compartment	Compartment door width	RR1- 4.01	35"	34" min. at side entry	11B-604.8.1.2	
	Compartment door handle types	RR1- 4.02	D handle	Door pull on both sides of door	11B-604.8.1.2	
	Door handle height (interior)	RR1- 4.03	Missing	34" to 44"	11B-404.2.7	
	Door handle height (exterior)	RR1- 4.04	35" to 38"	34" to 44"	11B-404.2.7	
	Compartment door self-closer	RR1- 4.05	Not functional	Self closer required	11B-604.8.1.2	
	Compartment door latch type & height	RR1- 4.06	Twist type lock at 40"	Operable with no tight grasping, pinching, twisting of wrist. 48" high max.	11B-404.2.7	
	Compartment width	RR1- 4.07	70"	60" min. with 12" vertical clearance on one side. 66" min. with full height walls.	11B-604.3	
	Compartment depth	RR1- 4.08	96"	56" min. (wall hung) 59" min. (floor mount)	11B-604.8.1.1	
Accessible Water Closet	Clearance in front of WC	RR1- 5.01	72"	48" min.	11B-604.8.1.1.2	
	WC offset from side wall	RR1- 5.02	18.5"	17" to 18"	11B-604.2	
	WC seat height	RR1- 5.03	17.5"	17" to 19"	11B-604.4	
	WC controls side	RR1- 5.04	Wide side	On wide side or automatic	11B-604.6	
	Side grab bar length	RR1- 5.05	48"	42" min.	11B-604.5.1	
	Side grab bar height	RR1- 5.06	33"	33" to 36"	11B-609.4	
	Side grab bar diameter	RR1- 5.07	1.5"	1.25" to 2"	11B-609.2.1	
	Side grab bar offset from rear wall	RR1- 5.08	6"	12" max.	11B-604.5.1	
	Side grab bar extent from rear wall	RR1- 5.09	54"	54" min.	11B-604.5.1	
	Side grab bar clearance to accessories	RR1- 5.10	Toilet paper dispenser located above bar. Not compliant	1 1/2" min. below grab bar 12" min. above grab bar	11B-609.3	

RR1-MEN

Project: Gardena: Nakaoka Community Center					
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.					
Area:	RR1- Men's Restroom				Code Cycle
Description:	First floor men's restroom				2022
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Accessible Water Closet (Continued)	Rear grab bar length	RR1- 5.11	36"	36" min.	11B-604.5.2
	Rear grab bar height	RR1- 5.12	33"	33" to 36"	11B-609.4
	Rear grab bar diameter	RR1- 5.13	1.5"	1.25" to 2"	11B-609.2.1
	Rear grab bar centerline offsets	RR1- 5.14	22" 14"	12" min. from CL of WC to end on wall side. 24" min. from CL of WC to end on wide side.	11B-604.5.2
	Toilet paper dispenser model type	RR1- 5.15	Compliant	Operable with no tight grasping, pinching, twisting of wrist	11B-309.4
	Toilet paper dispenser height	RR1- 5.16	Not compliant location	19" min.	11B-604.7.1
	Toilet paper dispenser offset from WC front	RR1- 5.17	Not measured	Centerline at 7" to 9" in front of WC	11B-604.7.1
	Seat cover dispenser model type	RR1- 5.18	Compliant	Operable with no tight grasping, pinching, twisting of wrist	11B-404.2.7
	Seat cover dispenser height	RR1- 5.19	26"	40" max. to operable part	11B-603.5
Other findings	RR1- 5.20	N/A	Compartment entry clearances	0	
Accessible Urinal	Urinal Provided	RR1- 6.01	Provided	Informational	-
	Urinal partition depth	RR1- 6.02	18"	Informational	-
	Urinal clearance width	RR1- 6.03	33.5"	30" wide @ 24" max partition 36" wide @ 24" min partition	11B-605.3 11B-305
	Urinal rim height	RR1- 6.04	21.5"	17" max.	11B-605.2
	Urinal depth	RR1- 6.05	14"	13.5" min.	11B-605.2
	Urinal controls height	RR1- 6.06	Waterless urinal	44" max.	11B-605.4

RR1-MEN

Project: Gardena: Nakaoka Community Center

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:		RR1- Men's Restroom			Code Cycle
Description:		First floor men's restroom			2022
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Baby Changing Station	Location	RR1- 7.01	Compliant location	Cannot be in path of travel or in accessible toilet compartment	11B-309
	Pull down device height	RR1- 7.02	52" to top 48" to side	48" max.	11B-309
	Height when in use	RR1- 7.03	32.5"	34" max	11B-309
	Underside clearance	RR1- 7.04	29.5"	27" min. at front access conditions	
	Clearance at path of travel	RR1- 7.05	Compliant	When deployed, baby changing station may not block path of travel.	11B-226.4
	Operable parts	RR1- 7.06	Compliant	Operable with no tight grasping, pinching, twisting of wrist	11B-309.4
Miscellaneous Features	Coat hook height	RR1- 8.01	None provided	48" max.	11B-603.4
	Trash can height	RR1- 8.02	Freestanding within room	40" max.	11B-603.5
	Light switch height	RR1- 8.03	38"	48" max. to top of box. 54" max under previous code cycle.	11B-308.1.2
	Electrical outlet height	RR1- 8.04	N/A	48" max. to top of box. 54" max under previous code cycle.	11B-308.1.2
	Other findings	RR1- 8.05	N/A		

RR1-MEN

Project: Gardena: Nakaoka Community Center

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:	RR2- Women's Restroom	Code Cycle 2022
Description:	First floor women's restroom	

MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Door	Door Swing Direction	RR2- 1.01	Single Inswinging Interior Door	Informational	---
	Clear Door Width	RR2- 1.02	33"	32" clear	11B-404.3.1
	Closer Provided	RR2- 1.03	Standard Closer	Informational	---
	Pull Approach Direction	RR2- 1.04	Pull Side Interior Front Approach	Informational	---
	Pull Side Clearance from Latch	RR2- 1.05	Unlimited	18" min.	Table 11B-404.2.4.1
	Pull Side Clearance from Hinge	RR2- 1.06	N/A	0"	Table 11B-404.2.4.1
	Exterior Front Approach Depth	RR2- 1.07	Unlimited	60" min.	Table 11B-404.2.4.1
	Exterior Landing Slopes	RR2- 1.08	Level interior	1:48 slope in all directions	11B-305.2
	Interior Approach Direction	RR2- 1.09	Push Side Front Approach	Informational	---
	Push Side Clearance from Latch	RR2- 1.10	17"	0"	Table 11B-404.2.4.1
	Push Side Clearance from Hinge	RR2- 1.11	N/A	0"	Table 11B-404.2.4.1
	Push Front Approach Depth	RR2- 1.12	Unlimited	48" min.	Table 11B-404.2.4.1
	Push Side Landing Slopes	RR2- 1.13	Level interior	1:48 slope in all directions	11B-305.2
	Exterior hardware type	RR2- 1.14	D Handle	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7
	Exterior hardware height	RR2- 1.15	41" to 53"	34" to 44"	11B-404.2.7
	Interior hardware type	RR2- 1.16	D Handle	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7
	Interior hardware height	RR2- 1.17	35" to 49"	34" to 44"	11B-404.2.7
	Door Closer Speed Standard Closer	RR2- 1.18	3.06 seconds	Must open 90°. 5 second min. time from 90°	11B-404.2.8.1
	Door Closer Speed Spring Closer		N/A	Must open 90°. 1.5 second min from 70° to closed.	11B-404.2.8.2
	Door Opening Force	RR2- 1.19	10 lbs	5 lbs. max.	11B-404.2.9
Smooth Bottom Panel (push conditions only)	RR2- 1.20	Solid door	10" min. at bottom of door.	11B-404.2.10	

RR2-WOMEN

Project: Gardena: Nakaoka Community Center

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:		RR2- Women's Restroom			Code Cycle
Description:		First floor women's restroom			2022
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Signage	Wall sign provided	RR2- 2.01	Missing	Provide at entry to restrooms	11B-216.2
	Characters	RR2- 2.02	Missing	Tactile and Braille panel below pictogram	11B-703.6.1
	Pictogram	RR2- 2.03	Missing	6" high pictogram field	11B-703.6.1
	Latch Sign Height	RR2- 2.04	Missing	48" to bottom of Braille, 60" to bottom of tactile	11B-703.4.1
	Latch Sign Offset from door	RR2- 2.05	Missing	Centerline at 9" min. offset from door on pull side	11B-703.4.2
	Geometric Door Sign provided	RR2- 2.06	Provided	Geometric signage shall be provided at toilet room entrances.	11B-216.8.1
	Geometric Door Signage configuration	RR2- 2.07	Compliant	12" Equilateral triangle, color shall contrast with door color	11B-703.7.2.6.3
	Geometric Door Signage Height	RR2- 2.08	60"	58" to 60"	11B-703.7.2.6
	Geometric Door Signage Horiz. Location	RR2- 2.09	17.5" 18.5"	Within 1" of door centerline	11B-703.7.2.6
Accessible Lavatory	Sink Height	RR2- 3.01	33.5"	34" max. to top of rim	11B-606.3
	Under sink vertical clearances	RR2- 3.02	Front: 31" 8" inboard: 29"	29" min. at front, 27" min. at 8" inboard	11B-306.3.1
	P Trap Clearance	RR2- 3.03	Slight encroachment	P trap under sink may not encroach into clear space.	11B-306.3.1
	Clear floor space at sink	RR2- 3.04	Compliant	30" wide x 48" deep	11B-602.2
	Max Knee Clearance	RR2- 3.05	Compliant	Extend 25" deep x 9" above floor	11B-306.3.2
	Toe Clearance Depth	RR2- 3.06	Compliant	17" min. under element.	11B-306.2.3
	Offset from side wall	RR2- 3.07	Middle lavatories comply	18" min. from side wall	11B-606.6
	Faucet Controls	RR2- 3.08	Single levers	Lever or automatic	11B-606.4
	Wrapped pipes	RR2- 3.09	Missing	All pipes under lavs shall be insulated.	11B-606.5
	Mirror max. height	RR2- 3.10	40"	40" max to bottom of reflective surface	11B-603.5
	Soap dispenser height	RR2- 3.11	51"	40" max. to operable parts	11B-603.5
	Paper towel dispenser or automatic hand dryer height	RR2- 3.12	40" to grab point	40" high to operable parts or sensor	11B-603.5

RR2-WOMEN

Project: Gardena: Nakaoka Community Center

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:		RR2- Women's Restroom				Code Cycle 2022
Description:		First floor women's restroom				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Accessible Water Closet Compartment	Compartment door width	RR2- 4.01	34.5"	34" min. at side entry	11B-604.8.1.2	
	Compartment door handle types	RR2- 4.02	D Handle	Door pull on both sides of door	11B-604.8.1.2	
	Door handle height (interior)	RR2- 4.03	Missing	34" to 44"	11B-404.2.7	
	Door handle height (exterior)	RR2- 4.04	35" to 38"	34" to 44"	11B-404.2.7	
	Compartment door self-closer	RR2- 4.05	Not operational	Self closer required	11B-604.8.1.2	
	Compartment door latch type & height	RR2- 4.06	Twist lock at 40"	Operable with no tight grasping, pinching, twisting of wrist. 48" high max.	11B-404.2.7	
	Compartment width	RR2- 4.07	57"	60" min. with 12" vertical clearance on one side. 66" min. with full height	11B-604.3	
	Compartment depth	RR2- 4.08	123"	56" min. (wall hung) 59" min. (floor mount)	11B-604.8.1.1	
Accessible Water Closet	Clearance in front of WC	RR2- 5.01	97"	48" min.	11B-604.8.1.1.2	
	WC offset from side wall	RR2- 5.02	18.5"	17" to 18"	11B-604.2	
	WC seat height	RR2- 5.03	19"	17" to 19"	11B-604.4	
	WC controls side	RR2- 5.04	Wide side	On wide side or automatic	11B-604.6	
	Side grab bar length	RR2- 5.05	48"	42" min.	11B-604.5.1	
	Side grab bar height	RR2- 5.06	33"	33" to 36"	11B-609.4	
	Side grab bar diameter	RR2- 5.07	1.5"	1.25" to 2"	11B-609.2.1	
	Side grab bar offset from rear wall	RR2- 5.08	6"	12" max.	11B-604.5.1	
	Side grab bar extent from rear wall	RR2- 5.09	54"	54" min.	11B-604.5.1	
	Side grab bar clearance to accessories	RR2- 5.10	Toilet paper dispenser locate above bar. Not compliant	1 1/2" min. below grab bar 12" min. above grab bar	11B-609.3	

RR2-WOMEN

Project: Gardena: Nakaoka Community Center

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:		RR2- Women's Restroom				Code Cycle 2022
Description:		First floor women's restroom				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Accessible Water Closet (Continued)	Rear grab bar length	RR2- 5.11	36"	36" min.	11B-604.5.2	
	Rear grab bar height	RR2- 5.12	33"	33" to 36"	11B-609.4	
	Rear grab bar diameter	RR2- 5.13	1.5"	1.25" to 2"	11B-609.2.1	
	Rear grab bar centerline offsets	RR2- 5.14	21" 15"	12" min. from CL of WC to end on wall side. 24" min. from CL of WC to end on wide side.	11B-604.5.2	
	Toilet paper dispenser model type	RR2- 5.15	Compliant model	Operable with no tight grasping, pinching, twisting of wrist	11B-309.4	
	Toilet paper dispenser height	RR2- 5.16	Not compliant location	19" min.	11B-604.7.1	
	Toilet paper dispenser offset from WC front	RR2- 5.17	Not measured	Centerline at 7" to 9" in front of WC	11B-604.7.1	
	Seat cover dispenser model type	RR2- 5.18	Compliant	Operable with no tight grasping, pinching, twisting of wrist	11B-404.2.7	
	Seat cover dispenser height	RR2- 5.19	26"	40" max. to operable part	11B-603.5	
	Other findings	RR2- 5.20	N/A	Compartment entry clearances	0	

RR2-WOMEN

Project: Gardena: Nakaoka Community Center					
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.					
Area:	RR2- Women's Restroom				Code Cycle 2022
Description:	First floor women's restroom				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Baby Changing Station	Location	RR2- 7.01	N/A	Cannot be in path of travel or in accessible toilet compartment	11B-309
	Pull down device height	RR2- 7.02	N/A	48" max.	11B-309
	Height when in use	RR2- 7.03	N/A	34" max	11B-309
	Underside clearance	RR2- 7.04	N/A	27" min. at front access conditions	
	Clearance at path of travel	RR2- 7.05	N/A	When deployed, baby changing station may not block path of travel.	11B-226.4
	Operable parts	RR2- 7.06	N/A	Operable with no tight grasping, pinching, twisting of wrist	11B-309.4
Miscellaneous Features	Coat hook height	RR2- 8.01	None provided	48" max.	11B-603.4
	Trash can height	RR2- 8.02	Freestanding	40" max.	11B-603.5
	Light switch height	RR2- 8.03	N/A	48" max. to top of box. 54" max under previous code cycle.	11B-308.1.2
	Electrical outlet height	RR2- 8.04	N/A	48" max. to top of box. 54" max under previous code cycle.	11B-308.1.2
	Other findings	RR2- 8.05	N/A		

RR2-WOMEN

Project: Gardena: Nakaoka Community Center					
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.					
Area:	DF1- Drinking Fountain				Code Cycle 2022
Description:	First floor drinking fountain - not operational				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
General Drinking Fountain requirements	Accessible Route	DF1- 1.01	Compliant	Units must be on an accessible route.	0
	Minimum Number	DF1- 1.02	2	No fewer than two located together	11B-211.2
	Clear Floor Space	DF1- 1.03	Provided	30"x48"	11B-602.2
	Drinking Fountain Depth	DF1- 1.04	Compliant	Wall and post mounted fountains: 18" min., 19" max. depth	11B-602.8
	<i>Pedestrian protection</i>	<i>DF1- 1.05</i>	<i>18" deep on left side only</i>	<i>Fountain in 18" deep alcove or protected by wing walls that extend within 6" of floor.</i>	<i>11B-602.9</i>
	Alcove width	DF1- 1.06	No alcove	32" wide min.	11B-602.9
Low fountain	Knee Clearance under unit	DF1- 1.07	26"	27" clear	11B-602.2 11B-306
	Operable parts	DF1- 1.08	Appears compliant	Accessible within 6" of front edge of fountain or automatic	11B-602.3
	Spout outlet height	DF1- 1.09	36"	36" max.	11B-602.4
	Spout Location (horizontal from back)	DF1- 1.10	16" from wall 2" from front edge	15" min. from vertical support, 5" max from front edge.	11B-602.5
	Water Flow Height	DF1- 1.11	Not testable	4" min. above fountain rim height	11B-602.6
	Water Flow, Spouts less than 3" from front	DF1- 1.12	Not testable	Water stream angle shall be 30° max.	11B-602.6
	Water Flow, Spouts 3" to 5" from front	DF1- 1.13	Not testable	Water stream angle shall be 15° max.	11B-602.6
High fountain (standing person)	Spout outlet height	DF1- 1.14	43"	38" to 43"	11B-602.7

DF

Project: Gardena: Nakaoka Community Center						
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.						
Area:	RR3- Men's Restroom				Code Cycle 2022	
Description:	Second floor men's restroom					
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Entry Door	Door Swing Direction	RR3- 1.01	Single Inswinging Interior Door	Informational	---	
	Clear Door Width	RR3- 1.02	33"	32" clear	11B-404.3.1	
	Closer Provided	RR3- 1.03	Standard Closer	Informational	---	
	Pull Approach Direction	RR3- 1.04	Pull Side Interior Front Approach	Informational	---	
	Pull Side Clearance from Latch	RR3- 1.05	19"	18" min.	Table 11B-404.2.4.1	
	Pull Side Clearance from Hinge	RR3- 1.06	N/A	0"	Table 11B-404.2.4.4	
	Exterior Front Approach Depth	RR3- 1.07	Unlimited	60" min.	Table 11B-404.2.4.1	
	Exterior Landing Slopes	RR3- 1.08	Level interior	1:48 slope in all directions	11B-305.2	
	Interior Approach Direction	RR3- 1.09	Push Side Front Approach	Informational	---	
	Push Side Clearance from Latch	RR3- 1.10	25"	0"	Table 11B-404.2.4.1	
	Push Side Clearance from Hinge	RR3- 1.11	N/A	0"	Table 11B-404.2.4.4	
	Push Front Approach Depth	RR3- 1.12	Unlimited	48" min.	Table 11B-404.2.4.1	
	Push Side Landing Slopes	RR3- 1.13	Level interior	1:48 slope in all directions	11B-305.2	
	Exterior hardware type	RR3- 1.14	Lever	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7	
	Exterior hardware height	RR3- 1.15	40"	34" to 44"	11B-404.2.7	
	Interior hardware type	RR3- 1.16	Lever	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7	
	Interior hardware height	RR3- 1.17	40"	34" to 44"	11B-404.2.7	
	Door Closer Speed Standard Closer	RR3- 1.18	1.91 seconds	Must open 90°. 5 second min. time from 90° to 12°	11B-404.2.8.1	
	Door Closer Speed Spring Closer		N/A	Must open 90°. 1.5 second min from 70° to closed.	11B-404.2.8.2	
	Door Opening Force	RR3- 1.19	11 lbs	5 lbs. max.	11B-404.2.9	
Smooth Bottom Panel (push conditions only)	RR3- 1.20	Solid door	10" min. at bottom of door.	11B-404.2.10		

RR3-MEN

Project: Gardena: Nakaoka Community Center

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:		RR3- Men's Restroom			Code Cycle
Description:		Second floor men's restroom			2022
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Signage	Wall sign provided	RR3- 2.01	Missing	Provide at entry to restrooms	11B-216.2
	Characters	RR3- 2.02	Missing	Tactile and Braille panel below pictogram	11B-703.6.1
	Pictogram	RR3- 2.03	Missing	6" high pictogram field	11B-703.6.1
	Latch Sign Height	RR3- 2.04	Missing	48" to bottom of Braille, 60" to bottom of tactile	11B-703.4.1
	Latch Sign Offset from door	RR3- 2.05	Missing	Centerline at 9" min. offset from door on pull side	11B-703.4.2
	Geometric Door Sign provided	RR3- 2.06	Provided	Geometric signage shall be provided at toilet room entrances.	11B-216.8.1
	Geometric Door Signage configuration	RR3- 2.07	Compliant	12" Equilateral triangle, color shall contrast with door color	11B-703.7.2.6.3
	Geometric Door Signage Height	RR3- 2.08	67"	58" to 60"	11B-703.7.2.6
	Geometric Door Signage Horiz. Location	RR3- 2.09	17.5" 18.5"	Within 1" of door centerline	11B-703.7.2.6
Accessible Lavatory	Sink Height	RR3- 3.01	34"	34" max. to top of rim	11B-606.3
	Under sink vertical clearances	RR3- 3.02	Front: 29" 8" inboard: 27"	29" min. at front, 27" min. at 8" inboard	11B-306.3.1
	P Trap Clearance	RR3- 3.03	Slight encroachment	P trap under sink may not encroach into clear space.	11B-306.3.1
	Clear floor space at sink	RR3- 3.04	Compliant	30" wide x 48" deep	11B-602.2
	Max Knee Clearance	RR3- 3.05	Compliant	Extend 25" deep x 9" above floor	11B-306.3.2
	Toe Clearance Depth	RR3- 3.06	Compliant	17" min. under element.	11B-306.2.3
	Offset from side wall	RR3- 3.07	18"	18" min. from side wall	11B-606.6
	Faucet Controls	RR3- 3.08	Single lever	Lever or automatic	11B-606.4
	Wrapped pipes	RR3- 3.09	Provided	All pipes under lavs shall be insulated.	11B-606.5
	Mirror max. height	RR3- 3.10	Main mirror too high Second mirror at 35"	40" max to bottom of reflective surface	11B-603.5
	Soap dispenser height	RR3- 3.11	57.5"	40" max. to operable parts	11B-603.5
	Paper towel dispenser or automatic hand dryer height	RR3- 3.12	42"	40" high to operable parts or sensor	11B-603.5

RR3-MEN

Project: Gardena: Nakaoka Community Center

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:	RR3- Men's Restroom	Code Cycle 2022
Description:	Second floor men's restroom	

MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Accessible Water Closet Compartment	Compartment door width	RR3- 4.01	34.5"	34" min. at side entry	11B-604.8.1.2
	Compartment door handle types	RR3- 4.02	Missing	Door pull on both sides of door	11B-604.8.1.2
	Door handle height (interior)	RR3- 4.03	Missing	34" to 44"	11B-404.2.7
	Door handle height (exterior)	RR3- 4.04	Missing	34" to 44"	11B-404.2.7
	Compartment door self-closer	RR3- 4.05	Not operational	Self closer required	11B-604.8.1.2
	Compartment door latch type & height	RR3- 4.06	41"	Operable with no tight grasping, pinching, twisting of wrist. 48" high max.	11B-404.2.7
	Compartment width	RR3- 4.07	57"	60" min. with 12" vertical clearance on one side. 66" min. with full height	11B-604.3
	Compartment depth	RR3- 4.08	117"	56" min. (wall hung) 59" min. (floor mount)	11B-604.8.1.1
Accessible Water Closet	Clearance in front of WC	RR3- 5.01	93"	48" min.	11B-604.8.1.1.2
	WC offset from side wall	RR3- 5.02	19"	17" to 18"	11B-604.2
	WC seat height	RR3- 5.03	17.5"	17" to 19"	11B-604.4
	WC controls side	RR3- 5.04	Narrow side	On wide side or automatic	11B-604.6
	Side grab bar length	RR3- 5.05	42"	42" min.	11B-604.5.1
	Side grab bar height	RR3- 5.06	33.5"	33" to 36"	11B-609.4
	Side grab bar diameter	RR3- 5.07	1.25"	1.25" to 2"	11B-609.2.1
	Side grab bar offset from rear wall	RR3- 5.08	9.5"	12" max.	11B-604.5.1
	Side grab bar extent from rear wall	RR3- 5.09	51.5"	54" min.	11B-604.5.1
	Side grab bar clearance to accessories	RR3- 5.10	Toilet paper dispenser locate above bar. Not compliant	1 1/2" min. below grab bar 12" min. above grab bar	11B-609.3

RR3-MEN

Project: Gardena: Nakaoka Community Center

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:		RR3- Men's Restroom				Code Cycle 2022
Description:		Second floor men's restroom				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Accessible Water Closet (Continued)	Rear grab bar length	RR3- 5.11	2 separate bars 18" 24"	36" min.	11B-604.5.2	
	Rear grab bar height	RR3- 5.12	33"	33" to 36"	11B-609.4	
	Rear grab bar diameter	RR3- 5.13	1.25"	1.25" to 2"	11B-609.2.1	
	Rear grab bar centerline offsets	RR3- 5.14	Not measurable	12" min. from CL of WC to end on wall side. 24" min. from CL of WC to end on wide side.	11B-604.5.2	
	Toilet paper dispenser model type	RR3- 5.15	Compliant	Operable with no tight grasping, pinching, twisting of wrist	11B-309.4	
	Toilet paper dispenser height	RR3- 5.16	Not compliant location	19" min.	11B-604.7.1	
	Toilet paper dispenser offset from WC front	RR3- 5.17	Not measured	Centerline at 7" to 9" in front of WC	11B-604.7.1	
	Seat cover dispenser model type	RR3- 5.18	Compliant	Operable with no tight grasping, pinching, twisting of wrist	11B-404.2.7	
	Seat cover dispenser height	RR3- 5.19	39"	40" max. to operable part	11B-603.5	
	Other findings	RR3- 5.20	N/A	Compartment entry clearances	0	
Accessible Urinal	Urinal Provided	RR3- 6.01	Provided	Informational	-	
	Urinal partition depth	RR3- 6.02	18"	Informational	-	
	Urinal clearance width	RR3- 6.03	37"	30" wide @ 24" max partition 36" wide @ 24" min partition	11B-605.3 11B-305	
	Urinal rim height	RR3- 6.04	14.5"	17" max.	11B-605.2	
	Urinal depth	RR3- 6.05	14.5"	13.5" min.	11B-605.2	
	Urinal controls height	RR3- 6.06	37"	44" max.	11B-605.4	

RR3-MEN

Project: Gardena: Nakaoka Community Center					
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.					
Area:	RR3- Men's Restroom				Code Cycle 2022
Description:	Second floor men's restroom				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Baby Changing Station	Location	RR3- 7.01	N/A	Cannot be in path of travel or in accessible toilet compartment	11B-309-
	Pull down device height	RR3- 7.02	N/A	48" max.	11B-309
	Height when in use	RR3- 7.03	N/A	34" max	11B-309
	Underside clearance	RR3- 7.04	N/A	27" min. at front access-conditions	
	Clearance at path of travel	RR3- 7.05	N/A	When deployed, baby changing station may not block path of travel.	11B-226.4
	Operable parts	RR3- 7.06	N/A	Operable with no tight grasping, pinching, twisting of wrist	11B-309.4
Miscellaneous Features	Coat hook height	RR3- 8.01	56"	48" max.	11B-603.4
	Trash can height	RR3- 8.02	29"	40" max.	11B-603.5
	Light switch height	RR3- 8.03	44"	48" max. to top of box. 54" max under previous code cycle.	11B-308.1.2
	Electrical outlet height	RR3- 8.04	56"	48" max. to top of box. 54" max under previous code cycle.	11B-308.1.2
	Other findings	RR3- 8.05	N/A		

RR3-MEN

Project: Gardena: Nakaoka Community Center

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:		RR4- Women's Restroom				Code Cycle 2022
Description:		Second floor women's restroom				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Entry Door	Door Swing Direction	RR4- 1.01	Single Inswinging Interior Door	Informational	---	
	Clear Door Width	RR4- 1.02	33"	32" clear	11B-404.3.1	
	Closer Provided	RR4- 1.03	Standard Closer	Informational	---	
	Pull Approach Direction	RR4- 1.04	Pull Side Interior Front Approach	Informational	---	
	Pull Side Clearance from Latch	RR4- 1.05	19"	18" min.	Table 11B-404.2.4.1	
	Pull Side Clearance from Hinge	RR4- 1.06	N/A	0"	Table 44B-404.2.4.4	
	Exterior Front Approach Depth	RR4- 1.07	Unlimited	60" min.	Table 11B-404.2.4.1	
	Exterior Landing Slopes	RR4- 1.08	Level interior	1:48 slope in all directions	11B-305.2	
	Interior Approach Direction	RR4- 1.09	Push Side Front Approach	Informational	---	
	Push Side Clearance from Latch	RR4- 1.10	Unlimited	0"	Table 11B-404.2.4.1	
	Push Side Clearance from Hinge	RR4- 1.11	N/A	0"	Table 44B-404.2.4.4	
	Push Front Approach Depth	RR4- 1.12	76"	48" min.	Table 11B-404.2.4.1	
	Push Side Landing Slopes	RR4- 1.13	Level interior	1:48 slope in all directions	11B-305.2	
	Exterior hardware type	RR4- 1.14	Lever	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7	
	Exterior hardware height	RR4- 1.15	40.5"	34" to 44"	11B-404.2.7	
	Interior hardware type	RR4- 1.16	Lever	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7	
	Interior hardware height	RR4- 1.17	40.5"	34" to 44"	11B-404.2.7	
Door Closer Speed Standard Closer	RR4- 1.18	2.78 seconds	Must open 90°. 5 second min. time from 90°	11B-404.2.8.1		
Door Closer Speed Spring Closer		N/A	Must open 90°. 1.5 second min from 70° to closed.	44B-404.2.8.2		
Door Opening Force	RR4- 1.19	11 lbs	5 lbs. max.	11B-404.2.9		
Smooth Bottom Panel (push conditions only)	RR4- 1.20	Solid door	10" min. at bottom of door.	11B-404.2.10		

RR4-WOMEN

Project: Gardena: Nakaoka Community Center

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:	RR4- Women's Restroom	Code Cycle 2022
Description:	Second floor women's restroom	

MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Signage	Wall sign provided	RR4- 2.01	Missing	Provide at entry to restrooms	11B-216.2
	Characters	RR4- 2.02	Missing	Tactile and Braille panel below pictogram	11B-703.6.1
	Pictogram	RR4- 2.03	Missing	6" high pictogram field	11B-703.6.1
	Latch Sign Height	RR4- 2.04	Missing	48" to bottom of Braille, 60" to bottom of tactile	11B-703.4.1
	Latch Sign Offset from door	RR4- 2.05	Missing	Centerline at 9" min. offset from door on pull side	11B-703.4.2
	Geometric Door Sign provided	RR4- 2.06	Provided	Geometric signage shall be provided at toilet room entrances.	11B-216.8.1
	Geometric Door Signage configuration	RR4- 2.07	Compliant	12" Equilateral triangle, color shall contrast with door color	11B-703.7.2.6.3
	Geometric Door Signage Height	RR4- 2.08	68"	58" to 60"	11B-703.7.2.6
	Geometric Door Signage Horiz. Location	RR4- 2.09	18" 18"	Within 1" of door centerline	11B-703.7.2.6
Accessible Lavatory	Sink Height	RR4- 3.01	34"	34" max. to top of rim	11B-606.3
	Under sink vertical clearances	RR4- 3.02	Front: 30" 8" inboard: 26"	29" min. at front, 27" min. at 8" inboard	11B-306.3.1
	P Trap Clearance	RR4- 3.03	Slight encroachment	P trap under sink may not encroach into clear space.	11B-306.3.1
	Clear floor space at sink	RR4- 3.04	Compliant	30" wide x 48" deep	11B-602.2
	Max Knee Clearance	RR4- 3.05	Compliant	Extend 25" deep x 9" above floor	11B-306.3.2
	Toe Clearance Depth	RR4- 3.06	Compliant	17" min. under element.	11B-306.2.3
	Offset from side wall	RR4- 3.07	Compliant	18" min. from side wall	11B-606.6
	Faucet Controls	RR4- 3.08	Single lever	Lever or automatic	11B-606.4
	Wrapped pipes	RR4- 3.09	Provided	All pipes under lavs shall be insulated.	11B-606.5
	Mirror max. height	RR4- 3.10	Primary: 44" Second mirror: 34"	40" max to bottom of reflective surface	11B-603.5
	Soap dispenser height	RR4- 3.11	57"	40" max. to operable parts	11B-603.5
	Paper towel dispenser or automatic hand dryer height	RR4- 3.12	44"	40" high to operable parts or sensor	11B-603.5

RR4-WOMEN

Project: Gardena: Nakaoka Community Center

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:		RR4- Women's Restroom				Code Cycle 2022
Description:		Second floor women's restroom				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Accessible Water Closet Compartment	Compartment door width	RR4- 4.01	35.5"	34" min. at side entry	11B-604.8.1.2	
	Compartment door handle types	RR4- 4.02	Missing	Door pull on both sides of door	11B-604.8.1.2	
	Door handle height (interior)	RR4- 4.03	Missing	34" to 44"	11B-404.2.7	
	Door handle height (exterior)	RR4- 4.04	Missing	34" to 44"	11B-404.2.7	
	Compartment door self-closer	RR4- 4.05	Not operational	Self closer required	11B-604.8.1.2	
	Compartment door latch type & height	RR4- 4.06	Twist lock at 41"	Operable with no tight grasping, pinching, twisting of wrist. 48" high max.	11B-404.2.7	
	Compartment width	RR4- 4.07	59"	60" min. with 12" vertical clearance on one side. 66" min. with full height	11B-604.3	
	Compartment depth	RR4- 4.08	117"	56" min. (wall hung) 59" min. (floor mount)	11B-604.8.1.1	
Accessible Water Closet	Clearance in front of WC	RR4- 5.01	93"	48" min.	11B-604.8.1.1.2	
	WC offset from side wall	RR4- 5.02	19"	17" to 18"	11B-604.2	
	WC seat height	RR4- 5.03	20"	17" to 19"	11B-604.4	
	WC controls side	RR4- 5.04	Wide side	On wide side or automatic	11B-604.6	
	Side grab bar length	RR4- 5.05	42"	42" min.	11B-604.5.1	
	Side grab bar height	RR4- 5.06	33.5"	33" to 36"	11B-609.4	
	Side grab bar diameter	RR4- 5.07	1.25"	1.25" to 2"	11B-609.2.1	
	Side grab bar offset from rear wall	RR4- 5.08	9"	12" max.	11B-604.5.1	
	Side grab bar extent from rear wall	RR4- 5.09	51"	54" min.	11B-604.5.1	
	Side grab bar clearance to accessories	RR4- 5.10	Toilet paper dispenser located above bar. Not compliant	1 1/2" min. below grab bar 12" min. above grab bar	11B-609.3	

RR4-WOMEN

Project: Gardena: Nakaoka Community Center					
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.					
Area:	RR4- Women's Restroom				Code Cycle 2022
Description:	Second floor women's restroom				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Accessible Water Closet (Continued)	Rear grab bar length	RR4- 5.11	2 separate bars 18" 24"	36" min.	11B-604.5.2
	Rear grab bar height	RR4- 5.12	33.5"	33" to 36"	11B-609.4
	Rear grab bar diameter	RR4- 5.13	1.25"	1.25" to 2"	11B-609.2.1
	Rear grab bar centerline offsets	RR4- 5.14	Not measurable	12" min. from CL of WC to end on wall side. 24" min. from CL of WC to end on wide side.	11B-604.5.2
	Toilet paper dispenser model type	RR4- 5.15	Compliant model	Operable with no tight grasping, pinching, twisting of wrist	11B-309.4
	Toilet paper dispenser height	RR4- 5.16	Not compliant location	19" min.	11B-604.7.1
	Toilet paper dispenser offset from WC front	RR4- 5.17	Not measured	Centerline at 7" to 9" in front of WC	11B-604.7.1
	Seat cover dispenser model type	RR4- 5.18	Compliant	Operable with no tight grasping, pinching, twisting of wrist	11B-404.2.7
	Seat cover dispenser height	RR4- 5.19	40"	40" max. to operable part	11B-603.5
Other findings	RR4- 5.20	N/A	Compartment entry clearances	0	

RR4-WOMEN

Project: Gardena: Nakaoka Community Center					
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.					
Area:	RR4- Women's Restroom				Code Cycle 2022
Description:	Second floor women's restroom				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Baby Changing Station	Location	RR4- 7.01	N/A	Cannot be in path of travel or in accessible toilet compartment	11B-309-
	Pull down device height	RR4- 7.02	N/A	48" max.	11B-309
	Height when in use	RR4- 7.03	N/A	34" max	11B-309
	Underside clearance	RR4- 7.04	N/A	27" min. at front access-conditions	
	Clearance at path of travel	RR4- 7.05	N/A	When deployed, baby changing station may not block path of travel.	11B-226.4
	Operable parts	RR4- 7.06	N/A	Operable with no tight grasping, pinching, twisting of wrist	11B-309.4
Miscellaneous Features	Coat hook height	RR4- 8.01	57"	48" max.	11B-603.4
	Trash can height	RR4- 8.02	29"	40" max.	11B-603.5
	Light switch height	RR4- 8.03	43"	48" max. to top of box. 54" max under previous code cycle.	11B-308.1.2
	Electrical outlet height	RR4- 8.04	56"	48" max. to top of box. 54" max under previous code cycle.	11B-308.1.2
	Other findings	RR4- 8.05	N/A		

RR4-WOMEN

Project: Gardena: Nakaoka Community Center

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:	ELEV- Elevator Car	Code Cycle 2022
Description:	Elevator Car	

MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Elevator Cab	Door location	ELEV- 1.01	Side entry	Centered or Side	Informational
	Width (Wall to Wall)	ELEV- 1.02	80"	A) Centered: 80" B) Side: 68" min. C) Any: 54" D) Any: 60" E) Existing: 48"	Table 11B-407.4.1
	Depth (Wall to Wall)	ELEV- 1.03	51"	A) Centered: 51" B) Side: 51" C) Any: 80" D) Any: 60" E) Existing: 54"	Table 11B-407.4.1
	Depth (Wall to Door)	ELEV- 1.04	59"	A) Centered: 54" B) Side: 54" C) Any: N/A D) Any: N/A E) Existing: N/A/	Table 11B-407.4.1
	Door size	ELEV- 1.05	42"	A) Centered: 42" B) Side: 36" C) Any: 36" D) Any: 36" E) Existing: N/A/	Table 11B-407.4.1
	Floor Area (existing elevator only)	ELEV- 1.06	N/A	18 SF min	11B-407.4.1-Exception 1
	Support rail location	ELEV- 1.07	Back wall	At least one wall. Preferably the rear wall.	11B-407.4.10
	Rail Height to top	ELEV- 1.08	31"	31" to 33"	11B-407.4.10.1
	Clearance behind rail	ELEV- 1.09	1.5"	1.5" min.	11B-407.4.10.1
	Side Offset to adjacent walls	ELEV- 1.10	4" on both sides	6" max.	11B-407.4.10.1
	In car button size	ELEV- 1.11	1"	Square shoulders 3/4" min	11B-407.4.6.2.1
	In car floor button max. centerline height	ELEV- 1.12	39"	Side approach: 54" max. Front approach: 48" max.	11B-407.4.6.1
	In car button arrangement	ELEV- 1.13	N/A	Ascending order	11B-407.4.6.2.2
	In cab button arrangement with two or more columns	ELEV- 1.14	Compliant	Read Left to Right	11B-407.4.6.2.2
	Car control button illumination	ELEV- 1.15	Compliant	Required	11B-407.4.6.2.3
	Car control button activation	ELEV- 1.16	Compliant	Must be activated by detectable mechanical motion	11B-407.4.6.2.4
	Car control keypad configuration	ELEV- 1.17	N/A	Standard telephone keypad arrangement	11B-407.4.6.3
	Emergency control button height	ELEV- 1.18	35"	35" to centerline	11B-407.4.6.4

ELEVATOR CAB

Project: Gardena: Nakaoka Community Center

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:		ELEV- Elevator Car			Code Cycle
Description:		Elevator Car			2022
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
	Emergency controls grouped at bottom of panel	ELEV- 1.19	Compliant	Required	11B-407.4.6.4.2
	Control button identification	ELEV- 1.20	Compliant	Raised characters or symbols, white on black background, Braille	11B-407.4.7.1.1
	Control Button Character placement	ELEV- 1.21	Compliant	To left of buttons	11B-407.4.7.1.2
	Control button symbols	ELEV- 1.22	Compliant	Control buttons to have raised symbols and Braille	Table 11B-407.4.7.1.3
	Buttons with floor designation indicators	ELEV- 1.23	Compliant	Must illuminate	11B-407.4.7.1.4
	Buttons with floor designation indicators	ELEV- 1.24	Compliant	Extinguish upon floor arrival	11B-407.4.7.1.4
	Button spacing	ELEV- 1.25	N/A	3/8" min between	41B-407.4.7.1.5
	Keypads- (where present)	ELEV- 1.26	N/A	telephone keypad arrangement	41B-407.2.1.6
	Keypads- (where present)	ELEV- 1.27	N/A	#5 must have raised dot	41B-407.4.7.2
	Button operability	ELEV- 1.28	Compliant	Activated by mechanical motion that is detectable.	11B-407.4.6.2.4
	Audible and visible car position indicators	ELEV- 1.29	Compliant	Provided inside cab	11B-407.4.8.1.3
	Audible Notification	ELEV- 1.30	Compliant	Verbal Up/Down or 1 chime for up 2 chimes for down	11B-407.4.8.2.1
	Lantern	ELEV- 1.31	No lantern Screen on wall not operating	72" min to CL	11B-407.2.2.2
	Lantern Illumination	ELEV- 1.32	No illumination showing direction of travel	Required to show direction of elevator	11B-407.2.2.1

ELEVATOR CAB

Project: Gardena: Nakaoka Community Center

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:	ELFLR1 First Floor Elevator Landing	Code Cycle 2022
Description:	First floor elevator landing	

MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
General Landing	Hall call button height	ELFLR1 1.01	41"	48" max	11B-407.2.1.1
	Hall call button size	ELFLR1 1.02	1"	3/4" min.	11B-407.2.1.2
	Hall call button illumination	ELFLR1 1.03	Compliant	Required	11B-407.2.1.5
	Lanterns visible from exterior	ELFLR1 1.04	Above door	Centered at 72" above floor. Elements at 2 1/2" x 2 1/2" min.	11B-407.2.2.2
	Hoistway signs provided	ELFLR1 1.05	Provided	Required at both jambs	11B-407.2.3.1
	Hoistway signs mounting height	ELFLR1 1.06	60"	60" to center	11B-407.2.3.1
	Hoistway signs character size	ELFLR1 1.07	2"	2" high characters	11B-407.2.3.1
	Hoistway signs Braille and tactile	ELFLR1 1.08	Compliant	Both required	11B-407.2.3.1
	Hoistway signs main level 2" star provided	ELFLR1 1.09	No star	Required at main entry level with Braille below stating MAIN	11B-407.2.3.1
	Fully open timing on initial car call	ELFLR1 1.10	5 seconds	5 seconds minimum	11B-407.3.5
	Reopening sensors height	ELFLR1 1.11	Compliant	5" and 29" above floor surface	11B-407.3.3.1
	Reopening time on sensor trigger	ELFLR1 1.12	No delay	Must stay open for 20 seconds min.	11B-407.3.3.3
	Landing size at platform lifts	ELFLR1 1.13	N/A	60" x 60" min	11B-410.7
	Elevator door width	ELFLR1 1.14	42"	Shall comply with Table 11B-407.4.1	11B-407.3.6
	Hoistway gap	ELFLR1 1.15	1"	1.25" max gap	11B-407.4.3
	Self-leveling height	ELFLR1 1.16	Level	1/2" max height differential	11B-407.4.4

Project: Gardena: Nakaoka Community Center					
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.					
Area:	ELFLR2 Second Floor Elevator Landing				Code Cycle
Description:	Second floor elevator landing				2022
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
General Landing	Hall call button height	ELFLR2 1.01	43"	48" max	11B-407.2.1.1
	Hall call button size	ELFLR2 1.02	1"	3/4" min.	11B-407.2.1.2
	Hall call button illumination	ELFLR2 1.03	Compliant	Required	11B-407.2.1.5
	Lanterns visible from exterior	ELFLR2 1.04	Above door	Centered at 72" above floor. Elements at 2 1/2" x 2 1/2" min.	11B-407.2.2.2
	Hoistway signs provided	ELFLR2 1.05	Provided	Required at both jambs	11B-407.2.3.1
	Hoistway signs mounting height	ELFLR2 1.06	60"	60" to center	11B-407.2.3.1
	Hoistway signs character size	ELFLR2 1.07	2"	2" high characters	11B-407.2.3.1
	Hoistway signs Braille and tactile	ELFLR2 1.08	Compliant	Both required	11B-407.2.3.1
	Hoistway signs main level — 2" star provided	ELFLR2 1.09	N/A	Required at main entry level with Braille below stating MAIN	11B-407.2.3.1
	Fully open timing on initial car call	ELFLR2 1.10	6 seconds	5 seconds minimum	11B-407.3.5
	Reopening sensors height	ELFLR2 1.11	Compliant	5" and 29" above floor surface	11B-407.3.3.1
	Reopening time on sensor trigger	ELFLR2 1.12	No delay	Must stay open for 20 seconds min.	11B-407.3.3.3
	Landing size at platform lifts	ELFLR2 1.13	N/A	60" x 60" min	11B-410.7
	Elevator door width	ELFLR2 1.14	42"	Shall comply with Table 11B-407.4.1	11B-407.3.6
	Hoistway gap	ELFLR2 1.15	1 1/8"	1.25" max gap	11B-407.4.3
Self-leveling height	ELFLR2 1.16	Level	1/2" max height differential	11B-407.4.4	

ELEVATOR LANDING-2

4. JAMES RUSH GYMNASIUM AND OFFICES

4.1 Summary

Location: 1651 W. 162nd Street

Parking: 38 spaces

James Rush Gymnasium and Human Services Offices is a single story building built in 1975. There are separate public entrances for the gymnasium and office wing. Both entrances are raised above the public right of way by several steps.

There is one small parking lot on the south side of the building with two accessible parking spaces. Public access to the building is directly adjacent to the building on the east side. However, there is no accessible path of travel from the parking lot to the public sidewalk and building entrances without using the parking lot driveway.

The office wing of the building includes a public lobby, gender-specific restrooms and a service counter. A drinking fountain is included in the lobby space. There is direct access from the office wing into the gymnasium wing. The gym space features up to three standard basketball courts (side by side) or one single basketball court with spectator bleachers on the east side of the space. There are gender-specific restrooms and locker rooms provided within the gymnasium space, however the locker rooms are not in service at this time and only used for equipment storage.



4.2 General Site Access

This building is located directly adjacent to the public sidewalk along W. 162nd Street. There are separate entrances to the gymnasium and office space. The parking lot is just to the south of the building. There is no compliant accessible route from the parking lot to the building entrances. See Parking section below for complete details.

The primary path of travel to the gymnasium and office entrances is along the public sidewalk via a ramp and stair at each entry. Since the sidewalk is part of the public right of way, the city should regularly inspect, maintain and repair any uneven cracks, broken or heaving concrete along the accessible path of travel.



Public Sidewalk at W. 162nd Street

4.3 Parking

There are two accessible parking spaces with one access aisle between provided within the Rush Gymnasium parking lot. In general, while both spaces are not fully compliant, they only require minor modifications to meet accessibility requirements. However, the provided access aisle is not connected to the accessible path of travel. Persons using Space 1 are required to travel behind vehicles parked in Space 2. Additionally, the only possible route requires individuals to utilize the vehicle driveway for access.

Areas requiring correction for Parking 1 & 2 include:

- Repainting fading striping.
- Adding \$250 FINE signs at both spaces.
- Modifying slopes to compliant maximums in all directions.

The shared access aisle requires the following modifications:

- Restriping to compliant width.
- When restriping, ensure all diagonal hatches are provided at compliant maximum spacing.
- Repainting NO PARKING at entry end of aisle.
- Providing a compliant path of travel to the public sidewalk and continued path of travel to both the gymnasium and the office space.

See PK1, PK2 and AA12 Checklists for complete details.



Accessible Parking



Access Aisle



Non-compliant Path of Travel from Parking Lot

4.3 Building Entries

There are separate entrances for the gymnasium and office space. Both entrances include a ramp and a stair. The gymnasium entry consists of a double door entering the building on the northeast side. The office space entry consists of an automatic double sliding door on the southeast side of the building.

4.3.1 Gym Ramp

The gymnasium entry ramp appears to have been recently upgraded. However, there are some elements at the ramp that are not compliant. These include the following:

- The lower landing has non-compliant slopes
- The ramp cross slope is too steep
- The detectable warnings at the bottom of the ramp are not required. This is not an interface with a hazardous vehicular way

See RAMP1 Checklist for complete details.



Gym Entry Ramp

4.3.2 Gym Stairs

The gymnasium stairs appear to have been recently upgraded. However, there are some elements at the stairs that are not compliant. These include the following:

- The bottom landing slope is slightly too steep
- The handrail extensions are too short
- The contrasting stripes at the stair nosings are missing

See STAIR1 Checklist for complete details.



Gym Entry Stairs

4.3.3 Gym Entry Door

The gymnasium entry door appears to be original. However, the door primarily requires only minor modifications. The most significant required modification is the height of the glass panel light within the door.

See DOOR1 Checklist for complete details

4.3.4 Office Ramp

The ramp to the office wing requires significant repair work. This includes the following:

- Replace lower landing with level landing in all directions.
- Replace handrails with compliant extensions and heights.
- Repair non-compliant ramp cross slopes.

See RAMP2 Checklist for complete details.

4.3.5 Office Stairs

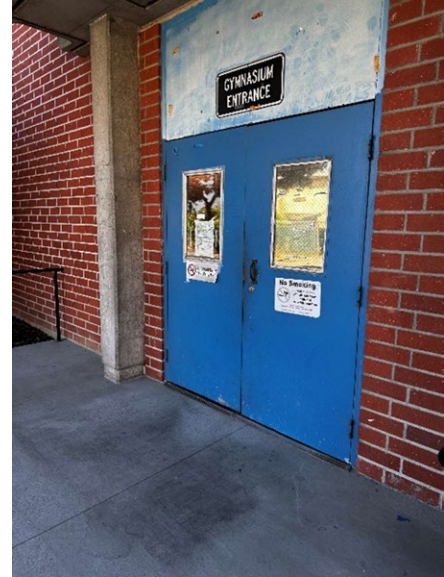
The office stairs are also non-compliant and require repairs. This includes the following:

- Install compliant handrails at both sides.
- Add contrasting striping at all stair nosings and top landing.

See STAIR2 Checklist for complete details.

4.3.6 Office Entry Door

The entry door is an automatic sliding door and meets accessibility requirements. However, there is an unsecured floor mat at the interior side of the door which should be removed or secured.



Gym Entry Door



Office Entry Ramp

See DOOR2 Checklist for complete details.



Office Entry Stairs

4.4



Gymnasium

Gymnasium

The Rush Gymnasium can be configured as one single court lengthwise as well as two side-by-side courts in the perpendicular direction. There are bleachers located along the street side of the building. There is adequate level surface around the perimeter to access throughout the gym space.

There is one door to the office space adjacent on the south side of the gym space. This door requires minor repair work related to closing speed and operating force.

See DR3 Checklist for complete details.

Adjacent to the gymnasium on the north side are gender specific restrooms and locker rooms. The locker rooms are no long in use. See the following section for restroom inspection information.

4.5 Restrooms and Drinking Fountain

There are two gender specific multiple occupant restrooms in the gym and two gender-specific multiple occupant restrooms in the office portion of the building. There are also two gender-specific locker rooms adjacent to the gym restrooms. These locker rooms are not in use and were not inspected.

There is also a single drinking fountain/water bottle filling station in the office lobby.

4.5.1 Gym Restrooms

Both gym restrooms are severely non-compliant and require major renovation to provide require accessibility. Key areas in need of replacement include:

- Inadequate restrooms signage.
- Marginally accessible lavatories.
- No accessible toilet compartments.
- No accessible urinal in the men’s restroom.

See RR1 and RR2 Checklists for complete details.



Men's Restroom Lavatories



Non-compliant Urinals



Men's Toilet Compartments

4.5.2 Office Restrooms

Similar to the gymnasium restrooms, the office restrooms also require significant renovations to meet accessibility requirements.

The Men's Restroom includes the following non-compliant features:

- Inadequate entry signage
- Entry door is too narrow
- Door operation requires adjustments
- Lavatories mounted slightly too low
- Lavatory accessories mounted too high
- Urinal controls too high
- No accessible toilet compartment

The Women's Restroom includes the following non-compliant features:

- Inadequate entry signage
- Entry door is too narrow
- Entry door clearances are not compliant
- Lavatory heights are not compliant
- Lavatory accessories are mounted too high
- No accessible toilet compartment

See RR3 and RR4 Checklists for complete details.



Men's Restroom Entry



Men's Toilet Compartment

4.5.3 Drinking Fountain

While the single drinking fountain is a contemporary Elkay access compliant model. However, the drinking fountain is mounted too high and includes no required side protection. Additionally, current codes require both a high and a low drinking fountain. A second unit should be installed adjacent to the existing unit.

See DF1 Checklist for complete details.

4.6 Reception Counter

In the office public lobby, there are both a high and low service counter. The lower counter is fully accessible and no repair work is required.

See SERV1 Checklist for complete details.



Drinking Fountain and Water Bottle Filling Station



Reception Counter

Project: Rush Gymnasium					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant. Please see individual findings in report for specific details.					
Area:	SITE- General Accessibility				Code Cycle 2022
Description:	General Rush Gymnasium Site Information				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Site Signage	Unauthorized Parking Signage Provided	SITE- 1.01	Provided	17" wide x 22" high (min dimensions)	11B-502.8 11B-502.8.1
	Unauthorized Parking Signage completed information.	SITE- 1.02	Provided	All blank spaces shall be completed with appropriate information.	11B-502.8.2
Path of Travel from Public Right Of Way to Main Entrances	Path of Travel width from Public Right of Way to building entrance.	SITE- 2.01	Provided at public sidewalk. See Stair and Ramp Checklists for detail	Continuous path of travel from public right of way	11B-206.2.1
	Path of Travel width	SITE- 2.02	> 48"	48" min.	11B-403.5.1 Exception 3
	Path of Travel width-exception	SITE- 2.03	N/A	Due to natural barriers or other obstructions, width may be reduced to 36"	11B-403.5.1 Exception 3
	Path of Travel Cross Slopes	SITE- 2.04	Compliant	1:48 slope max.	11B-403.3
	Path of Travel Running Slopes	SITE- 2.05	Compliant	1:20 slope max.	11B-403.3
	Path of Travel Running Slope adjacent to street/highway	SITE- 2.06	N/A	Where sidewalk is adjacent to vehicle way, slope may not exceed roadway slope.	11B-403.3 Exception
Path of Travel from Accessible Parking to subject building	Path of Travel from Accessible Parking to building entrance(s)	SITE- 3.01	No accessible path from parking to building entrances.	Continuous path of travel from accessible parking	11B-206.2.1
	Path of Travel width	SITE- 3.02	No path identified	48" min.	11B-403.5.1 Exception 3
	Path of Travel width-exception	SITE- 3.03	N/A	Due to natural barriers or other obstructions, width may be reduced to 36"	11B-403.5.1 Exception 3
	Path of Travel Cross Slopes	SITE- 3.04	No path identified	1:48 slope max.	11B-403.3
	Path of Travel Running Slopes	SITE- 3.05	No path identified	1:20 slope max.	11B-403.3
	Path of Travel Running Slope adjacent to street/highway	SITE- 3.06	N/A	Where sidewalk is adjacent to vehicle way, slope may not exceed roadway slope.	11B-403.3 Exception

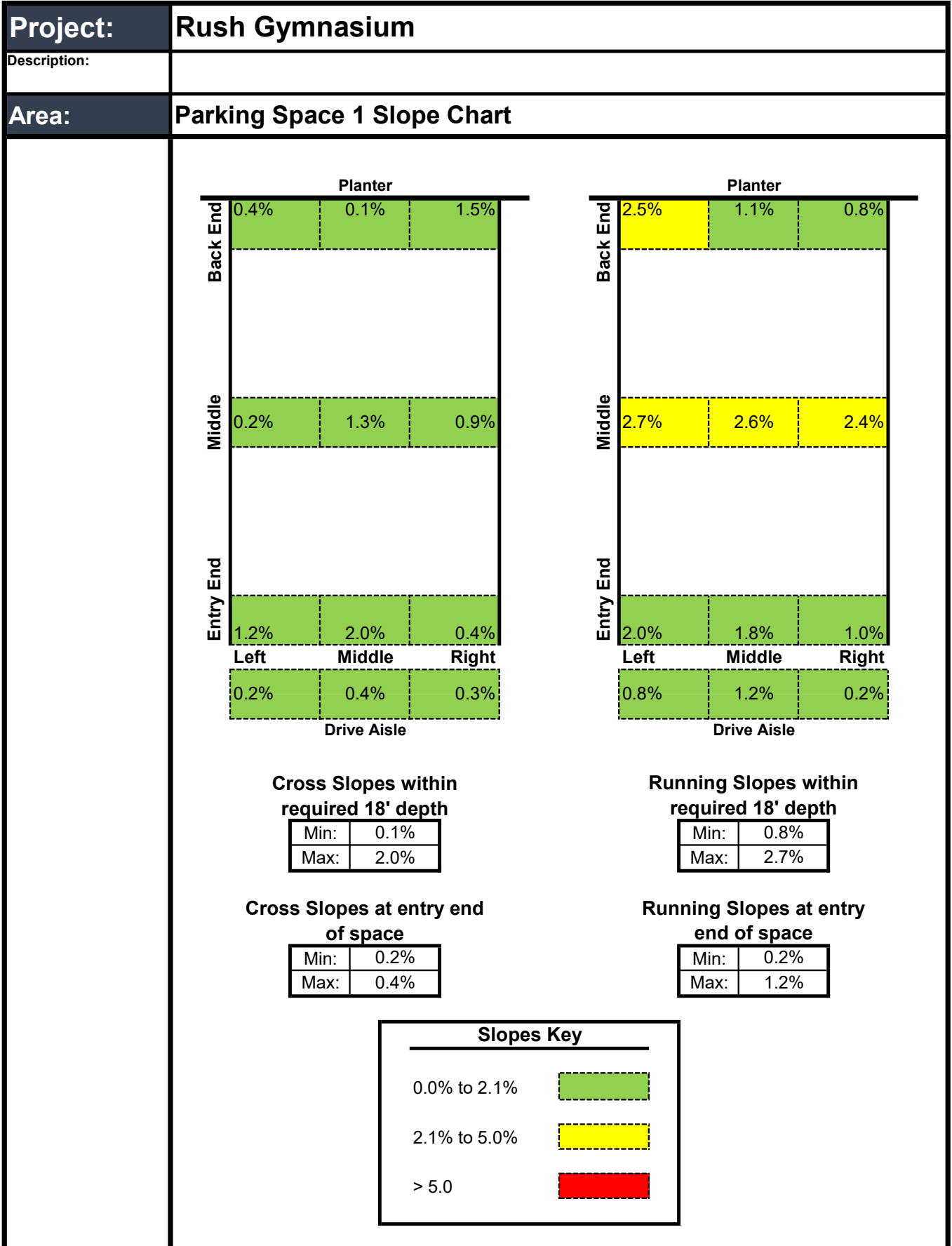
SITE

Project: Rush Gymnasium					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant. Please see individual findings in report for specific details.					
Area:	SITE- General Accessibility				Code Cycle
Description:	General Rush Gymnasium Site Information				2022
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Path of Travel from subject building and other facilities on site	Path of Travel width from subject building to other facilities on site	SITE- 4.01	Provided	Continuous path of travel to other facilities on site (where occurs)	11B-206.2.1
	Path of Travel width	SITE- 4.02	>48"	48" min.	11B-403.5.1 Exception 3
	Path of Travel width-exception	SITE- 4.03	N/A	Due to natural barriers or other obstructions, width may be reduced to 36"	11B-403.5.1 Exception 3
	Path of Travel Cross Slopes	SITE- 4.04	Compliant	1:48 slope max.	11B-403.3
	Path of Travel Running Slopes	SITE- 4.05	Compliant	1:20 slope max.	11B-403.3
	Path of Travel Running-Slope adjacent to street/highway	SITE- 4.06	N/A	Where sidewalk is adjacent to vehicle way, slope may not exceed roadway slope.	11B-403.3 Exception
On Site Parking	Total number of spaces	SITE- 5.01	39 spaces	Informational	---
	Total number of accessible spaces	SITE- 5.02	2	See Parking Spaces Table	Table 11B-208.2
	Total number of van accessible spaces	SITE- 5.03	Both spaces are identified as van accessible.	1 for every 6 accessible spaces	11B-208.2.4

SITE

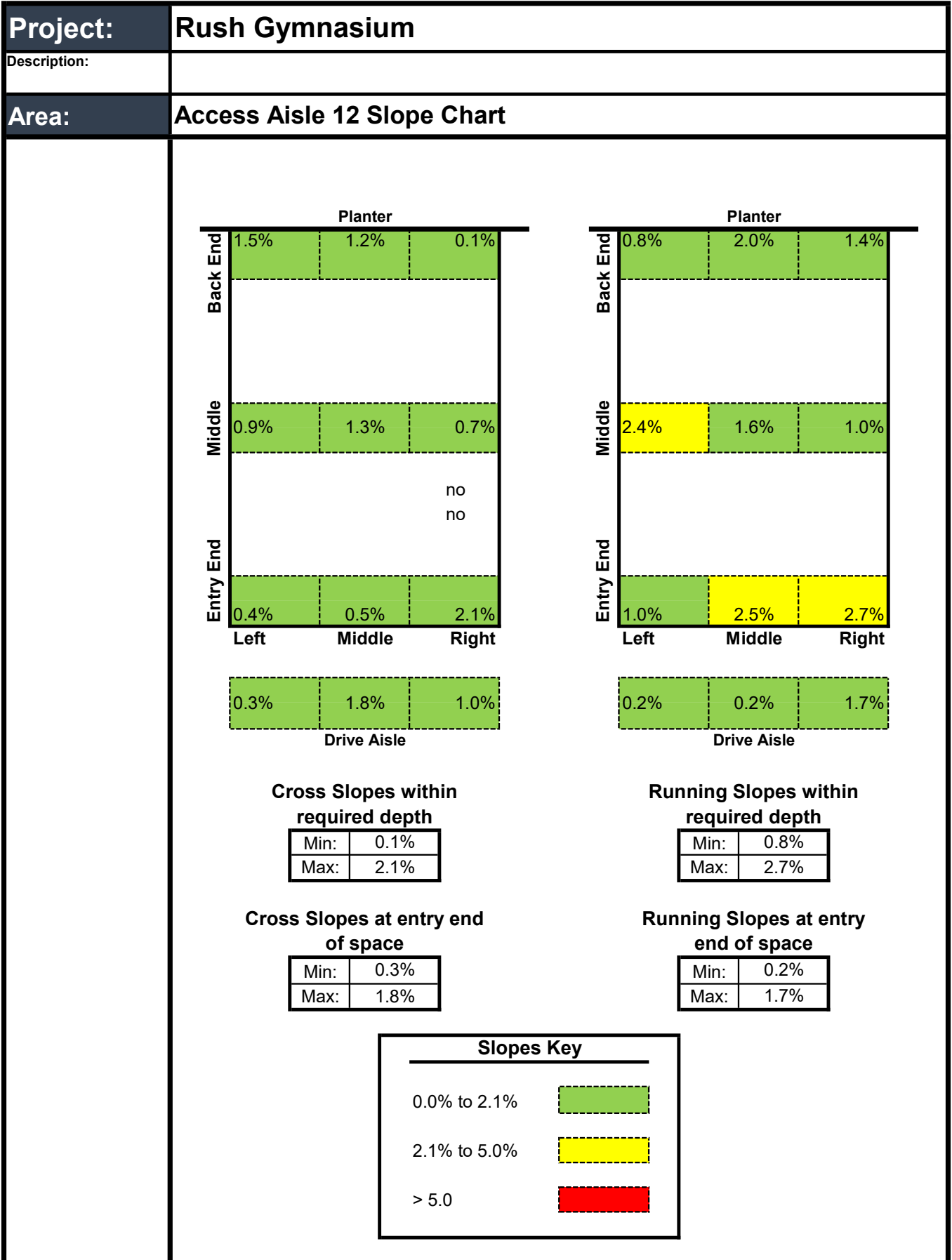
Project: Rush Gymnasium					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant. Please see individual findings in report for specific details.					
Area:	PK1- Parking Space 1				Code Cycle 2022
Description:	Accessible parking space - left side of access aisle				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Accessible Space	Angled, Straight or Parallel	PK1- 1.01	Straight	Informational	N/A
	Van or Standard accessible stall?	PK1- 1.02	Van accessible space	Informational	N/A
	Parking space width	PK1- 1.03	9'-4"	9'-0" or 12'-0" at Van Accessible Space	11B-502.2
	Parking space depth	PK1- 1.04	18'-0"	18'-0"	11B-502.2
	<i>Side stripe color</i>	<i>PK1- 1.05</i>	<i>Correct blue color, but peeling/fading.</i>	<i>Both sides blue</i>	<i>11B-502.3.3</i>
	Does parked car encroach into required adjacent 48" wide pedestrian route?	PK1- 1.06	No	Parked vehicles may not obstruct required width of adjacent accessible route	11B-502.7.2
	Wheel stop or curb provided to prevent encroachment	PK1- 1.07	Raised curb at end of parking space	Required if vehicle encroaches into pedestrian way.	11B-502.7.2
	ISA symbol provided at bottom of stall	PK1- 1.08	Yes	Aligned with bottom end of space.	11B-502.6.4
	ISA symbol width x height	PK1- 1.09	44" x 44"	36" x 36"	11B-502.6.4.1 11B-502.6.4.2
	ISA symbol condition	PK1- 1.10	Showing slight wear	Unfaded, no repainting required	Assumed, not specified in code
	ISA symbol alignment within parking space	PK1- 1.11	56" 56"	Within 6" of centerline of space and sides parallel to space length	11B-502.6.4.2
	70 Sq. In accessible signage provided at head of stall	PK1- 1.12	Correct Sign Provided	Reflectorized. White on blue background with ISA symbol	11B-502.6 11B-502.6.1
	Required Fine Signage	PK1- 1.13	Sign Missing	Minimum Fine \$250	11B-502.6.2
	Van Accessible signage provided	PK1- 1.14	Correct Sign Provided	Van Accessible signage required	11B-502.6
	Is the stall signage located within the accessible route?	PK1- 1.15	In planter / landscape area	Informational	---
	Stall signage height	PK1- 1.16	95"	80" if within accessible route. 60" if not within accessible route.	11B-502.6 11B-502.6 Exception
	Paving surface condition	PK1- 1.17	Fair	Smooth & undamaged	Assumed, not specified in code
	Parking Space Cross Slope %	PK1- 1.18	Within space: 0.1% to 2.0% Entry end: 0.2% to 0.4%	1:48 max (2.1% max)	11B-502.4 Exception
Parking Space Running Slope %	PK1- 1.19	Within space: 0.8% to 2.7% Entry end: 0.2% to 1.2%	1:48 max (2.1% max)	11B-502.4 Exception	

PARKING-1



Project: Rush Gymnasium					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant. Please see individual findings in report for specific details.					
Area:	AA12- Access Aisle 12				Code Cycle 2022
Description:	Access aisle between the two accessible parking spaces				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Access Aisle	Connected to accessible route	AA12- 1.01	Aisle is not connected to accessible route	Must be connected to accessible route	11B-502.3
	Parking space(s) served	AA12- 1.02	1 & 2	Informational	---
	Access aisle location	AA12- 1.03	Between spaces	Either side of space or right side of angled van accessible	11B-502.3.4
	Are occupants required to pass behind other parked vehicles?	AA12- 1.04	Yes	Not permitted	11B-502.7.1
	Built-up ramp inside aisle?	AA12- 1.05	No	Not permitted	11B-502.4
	Access aisle width	AA12- 1.06	7'-8"	Std Space: 60" Van Space: 96" Van Space: 60" if 12' wide parking space	11B-502.3.1
	Access aisle depth	AA12- 1.07	Full depth	Full length of adjacent stall	11B-502.3.1
	Paving condition	AA12- 1.08	Fair	Stable, firm and slip-resistant	11B-302.1
	Access aisle cross slope %	AA12- 1.09	Within aisle: 0.1% to 2.1% Entry end: 0.3% to 1.8%	1:48 max. (2.1%)	11B-502.4 Exception 1
	Access aisle running slope %	AA12- 1.10	Within aisle: 0.8% to 2.7% Entry end: 0.2% to 1.7%	1:48 max. (2.1%)	11B-502.5 Exception 1
	Access aisle border	AA12- 1.11	Showing slight wear	4" wide blue border on all sides of access aisle	11B-503.3
	Access aisle diagonal hatching spacing	AA12- 1.12	Ranges between 35" and 36". Stripe missing at head end	36" max o.c.	11B-502.3.3
	"NO PARKING" at bottom of access aisle	AA12- 1.13	Text faded. Requires repainting.	12" high letters painted white	11B-502.3.3
"NO PARKING" paint condition	AA12- 1.14	Text faded. Requires repainting.	Text must be legible	11B-502.3.3	

aisle-12



Project: Rush Gymnasium

Item Observations in **RED** were observed to be non-compliant. Items Observations in **PINK ITALICS** were observed to be partially compliant. Please see individual findings in report for specific details.

Area:	PK2- Parking Space 2	Code Cycle 2022
Description:	Parking space to the right of the access aisle.	

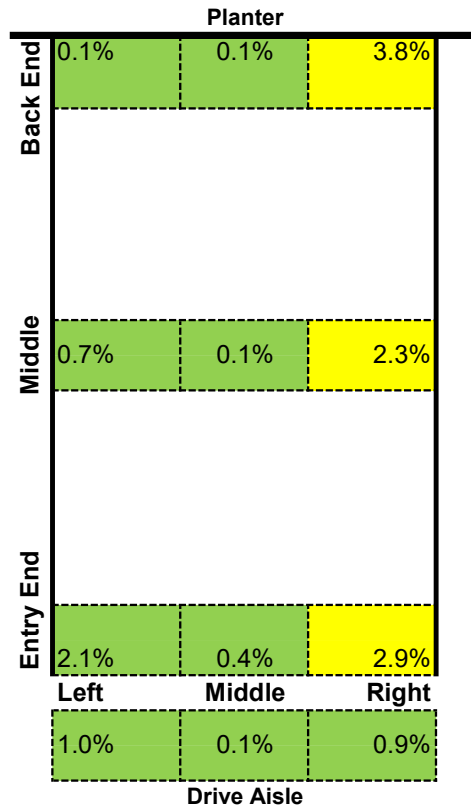
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Accessible Space	Angled, Straight or Parallel	PK2- 1.01	Straight	Informational	N/A
	Van or Standard accessible stall?	PK2- 1.02	Van accessible space	Informational	N/A
	Parking space width	PK2- 1.03	9'-2"	9'-0" or 12'-0" at Van Accessible Space	11B-502.2
	Parking space depth	PK2- 1.04	18'-0"	18'-0"	11B-502.2
	<i>Side stripe color</i>	<i>PK2- 1.05</i>	<i>Left side blue. Right side peeling/fading/missing</i>	<i>Both sides blue</i>	<i>11B-502.3.3</i>
	Does parked car encroach into required adjacent 48" wide pedestrian route?	PK2- 1.06	No	Parked vehicles may not obstruct required width of adjacent accessible route	11B-502.7.2
	Wheel stop or curb provided to prevent encroachment	PK2- 1.07	Raised curb at end of parking space	Required if vehicle encroaches into pedestrian way.	11B-502.7.2
	ISA symbol provided at bottom of stall	PK2- 1.08	Yes	Aligned with bottom end of space.	11B-502.6.4
	ISA symbol width x height	PK2- 1.09	44" x 44"	36" x 36"	11B-502.6.4.1 11B-502.6.4.2
	ISA symbol condition	PK2- 1.10	Fair condition. Correct color.	Unfaded, no repainting required	Assumed, not specified in code
	ISA symbol alignment within parking space	PK2- 1.11	52" 57"	Within 6" of centerline of space and sides parallel to space length	11B-502.6.4.2
	70 Sq. In accessible signage provided at head of stall	PK2- 1.12	Correct Sign Provided	ReflectORIZED. White on blue background with ISA symbol	11B-502.6 11B-502.6.1
	Required Fine Signage	PK2- 1.13	Sign Missing	Minimum Fine \$250	11B-502.6.2
	Van Accessible signage provided	PK2- 1.14	Correct Sign Provided	Van Accessible signage required	11B-502.6
	Is the stall signage located within the accessible route?	PK2- 1.15	In planter / landscape area	Informational	---
	Stall signage height	PK2- 1.16	95"	80" if within accessible route. 60" if not within accessible route.	11B-502.6 11B-502.6 Exception
	Paving surface condition	PK2- 1.17	Fair	Smooth & undamaged	Assumed, not specified in code
Parking Space Cross Slope %	PK2- 1.18	Within space: 0.1% to 3.8% Entry end: 0.1% to 1.0%	1:48 max (2.1% max)	11B-502.4 Exception	
Parking Space Running Slope %	PK2- 1.19	Within space: 0.3% to 2.7% Entry end: 1.7% to 3.7%	1:48 max (2.1% max)	11B-502.4 Exception	

PARKING-2

Project: Rush Gymnasium

Description: Slopes at existing Accessible Parking Space 2 in parking lot.

Area: Parking Space 2 Slope Chart

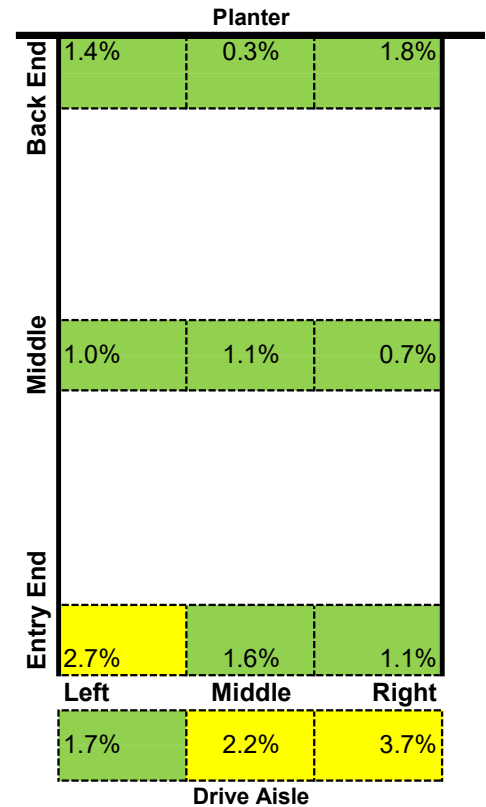


Cross Slopes within required 18' depth

Min:	0.1%
Max:	3.8%

Cross Slopes at entry end of space

Min:	0.1%
Max:	1.0%

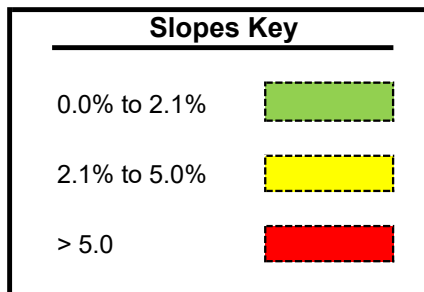


Running Slopes within required 18' depth

Min:	0.3%
Max:	2.7%

Running Slopes at entry end of space

Min:	1.7%
Max:	3.7%



Project: Rush Gymnasium					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant. Please see individual findings in report for specific details.					
Area:	RA1- Ramp 1				Code Cycle 2022
Description:	Ramp leading from sidewalk to gym entrance				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Lower Landing	Lower landing depth	RA1- 1.01	73"	72" min.	11B-405.7.3.1
	Lower landing width	RA1- 1.02	Full width of ramp	At least as wide as the ramp	11B-405.7.2
	Lower landing surface slope	RA1- 1.03	Cross: 5.7% Running: 0.5%	1:48 slope in all directions	11B-405.7.1
	Left handrail extension from bottom approach	RA1- 1.04	Wraps around at public sidewalk	12" level beyond bottom edge of ramp.	11B-505.10.3
	Right handrail extension from bottom approach	RA1- 1.05	Continues along full length of bottom landing	12" level beyond bottom edge of ramp.	11B-505.10.3
	Left handrail extension height	RA1- 1.06	34"	34" to 38" high. Level with floor	11B-505.4
	Right handrail extension height	RA1- 1.07	34"	34" to 38" high. Level with floor	11B-505.4
Ramp Run	Ramp width	RA1- 1.08	72"	48" minimum	11B-405.5
	Ramp slope	RA1- 1.09	Bottom: 7.4% Middle: 7.9% Top: 8.9%	1:12 max (ramp) 1:20 max (sloped walk)	11B-405.2 11B-403.3
	Cross slope	RA1- 1.10	Bottom: 4.8% Middle: 2.4% Top: 1.4%	2% max.	11B-405.3
	Handrail diameter or perimeter	RA1- 1.11	1.5" diameter	1.25" to 2" circular cross section or 4" to 6.25" perimeter at non-circular cross section and 2.25" max cross section	11B-505.7.1
	Left handrail clearance and surface	RA1- 1.12	2" to guardrail	1.5" min. from adjacent surfaces. Free of sharp or abrasive elements.	11B-505.5 11B-505.8
	Right handrail clearance and surface	RA1- 1.13	2" to brick wall	1.5" min. from adjacent surfaces. Free of sharp or abrasive elements.	11B-505.5 11B-505.8
	Left handrail height	RA1- 1.14	34"	34" to 38" high above stair nosing	11B-505.4
	Right handrail height	RA1- 1.15	33.5"	34" to 38" high above stair nosing	11B-505.4
	Left handrail wheel entrapment protection	RA1- 1.16	Provided	2" high curb or continuous barrier to prevent 4" sphere from passing below.	11B-405.9.2
	Right handrail wheel entrapment protection	RA1- 1.17	Wall condition	2" high curb or continuous barrier to prevent 4" sphere from passing below.	11B-405.9.2

RAMP-1

Project: Rush Gymnasium

Item Observations in **RED** were observed to be non-compliant. Items Observations in **PINK ITALICS** were observed to be partially compliant. Please see individual findings in report for specific details.

Area:	RA1- Ramp 1				Code Cycle 2022
Description:	Ramp leading from sidewalk to gym entrance				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Upper Landing	Upper landing depth	RA1- 1.18	120"	48" min.	11B-405.7.3.1
	Upper landing surface slope	RA1- 1.19	Cross: 1.1% Running: 1.1%	1:48 slope in all directions	11B-405.7.1
	Left handrail extension	RA1- 1.20	Continues required length	12" min. level	11B-505.10.1
	Right handrail extension	RA1- 1.21	Wraps to wall 17"	12" min. level	11B-505.10.1
	Left handrail extension height	RA1- 1.22	34"	34" to 38" high	11B-505.4
	Right handrail extension height	RA1- 1.23	34"	34" to 38" high. Level with floor	11B-505.4

RAMP-1

Project: Rush Gymnasium					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant. Please see individual findings in report for specific details.					
Area:	ST1- Stair 1				Code Cycle 2022
Description:	Single short stair run from public sidewalk to gym entrance.				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Lower Landing	Landing depth	ST1- 1.01	138"	48" min. Not less than width of stair	CBC Chapter 10 1011.6
	Landing Slopes	ST1- 1.02	Cross: 0.7% Running: 2.8%	1:48 slope in all directions	CBC Chapter 10 1011.6
	Left handrail extension length.	ST1- 1.03	20"	Tread length plus 12" minimum	11B-505.10.3
	Right handrail extension length.	ST1- 1.04	24"	Tread length plus 12" minimum	11B-505.10.3
	Left handrail extension height.	ST1- 1.05	36"	34" to 38" above bottom landing	11B-505.4
	Right handrail extension height.	ST1- 1.06	36"	34" to 38" above bottom landing	11B-505.4
Stair Run	Riser height	ST1- 2.01	6"	Uniform riser height. 4" to 7" high	11B-504.2
	Tread length	ST1- 2.02	16"	Uniform tread length. 11" minimum	11B-504.2
	Stair width	ST1- 2.03	61"	Egress issue. Not an access issue	CBC Chapter 10 1009.3
	Stair nosing	ST1- 2.04	Square	1/2" maximum radius	11B-504.5
	Contrasting stripe at bottom stair	ST1- 2.05	Missing	Full width. 2 to 4" wide. 1" max. from stair nosing	11B-504.4.1
	Contrasting stripe at all treads (exterior conditions only)	ST1- 2.06	Missing	Full width. 2 to 4" wide. 1" max. from stair nosing	11B-504.4.1
	Contrasting stripe at top landing	ST1- 2.07	Missing	Full width. 2 to 4" wide. 1" max. from stair nosing	11B-504.4.1
	Handrail diameter or perimeter	ST1- 2.08	2" diameter	1.25" to 2" circular cross section or 4" to 6.25" perimeter for non-circular handrails. 2.25" max cross section	11B-505.7.1
	Left handrail clearance and surface	ST1- 2.09	Unlimited	1.5" min. from adjacent surfaces. Free of abrasive elements	11B-505.5 11B-505.8
	Right handrail clearance and surface	ST1- 2.10	2" at column	1.5" min. from adjacent surfaces. Free of abrasive elements	11B-505.5 11B-505.8
	Left handrail height from stair nosing	ST1- 2.11	36"	34" to 38" high above stair nosing	11B-505.4
	Right handrail height from stair nosing	ST1- 2.12	36"	34" to 38" high above stair nosing	11B-505.4
	Left Guardrail protection	ST1- 2.13	Not required	42" high at drop offs 30" high or more.	CBC-1013.2 CBC-1013.3
	Right Guardrail protection	ST1- 2.14	Not required	42" high at drop offs 30" high or more.	CBC-1013.2 CBC-1013.3

STAIR-1

Project: Rush Gymnasium					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant. Please see individual findings in report for specific details.					
Area:	ST1- Stair 1				Code Cycle 2022
Description:	Single short stair run from public sidewalk to gym entrance.				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Upper Landing	Landing depth	ST1- 3.01	62"	Not less than the width of the stair	CBC Chapter 1010.1.6
	Landing slopes	ST1- 3.02	Cross: 0.45 Running: 0.8%	1:48 slope in all directions	CBC Chapter 1010.1.6
	Left handrail extension length	ST1- 3.03	Continuous to wall	12" beyond the top riser	11B-505.10.2
	Right handrail extension length	ST1- 3.04	Wraps to column 14"	12" beyond the top riser	11B-505.10.2
	Left handrail extension height	ST1- 3.05	35.5"	34" to 38" above top landing	11B-505.4
	Right handrail extension height	ST1- 3.06	35.5"	34" to 38" above top landing	11B-505.4
Other Issues	Vertical Clearance under stairs	ST1- 4.01	N/A	80" high min. or 27" high barrier protecting area below min. clearance	11B-307.4
	Open Risers	ST1- 4.02	Compliant risers	Open stairs are not permitted. 1/2" openings permitted on exterior stairs.	11B-504.3

STAIR-1

Project: Rush Gymnasium						
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.						
Area:	DR1- Door 1					Code Cycle 2022
Description:	Public entry door to gymnasium					
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Entry Door	Door Swing Direction	DR1- 1.01	Double Outswinging Exterior Door	Informational	---	
	Clear Door Width	DR1- 1.02	32.5" per active leaf	32" clear	11B-404.3.1	
	Closer Provided	DR1- 1.03	Standard Closer	Informational	---	
	Pull Approach Direction (Exterior)	DR1- 1.04	Pull Side Exterior Front Approach	Informational	---	
	Pull Side Clearance from Latch	DR1- 1.05	50"	24" min.	Table 11B-404.2.4.1	
	Pull Side Clearance from Hinge	DR1- 1.06	N/A	0"	Table 11B-404.2.4.4	
	Pull Front Approach Depth	DR1- 1.07	116"	60" min.	Table 11B-404.2.4.1	
	Pull Side Landing Slopes	DR1- 1.08	Cross: 0.4% Running: 1.2%	1:48 slope in all directions	11B-305.2	
	Push Approach Direction (Interior)	DR1- 1.09	Push Side Front Approach	Informational	---	
	Push Side Clearance from Latch	DR1- 1.10	>36"	12" min.	Table 11B-404.2.4.1	
	Push Side Clearance from Hinge	DR1- 1.11	N/A	0"	Table 11B-404.2.4.4	
	Push Front Approach Depth	DR1- 1.12	Unlimited	48" min.	Table 11B-404.2.4.1	
	Push Side Landing Slopes	DR1- 1.13	Level interior	1:48 slope in all directions	11B-305.2	
	Exterior hardware type	DR1- 1.14	D Handle	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7	
	Exterior hardware height	DR1- 1.15	44" to 48"	34" to 44"	11B-404.2.7	
	Interior hardware type	DR1- 1.16	Horizontal push/pull bar	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7	
	Interior hardware height	DR1- 1.17	36"	34" to 44"	11B-404.2.7	
	Door Closer Speed Standard Closer	DR1- 1.18	5.50 seconds	Must open 90°. 5 second min. time from 90° to 12°	11B-404.2.8.1	
	Door Closer Speed Spring Closer	DR1- 1.19	N/A	Must open 90°. 1.5 second min from 70° to closed.	11B-404.2.8.2	
	Door Opening Force	DR1- 1.20	5 lbs	5 lbs. max.	11B-404.2.9	
	Smooth Bottom Panel (push conditions only)	DR1- 1.21	Full height solid door	10" min. at bottom of door.	11B-404.2.10	

DOOR-1

Project: Rush Gymnasium					
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.					
Area:	DR1- Door 1				Code Cycle 2022
Description:	Public entry door to gymnasium				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Door continued	Threshold	DR1- 1.22	Compliant	1/4" vertical + 1/4" bevel max.	11B-303.2 11B-404.2.5
	Floor mats	DR1- 1.23	Unsecured mat at interior side of door	Must be secured.	11B-302.2
	Secondary interior lock height	DR1- 1.24	40"	48" max. at front approach	11B-308.2.1
	Peephole / vision light height	DR1- 1.25	Window with glass at 46"	43" max. to bottom of clear panel	11B-404.2.11

DOOR-1

Project: Rush Gymnasium						
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant. Please see individual findings in report for specific details.						
Area:	RA2- Ramp 2				Code Cycle 2022	
Description:	Ramp from public sidewalk to office wing					
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Lower Landing	Lower landing depth	RA2- 1.01	73"	72" min.	11B-405.7.3.1	
	Lower landing width	RA2- 1.02	Full width of ramp	At least as wide as the ramp	11B-405.7.2	
	Lower landing surface slope	RA2- 1.03	Cross: 4.9% Running 0.2%	1:48 slope in all directions	11B-405.7.1	
	Left handrail extension from bottom approach	RA2- 1.04	Continues	12" level beyond bottom edge of ramp.	11B-505.10.3	
	Right handrail extension from bottom approach	RA2- 1.05	Continues	12" level beyond bottom edge of ramp.	11B-505.10.3	
	Left handrail extension height	RA2- 1.06	32"	34" to 38" high. Level with floor	11B-505.4	
	Right handrail extension height	RA2- 1.07	31.5"	34" to 38" high. Level with floor	11B-505.4	
Ramp Run	Ramp width	RA2- 1.08	59"	48" minimum	11B-405.5	
	Ramp slope	RA2- 1.09	Bottom: 9.7% Middle: 7.2% Top: 7.0%	1:12 max (ramp) 1:20 max (sloped walk)	11B-405.2 11B-403.3	
	Cross slope	RA2- 1.10	Bottom: 2.8% Middle: 4.5% Top: 3.3%	2% max.	11B-405.3	
	Handrail diameter or perimeter	RA2- 1.11	1.25" square 5" perimeter	1.25" to 2" circular cross section or 4" to 6.25" perimeter at non-circular cross section and 2.25" max cross section	11B-505.7.1	
	Left handrail clearance and surface	RA2- 1.12	Unlimited	1.5" min. from adjacent surfaces. Free of sharp or abrasive elements.	11B-505.5 11B-505.8	
	Right handrail clearance and surface	RA2- 1.13	Unlimited	1.5" min. from adjacent surfaces. Free of sharp or abrasive elements.	11B-505.5 11B-505.8	
	Left handrail height	RA2- 1.14	31.5"	34" to 38" high above stair nosing	11B-505.4	
	Right handrail height	RA2- 1.15	31"	34" to 38" high above stair nosing	11B-505.4	
	Left handrail wheel entrapment protection	RA2- 1.16	Missing	2" high curb or continuous barrier to prevent 4" sphere from passing below.	11B-405.9.2	
	Right handrail wheel entrapment protection	RA2- 1.17	Missing	2" high curb or continuous barrier to prevent 4" sphere from passing below.	11B-405.9.2	

RAMP-2

Project: Rush Gymnasium					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant. Please see individual findings in report for specific details.					
Area:	RA2- Ramp 2				Code Cycle 2022
Description:	Ramp from public sidewalk to office wing				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Upper Landing	Upper landing depth	RA2- 1.18	Unlimited	48" min.	11B-405.7.3.1
	Upper landing surface slope	RA2- 1.19	Cross: 2.7% Running: 0.8%	1:48 slope in all directions	11B-405.7.1
	Left handrail extension	RA2- 1.20	8"	12" min. level	11B-505.10.1
	Right handrail extension	RA2- 1.21	Wraps to stair handrail Approx. 10" extension	12" min. level	11B-505.10.1
	Left handrail extension height	RA2- 1.22	31.5"	34" to 38" high	11B-505.4
	Right handrail extension height	RA2- 1.23	31"	34" to 38" high. Level with floor	11B-505.4

RAMP-2

Project: Rush Gymnasium					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant. Please see individual findings in report for specific details.					
Area:	ST2- Stair 2				Code Cycle 2022
Description:	Single stair from public sidewalk to main office entry				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Lower Landing	Landing depth	ST2- 1.01	Unlimited	48" min. Not less than width of stair	CBC Chapter 10 1011.6
	<i>Landing Slopes</i>	<i>ST2- 1.02</i>	<i>Cross: 0.6% Running: 4.5%</i>	<i>1:48 slope in all directions</i>	<i>CBC Chapter 10 1011.6</i>
	Left handrail extension length.	ST2- 1.03	Not compliant	Tread length plus 12" minimum	11B-505.10.3
	Right handrail extension length.	ST2- 1.04	4"	Tread length plus 12" minimum	11B-505.10.3
	Left handrail extension height.	ST2- 1.05	Surface height varies	34" to 38" above bottom landing	11B-505.4
	Right handrail extension height.	ST2- 1.06	No level surface	34" to 38" above bottom landing	11B-505.4
Stair Run	Riser height	ST2- 2.01	7"	Uniform riser height. 4" to 7" high	11B-504.2
	Tread length	ST2- 2.02	19"	Uniform tread length. 11" minimum	11B-504.2
	Stair width	ST2- 2.03	18'	Egress issue. Not an access issue	CBC Chapter 10 1009.3
	Stair nosing	ST2- 2.04	3" high square surface	1/2" maximum radius	11B-504.5
	Contrasting stripe at bottom stair	ST2- 2.05	Provided	Full width. 2 to 4" wide. 1" max. from stair nosing	11B-504.4.1
	Contrasting stripe at all treads (exterior conditions only)	ST2- 2.06	Provided	Full width. 2 to 4" wide. 1" max. from stair nosing	11B-504.4.1
	Contrasting stripe at top landing	ST2- 2.07	Provided	Full width. 2 to 4" wide. 1" max. from stair nosing	11B-504.4.1
	Handrail diameter or perimeter	ST2- 2.08	1.25" square 5" perimeter	1.25" to 2" circular cross section or 4" to 6.25" perimeter for non-circular handrails. 2.25" max cross section	11B-505.7.1
	Left handrail clearance and surface	ST2- 2.09	Unlimited	1.5" min. from adjacent surfaces. Free of abrasive elements	11B-505.5 11B-505.8
	Right handrail clearance and surface	ST2- 2.10	Unlimited	1.5" min. from adjacent surfaces. Free of abrasive elements	11B-505.5 11B-505.8
	Left handrail height from stair nosing	ST2- 2.11	32"	34" to 38" high above stair nosing	11B-505.4
	Right handrail height from stair nosing	ST2- 2.12	33"	34" to 38" high above stair nosing	11B-505.4
	Left Guardrail protection	ST2- 2.13	Not required	42" high at drop-offs 30" high or more.	CBC-1013.2 CBC-1013.3
	Right Guardrail protection	ST2- 2.14	Not required	42" high at drop-offs 30" high or more.	CBC-1013.2 CBC-1013.3

STAIR-2

Project: Rush Gymnasium					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant. Please see individual findings in report for specific details.					
Area:	ST2- Stair 2				Code Cycle 2022
Description:	Single stair from public sidewalk to main office entry				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Upper Landing	Landing depth	ST2- 3.01	Unlimited	Not less than the width of the stair	CBC Chapter 1010.1.6
	Landing slopes	ST2- 3.02	Level	1:48 slope in all directions	CBC Chapter 1010.1.6
	Left handrail extension length	ST2- 3.03	4"	12" beyond the top riser	11B-505.10.2
	Right handrail extension length	ST2- 3.04	Wraps	12" beyond the top riser	11B-505.10.2
	Left handrail extension height	ST2- 3.05	Handrail missing	34" to 38" above top landing	11B-505.4
	Right handrail extension height	ST2- 3.06	Handrail missing	34" to 38" above top landing	11B-505.4
Other Issues	Vertical Clearance under stairs	ST2- 4.01	N/A	80" high min. or 27" high barrier protecting area below min. clearance	11B-307.4
	Open Risers	ST2- 4.02	Compliant risers	Open stairs are not permitted. 1/2" openings permitted on exterior stairs.	11B-504.3

STAIR-2

Project: Rush Gymnasium						
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.						
Area:	DR3- Door 3					Code Cycle 2022
Description:	Door between gym and offices					
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Entry Door	Door Swing Direction	DR3- 1.01	Single Inswinging Interior Door	Informational	---	
	Clear Door Width	DR3- 1.02	2 @ 33.5"	32" clear	11B-404.3.1	
	Closer Provided	DR3- 1.03	Standard Closer	Informational	---	
	Pull Approach Direction (Exterior)	DR3- 1.04	Pull Side Interior Front Approach	Informational	---	
	Pull Side Clearance from Latch	DR3- 1.05	Unlimited	18" min.	Table 11B-404.2.4.1	
	Pull Side Clearance from Hinge	DR3- 1.06	N/A	0"	Table 11B-404.2.4.1	
	Pull Front Approach Depth	DR3- 1.07	Unlimited	60" min.	Table 11B-404.2.4.1	
	Pull Side Landing Slopes	DR3- 1.08	Level interior	1:48 slope in all directions	11B-305.2	
	Push Approach Direction (Interior)	DR3- 1.09	Push Side Front Approach w/ closer and latch	Informational	---	
	Push Side Clearance from Latch	DR3- 1.10	Unlimited	12" min.	Table 11B-404.2.4.1	
	Push Side Clearance from Hinge	DR3- 1.11	N/A	0"	Table 11B-404.2.4.1	
	Push Front Approach Depth	DR3- 1.12	Unlimited	48" min.	Table 11B-404.2.4.1	
	Push Side Landing Slopes	DR3- 1.13	Level interior	1:48 slope in all directions	11B-305.2	
	Exterior hardware type	DR3- 1.14	Flat push plate	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7	
	Exterior hardware height	DR3- 1.15	35" to 51"	34" to 44"	11B-404.2.7	
	Interior hardware type	DR3- 1.16	D Handle	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7	
	Interior hardware height	DR3- 1.17	30" to 51"	34" to 44"	11B-404.2.7	
	Door Closer Speed Standard Closer	DR3- 1.18	3.90 seconds	Must open 90°. 5 second min. time from 90° to 12°	11B-404.2.8.1	
	Door Closer Speed Spring Closer	DR3- 1.19	N/A	Must open 90°. 1.5 second min from 70° to closed.	11B-404.2.8.2	
	Door Opening Force	DR3- 1.20	7 lbs.	5 lbs. max.	11B-404.2.9	
	Smooth Bottom Panel (push conditions only)	DR3- 1.21	Solid panel door	10" min. at bottom of door.	11B-404.2.10	

DOOR-3

Project: Rush Gymnasium					
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.					
Area:		DR3- Door 3			Code Cycle 2022
Description:		Door between gym and offices			
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Door continued	Threshold	DR3- 1.22	Compliant	1/4" vertical + 1/4" bevel max.	11B-303.2 11B-404.2.5
	Floor mats	DR3- 1.23	Unsecured mat on gymnasium side of door.	Must be secured.	11B-302.2
	Secondary interior lock-height	DR3- 1.24	N/A	48" max. at front approach	41B-308.2.1
	Peephole / vision light height	DR3- 1.25	Compliant side lites provided	43" max. to bottom of clear panel	11B-404.2.11

DOOR-3

Project: Rush Gymnasium

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:	DR2- Door 2	Code Cycle 2022
Description:	North entry door	

MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Door	Door Swing Direction	DR2- 1.01	Sliding Door	Informational	---
	Clear Door Width	DR2- 1.02	67"	32" clear	11B-404.3.1
	Closer Provided	DR2- 1.03	Automatic operating door. No user assistance required	Informational	---
	Pull Approach Direction (Exterior)	DR2- 1.04	Pull Side Exterior Front Approach	Informational	---
	Pull Side Clearance from Latch	DR2- 1.05	N/A	24" min.	Table-11B-404.2.4.1
	Pull Side Clearance from Hinge	DR2- 1.06	N/A	0"	Table-11B-404.2.4.1
	Exterior Front Approach Depth	DR2- 1.07	Unlimited	60" min.	Table-11B-404.2.4.1
	Exterior Landing Slopes	DR2- 1.08	Cross: 0.3% Running: 0.0%	1:48 slope in all directions	11B-305.2
	Interior Approach Direction	DR2- 1.09	N/A	Informational	---
	Push Side Clearance from Latch	DR2- 1.10	N/A	n/a	Table-11B-404.2.4.1
	Push Side Clearance from Hinge	DR2- 1.11	N/A	n/a	Table-11B-404.2.4.1
	Push Front Approach Depth	DR2- 1.12	Unlimited	n/a	Table-11B-404.2.4.1
	Push Side Landing Slopes	DR2- 1.13	Level interior	1:48 slope in all directions	11B-305.2
	Exterior hardware type	DR2- 1.14	N/A	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7
	Exterior hardware height	DR2- 1.15	N/A	34" to 44"	11B-404.2.7
	Interior hardware type	DR2- 1.16	N/A	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7
	Interior hardware height	DR2- 1.17	N/A	34" to 44"	11B-404.2.7
	Door Closer Speed Standard Closer	DR2- 1.18	N/A	Must open 90°-5 second min. time from 90° to 12°	11B-404.2.8.1
	Door Closer Speed Spring Closer	DR2- 1.19	N/A	Must open 90°-1.5 second min from 70° to closed.	11B-404.2.8.2
	Door Opening Force	DR2- 1.20	N/A	5 lbs. max.	11B-404.2.9
Smooth Bottom Panel (push conditions only)	DR2- 1.21	11"	10" min. at bottom of door.	11B-404.2.10	

DOOR-2

Project: Rush Gymnasium					
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.					
Area:	DR2- Door 2				Code Cycle 2022
Description:	North entry door				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Door continued	Threshold	DR2- 1.22	Compliant	1/4" vertical + 1/4" bevel max.	11B-303.2 11B-404.2.5
	Floor mats	DR2- 1.23	Unsecured mat at interior side of door.	Must be secured.	11B-302.2
	Secondary interior lock-height	DR2- 1.24	N/A	48" max. at front approach	41B-308.2.1
	Peephole / vision light height	DR2- 1.25	Full height glass.	43" max. to bottom of clear panel	11B-404.2.11

DOOR-2

Project: Rush Gymnasium					
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.					
Area:	RR1- Men's Restroom				Code Cycle 2022
Description:	Men's restroom within gymnasium space				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Door	Door Swing Direction	RR1- 1.01	Single Inswinging Interior Door	Informational	---
	Clear Door Width	RR1- 1.02	33"	32" clear	11B-404.3.1
	Closer Provided	RR1- 1.03	Standard Closer	Informational	---
	Pull Approach Direction	RR1- 1.04	Pull Side Interior Front Approach	Informational	---
	Pull Side Clearance from Latch	RR1- 1.05	28"	18" min.	Table 11B-404.2.4.1
	Pull Side Clearance from Hinge	RR1- 1.06	N/A	0"	Table 11B-404.2.4.1
	Exterior Front Approach Depth	RR1- 1.07	> 60"	60" min.	Table 11B-404.2.4.1
	Exterior Landing Slopes	RR1- 1.08	Level interior	1:48 slope in all directions	11B-305.2
	Interior Approach Direction	RR1- 1.09	Push Side Front Approach	Informational	---
	Push Side Clearance from Latch	RR1- 1.10	100"	0"	Table 11B-404.2.4.1
	Push Side Clearance from Hinge	RR1- 1.11	N/A	0"	Table 11B-404.2.4.1
	Push Front Approach Depth	RR1- 1.12	69" to lavatory	48" min.	Table 11B-404.2.4.1
	Push Side Landing Slopes	RR1- 1.13	Level interior	1:48 slope in all directions	11B-305.2
	Exterior hardware type	RR1- 1.14	D Handle	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7
	Exterior hardware height	RR1- 1.15	42" to 54"	34" to 44"	11B-404.2.7
	Interior hardware type	RR1- 1.16	D Handle	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7
	Interior hardware height	RR1- 1.17	36" to 48"	34" to 44"	11B-404.2.7
	Door Closer Speed Standard Closer	RR1- 1.18	3.13 seconds	Must open 90°. 5 second min. time from 90°	11B-404.2.8.1
	Door Closer Speed Spring Closer		N/A	Must open 90°. 4.5 second min from 70° to closed.	11B-404.2.8.2
	Door Opening Force	RR1- 1.19	11 lbs	5 lbs. max.	11B-404.2.9
Smooth Bottom Panel (push conditions only)	RR1- 1.20	9.5" surface 10" to floor	10" min. at bottom of door.	11B-404.2.10	

RR1-MEN-GYM

Project: Rush Gymnasium

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:	RR1- Men's Restroom	Code Cycle 2022
Description:	Men's restroom within gymnasium space	

MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Signage	Wall sign provided	RR1- 2.01	Missing	Provide at entry to restrooms	11B-216.2
	Characters	RR1- 2.02	Missing	Tactile and Braille panel below pictogram	11B-703.6.1
	Pictogram	RR1- 2.03	Missing	6" high pictogram field	11B-703.6.1
	Latch Sign Height	RR1- 2.04	Missing	48" to bottom of Braille, 60" to bottom of tactile	11B-703.4.1
	Latch Sign Offset from door	RR1- 2.05	Missing	Centerline at 9" min. offset from door on pull side	11B-703.4.2
	Geometric Door Sign provided	RR1- 2.06	Missing	Geometric signage shall be provided at toilet room entrances.	11B-216.8.1
	Geometric Door Signage configuration	RR1- 2.07	Missing	12" Equilateral triangle, color shall contrast with door color	11B-703.7.2.6.3
	Geometric Door Signage Height	RR1- 2.08	Missing	58" to 60"	11B-703.7.2.6
	Geometric Door Signage Horiz. Location	RR1- 2.09	Missing	Within 1" of door centerline	11B-703.7.2.6
Accessible Lavatory	Sink Height	RR1- 3.01	31"	34" max. to top of rim	11B-606.3
	Under sink vertical clearances	RR1- 3.02	Front: 27" 8" inboard: 27"	29" min. at front, 27" min. at 8" inboard	11B-306.3.1
	P Trap Clearance	RR1- 3.03	Slight encroachment	P trap under sink may not encroach into clear space.	11B-306.3.1
	Clear floor space at sink	RR1- 3.04	Compliant	30" wide x 48" deep	11B-602.2
	Max Knee Clearance	RR1- 3.05	Compliant	Extend 25" deep x 9" above floor	11B-306.3.2
	Toe Clearance Depth	RR1- 3.06	Compliant	17" min. under element.	11B-306.2.3
	Offset from side wall	RR1- 3.07	All three lavatories are compliant	18" min. from side wall	11B-606.6
	Faucet Controls	RR1- 3.08	Turn knobs	Lever or automatic	11B-606.4
	Wrapped pipes	RR1- 3.09	Missing	All pipes under lavs shall be insulated.	11B-606.5
	Mirror max. height	RR1- 3.10	49"	40" max to bottom of reflective surface	11B-603.5
	Soap dispenser height	RR1- 3.11	58"	40" max. to operable parts	11B-603.5
	Paper towel dispenser or automatic hand dryer height	RR1- 3.12	52"	40" high to operable parts or sensor	11B-603.5

RR1-MEN-GYM

Project: Rush Gymnasium

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:	RR1- Men's Restroom	Code Cycle 2022
Description:	Men's restroom within gymnasium space	

MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Accessible Water Closet Compartment	Compartment door width	RR1- 4.01	No accessible toilet provided	34" min. at side entry	11B-604.8.1.2
	Compartment door handle types	RR1- 4.02	No accessible toilet provided	Door pull on both sides of door	11B-604.8.1.2
	Compartment door handle height (interior)	RR1- 4.03	No accessible toilet provided	34" to 44"	11B-404.2.7
	Compartment door handle height (exterior)	RR1- 4.04	No accessible toilet provided	34" to 44"	11B-404.2.7
	Compartment door self-closer	RR1- 4.05	No accessible toilet provided	Self closer required	11B-604.8.1.2
	Compartment door latch type & height	RR1- 4.06	No accessible toilet provided	Operable with no tight grasping, pinching, twisting of wrist. 48" high max.	11B-404.2.7
	Compartment width	RR1- 4.07	No accessible toilet provided	60" min. with 12" vertical clearance on one side. 66" min. with full height walls.	11B-604.3
	Compartment depth	RR1- 4.08	No accessible toilet provided	56" min. (wall hung) 59" min. (floor mount)	11B-604.8.1.1
Accessible Water Closet	Clearance in front of WC	RR1- 5.01	No accessible toilet provided	48" min.	11B-604.8.1.1.2
	WC offset from side wall	RR1- 5.02	No accessible toilet provided	17" to 18"	11B-604.2
	WC seat height	RR1- 5.03	No accessible toilet provided	17" to 19"	11B-604.4
	WC controls side	RR1- 5.04	No accessible toilet provided	On wide side or automatic	11B-604.6
	Side grab bar length	RR1- 5.05	No accessible toilet provided	42" min.	11B-604.5.1
	Side grab bar height	RR1- 5.06	No accessible toilet provided	33" to 36"	11B-609.4
	Side grab bar diameter	RR1- 5.07	No accessible toilet provided	1.25" to 2"	11B-609.2.1
	Side grab bar offset from rear wall	RR1- 5.08	No accessible toilet provided	12" max.	11B-604.5.1
	Side grab bar extent from rear wall	RR1- 5.09	No accessible toilet provided	54" min.	11B-604.5.1
	Side grab bar - clearance below	RR1- 5.10	No accessible toilet provided	1 1/2" clearance below grab bar min.	11B-609.3

RR1-MEN-GYM

Project: Rush Gymnasium					
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.					
Area:	RR1- Men's Restroom				Code Cycle 2022
Description:	Men's restroom within gymnasium space				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Accessible Water Closet (Continued)	Rear grab bar length	RR1- 5.11	No accessible toilet provided	36" min.	11B-604.5.2
	Rear grab bar height	RR1- 5.12	No accessible toilet provided	33" to 36"	11B-609.4
	Rear grab bar diameter	RR1- 5.13	No accessible toilet provided	1.25" to 2"	11B-609.2.1
	Rear grab bar centerline offsets	RR1- 5.14	No accessible toilet provided	12" min. from CL of WC to end on wall side. 24" min. from CL of WC to end on wide side.	11B-604.5.2
	Toilet paper dispenser model type	RR1- 5.15	No accessible toilet provided	Operable with no tight grasping, pinching, twisting of wrist	11B-309.4
	Toilet paper dispenser height	RR1- 5.16	No accessible toilet provided	19" min.	11B-604.7.1
	Toilet paper dispenser offset from WC front	RR1- 5.17	No accessible toilet provided	Centerline at 7" to 9" in front of WC	11B-604.7.1
	Seat cover dispenser model type	RR1- 5.18	No accessible toilet provided	Operable with no tight grasping, pinching, twisting of wrist	11B-404.2.7
	Seat cover dispenser height	RR1- 5.19	No accessible toilet provided	40" max. to operable part	11B-603.5
	Other findings	RR1- 5.20	No accessible toilet provided	Compartment entry clearances	0
Accessible Urinal	Urinal Provided	RR1- 6.01	2 urinals provided	Informational	-
	Urinal partition depth	RR1- 6.02	No partition provided between urinals	Informational	-
	Urinal clearance width	RR1- 6.03	Provided	30" wide @ 24" max partition 36" wide @ 24" min partition	11B-605.3 11B-305
	Urinal rim height	RR1- 6.04	24" 23.5"	17" max.	11B-605.2
	Urinal depth	RR1- 6.05	13"	13.5" min.	11B-605.2
	Urinal controls height	RR1- 6.06	51"	44" max.	11B-605.4

RR1-MEN-GYM

Project: Rush Gymnasium					
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.					
Area:	RR1- Men's Restroom				Code Cycle 2022
Description:	Men's restroom within gymnasium space				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Baby Changing Station	Location	RR1- 7.01	N/A	Cannot be in path of travel or in accessible toilet compartment	11B-309
	Pull down device height	RR1- 7.02	N/A	48" max.	11B-309
	Height when in use	RR1- 7.03	N/A	34" max	11B-309
	Underside clearance	RR1- 7.04	N/A	27" min. at front access-conditions	
	Clearance at path of travel	RR1- 7.05	N/A	When deployed, baby-changing station may not block path of travel.	11B-226.4
	Operable parts	RR1- 7.06	N/A	Operable with no tight grasping, pinching, twisting of wrist	11B-309.4
Miscellaneous Features	Coat hook height	RR1- 8.01	None provided	48" max.	11B-603.4
	Trash can height	RR1- 8.02	Freestanding within room	40" max.	11B-603.5
	Light switch height	RR1- 8.03	N/A	48" max. to top of box. 54" max under previous code cycle.	11B-308.1.2
	Electrical outlet height	RR1- 8.04	45"	48" max. to top of box. 54" max under previous code cycle.	11B-308.1.2
	Other findings	RR1- 8.05	N/A		

RR1-MEN-GYM

Project: Rush Gymnasium

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:		RR2- Women's Restroom				Code Cycle 2022
Description:		Women's restroom within gymnasium space				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Entry Door	Door Swing Direction	RR2- 1.01	Single Inswinging Interior Door	Informational	---	
	Clear Door Width	RR2- 1.02	33"	32" clear	11B-404.3.1	
	Closer Provided	RR2- 1.03	Standard Closer	Informational	---	
	Pull Approach Direction	RR2- 1.04	Pull Side Interior Front Approach	Informational	---	
	Pull Side Clearance from Latch	RR2- 1.05	28"	18" min.	Table 11B-404.2.4.1	
	Pull Side Clearance from Hinge	RR2- 1.06	N/A	0"	Table 44B-404.2.4.4	
	Exterior Front Approach Depth	RR2- 1.07	30" to door swing 60" to wall	60" min.	Table 11B-404.2.4.1	
	Exterior Landing Slopes	RR2- 1.08	Level interior	1:48 slope in all directions	11B-305.2	
	Interior Approach Direction	RR2- 1.09	Push Side Front Approach	Informational	---	
	Push Side Clearance from Latch	RR2- 1.10	12" to trash receptacle	0"	Table 11B-404.2.4.1	
	Push Side Clearance from Hinge	RR2- 1.11	N/A	0"	Table 44B-404.2.4.4	
	Push Front Approach Depth	RR2- 1.12	72" to lavatory	48" min.	Table 11B-404.2.4.1	
	Push Side Landing Slopes	RR2- 1.13	Level interior	1:48 slope in all directions	11B-305.2	
	Exterior hardware type	RR2- 1.14	D Handle	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7	
	Exterior hardware height	RR2- 1.15	42" to 54"	34" to 44"	11B-404.2.7	
	Interior hardware type	RR2- 1.16	D Handle	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7	
	Interior hardware height	RR2- 1.17	35" to 49"	34" to 44"	11B-404.2.7	
	Door Closer Speed Standard Closer	RR2- 1.18	3.10 seconds	Must open 90°. 5 second min. time from 90°	11B-404.2.8.1	
	Door Closer Speed Spring Closer		N/A	Must open 90°. 4.5 second min from 70° to closed.	44B-404.2.8.2	
	Door Opening Force	RR2- 1.19	10 lbs	5 lbs. max.	11B-404.2.9	
Smooth Bottom Panel (push conditions only)	RR2- 1.20	9.5" surface 10" to floor	10" min. at bottom of door.	11B-404.2.10		

RR2-WOMEN-GYM

Project: Rush Gymnasium

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:	RR2- Women's Restroom	Code Cycle 2022
Description:	Women's restroom within gymnasium space	

MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Signage	Wall sign provided	RR2- 2.01	Missing	Provide at entry to restrooms	11B-216.2
	Characters	RR2- 2.02	Missing	Tactile and Braille panel below pictogram	11B-703.6.1
	Pictogram	RR2- 2.03	Missing	6" high pictogram field	11B-703.6.1
	Latch Sign Height	RR2- 2.04	Missing	48" to bottom of Braille, 60" to bottom of tactile	11B-703.4.1
	Latch Sign Offset from door	RR2- 2.05	Missing	Centerline at 9" min. offset from door on pull side	11B-703.4.2
	Geometric Door Sign provided	RR2- 2.06	Missing	Geometric signage shall be provided at toilet room entrances.	11B-216.8.1
	Geometric Door Signage configuration	RR2- 2.07	Missing	12" Equilateral triangle, color shall contrast with door color	11B-703.7.2.6.3
	Geometric Door Signage Height	RR2- 2.08	Missing	58" to 60"	11B-703.7.2.6
	Geometric Door Signage Horiz. Location	RR2- 2.09	Missing	Within 1" of door centerline	11B-703.7.2.6
Accessible Lavatory	Sink Height	RR2- 3.01	31"	34" max. to top of rim	11B-606.3
	Under sink vertical clearances	RR2- 3.02	Front: 27" 8" inboard: 27"	29" min. at front, 27" min. at 8" inboard	11B-306.3.1
	P Trap Clearance	RR2- 3.03	Slight encroachment	P trap under sink may not encroach into clear space.	11B-306.3.1
	Clear floor space at sink	RR2- 3.04	Compliant	30" wide x 48" deep	11B-602.2
	Max Knee Clearance	RR2- 3.05	Compliant	Extend 25" deep x 9" above floor	11B-306.3.2
	Toe Clearance Depth	RR2- 3.06	Compliant	17" min. under element.	11B-306.2.3
	Offset from side wall	RR2- 3.07	Left lav: 17.5" Right lav: 16" Middle lav: compliant	18" min. from side wall	11B-606.6
	Faucet Controls	RR2- 3.08	Turn knobs	Lever or automatic	11B-606.4
	Wrapped pipes	RR2- 3.09	Missing	All pipes under lavs shall be insulated.	11B-606.5
	Mirror max. height	RR2- 3.10	49"	40" max to bottom of reflective surface	11B-603.5
	Soap dispenser height	RR2- 3.11	57"	40" max. to operable parts	11B-603.5
	Paper towel dispenser or automatic hand dryer height	RR2- 3.12	52"	40" high to operable parts or sensor	11B-603.5

RR2-WOMEN-GYM

Project: Rush Gymnasium

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:	RR2- Women's Restroom	Code Cycle 2022
Description:	Women's restroom within gymnasium space	

MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Accessible Water Closet Compartment	Compartment door width	RR2- 4.01	No accessible toilet provided	34" min. at side entry	11B-604.8.1.2
	Compartment door handle types	RR2- 4.02	No accessible toilet provided	Door pull on both sides of door	11B-604.8.1.2
	Compartment door handle height (interior)	RR2- 4.03	No accessible toilet provided	34" to 44"	11B-404.2.7
	Compartment door handle height (exterior)	RR2- 4.04	No accessible toilet provided	34" to 44"	11B-404.2.7
	Compartment door self-closer	RR2- 4.05	No accessible toilet provided	Self closer required	11B-604.8.1.2
	Compartment door latch type & height	RR2- 4.06	No accessible toilet provided	Operable with no tight grasping, pinching, twisting of wrist. 48" high max.	11B-404.2.7
	Compartment width	RR2- 4.07	No accessible toilet provided	60" min. with 12" vertical clearance on one side. 66" min. with full height	11B-604.3
	Compartment depth	RR2- 4.08	No accessible toilet provided	56" min. (wall hung) 59" min. (floor mount)	11B-604.8.1.1
Accessible Water Closet	Clearance in front of WC	RR2- 5.01	No accessible toilet provided	48" min.	11B-604.8.1.1.2
	WC offset from side wall	RR2- 5.02	No accessible toilet provided	17" to 18"	11B-604.2
	WC seat height	RR2- 5.03	No accessible toilet provided	17" to 19"	11B-604.4
	WC controls side	RR2- 5.04	No accessible toilet provided	On wide side or automatic	11B-604.6
	Side grab bar length	RR2- 5.05	No accessible toilet provided	42" min.	11B-604.5.1
	Side grab bar height	RR2- 5.06	No accessible toilet provided	33" to 36"	11B-609.4
	Side grab bar diameter	RR2- 5.07	No accessible toilet provided	1.25" to 2"	11B-609.2.1
	Side grab bar offset from rear wall	RR2- 5.08	No accessible toilet provided	12" max.	11B-604.5.1
	Side grab bar extent from rear wall	RR2- 5.09	No accessible toilet provided	54" min.	11B-604.5.1
	Side grab bar - clearance below	RR2- 5.10	No accessible toilet provided	1 1/2" clearance below grab bar min.	11B-609.3

RR2-WOMEN-GYM

Project: Rush Gymnasium					
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.					
Area:	RR2- Women's Restroom				Code Cycle 2022
Description:	Women's restroom within gymnasium space				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Accessible Water Closet (Continued)	Rear grab bar length	RR2- 5.11	No accessible toilet provided	36" min.	11B-604.5.2
	Rear grab bar height	RR2- 5.12	No accessible toilet provided	33" to 36"	11B-609.4
	Rear grab bar diameter	RR2- 5.13	No accessible toilet provided	1.25" to 2"	11B-609.2.1
	Rear grab bar centerline offsets	RR2- 5.14	No accessible toilet provided	12" min. from CL of WC to end on wall side. 24" min. from CL of WC to end on wide side.	11B-604.5.2
	Toilet paper dispenser model type	RR2- 5.15	No accessible toilet provided	Operable with no tight grasping, pinching, twisting of wrist	11B-309.4
	Toilet paper dispenser height	RR2- 5.16	No accessible toilet provided	19" min.	11B-604.7.1
	Toilet paper dispenser offset from WC front	RR2- 5.17	No accessible toilet provided	Centerline at 7" to 9" in front of WC	11B-604.7.1
	Seat cover dispenser model type	RR2- 5.18	No accessible toilet provided	Operable with no tight grasping, pinching, twisting of wrist	11B-404.2.7
	Seat cover dispenser height	RR2- 5.19	No accessible toilet provided	40" max. to operable part	11B-603.5
	Other findings	RR2- 5.20	No accessible toilet provided	Compartment entry clearances	0

RR2-WOMEN-GYM

Project: Rush Gymnasium					
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.					
Area:	RR2- Women's Restroom				Code Cycle 2022
Description:	Women's restroom within gymnasium space				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Baby Changing Station	Location	RR2- 7.01	N/A	Cannot be in path of travel or in accessible toilet compartment	11B-309
	Pull down device height	RR2- 7.02	N/A	48" max.	11B-309
	Height when in use	RR2- 7.03	N/A	34" max	11B-309
	Underside clearance	RR2- 7.04	N/A	27" min. at front access-conditions	
	Clearance at path of travel	RR2- 7.05	N/A	When deployed, baby changing station may not block path of travel.	11B-226.4
	Operable parts	RR2- 7.06	N/A	Operable with no tight grasping, pinching, twisting of wrist	11B-309.4
Miscellaneous Features	Coat hook height	RR2- 8.01	None provided	48" max.	11B-603.4
	Trash can height	RR2- 8.02	Built into wall 36" height	40" max.	11B-603.5
	Light switch height	RR2- 8.03	N/A	48" max. to top of box. 54" max under previous code cycle.	11B-308.1.2
	Electrical outlet height	RR2- 8.04	N/A	48" max. to top of box. 54" max under previous code cycle.	11B-308.1.2
	Other findings	RR2- 8.05	N/A		

RR2-WOMEN-GYM

Project: Rush Gymnasium					
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.					
Area:	RR3- Men's Restroom				Code Cycle 2022
Description:	Men's restroom within office wing.				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Door	Door Swing Direction	RR3- 1.01	Single Inswinging Interior Door	Informational	---
	Clear Door Width	RR3- 1.02	31"	32" clear	11B-404.3.1
	Closer Provided	RR3- 1.03	Standard Closer	Informational	---
	Pull Approach Direction	RR3- 1.04	Pull Side Interior Front Approach	Informational	---
	Pull Side Clearance from Latch	RR3- 1.05	36"	18" min.	Table 11B-404.2.4.1
	Pull Side Clearance from Hinge	RR3- 1.06	N/A	0"	Table-11B-404.2.4.4
	Exterior Front Approach Depth	RR3- 1.07	62"	60" min.	Table 11B-404.2.4.1
	Exterior Landing Slopes	RR3- 1.08	Level interior	1:48 slope in all directions	11B-305.2
	Interior Approach Direction	RR3- 1.09	Push Side Front Approach	Informational	---
	Push Side Clearance from Latch	RR3- 1.10	60"	0"	Table 11B-404.2.4.1
	Push Side Clearance from Hinge	RR3- 1.11	N/A	0"	Table-11B-404.2.4.4
	Push Front Approach Depth	RR3- 1.12	>48"	48" min.	Table 11B-404.2.4.1
	Push Side Landing Slopes	RR3- 1.13	Level interior	1:48 slope in all directions	11B-305.2
	Exterior hardware type	RR3- 1.14	D Handle	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7
	Exterior hardware height	RR3- 1.15	41" to 54"	34" to 44"	11B-404.2.7
	Interior hardware type	RR3- 1.16	D Handle	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7
	Interior hardware height	RR3- 1.17	35" to 49"	34" to 44"	11B-404.2.7
	Door Closer Speed Standard Closer	RR3- 1.18	2.45 seconds. Door doesn't open full 90°	Must open 90°. 5 second min. time from 90°	11B-404.2.8.1
	Door Closer Speed Spring Closer		N/A	Must open 90°. 1.5 second min from 70° to closed.	11B-404.2.8.2
	Door Opening Force	RR3- 1.19	12 lbs.	5 lbs. max.	11B-404.2.9
Smooth Bottom Panel (push conditions only)	RR3- 1.20	8"	10" min. at bottom of door.	11B-404.2.10	

RR3-MEN-OFFICE

Project: Rush Gymnasium

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:	RR3- Men's Restroom	Code Cycle 2022
Description:	Men's restroom within office wing.	

MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Signage	Wall sign provided	RR3- 2.01	2	Provide at entry to restrooms	11B-216.2
	Characters	RR3- 2.02	Missing	Tactile and Braille panel below pictogram	11B-703.6.1
	Pictogram	RR3- 2.03	Missing	6" high pictogram field	11B-703.6.1
	Latch Sign Height	RR3- 2.04	Missing	48" to bottom of Braille, 60" to bottom of tactile	11B-703.4.1
	Latch Sign Offset from door	RR3- 2.05	Missing	Centerline at 9" min. offset from door on pull side	11B-703.4.2
	Geometric Door Sign provided	RR3- 2.06	Missing	Geometric signage shall be provided at toilet room entrances.	11B-216.8.1
	Geometric Door Signage configuration	RR3- 2.07	Missing	12" Equilateral triangle, color shall contrast with door color	11B-703.7.2.6.3
	Geometric Door Signage Height	RR3- 2.08	Missing	58" to 60"	11B-703.7.2.6
	Geometric Door Signage Horiz. Location	RR3- 2.09	Missing	Within 1" of door centerline	11B-703.7.2.6
Accessible Lavatory	Sink Height	RR3- 3.01	31"	34" max. to top of rim	11B-606.3
	Under sink vertical clearances	RR3- 3.02	Front: 26.75"	29" min. at front, 27" min. at 8" inboard	11B-306.3.1
	P Trap Clearance	RR3- 3.03	Slight encroachment	P trap under sink may not encroach into clear space.	11B-306.3.1
	Clear floor space at sink	RR3- 3.04	Compliant	30" wide x 48" deep	11B-602.2
	Max Knee Clearance	RR3- 3.05	Compliant	Extend 25" deep x 9" above floor	11B-306.3.2
	Toe Clearance Depth	RR3- 3.06	Compliant	17" min. under element.	11B-306.2.3
	Offset from side wall	RR3- 3.07	Left: 17.5" Right" 28.5" Middle: Compliant	18" min. from side wall	11B-606.6
	Faucet Controls	RR3- 3.08	Lever	Lever or automatic	11B-606.4
	Wrapped pipes	RR3- 3.09	Missing	All pipes under lavs shall be insulated.	11B-606.5
	Mirror max. height	RR3- 3.10	49"	40" max to bottom of reflective surface	11B-603.5
	Soap dispenser height	RR3- 3.11	57"	40" max. to operable parts	11B-603.5
	Paper towel dispenser or automatic hand dryer height	RR3- 3.12	50"	40" high to operable parts or sensor	11B-603.5

RR3-MEN-OFFICE

Project: Rush Gymnasium

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:	RR3- Men's Restroom	Code Cycle 2022
Description:	Men's restroom within office wing.	

MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Accessible Water Closet Compartment	Compartment door width	RR3- 4.01	No accessible toilet provided	34" min. at side entry	11B-604.8.1.2
	Compartment door handle types	RR3- 4.02	No accessible toilet provided	Door pull on both sides of door	11B-604.8.1.2
	Compartment door handle height (interior)	RR3- 4.03	No accessible toilet provided	34" to 44"	11B-404.2.7
	Compartment door handle height (exterior)	RR3- 4.04	No accessible toilet provided	34" to 44"	11B-404.2.7
	Compartment door self-closer	RR3- 4.05	No accessible toilet provided	Self closer required	11B-604.8.1.2
	Compartment door latch type & height	RR3- 4.06	No accessible toilet provided	Operable with no tight grasping, pinching, twisting of wrist. 48" high max.	11B-404.2.7
	Compartment width	RR3- 4.07	No accessible toilet provided	60" min. with 12" vertical clearance on one side. 66" min. with full height walls.	11B-604.3
	Compartment depth	RR3- 4.08	No accessible toilet provided	56" min. (wall hung) 59" min. (floor mount)	11B-604.8.1.1
Accessible Water Closet	Clearance in front of WC	RR3- 5.01	No accessible toilet provided	48" min.	11B-604.8.1.1.2
	WC offset from side wall	RR3- 5.02	No accessible toilet provided	17" to 18"	11B-604.2
	WC seat height	RR3- 5.03	No accessible toilet provided	17" to 19"	11B-604.4
	WC controls side	RR3- 5.04	No accessible toilet provided	On wide side or automatic	11B-604.6
	Side grab bar length	RR3- 5.05	No accessible toilet provided	42" min.	11B-604.5.1
	Side grab bar height	RR3- 5.06	No accessible toilet provided	33" to 36"	11B-609.4
	Side grab bar diameter	RR3- 5.07	No accessible toilet provided	1.25" to 2"	11B-609.2.1
	Side grab bar offset from rear wall	RR3- 5.08	No accessible toilet provided	12" max.	11B-604.5.1
	Side grab bar extent from rear wall	RR3- 5.09	No accessible toilet provided	54" min.	11B-604.5.1
	Side grab bar - clearance below	RR3- 5.10	No accessible toilet provided	1 1/2" clearance below grab bar min.	11B-609.3

RR3-MEN-OFFICE

Project: Rush Gymnasium

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:	RR3- Men's Restroom	Code Cycle 2022
Description:	Men's restroom within office wing.	

MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Accessible Water Closet (Continued)	Rear grab bar length	RR3- 5.11	No accessible toilet provided	36" min.	11B-604.5.2
	Rear grab bar height	RR3- 5.12	No accessible toilet provided	33" to 36"	11B-609.4
	Rear grab bar diameter	RR3- 5.13	No accessible toilet provided	1.25" to 2"	11B-609.2.1
	Rear grab bar centerline offsets	RR3- 5.14	No accessible toilet provided	12" min. from CL of WC to end on wall side. 24" min. from CL of WC to end on wide side.	11B-604.5.2
	Toilet paper dispenser model type	RR3- 5.15	No accessible toilet provided	Operable with no tight grasping, pinching, twisting of wrist	11B-309.4
	Toilet paper dispenser height	RR3- 5.16	No accessible toilet provided	19" min.	11B-604.7.1
	Toilet paper dispenser offset from WC front	RR3- 5.17	No accessible toilet provided	Centerline at 7" to 9" in front of WC	11B-604.7.1
	Seat cover dispenser model type	RR3- 5.18	No accessible toilet provided	Operable with no tight grasping, pinching, twisting of wrist	11B-404.2.7
	Seat cover dispenser height	RR3- 5.19	No accessible toilet provided	40" max. to operable part	11B-603.5
	Other findings	RR3- 5.20	No accessible toilet provided	Compartment entry clearances	0
Accessible Urinal	Urinal Provided	RR3- 6.01	3 urinals provided	Informational	-
	Urinal partition depth	RR3- 6.02	18"	Informational	-
	Urinal clearance width	RR3- 6.03	Provided	30" wide @ 24" max partition 36" wide @ 24" min partition	11B-605.3 11B-305
	Urinal rim height	RR3- 6.04	17"	17" max.	11B-605.2
	Urinal depth	RR3- 6.05	13.5"	13.5" min.	11B-605.2
	Urinal controls height	RR3- 6.06	45"	44" max.	11B-605.4

RR3-MEN-OFFICE

Project: Rush Gymnasium

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:	RR3- Men's Restroom	Code Cycle 2022
Description:	Men's restroom within office wing.	

MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Baby Changing Station	Location	RR3- 7.01	N/A	Cannot be in path of travel or in accessible toilet compartment	11B-309
	Pull down device height	RR3- 7.02	N/A	48" max.	11B-309
	Height when in use	RR3- 7.03	N/A	34" max	11B-309
	Underside clearance	RR3- 7.04	N/A	27" min. at front access-conditions	
	Clearance at path of travel	RR3- 7.05	N/A	When deployed, baby changing station may not block path of travel.	11B-226.4
	Operable parts	RR3- 7.06	N/A	Operable with no tight grasping, pinching, twisting of wrist	11B-309.4
Miscellaneous Features	Coat hook height	RR3- 8.01	None provided	48" max.	11B-603.4
	Trash can height	RR3- 8.02	36"	40" max.	11B-603.5
	Light switch height	RR3- 8.03	N/A	48" max. to top of box. 54" max under previous code cycle.	11B-308.1.2
	Electrical outlet height	RR3- 8.04	43"	48" max. to top of box. 54" max under previous code cycle.	11B-308.1.2
	Other findings	RR3- 8.05	N/A		

RR3-MEN-OFFICE

Project: Rush Gymnasium

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:	RR4- Women's Restroom	Code Cycle 2022
Description:	Women's restroom within office space.	

MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Door	Door Swing Direction	RR4- 1.01	Single Inswinging Interior Door	Informational	---
	Clear Door Width	RR4- 1.02	31.5"	32" clear	11B-404.3.1
	Closer Provided	RR4- 1.03	Standard Closer	Informational	---
	Pull Approach Direction	RR4- 1.04	Pull Side Interior Front Approach	Informational	---
	Pull Side Clearance from Latch	RR4- 1.05	2"	18" min.	Table 11B-404.2.4.1
	Pull Side Clearance from Hinge	RR4- 1.06	4"	0"	Table-44B-404.2.4.4
	Exterior Front Approach Depth	RR4- 1.07	62"	60" min.	Table 11B-404.2.4.1
	Exterior Landing Slopes	RR4- 1.08	Level interior	1:48 slope in all directions	11B-305.2
	Interior Approach Direction	RR4- 1.09	Push Side Front Approach	Informational	---
	Push Side Clearance from Latch	RR4- 1.10	Unlimited	0"	Table 11B-404.2.4.1
	Push Side Clearance from Hinge	RR4- 1.11	N/A	0"	Table-44B-404.2.4.4
	Push Front Approach Depth	RR4- 1.12	>48"	48" min.	Table 11B-404.2.4.1
	Push Side Landing Slopes	RR4- 1.13	Level interior	1:48 slope in all directions	11B-305.2
	Exterior hardware type	RR4- 1.14	D Handle	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7
	Exterior hardware height	RR4- 1.15	41" to 55"	34" to 44"	11B-404.2.7
	Interior hardware type	RR4- 1.16	D Handle	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7
	Interior hardware height	RR4- 1.17	35" to 49"	34" to 44"	11B-404.2.7
	Door Closer Speed Standard Closer	RR4- 1.18	2.78 seconds. Door does not open full 90°.	Must open 90°. 5 second min. time from 90° to 12°	11B-404.2.8.1
	Door Closer Speed Spring Closer		N/A	Must open 90°. 1.5 second min from 70° to closed.	44B-404.2.8.2
	Door Opening Force	RR4- 1.19	12 lbs.	5 lbs. max.	11B-404.2.9
Smooth Bottom Panel (push conditions only)	RR4- 1.20	9"	10" min. at bottom of door.	11B-404.2.10	

RR4-WOMEN-OFFICE

Project: Rush Gymnasium					
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.					
Area:	RR4- Women's Restroom				Code Cycle 2022
Description:	Women's restroom within office space.				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Signage	Wall sign provided	RR4- 2.01	2	Provide at entry to restrooms	11B-216.2
	Characters	RR4- 2.02	Missing	Tactile and Braille panel below pictogram	11B-703.6.1
	Pictogram	RR4- 2.03	Missing	6" high pictogram field	11B-703.6.1
	Latch Sign Height	RR4- 2.04	Missing	48" to bottom of Braille, 60" to bottom of tactile	11B-703.4.1
	Latch Sign Offset from door	RR4- 2.05	Missing	Centerline at 9" min. offset from door on pull side	11B-703.4.2
	Geometric Door Sign provided	RR4- 2.06	Missing	Geometric signage shall be provided at toilet room entrances.	11B-216.8.1
	Geometric Door Signage configuration	RR4- 2.07	Missing	12" Equilateral triangle, color shall contrast with door color	11B-703.7.2.6.3
	Geometric Door Signage Height	RR4- 2.08	Missing	58" to 60"	11B-703.7.2.6
	Geometric Door Signage Horiz. Location	RR4- 2.09	Missing	Within 1" of door centerline	11B-703.7.2.6
Accessible Lavatory	Sink Height	RR4- 3.01	36"	34" max. to top of rim	11B-606.3
	Under sink vertical clearances	RR4- 3.02	30"	29" min. at front, 27" min. at 8" inboard	11B-306.3.1
	P Trap Clearance	RR4- 3.03	Compliant	P trap under sink may not encroach into clear space.	11B-306.3.1
	Clear floor space at sink	RR4- 3.04	Compliant	30" wide x 48" deep	11B-602.2
	Max Knee Clearance	RR4- 3.05	Compliant	Extend 25" deep x 9" above floor	11B-306.3.2
	Toe Clearance Depth	RR4- 3.06	Compliant	17" min. under element.	11B-306.2.3
	Offset from side wall	RR4- 3.07	Left: 21" Other lavs compliant	18" min. from side wall	11B-606.6
	Faucet Controls	RR4- 3.08	Single lever	Lever or automatic	11B-606.4
	Wrapped pipes	RR4- 3.09	Missing	All pipes under lavs shall be insulated.	11B-606.5
	Mirror max. height	RR4- 3.10	Primary: 49" Secondary: 45"	40" max to bottom of reflective surface	11B-603.5
	Soap dispenser height	RR4- 3.11	58"	40" max. to operable parts	11B-603.5
	Paper towel dispenser or automatic hand dryer height	RR4- 3.12	50"	40" high to operable parts or sensor	11B-603.5

RR4-WOMEN-OFFICE

Project: Rush Gymnasium

Item Observations in **RED** were observed to be non-compliant. Please see individual findings in report for specific details.

Area:	RR4- Women's Restroom	Code Cycle 2022
Description:	Women's restroom within office space.	

MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Accessible Water Closet Compartment	Compartment door width	RR4- 4.01	No accessible toilet provided	34" min. at side entry	11B-604.8.1.2
	Compartment door handle types	RR4- 4.02	No accessible toilet provided	Door pull on both sides of door	11B-604.8.1.2
	Compartment door handle height (interior)	RR4- 4.03	No accessible toilet provided	34" to 44"	11B-404.2.7
	Compartment door handle height (exterior)	RR4- 4.04	No accessible toilet provided	34" to 44"	11B-404.2.7
	Compartment door self-closer	RR4- 4.05	No accessible toilet provided	Self closer required	11B-604.8.1.2
	Compartment door latch type & height	RR4- 4.06	No accessible toilet provided	Operable with no tight grasping, pinching, twisting of wrist. 48" high max.	11B-404.2.7
	Compartment width	RR4- 4.07	No accessible toilet provided	60" min. with 12" vertical clearance on one side. 66" min. with full height walls.	11B-604.3
	Compartment depth	RR4- 4.08	No accessible toilet provided	56" min. (wall hung) 59" min. (floor mount)	11B-604.8.1.1
Accessible Water Closet	Clearance in front of WC	RR4- 5.01	No accessible toilet provided	48" min.	11B-604.8.1.1.2
	WC offset from side wall	RR4- 5.02	No accessible toilet provided	17" to 18"	11B-604.2
	WC seat height	RR4- 5.03	No accessible toilet provided	17" to 19"	11B-604.4
	WC controls side	RR4- 5.04	No accessible toilet provided	On wide side or automatic	11B-604.6
	Side grab bar length	RR4- 5.05	No accessible toilet provided	42" min.	11B-604.5.1
	Side grab bar height	RR4- 5.06	No accessible toilet provided	33" to 36"	11B-609.4
	Side grab bar diameter	RR4- 5.07	No accessible toilet provided	1.25" to 2"	11B-609.2.1
	Side grab bar offset from rear wall	RR4- 5.08	No accessible toilet provided	12" max.	11B-604.5.1
	Side grab bar extent from rear wall	RR4- 5.09	No accessible toilet provided	54" min.	11B-604.5.1
	Side grab bar - clearance below	RR4- 5.10	No accessible toilet provided	1 1/2" clearance below grab bar min.	11B-609.3

RR4-WOMEN-OFFICE

Project: Rush Gymnasium					
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.					
Area:		RR4- Women's Restroom			Code Cycle 2022
Description:		Women's restroom within office space.			
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Accessible Water Closet (Continued)	Rear grab bar length	RR4- 5.11	No accessible toilet provided	36" min.	11B-604.5.2
	Rear grab bar height	RR4- 5.12	No accessible toilet provided	33" to 36"	11B-609.4
	Rear grab bar diameter	RR4- 5.13	No accessible toilet provided	1.25" to 2"	11B-609.2.1
	Rear grab bar centerline offsets	RR4- 5.14	No accessible toilet provided	12" min. from CL of WC to end on wall side. 24" min. from CL of WC to end on wide side.	11B-604.5.2
	Toilet paper dispenser model type	RR4- 5.15	No accessible toilet provided	Operable with no tight grasping, pinching, twisting of wrist	11B-309.4
	Toilet paper dispenser height	RR4- 5.16	No accessible toilet provided	19" min.	11B-604.7.1
	Toilet paper dispenser offset from WC front	RR4- 5.17	No accessible toilet provided	Centerline at 7" to 9" in front of WC	11B-604.7.1
	Seat cover dispenser model type	RR4- 5.18	No accessible toilet provided	Operable with no tight grasping, pinching, twisting of wrist	11B-404.2.7
	Seat cover dispenser height	RR4- 5.19	No accessible toilet provided	40" max. to operable part	11B-603.5
	Other findings	RR4- 5.20	No accessible toilet provided	Compartment entry clearances	0

RR4-WOMEN-OFFICE

Project: Rush Gymnasium					
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.					
Area:	RR4- Women's Restroom				Code Cycle 2022
Description:	Women's restroom within office space.				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Baby Changing Station	Location	RR4- 7.01	Wall mounted unit in common area	Cannot be in path of travel or in accessible toilet compartment	11B-309
	Pull down device height	RR4- 7.02	52" to top 48" to side grab point	48" max.	11B-309
	Height when in use	RR4- 7.03	32"	34" max	11B-309
	Underside clearance	RR4- 7.04	28"	27" min. at front access conditions	
	Clearance at path of travel	RR4- 7.05	Compliant	When deployed, baby changing station may not block path of travel.	11B-226.4
	Operable parts	RR4- 7.06	Compliant	Operable with no tight grasping, pinching, twisting of wrist	11B-309.4
Miscellaneous Features	Coat hook height	RR4- 8.01	62". Inside semi accessible toilet compartment.	48" max.	11B-603.4
	Trash can height	RR4- 8.02	37"	40" max.	11B-603.5
	Light switch height	RR4- 8.03	39"	48" max. to top of box. 54" max under previous code cycle.	11B-308.1.2
	Electrical outlet height	RR4- 8.04	48"	48" max. to top of box. 54" max under previous code cycle.	11B-308.1.2
	Other findings	RR4- 8.05	N/A		

RR4-WOMEN-OFFICE

Project: Rush Gymnasium					
Item Observations in RED were observed to be non-compliant. Please see individual findings in report for specific details.					
Area:	DF1- Drinking Fountain 1				Code Cycle 2022
Description:	Single Elkay unit with bottle filling station above				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
General Drinking Fountain requirements	Accessible Route	DF1- 1.01	Compliant	Units must be on an accessible route.	---
	<i>Minimum Number</i>	<i>DF1- 1.02</i>	<i>One higher drinking fountain with water bottle filling station provided.</i>	<i>No fewer than two located together</i>	<i>11B-211.2</i>
	Clear Floor Space	DF1- 1.03	Provided	30" x 48"	11B-602.2
	Drinking Fountain Depth	DF1- 1.04	19"	Wall and post mounted fountains: 18" min., 19" max. depth	11B-602.8
	Pedestrian protection	DF1- 1.05	No protection provided at either side of drinking fountain.	Fountain in 18" deep alcove or protected by wing walls that extend within 6" of floor.	11B-602.9
	Alcove width	DF1- 1.06	None provided	32" wide min.	11B-602.9
Low fountain	Knee Clearance under unit	DF1- 1.07	35" clear under unit	27" clear	11B-602.2 11B-306
	Operable parts	DF1- 1.08	Front edge at 37"	Accessible within 6" of front edge of fountain or automatic	11B-602.3
	Spout outlet height	DF1- 1.09	42"	36" max.	11B-602.4
	Spout Location (horizontal from back wall)	DF1- 1.10	16" from wall 3" from front edge	15" min. from vertical support, 5" max from front edge.	11B-602.5
	Water Flow Height	DF1- 1.11	Compliant	4" min. above fountain rim height	11B-602.6
	Water Flow, Spouts less than 3" from front	DF1- 1.12	N/A	Water stream angle shall be 30° max.	11B-602.6
	Water Flow, Spouts 3" to 5" from front	DF1- 1.13	Compliant	Water stream angle shall be 15° max.	11B-602.6
High fountain (standing person)	<i>Is a high drinking fountain provided?</i>	<i>DF1- 2.01</i>	<i>Yes. The only drinking fountain provided is high mounted unit.</i>	<i>Required</i>	<i>11B-602.7</i>
	Spout outlet height	DF1- 2.02	42"	38" to 43"	11B-602.7
Water Bottle Filling Station	Is a water bottle filling station provided?	DF1- 3.01	Provided	Informational	---
	Front approach or side approach	DF1- 3.02	Front	Informational	---
	Reach range	DF1- 3.03	46" to sensor	48" max to operable parts	11B-308.3.1

DF1

Project: Rush Gymnasium					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant. Please see individual findings in report for specific details.					
Area:	SERV1- Service Counter 1				Code Cycle 2022
Description:	Reception counter in office lobby				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Counter Measurements	Are lowered counters provided for disabled	SERV1- 1.01	Yes	Required	---
	Front or Side Approach	SERV1- 1.02	Side approach	Required	---
	Counter Height	SERV1- 1.03	34"	34" max.	11B-904.4.1
	Counter Width	SERV1- 1.04	48"	36" min.	11B-904.4.1
	Counter Depth	SERV1- 1.05	15"	Must extend the same depth as the non-compliant counter	11B-904.4
	Knee & Toe Clearance at forward approach conditions	SERV1- 1.06	Provided	Knee: 27" h x 11"d Toe: 9" h x 6" d beyond knee space	11B-904.2 11B-306
	Clear Floor Space	SERV1- 1.07	Provided	30" x 48"	11B-602.2
	Existing Conditions-alternative	SERV1- 1.08	N/A	N/A	N/A
	Counter Identification	SERV1- 1.08	Not required	Where not all counters are accessible, 4"x4" ISA required at accessible counter	11B-904.3.4

SERVICE-1

END VOLUME 1

Volume 2

Gardena Parks and Recreation Facilities Accessibility Survey and Report



10/13/2023

UPDATED: 01/08/2024

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1. MASTER PLAN SUMMARY

1.1 Survey Summary

This accessibility survey includes inspections of buildings within the Gardena Civic Center area (including City Hall, Nakaoka Community Center and Rush Gymnasium), various larger parks (excluding Mas Fukai Park), and the Willows Wetlands. The intent of the following survey report is to identify key areas throughout each of the sites which require accessibility upgrades to provide universal access to the entire Gardena community and their guests.



Volume 1 of this report provides accessibility information for the following facilities:

1. Gardena City Hall
2. Nakaoka Community Center
3. James Rush Gymnasium and Offices

Volumes 2 includes the following facilities:

4. Arthur Lee Johnson Memorial Park
5. Willows Wetlands Preserve
6. George H. Freeman Park
7. Edward L. Thornburg Park
8. Vincent Bell Memorial Park
9. Harvard Parkette

Volume 3 includes the following facilities:

10. Rowley Park
11. Rowley Gymnasium
12. Rowley Community Building

4. ARTHUR LEE JOHNSON MEMORIAL PARK

4.1 Site Summary

Location: 1200 W. 170th Street
 Park area: 6.14 acres
 Parking: 122 spaces
 Play area: 2,200 SF

Arthur Lee Johnson Memorial Park is a large park on the south side of Gardena. It is located along W. 170th Street and abuts the Willows Wetlands Preserve on the south side of the site. The park includes two basketball courts, a skate park, four tennis courts, playground equipment, a covered picnic area, a community building, one freestanding restroom building and a large open sports activity field.



4.2 General Site Accessibility

In general, accessibility is provided throughout the park. However, there are walkways along the perimeter of the basketball courts that have non-compliant cross slopes and/or damaged concrete should be repaired or replaced. A full civil engineering site survey should examine walkway slopes and areas requiring replacement.



Heaving Concrete Walkway



Concrete Walk adjacent to Sports Field

4.3 Accessible Parking

Accessible parking within this park is split into three separate locations within the parking lot. There are a total of five accessible spaces within the lot. No accessible parking spaces are marked as Van Accessible, although the existing dimensions will allow for a minimum of one van space. None of the parking spaces meet access compliance requirements and require significant upgrades.

4.3.1 Parking Space 1

This space is located closest to the main vehicular entry to the park. Required striping and markings are in extremely poor condition. The access aisle is located to the left of the accessible parking space with a non-compliant curb ramp at the head of the access aisle. Significant repair work is required including:

- Complete restriping and marking at parking space and access aisle
- Installation of signage
- Minor repairs to slopes at access aisle
- Repaving of parking space and access aisle
- Removal and replacement of curb ramp with compliant installation.

See PK1, AA1, CR1 Checklists for complete details.



Parking Space 1



Access Aisle 1



Non-compliant Curb Ramp 1

4.3.2 Parking Spaces 2 & 3

Parking Spaces 2 and 3 are located directly across from the ramp leading down to the basketball courts. There are significant corrections required including the following:

- Complete restriping and marking at parking spaces and access aisle
- Installation of required signage. If Van accessible space is included, add correct sign
- Minor repairs of slopes at front of spaces and access aisle
- Remove and replacement of curb ramp and modify top landing to connect to accessible path of travel

See PK2, PK3, AA23, CR23 Checklists for complete details.



Parking Spaces 2 & 3



Curb Ramp at Parking Spaces 2 & 3

4.3.3 Parking Spaces 4 & 5

Parking Spaces 4 and 5 are located closest to the playground, community building, restrooms, tennis courts and open sports field. There are minor corrections required including the following:

- Complete restriping and marking at parking spaces and access aisle
- Minor slope correction required at Parking Space 5
- Modify transition between curb ramp and access aisle
- Add detectable warnings at bottom of curb ramp.

See PK4, PK5, AA45, CR45 Checklists for complete details.



Parking Spaces 4 & 5



Curb Ramp at Parking Spaces 4 & 5

4.4 Play Area

There is one play area in the park with fairly modern equipment. The play area ground surface is completely rubber material, providing full accessibility throughout the play area. However, there are surface areas showing wear in various locations, requiring repair or replacement.

Play equipment includes one large play structure and one set of swings, providing ample elevated and ground level play elements.

In general, the play equipment in this park is in acceptable condition and meets accessibility requirements and does not require replacement.



Playground



Rubberized Surface Damage

4.5 Picnic Areas

There is one covered picnic area provided at this park with six 6-person picnic tables. The ground surface is entirely concrete and is fully accessible. However, there are no accessible picnic tables provided. A minimum of 5% of the total seating should be accessible. Based on the total number of seating provided there should be a minimum of 2 accessible seating locations.



Covered Picnic Area

4.6 Sports Facilities

4.6.1 Basketball Courts

There is a lowered basketball court area on the west side of the park. There is acceptable access around the perimeter of the play area. However access down to the courts is in need of repair. This includes renovation of all four entry stairs and the ramp located on the south side of the courts. The stairs require new handrails in all locations. The ramp requires rebuilding with an intermediate landing as the total rise is greater than 30”.

See RA1 and ST1-4 Checklists for complete details.

Additionally, there is significant cracking and heaving within the concrete area of play. Repair of the basketball court surface should be planned.



Cracked Basketball Courts



Basketball Courts

4.6.2 Skateboard Park

The skateboard park is unfenced and on the northwest side of the park. While the activity space for the skateboard park is not required to be accessible, the path of travel around the facility for spectator viewing is provided. No modifications are required.



Skateboard Park – View from Park Entrance



Skateboard Park – View from West

4.6.3 Tennis Courts

There are four tennis courts located on the northeast side of the park. The courts are accessed from the parking lot and restrooms via a continuous sidewalk along the south side. The sidewalk has some areas with cross slopes greater than 1:20 slope. Additionally, the approach to the gates has a running slope of approximately 4.5%. It is recommended that the landings be removed and replaced with level concrete. The walkway approach should also be adjusted as needed to create an accessible path of travel.

The latches on the entry gates are centered at 54" above the ground surface. Additionally, the latches are difficult to operate. It is recommended that the gate latches be replaced with compliant latches within acceptable reach ranges.

Inside the fenced court area, there is adequate clearance around the perimeter of all four courts and between the courts, providing full access throughout.



Tennis Courts



Tennis Court Gate



Walkway Approach to Tennis Courts

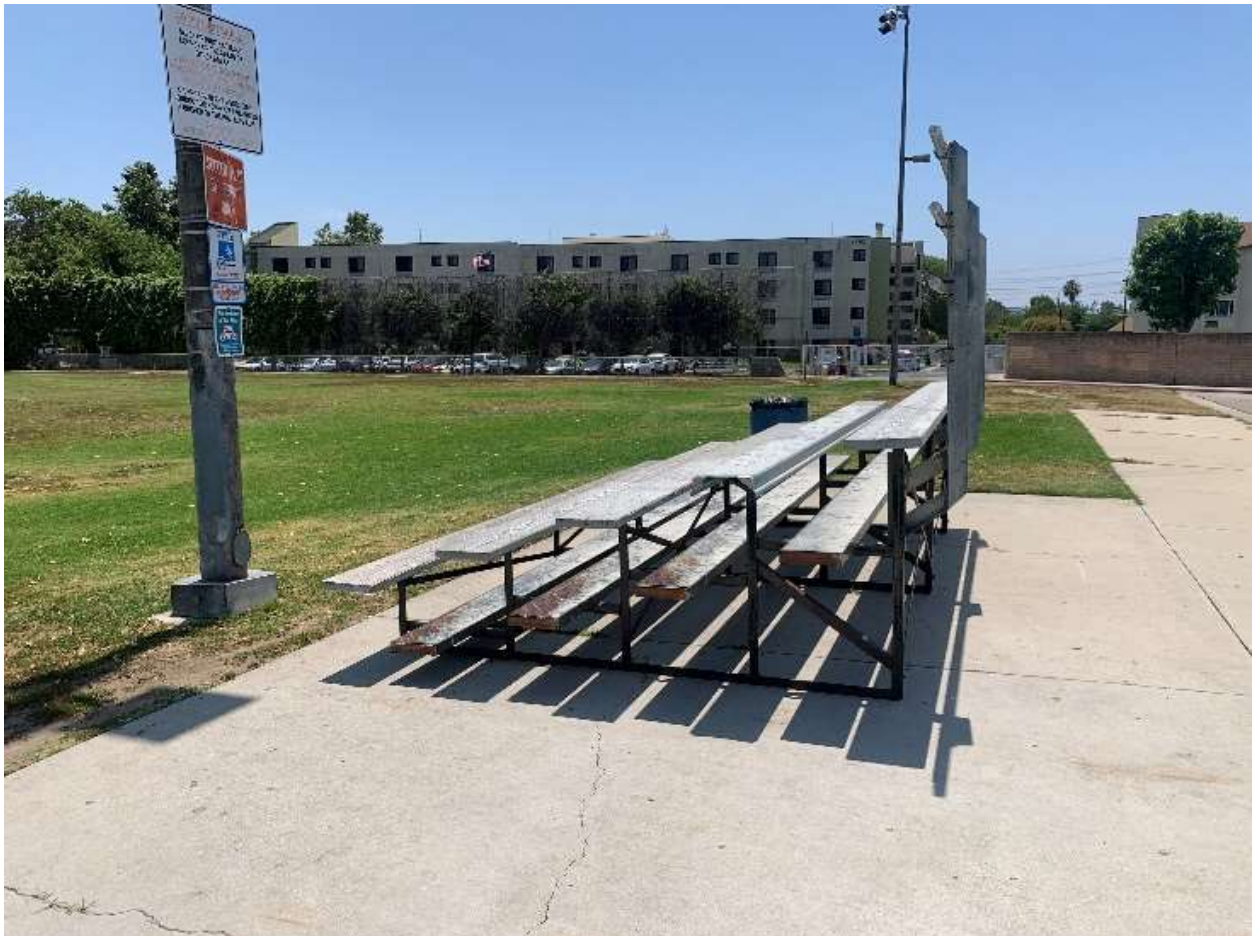
4.6.4 Open Sports Field (Soccer Field)

There is one large unmarked sports field located to the east of the parking lot. There is a small bleacher structure along the sidewalk. There is a large level concrete area directly adjacent to the bleachers, providing adequate accessible spectator area for sports activities.

There is a concrete walkway connecting directly to other areas within the park. There are a few panels of concrete that have heaved slightly over time and require some repair work to provide a fully accessible path of travel.



Bleachers at West Side of Sports Field



Side View of Bleachers

4.7 Restroom Building

There is one restroom building adjacent to the covered picnic area. It includes two accessible toilet rooms that are directly accessed from the exterior. An exterior sink is located on the north side of the building. This facility provides adequate access for the disabled.

There are four individual accessible toilet compartments in this building. All four toilet rooms are identified as accessible. However only the two closest to the picnic tables are dimensionally compliant. The two toilet compartments that are dimensionally compliant require minor repair work to meet compliance. These include the following:

- Replace wall signs on all four doors. All four signs are difficult to read due to graffiti. The two non-accessible toilet rooms should be noted correctly.
- Replace the toilet paper dispensers. Install under side grab bars in compliant location.

See TR1 & TR2 Checklists for complete details.

There are exterior sinks located at either end of the restroom building. Both sinks meet current accessibility requirements.

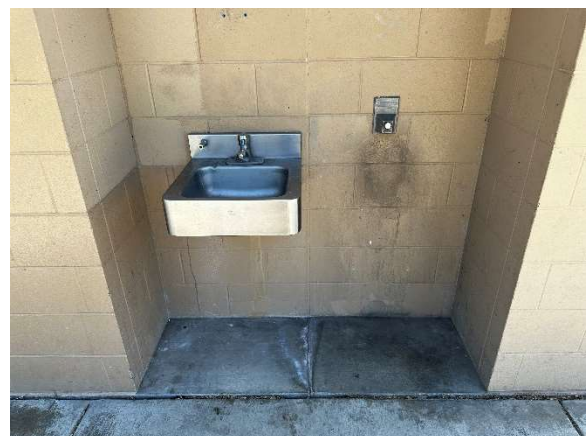
See LAV Checklist for complete details.



Restroom Building



Accessible Toilet



Exterior Sink

4.8 Other Facilities

4.8.1 Community Building

There is one community building located adjacent to the covered picnic area. There are two entry doors with landings facing the playground area. There are curb ramps leading up to the landings. The raised edge condition of these curb ramps are broken and may present a trip hazard. It is recommended that modification to the walkways be planned to eliminate the curb ramps and raised edge conditions.

4.8.2 Drinking Fountain

There is one recently installed drinking fountain and water bottle filling station. This station meets accessibility requirements and is a replacement for the original non-compliant drinking fountain (shown below). No repair work is required for the new unit.



Community Building



Community Space Entry Doors



New Drinking Fountain and Water Bottle Filling Station



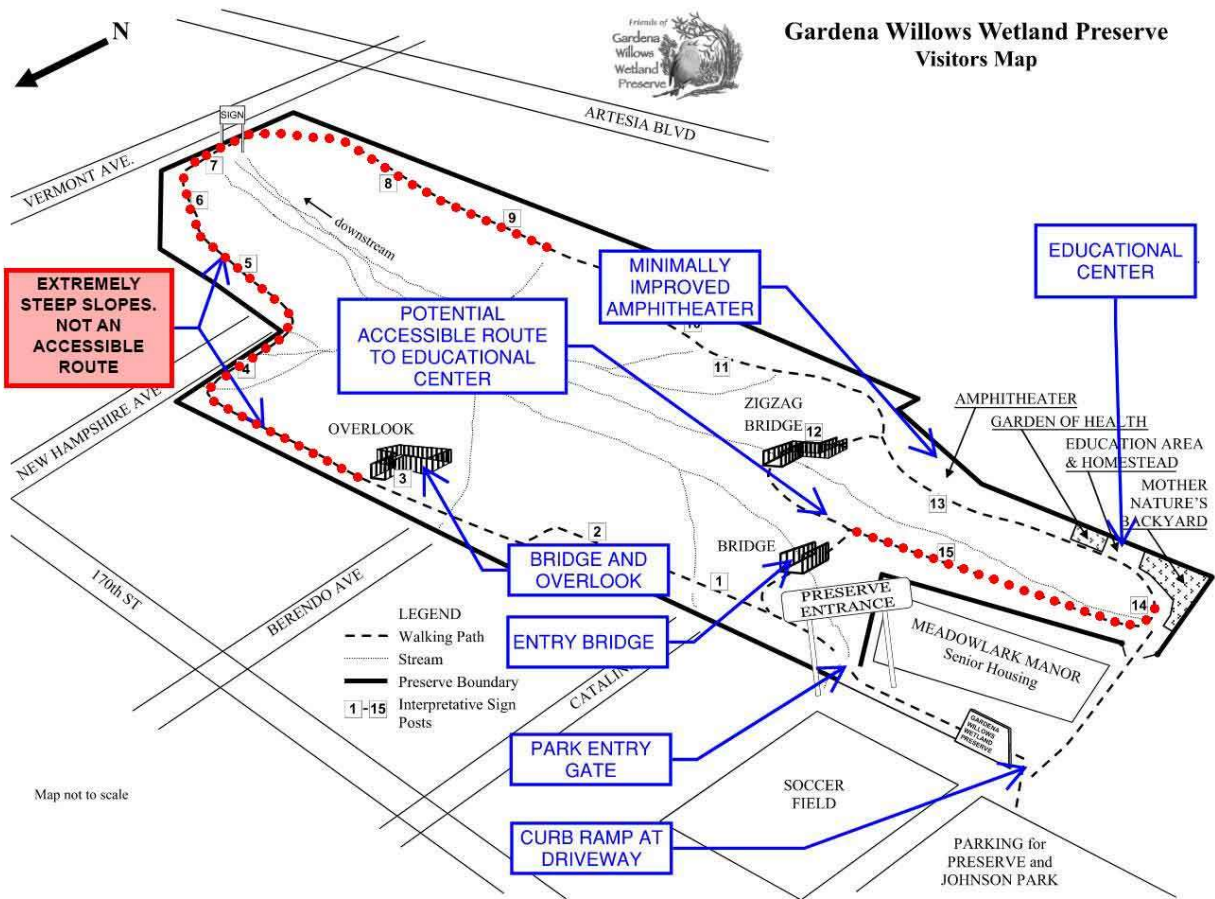
Original Drinking Fountain (recently replaced)

5. WILLOWS WETLANDS PRESERVE

5.1 Site Summary

Location: 1202 W 170th Street
 Park Area: 13.80 acres

The Gardena Willows Wetlands is located just south of Arthur Lee Johnson Memorial Park and is bounded by Vermont Street on the east, an existing residential neighborhood to the north and retail/food service establishments to the south. The main entrance to the wetlands is from the south side of Arthur Lee Johnson Memorial Park.



5.2 Wetlands Entry

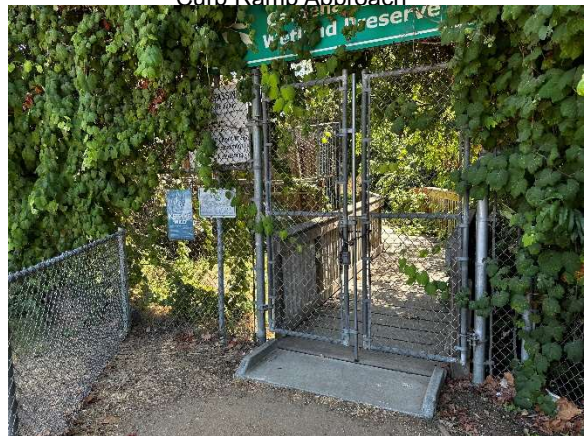
The main entrance into the Wetlands is from Arthur Johnson Park. There is no dedicated accessible path from the parking lot or other adjacent amenities. Wheelchair access can only be gained from a marginally compliant curb ramp leading directly from the vehicular way. Additionally, the pedestrian route from the curb ramp to the gate should be leveled or enhanced with paving or compacted decomposed granite to provide a more accessible route.

5.2.1 Curb Ramp

The slopes of the existing curb ramp are compliant. However, there is no compliant top landing. The concrete ends at the top of the ramp with an abrupt drop to the dirt pathway. Additionally, the bottom of the ramp exits directly into the vehicular way and does not connect to any pedestrian route. There are no detectable warnings at the bottom end of the curb ramp. It is recommended that a new concrete walkway is added from the area of the curb ramp leading to Johnson Park along the western edge of the sports field. When adding a new walkway, an upper concrete landing of the curb ramp should be installed.



Curb Ramp Approach



Willows Entry Gate

5.2.2 Entry Gateway

While the gateway is only in use when the Wetlands is open (and remains open – no public gate operation is required), the landing is too short and should be replaced. The entry gate has a very small concrete apron which has a severe vertical edge on the approach side. This should be replaced with a full depth landing. Since the adjacent ramp on the inside of the park abuts the gate, landing improvements at the entry gate should be coordinated with the ramp improvements listed later in this section.

5.3 Entry Bridge

Upon entering the Preserve, there is a 60" wide bridge with running slopes ranging between 4.4% and 6.5%. Slopes over 5% require handrails. Additionally, there are gaps in the bridge planks that are as wide as 1" in some locations. The maximum allowable gaps in pedestrian paths are $\frac{1}{2}$ ". Both sides of the bridge pathway are equipped with compliant wheel guides which protect wheelchair users from wheel entrapment. Additionally, the guardrails on both sides of the bridge are 42" in height, meeting the side protection requirement for vertical drop offs greater than 30"

Recommended improvements at the entry bridge include the following:

- Install compliant handrails on both sides of the bridge with 12" minimum extensions.
- Compliant landings should be included at both ends of the bridge. Top landings must be 48" long and bottom landings must be 72" long.
- Infill the plank gaps that are greater than $\frac{1}{2}$ " in width.



Entry Bridge



Typical Bridge Plank Gaps

5.4 General Trail Accessibility

There are several pathway routes within the Preserve that would be extremely difficult to provide an accessible route (see map). This includes the following areas:

- East pathway beyond Overlook.
- West area from the pathway split – opposite direction from the Zigzag Bridge
- Pathway near Artesia Blvd wall.

These areas are either extremely steep or too narrow, making accessibility improvements difficult, if not impossible. This does not mean that a significant portion of the Preserve could not be made wheelchair accessible to some extent.

There are several benches located throughout the Preserve along the existing pathways. Where feasible, adjacent level spaces that are 36” wide by 48” deep should be created for wheelchair users.

In general, all pathways marked in green on the Wetlands map should be cleared to provide 48” wide walkways. Uneven or rutted surfaces in these areas should be regraded and compacted. Signage should be included throughout the Preserve at all junctions to identify the recommended accessible path of travel.



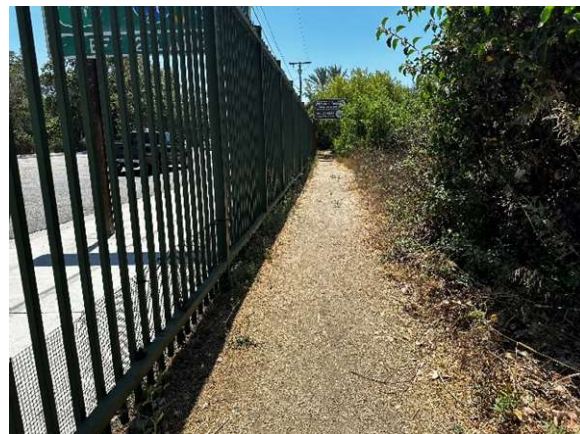
Narrow Path on West Side



Pathway Bench



Steep Path on North Side beyond the Overlook



Pathway along Vermont Ave

5.5 Overlook

The bridge to the Overlook viewing area is generally accessible. The walking surface has slopes less than 5% and is in good condition. There is a bench provided at the Overlook and there is adequate turning radius space within the deck area. Similar to the Entry Bridge, there are gaps in the planks as wide as 1". These should be modified to gaps no greater than ½" wide.

There are guardrails at all areas of the Overlook Bridge and viewing area that are 42" high, meeting compliance requirements for drop-offs greater than 30" high.



Bridge to Overlook



Bench at Overlook

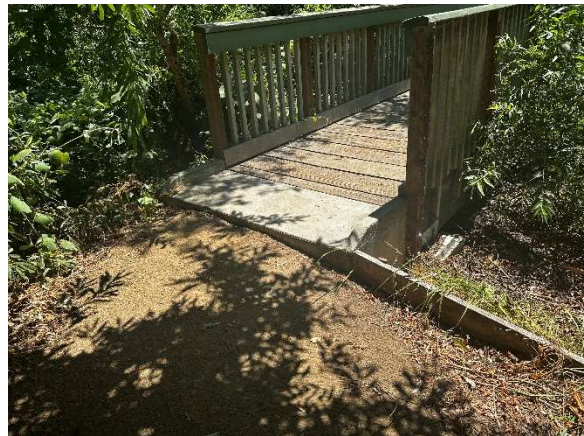
5.6 Zigzag Bridge

The Zigzag bridge is on the most accessible route to the Amphitheater and Educational Center areas. It is generally accessible and provides a level route across the wetlands area below. Similar to the Entry Bridge and Overlook, the walking planks have gaps up to 1" wide. These should be modified to ½" maximum. The ground at the entry end of the bridge has degraded and does not provide a level transition. The surface should be leveled and stabilized to provide a smooth level pedestrian path.

The guardrails on either side of the bridge are 42" high, meeting compliance requirements for drop-offs greater than 30" high.



Zigzag Bridge



Zigzag Bridge End

5.7 Amphitheater

The amphitheater is a relatively minimally improved space for outdoor gatherings and presentations. There are no dedicated seating areas for wheelchair users. While wheelchair users could be seated along the walkway area, a dedicated space for wheelchairs with a companion bench should be considered to improve accessibility.



Amphitheater

5.8 Educational Center Area

The Educational Center Area includes a covered gathering area, water bottle filling station and the adjacent Garden of Health and nearby Mother Nature’s Backyard.

5.8.1 Covered Gathering Area

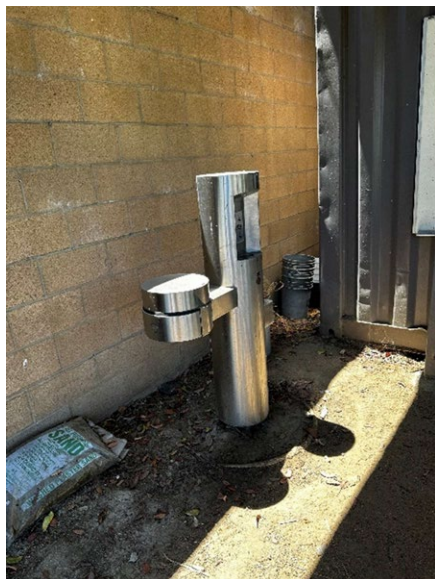
There are two picnic tables located at the covered area. Neither table have a dedicated wheelchair space and takes up much of the hard surface area. Additionally, the table blocks clear access to the water bottle filling station unit provided at the back of the gathering area. It is recommended that a clear pathway be created to provide access to the water bottle filling station. At least one of the tables should be replaced with one that provides an accessible area on one end and be placed on the accessible route.



Picnic Table



Educational Center Area



Water Bottle Filling Station



Water Bottle Filling Station

5.8.2 Garden of Health

The Garden of Health has narrow pathways and is generally not accessible. However, this garden is directly adjacent to the covered seating area. The seating area provides adequate accessible viewing of the garden.

5.8.3 Mother Nature’s Backyard

Mother Nature’s Backyard entry is overgrown and has uneven surfaces. Inside the area much of the walking surface is brick and provides an acceptable route. However, the entry route should be cleared and the transition from the dirt path to the brick path should be leveled to eliminate this barrier.



Garden of Health



Mother Nature’s Backyard Entry



Mother Nature’s Backyard Paths



Mother Nature’s Backyard Path

6. GEORGE H. FREEMAN PARK

6.1 Site Summary

Location:	2100 W. 154 th Place
Park area:	2.71 acres
Parking:	13 spaces
Play area:	5900 SF

George H. Freeman Park is a smaller park located at the terminus of W. 154th Place and Cimarron Way. It includes a children's play area, a basketball court with an adjacent ball wall, one tennis court, one mini-pitch court, one baseball field, a covered picnic area, a community building and one free-standing single occupant restroom.



There is inadequate pedestrian access into the park at the end of W. 154th Place. Additionally, there is a short site stairway with no handrails leading from Parron Avenue into the park on the south side. The walkway from the stair into the park stops after several feet and does not provide adequate access. This walkway should be extended into other walkways within the park.

6.2 Parking

The parking lot associated with Freeman Park is strictly street-loaded along Cimarron Way. There are a total of 13 parking spaces including one accessible parking space and adjacent access aisle. In general, the parking area and route to the park include significant cross and running slopes which exceed the maximum allowable.



Parking Space 1

6.3.1 Parking Space 1

This is the only accessible parking space provided and is located at the far right end of the parking area. Among this parking space's deficiencies, the slopes at this parking space are significantly out of compliance.

Areas requiring correction include:

1. Extend parking space striping to provide 18' deep rectangular 'box per CBC Figure 11B-502.2.
2. When removing built-up ramp in access aisle, re-level surface in upper right corner to meet maximum slope limits.

See PK1 Checklist for complete details.

6.3 Pathways

The pathway from the public right of way at W. 154th Place does not include an accessible route. The sidewalk adjacent to the residential area stops abruptly and the asphalt area is very steep. Modification of the pathway that clearly identifies the accessible path of travel should be included with future work.

There is a pedestrian entrance to the park at the north end of Parron Avenue. This concrete walkway enters the park with a non-compliant stair. The sidewalk ends abruptly at the top landing and does not connect to any accessible path within the park. Handrails should be added to the stair and the concrete path should be extended to other paths within the park.

The pedestrian route from the accessible parking space is not defined and has non-compliant cross slopes. Similar to the path of travel at 154th Place, a new accessible path that is clearly identified should be created. This work should be in conjunction with modifications to the accessible parking that creates a level surface. See Parking section in this report.



Sidewalk Entrance at 154th Place



Sidewalk Entrance at Parron Avenue



Pedestrian Route from Accessible Parking

6.4 Play Area

6.4.1 General

There is one play area at this park containing three separate play features. Play Structure 1 is a small structure identified for children ages 2 to 5. Play Structure 2 is a larger structure identified for use by children ages 5 to 12. There is also one swing set located in the play area. Bench seating is provided around the area. However, additional hard surface space should be provided adjacent to these benches to provide better access.

6.4.2 Play Structure 1

This play structure includes 4 ground level play components areas and 3 elevated play components. These include the following:

- Ground Level
 - Ladder
 - Climbing Blocks
 - Play Countertop
- Elevated
 - Double Slide
 - Curved Slide
 - Bridge
 - Slide Pole



Play Structure 1

Based on three elevated play components, a minimum of one accessible ground level play component is required and is provided.

This play structure also includes one transfer platform located on the padded rubberized material. The top of the platform is 15" above the ground surface (compliant). The flat surface is greater than 24" wide by 14" deep (compliant).

In general, this play structure is in acceptable condition and meets accessibility requirements and does not require replacement.

6.4.3 Play Structure 2

The play structure includes 3 ground level play components areas and 3 elevated play components. These include the following:

- Ground Level
 - Ladder
 - Spiral Climber
 - Hanging Wheel
- Elevated
 - Double Slide
 - Single Slide
 - Play Wall
 - Slide Pole

Based on four elevated play components, a minimum of one accessible ground level play component is required and is provided.

This play structure also includes one transfer platform located on the padded rubberized material. The top of the platform is 15" above the ground surface (compliant). The flat surface is greater than 24" wide by 14" deep (compliant).

There is a stairway within the play structure. The stairway width is approximately 24" with 8" risers. Handrails are provided on both sides at approximately 24" above the riser nosings. Handrails are 1" in diameter. The structure stair assembly should be considered access compliant.

In general, this play structure is in acceptable condition and meets accessibility requirements and does not require replacement.



Play Structure 2

6.4.4 Swing Set

There is one swing set that includes both three bucket seats and three belt seats. All bucket seats are located on the rubber material. One of the three belt seats is located on the rubber material while the other two are located on the sand area. This arrangement provides adequate access to this play area.

In general, the swing set is in acceptable condition and meets accessibility requirements and does not require replacement.



6.5 Picnic Areas

6.5.1 Picnic Tables

There is one covered picnic area at this park with a concrete ground surface. The area contains two metal picnic tables and two wooden picnic tables. Each table can accommodate six to eight individuals. While the wooden tables do not have any accessible seating space, the metal tables can accommodate wheelchairs on both sides. The picnic area adequately meets accessibility requirements for an accessible route and seating.



Picnic Area

6.5.2 Barbeques

Adjacent to the picnic area, there are two barbeque grills. The path to the barbeques includes an uneven grass area. Neither barbeque adequately meets accessibility standards. It is recommended that at least one barbeque is replaced with an accessible unit and a compliant access route be provided.



Barbeques

6.6 Sports Areas

There are several sports activity areas included in this park. These include a basketball court, a ball wall, a mini-pitch court, two tennis courts and one baseball/softball field.

6.6.1 Basketball Court

The existing basketball court is level with no visible trip hazards. There is adequate access from both sides of the court except for the northeast side where the ball wall is located against the side out of bounds line. However, this is not an access violation as level, accessible entry to the court is provided throughout the remainder of the court.

6.6.2 Ball Wall

There is an existing ball wall adjacent to the basketball court. The area around this facility is fully accessible. No modifications are required.

6.6.3 Mini-Pitch Court

The existing mini-pitch court has access around the entire court. There is adequate circulation space around the court. No modifications are required.



Basketball Court and Ball Wall



Mini-Pitch Court

6.6.4 Tennis Court

There is one tennis court provided in this park. The exterior walkway to the court is level and accessible. Interior walkways around the court are also accessible and require no modifications. However, the entry gate hardware is mounted too high and is difficult to operate and should be replaced.



Tennis Court



Tennis Court Gate Mechanism

6.6.5 Baseball/Softball Field

There is one baseball/softball field located on the north side of the park. The field is in good condition and is well maintained. The dugouts include concrete walking surfaces and provide accessible seating areas adjacent to the built-in benches. However, the transitions from the dirt surface to the concrete require monitoring and maintenance to maintain an accessible traveling surface.

There are small bleachers on either side of the field. While there is adequate paved surface adjacent to both bleachers, the walking surfaces have steep cross slopes, limiting accessibility to each location. Significant asphalt modification is required to provide adequate spectator access on both sides of the field.



Baseball Infield



Typical Dugout



Right Field Bleachers



Left Field Bleachers

6.7 Buildings

There is one main community building and one stand-alone restroom building located at this park. The approach to both buildings is level and on the accessible path within the park.

6.7.1 Main Community Building

The main building includes two classrooms, one office and two gender-specific restrooms.

Classroom 1 is located adjacent to the two restrooms and includes two entry doors. Both doors have minor corrections required related to their closing speeds and required operational force. Additionally, both doors have raised edges at the thresholds of approximately 1" vertical which needs to be corrected to provide full access into the room.

See DR1 & DR2 Checklists for complete details.

Classroom 1 also has two built-in cabinets with counters at 36" high. One of the cabinets includes a sink. It is recommended that all cabinets be replaced with 34" high cabinetry.

Classroom 2 is located to the right side of Classroom 1. It also includes two entry doors which require minor corrections to their closing speeds and required operational forces. Additionally, both doors have raised edges at the thresholds of approximately 1" vertical which needs to be corrected to provide full access into the room.

See DR3 & DR4 Checklists for complete details.

The office door has a non-compliant knob which should be replaced with lever hardware.



Main Building



Classroom 1 Entry Door



Office Door

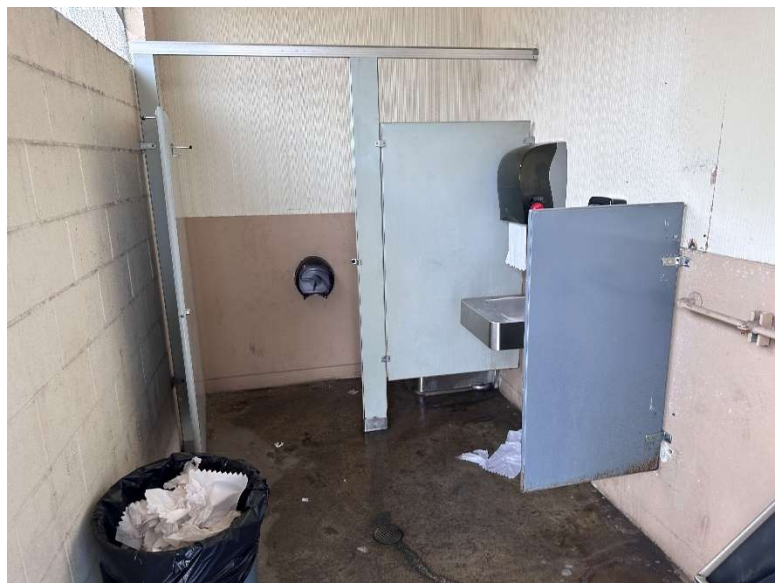


Classrooms 1 & 2 Entry Doors

There are two restrooms within the public building. Upon inspection, neither restroom is nearly compliant. Modifications to provide full access would be extensive. However, the standalone restroom building adjacent to these restrooms provides greater access (with minor modifications as listed below). The two gender-specific restrooms should be upgraded with new compliant restroom signage and additional signage identifying the standalone restroom as the accessible facility.



Gender-Specific Restroom Doors



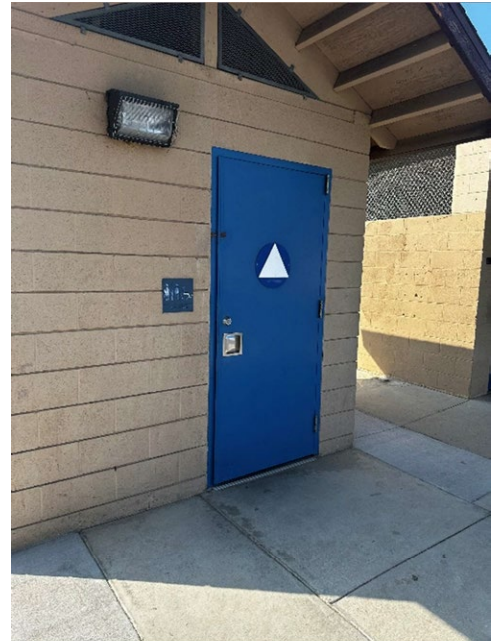
Men's Restroom Interior

6.7.2 Stand-Alone Restroom

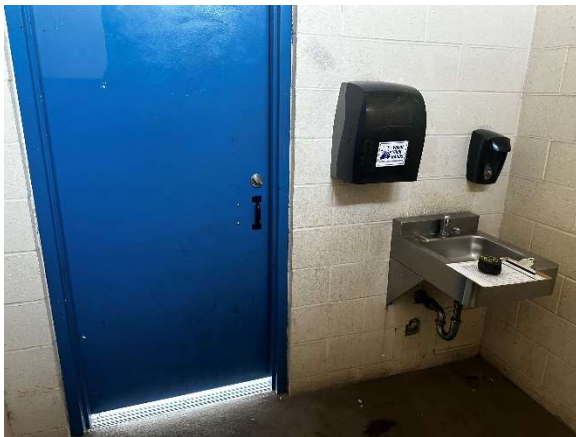
There is one stand-alone all-gender restroom to the southeast of the main building. In general, it provides adequate accessibility. However, there are several items that should be modified. These corrections include the following:

- Adjust door pressure and closing speed
- Wrap pipes under sink
- Adjust soap dispenser and hand dryer heights
- The toilet is slightly too far from the side wall
- Relocate the rear grab bar to compliant offset from toilet centerline
- The toilet paper dispenser requires relocation

See RR1 Checklist for complete details.



Standalone Restroom Building



Restroom Building Interior



Restroom Building Interior

6.8 Drinking Fountain/Water Bottle Filling Station

A contemporary single bubbler drinking fountain/water bottle filling station is provided adjacent to the restroom building. It has a fully accessible approach and meets the reach requirements for wheelchair use. No modifications are required.



Freestanding Drinking Fountain

7. EDWARD L. THORNBURG PARK

7.1 Summary

Location:	2320 W. 149 th Street
Park area:	2.39 acres
Parking:	25 spaces
Play area:	3800 SF

Thornburg Park is one of the smaller parks within the city of Gardena. It is directly connected to public access along W. 149th Street between Purche Avenue to the west and Spinning Avenue to the east. Both sides of the park are backed up directly to single family residential homes. On the south side, Nader Place dead ends into the park with a single entry gate. Park amenities include one play area, a ball wall, two full basketball courts, one baseball/softball diamond, a covered picnic area and one community building with two gender-specific restrooms. While this park is used by the public, it is currently listed as closed for use.



Street loaded parking for 25 vehicles is provided along W. 149th Street. Pedestrian access is marginal along W. 149th Street. There is a low curb with an asphalt path in poor condition along the head-end of the parking spaces. The asphalt path is blocked in multiple locations by trash cans. Connections to the public sidewalks on either side is not acceptable. Significant path of travel to access the site should be included in any site improvements.

The access path from Nader Place is a substandard sidewalk that ends approximately 20 feet inside the south entry gate. This path does not connect to any site amenities, but does provide some minimal access to the baseball field.

7.2 Parking

In general, the entire parking area located along W. 149th Street is in extremely poor condition and requires rehabilitation and restriping. Any parking improvements should be coordinated with the development of a new accessible path connected to the public sidewalks on either side of the parking area.

7.2.1 Parking Space 1 & Access Aisle 1

The sole accessible parking space and adjacent access aisle are in extremely poor condition. The striping is nearly gone and the pavement is in need of full replacement.

See PK1 and AA1 Checklists for complete details.



Existing Accessible Parking Space

7.3 Pathways

Within the park, the existing hard surface pathways are in satisfactory condition. The overall site slopes are level and do not require recontouring, repair or replacement. However, as noted below, there are no accessible paths to the baseball field bleacher areas rendering the baseball field inaccessible.



Nader Place Pedestrian Entrance



Main Entry Gate



Access Route to Play Area

7.4 Play Area

There is one play area in this park which contains both sand ground surface and rubberized surface. The area includes five separate play features. These include one large play structure, one swing structure, two spring riders and one standing post platform.

7.4.1 Play Structure

The large play structure is designed for children 5 to 12 years old. It includes two slides. It is in satisfactory condition.

The play structure includes 3 ground level play components areas and 3 elevated play components. These include the following:

- Ground Level
 - Ladder
 - Spiral Climber
 - Hanging Wheel
- Elevated
 - Double Slide
 - Single Slide
 - Play Wall
 - Slide Pole

Based on three elevated play components, a minimum of one accessible ground level play component is required. All ground level play components are within the sand area and should not be considered accessible. Extension of the rubber material to at least one ground level play component should be added to the play area.

The play structure also includes one transfer platform located on the padded rubberized material. The top of the platform is 15" above the ground surface (compliant). The flat surface is greater than 24" wide by 14" deep (compliant).

There is a stairway within the play structure leading from the transfer platform. The stairway width is approximately 24" with 8" risers. Handrails are provided on both sides at approximately 24" above the riser nosings. Handrails are 1" in diameter. The structure stair assembly should be considered access compliant.

In general, this play structure is in acceptable condition and meets accessibility requirements and does not require replacement.



Play Structure Signage



Play Structure

7.4.2 Swings

The swing structure includes two bucket swings and three belt swings. The bucket swings are mounted over the padded rubberized surface and the three belt swings are mounted over sand. This meets the requirements for accessibility at the swings.

In general, the swing set is in acceptable condition and meets accessibility requirements and does not require replacement.



Swing Set

7.4.3 Other Play Equipment

There are three freestanding play equipment elements including two spring riders and a post platform. One of the spring riders is mounted on the rubber surface and the other rider is mounted in the sand area. The post platform is mounted in the sand area. All are in satisfactory condition and meet accessibility requirements and do not require replacement.



Play Equipment

7.5 Picnic Areas

There is one covered picnic area in this park. It contains four 6 to 8 person picnic tables with a maximum capacity of 32 persons. There are also freestanding barbecues adjacent to the structure in the grass area. These units are very old and not accessible models nor do they have an accessible pathway to them.

Areas requiring correction include:

1. Based on the 5% accessible seating requirement, replace picnic tables to provide a minimum of 2 wheelchair spaces.
2. Replace barbecue grill with accessible unit and provide compliant path of travel to the barbecue.



Covered Picnic Area



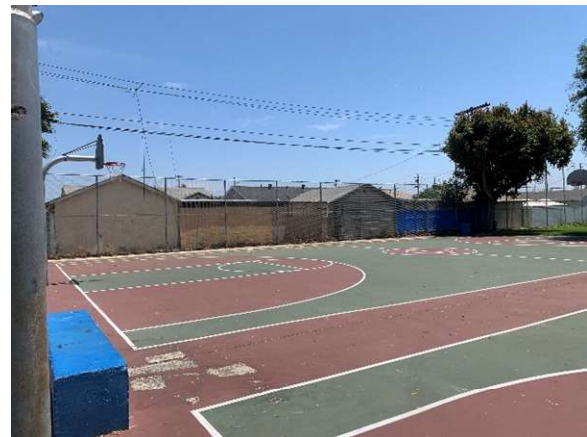
Existing Barbeque

7.6 Sports Areas

7.6.1 Basketball Courts and Ball Wall

There are two basketball courts on the north side of the park. There is adequate path of travel around the courts. There are also bench seats and adjacent level seating areas, providing full spectator access to the courts.

Adjacent to the basketball court is a ball wall. Access is fully provided to this structure as well.



Basketball Courts

7.6.2 Baseball/Softball field

This park has one baseball/softball field. The backstop is located at the far south end of the park which does not appear to be well maintained. There are no accessible paths from the parking, picnic and other areas of the park to this area. Additionally, the closest public entry to this area of the park is at the end of Nader Place. The sidewalk from the gate extends into the park several feet, but does not connect to any pathway leading to the baseball bleachers or the north side of the park.

The bleachers at the baseball field are mounted on existing asphalt surface, which is in poor condition. Additionally, there are no accessible pathways to the spectator area.

The existing dugouts on both sides of the infield have concrete surfaces. However, neither dugout has an adjacent level space for a wheelchair occupant to sit adjacent to the benches.



Baseball Field



Dugout Seating



Bleachers

7.7 Building

This park has one community building which is currently not in use. This building includes two gender-specific restrooms, an office, and two assembly-type rooms.

7.7.1 Entry Doors

There is one primary entry door from the park. This door leads directly into the office which also connects to the two assembly rooms. This door requires minor modifications related to closing speed and door operating pressure as well as non-compliant landing slopes on the exterior side of the door.

There is an exit only door from the larger assembly room to the basketball court area. This door also requires minor modifications related to closing speed and door operating pressure as well as non-compliant landing slopes on the exterior side of the door.

The door between the office and the assembly room is generally compliant. However, if this door is to be used as a primary access route from the exterior, the existing desk conflicts with the required clear space and should be replaced with a smaller desk that does not encroach.

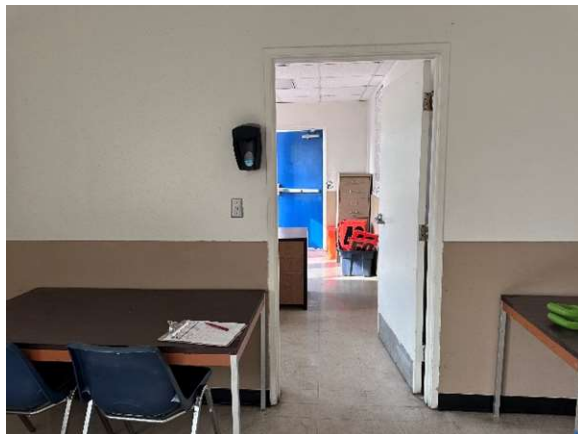
See DR1, DR2, DR3 Checklists for complete details.



Door 1: Office Entry Door



Door 2: Secondary Exit Door



Door 3: Interior Office Door

7.7.2 Assembly Rooms

In general, the assembly rooms meet access compliance requirements. However, there is a cabinet with a sink in the smaller assembly room. This cabinet and sink should be replaced with a compliant installation. This includes a counter no higher than 34" with a sink is equipped with compliant faucets.



Cabinetry



Sink and Faucet

7.7.3 Restrooms

The two gender-specific restrooms are locked behind chain link gates and are currently not available for public use. Inspection of these restrooms found moderate improvement requirements.

The women's restroom faces the street-side of the property. Access into the space is limited due to the concrete block screen wall that encroaches into the required clear space. This should be removed and replaced so a 60" landing approach is provided. Additional required improvements to this restroom include the following:

- Adjustment of door closing speed and operating pressure,
- Modification of restroom signage,
- Adjustment of the lavatory height and offset from side wall,
- Insulation of under-lavatory pipes,
- Relocation of lavatory dispensers,
- Adjustment of toilet compartment closing mechanism and installation of handles on both sides of door,
- Modification of toilet location to provide 48" clear in front of bowl,
- Installation of compliant grab bars in accessible stall,
- Relocation of toilet paper dispenser.

Based on the current restroom configuration, it may be advisable to remove the toilet partition and create a single occupant restroom.



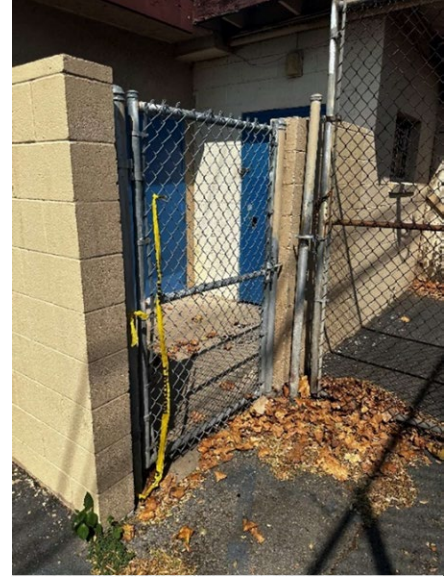
Women's Restroom Entry



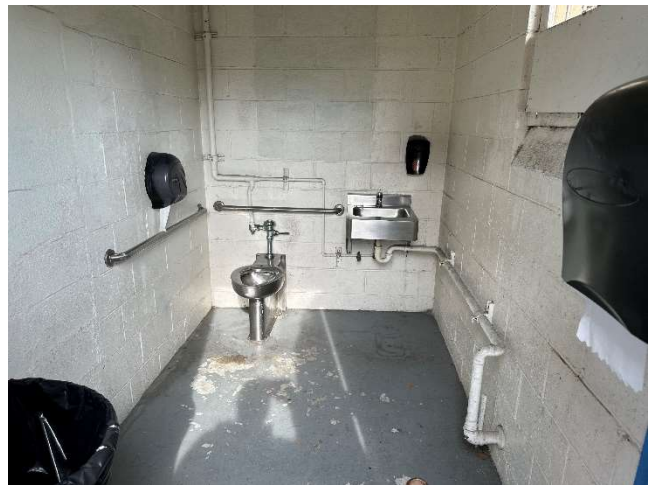
Women's Accessible Toilet Stall

The men's restroom is a single occupant facility on the back side of the building. In general, this location is hidden from visibility and difficult to locate. This restroom also requires moderate repairs to meet access compliance. These improvements include the following:

- Adjustment of exterior landing slopes,
- Modification of door closing speed,
- Modification of restroom signage,
- Possible relocation of lavatory to provide required clear space for toilet,
- Removal of drain piping on walls where possible,
- Relocation of lavatory dispensers,
- Relocation of grab bars,
- Relocation of toilet paper dispenser.



Men's Restroom Entry



Men's Restroom Interior

7.8 Drinking Fountain

There is one old-style concrete drinking fountain located near the park entry and adjacent to the community building. While it meets most of the dimensional requirements for accessible drinking fountains, it is recommended that the unit be replaced with a new high/low drinking fountain with water bottle filling station.

See DF1 Checklist for complete details.



Drinking Fountain

8. VINCENT BELL MEMORIAL PARK

8.1 Summary

Location: Halldale Avenue at
W. 147th Street

Park area: 1.86 acres

Parking: 8 spaces

North Play Area: 2500 SF

South Play Area: 5300 SF

Vincent Bell Memorial Park is a 1.86-acre park located at 14708 Halldale Avenue. It includes two play areas, a covered picnic area, a baseball/softball field, a mini-pitch court and a half basketball court. The site is generally flat with no significant elevation issues.



8.2 Parking

There is one accessible parking space and access aisle located along Halldale Avenue. A curb ramp is located to the left of the parking space providing a path of travel from the parking to the sidewalk and into the park. The parking paving surface is in satisfactory condition, however there is a speedbump installed along the street frontage which could encroach into the path of travel from the access aisle to the curb ramp to the left of the parking space.



Accessible Parking Space

The existing curb ramp connects the parking path of travel to the public sidewalk that enters directly into the park.

See PK1, AA1 and CR1 Checklists for complete details.



Curb Ramp adjacent to Parking

8.3 Pathways

Pathways along the Halldale Avenue side of the park are in acceptable condition and provide continuous walkways between all activity areas. However, there is no accessible path provided to the baseball/softball seating area or the basketball half court.

There is a residential entry location on the east side of the park at 148th Street. This entry provides pedestrian access to the baseball/softball field, but does not connect to any other areas of the park, including the adjacent half basketball court. The asphalt is in failing condition and should be repaired with future park improvements.

There is also a circular concrete bench in the main park area. Surfaces around this feature are compliant. However, there is no access route provided into the center surface. It is unclear what the original intent was for this feature. Access improvements should be considered.



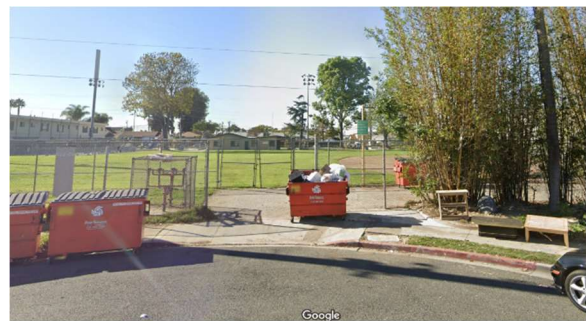
Halldale Avenue Pedestrian Entry



Main Park Area - Minimal Access to Sports Areas



Circular Concrete Bench



148th Street Pedestrian Entry

8.4 Play Areas

There are two play areas along the streetside of the park. On the north side of the park, the play equipment is identified for children between 2 and 5 years of age. On the south side of the park, the play equipment is identified for children between 5 and 12 years of age. Both areas have a ground surface of both sand and rubberized material.

8.4.1 North Play Area

The north play area is intended primarily for children between the ages of 2 and 5 years. It includes one large play structure and a swing set. The play area surface is a combination of padded rubber material and sand. Entry into the accessible portions of the play area is along an existing concrete path and meets accessibility requirements.

8.4.1.1 Play Structure

The play structure includes 3 ground level play components areas and 3 elevated play components. These include the following:

- Ground Level
 - Play Counter (2 sided)
 - Ladder
 - Climbing Blocks
- Elevated
 - Double Slide
 - Bridge
 - Ladder

Based on three elevated play components, a minimum of one accessible ground level play component is required. The suspended wheel is the only ground level play component that is located on the padded rubberized material and is considered accessible.

The play structure also includes one transfer platform located on the padded rubberized material. The top of the platform is 15" above the ground surface (compliant). The flat surface is greater than 24" wide by 14" deep (compliant).

There is a stairway within the play structure. The stairway width is approximately 24" with 8" risers. Handrails are provided on both sides at approximately 24" above the riser nosings. Handrails are 1" in diameter. The structure stair assembly should be considered access compliant.



2 to 5 Year Olds
Play Structure Signage



2 to 5 Year Olds Play Structure



Climbing Blocks

In general, this play structure is in acceptable condition and meets accessibility requirements and does not require replacement.

8.4.1.2 Swing Set

The existing swing set includes four bucket-style swings. Three of the swings are located in the sand area and one is located over the padded rubberized material. There is a compliant accessible path of travel provided from the rest of the park to this location.

In general, this swing set is in acceptable condition and meets accessibility requirements and does not require replacement.



Young Children's Swings

8.4.2 South Play Area

The south play area is generally intended for children over the age of 5 year. It includes one large play structure and a swing set. The play area surface is a combination of padded rubber material and sand. Entry into the accessible portions of the play area is along an existing concrete path and meets accessibility requirements. The sand portion of this play area encroaches into the padded surface area and can create an uneven barrier for access. If it is not possible to keep the sand separated from the padded surface, it is recommended that the sand be removed from the play area and replaced with padded material. This will also have the additional benefit of providing access to all ground level components.

8.4.2.1 Play Structure

The play structure includes 4 ground level play components areas and 4 elevated play components. These include the following:

- Ground Level
 - Climbing Ladder
 - Rings
 - Curving Ladder
 - Suspended Wheel
- Elevated
 - Double Slide
 - Curved Slide
 - Bridge
 - Spiral Pole



5 to 12 Year Olds Play Structure Signage



5 to 12 Year Olds Play Structure



Play Structure Stairway

Based on four elevated play components, a minimum of one accessible ground level play component is required. The suspended wheel is the only ground level play component that is located on the padded rubberized material and is considered accessible.

The play structure also includes one transfer platform located on the padded rubberized material. The top of the platform is 15" above the ground surface (compliant). The flat surface is greater than 24" wide by 14" deep (compliant).

There is a stairway within the play structure. The stairway width is approximately 24" with 8" risers. Handrails are provided on both sides at approximately 24" above the riser nosings. Handrails are 1" in diameter. The structure stair assembly should be considered access compliant.

In general, this play structure is in acceptable condition and meets accessibility requirements and does not require replacement.

8.4.2.2 Swing Set

The existing swing set includes a total of six belt-style swings. Five of the swings are located in the sand area and one is located over the padded rubberized material. There is a compliant accessible path of travel provided from the rest of the park to this location.

The padded rubber material below the accessible swing has significant wear showing. The surface should be repaired to provide a level surface under the swing.

In general, this swing set is in acceptable condition and meets accessibility requirements and does not require replacement.



Older Children's Swings



Accessible Swing

8.5 Picnic Area

There is one covered picnic area located within the park. There are four traditional wooden picnic benches that can accommodate approximately 24 to 32 persons. While the vertical table heights are compliant, there are no spaces provided for person in wheelchairs to utilize any of the tables. Based on the requirement for 5% accessible seating locations and the total number of existing seating locations, at least two accessible seating locations are required. It is recommended that all tables be replaced and a minimum of two tables provide accessible seating locations at the ends of the tables.



Picnic Tables



Picnic Table Clearances

8.6 Sports Areas

This park includes one baseball/softball field, a mini-pitch court and a half basketball court at the rear of the park.

8.6.1 Baseball/Softball Field

The backstop for the ballfield is located at the northeast corner of the park. There are small bleachers on asphalt on both sides of the infield. While the ground surface is asphalt, it is in poor condition and there is no accessible path to these seating areas from the park. There is an asphalt pathway from the east entrance at the end of 148th Street. However, the asphalt is showing wear and should be rehabilitated. Additionally, a new accessible path of travel from the main park area to the spectator area should be provided with future park renovations.

While the dugouts are surfaced with concrete, the transitions between the dugouts and the sidelines are in marginal condition. Stable level surfaces from the dugouts to the entry locations should be provided with future renovations.



North Side of Park Facing Infield



First Base Side Dugout



Paved Area behind Backstop



Dugout Surface Transition



Typical asphalt condition at ballfield



First Base Side Bleachers

8.6.2 Mini-Pitch Court

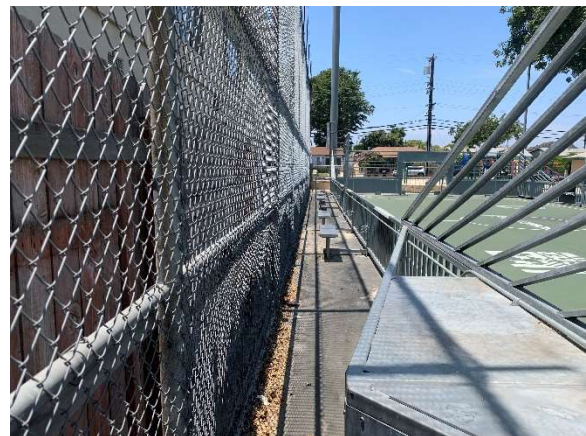
There is a mini-pitch court on the south side of the park. Access from the north side of the playing surface is acceptable. However, the court is configured such that there is no acceptable entrance on the south side of the playing surface. Accessibility codes require athletic courts to be accessible on both sides of the playing surface. It is likely required that the entire mini-pitch court be relocated to provide access on the south side.

8.6.3 Half Basketball Court

The half basketball court is in acceptable condition. However, there is no accessible path from any other location within the park or from the public right of way. A new accessible pathway should be added to this area connecting it to other amenities within the park and/or to the pedestrian entry at 148th Street.



Mini-Pitch Court Gate



South Side of Mini-Pitch Court

8.7 Building

There is one existing building located along the streetside of the park. It has one office, a community room and two gender-specific restrooms facing the street. The building is currently closed.

8.7.1 Community Room

The community room is accessed from the streetside by a single entry door. This door requires modification to the slopes at the exterior clear space as well as minor modification to the closing speed.

At the rear of the community room, there is an exit-only door with no hardware on the exterior side. This door also requires modification to the slopes at the exterior clear space as well as minor modifications to the closing speed and door operating force.

See DR1 & DR2 Checklists for complete details.

The community room also has one 36" high built-in cabinet with sink. This should be replaced with a 34" high cabinet assembly. Additionally, the soap and paper towel dispensers should be lowered to a compliant height.



Restrooms and Community Room Entry



Community Room Front Entry



Community Room Cabinet



Rear Exit-Only Door

8.7.2 Office

The office has one door which requires new lever hardware.

See DR3 Checklist for complete details.



Office Door with Knob Hardware

8.7.3 Restrooms

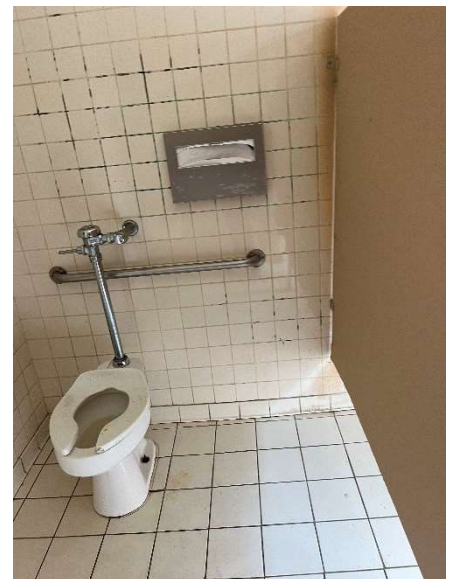
The men's restroom includes one toilet, one urinal and one lavatory. In general, the room provides some level of accessibility. However there are a number of items requiring modification to provide full access. These include the following:

- Adjustment to the door closing speed,
- Installation of new wall sign and adjustment of geometric door signage location
- Adjustment of lavatory height,
- Re-insulation of the under sink pipes
- Adjustment of soap dispenser,
- Installation of interior toilet compartment door handle,
- Adjustment of toilet compartment self-closing mechanism,
- Adjustment of toilet compartment partition to provide 60" clear,
- Adjustment of toilet placement from side wall,
- Revision of flush mechanism to wide side of toilet,
- Adjustment of rear grab bar,
- Adjustment of toilet paper dispenser and seat cover dispenser.
- Adjustment of urinal height and urinal flush mechanism height.

See RR1 Checklist for complete details.



Men's Restroom



Men's Toilet

The women's restroom includes two toilets and one lavatory. The restroom is currently identified as an all-gender restroom, but it should be revised to be gender-specific. In general, the room provides some level of accessibility. However, there are a number of items requiring modification to provide full access. These include the following:

- Adjustment to the door closing speed,
- Installation of new wall sign and adjustment of geometric door signage location
- Re-insulation of the under sink pipes
- Adjustment of soap dispenser and paper towel dispenser,
- Installation of toilet compartment door handles,
- Adjustment of toilet placement from side wall,
- Revision of flush mechanism to wide side of toilet,
- Adjustment of rear grab bar,
- Relocation of toilet paper dispenser.

See RR2 Checklist for complete details.



All-Gender (Women's) Restroom



Women's Toilet

8.7.3.4 Miscellaneous

There are two vending machines on the north side of the building protected by security cages. These cages create accessibility barriers for the disabled. If security protection is required for these machines, the cages should be replaced with accessible barriers. If this is not possible, it may be advisable to remove the vending machines from the park.



Vending Machines

8.8 Other

8.8.1 Drinking Fountain

There is one older-style drinking fountain located in the front section of the park. While it is still marginally functional, it is recommended that the unit be replaced with a high/low drinking fountain with water bottle filling station.

See DF1 Checklist for complete details.



9. HARVARD PARKETTE

9.1 Summary

Location: Harvard Blvd at
W. 160th Street

Park area: 0.17 acres

Play area: 2600 SF

The Harvard Parkette is located at 16000 Harvard Blvd at West 160th Street. This small park is 0.17 acres and is surrounded by small apartment buildings on three sides. The park has no on-site parking provided and is directly connected to the public sidewalk at Harvard Blvd. The path of travel within the site from the public right of way is an existing decomposed granite walkway with grass on either side. Amenities within the park include two picnic tables and one play area. The play area has four separate play equipment features. The existing play equipment is quite old and in need of replacement. The ground surface of the play area is made up entirely of loose sand. There is no accessible path into the play area.



Park Entry

9.2 Parking

There is no parking lot or dedicated parking spaces associated with this park.

9.3 Pathways

There is one level decomposed granite pathway leading into the park from the existing public right of way (public sidewalk). However, there are tree roots near the picnic area and play area which should be addressed to avoid tripping hazards and/or access barriers.

9.4 Play Area

There is one play area of approximately 2,600 SF. The entire play surface is composed of loose sand and is a barrier to the disabled. There is also a raised concrete curb separating the play area from the picnic area. The play equipment which includes a steel slide, metal monkey bars, swings and crawling tubes in the sand area is extremely outdated and provide no accessible activity features. All the play equipment should be replaced, accessible play entry should be provided and accessible surface material should be installed in part or all of the play area.



Play Equipment

9.5 Picnic Areas

There are two older 8-person picnic tables located adjacent to the play area. Neither table provides an accessible space for the disabled. Both tables should be replaced with new tables that can provide required accessibility.

9.6 Sports Areas

None.

9.7 Buildings

None.



Picnic Area

END VOLUME 2

Volume 3

Gardena Parks and Recreation Facilities Accessibility Survey and Report



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1. MASTER PLAN SUMMARY

1.1 Survey Summary

This accessibility survey includes inspections of buildings within the Gardena Civic Center area (including City Hall, Nakaoka Community Center and Rush Gymnasium), various larger parks (excluding Mas Fukai Park), and the Willows Wetlands. The intent of the following survey report is to identify key areas throughout each of the sites which require accessibility upgrades to provide universal access to the entire Gardena community and their guests.



This report provides accessibility information for the following parks and facilities:

Volume 1 of this report provides accessibility information for the following facilities:

1. Gardena City Hall
2. Nakaoka Community Center
3. James Rush Gymnasium and Offices

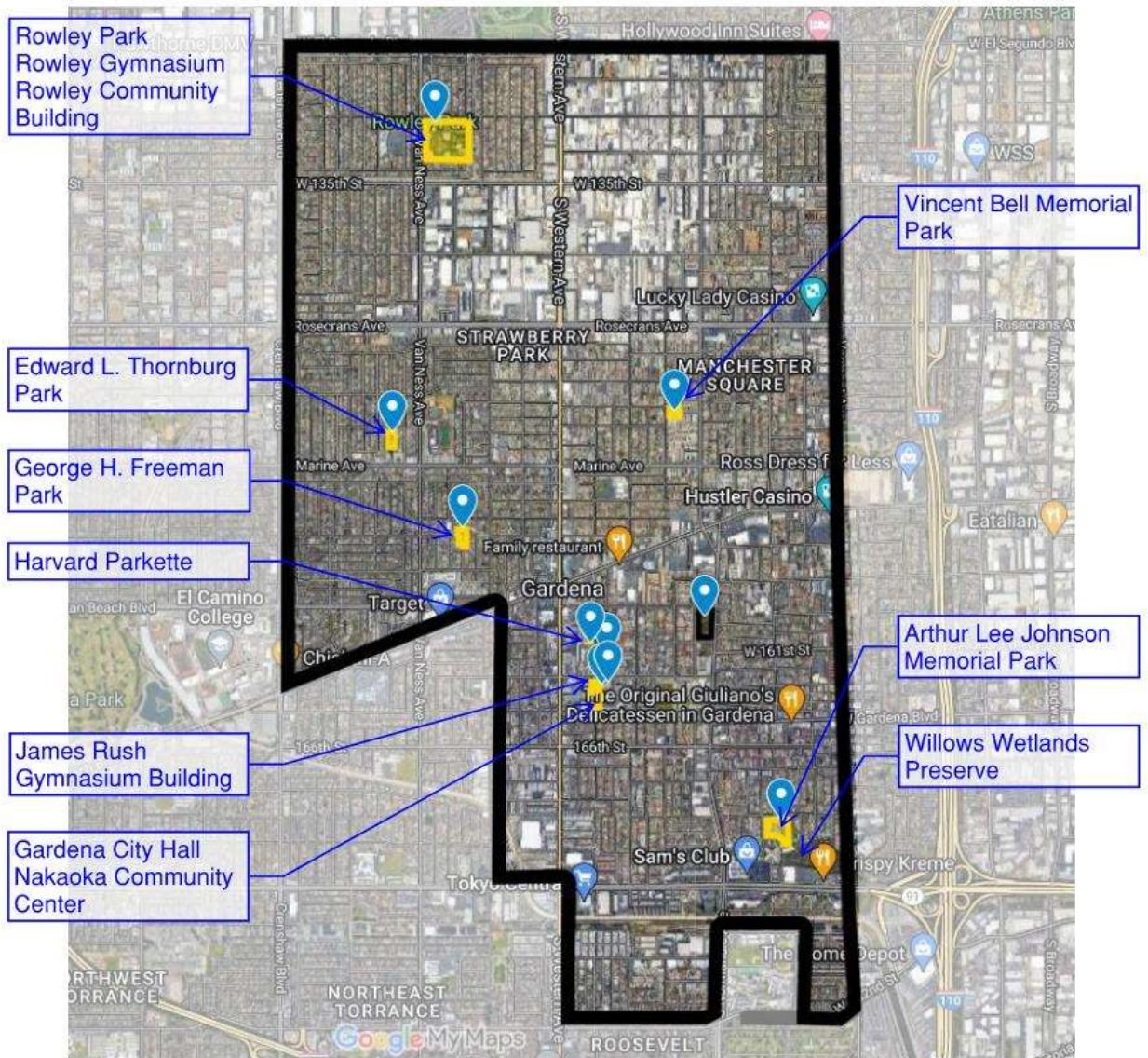
Volumes 2 includes the following facilities:

4. Arthur Lee Johnson Memorial Park
5. Willows Wetlands Preserve
6. George H. Freeman Park
7. Edward L. Thornburg Park
8. Vincent Bell Memorial Park
9. Harvard Parkette

Volume 3 includes the following facilities:

10. Rowley Park
11. Rowley Gymnasium
12. Rowley Community Building

Gardena Facilities Map



10. ROWLEY PARK

10.1 Summary

Location: 13220 Van Ness Avenue

Park Area: 18.13 acres
 Parking Lot 1: 106 spaces
 Parking Lot 2: 118 spaces
 Play Area 1: 4750 SF
 Play Area 2: 1800 SF
 Play Area 3: 600 SF

Rowley Park is an 18-acre park located at the corner of Van Ness Avenue and 132nd Street. It includes two parking lots (one along Van Ness and one along 132nd Street), four baseball fields, four tennis courts, three play areas, two fitness equipment areas, two covered picnic areas, a gymnasium building and assembly building.



- 1 Recreation Ctr.
- 2 Gymnasium
- 3 Basketball Courts
- 4 Play Area 1
- 5 Picnic 1
- 6 Skateboard Park
- 7 Tennis Courts
- 8 Restroom 1
- 9 Picnic 2
- 10 Fitness
- 11 Play Area 2
- 12 Play Area 3
- 13 Picnic 3
- 14 Baseball 1
- 15 Baseball 2
- 16 Baseball 3
- 17 Baseball 4
- 18 Restroom 2
- 19 Skating Rink

10.2 General Site Accessibility

In general, the street-level area of Rowley Park along Van Ness Avenue and 132nd Street is a relatively level park. The two parking lots are directly adjacent to the various amenities within the park. There is a lowered park area on the southeast side of the park which has limited accessible routes from other amenities. This area does include concrete paths throughout, providing compliant access within this area. Two of the four baseball fields have no accessible routes to the spectator areas.

There are two dedicated pedestrian paths into the park along Van Ness Avenue on either side of the Recreation Building. However, the walkway on the north side includes a single step, preventing universal access from this location.

The north side of the park has three pedestrian access points into the park. There is one walkway entering just to the west of the skateboard park and provides access to the amenities between the skateboard park and the gymnasium building. There are also access pathways on either side of the tennis courts. These walkways show evidence of periodic grinding to level the surface. They also have areas where the cross slopes are greater than the code allows. These walkways should be replaced.

Compliant access to park amenities from the accessible parking at the 132nd Street parking lot is limited. The pathway from five accessible parking spaces (discussed later in this report) is in need of significant corrections. Additionally, based on the current pedestrian pathways provided from this parking lot, the only amenity served is the restroom building adjacent to the tennis courts.

There is a paved service road around the lower area on east and south perimeter of the park is commonly used by the public for access. While this walkway is in fairly good condition, a compliant access route to this pathway is non-existent. Within this lower area, there are several concrete walkways connecting discreet amenities within this area but not providing any access to the upper areas or either parking lot. At a minimum, a new compliant walk to the upper area is required. This may include a new ramp or sloped walk system.

Access to the baseball fields is minimal.

Baseball Field 1 is located in the southwest corner of the park. which all provide an accessible route into the park.

Baseball Field 2 is located directly adjacent to the Van Ness Avenue parking lot and accessible spaces. While there is no identified path of travel, there is adequate access to the spectator areas on both sides of this field.

Baseball Field 3 is the northeast field. It is the closest field to the 132nd Street parking lot, but has no accessible path to this parking lot. There is an existing drainage swale running along the north side of this field toward the Van Ness Avenue parking lot. While this concrete surface is used as a pedestrian route, it should not be considered an accessible route. The cross slopes are far too severe in both directions and this surface does not connect to any dedicated pathways.

Baseball Field 4 is the southeast field. It is located directly above Parking Space 4 and 5 and adjacent to the non-compliant Stair 1. The stairway is clearly not compliant and should not be considered accessible. It should be completely removed and replaced. It is also recommended that a new accessible ramp be built connecting the adjacent accessible parking spaces to this upper level amenity.

10.3 Accessible Parking

There are two separate parking lots located within this park.

Parking Lot 1 is located on the west and south side of the park and is accessed along Van Ness Avenue. There are three accessible parking spaces near the community building and gymnasium and two accessible parking spaces at the far southeast end of the parking lot near Baseball Field 4. The parking spaces in this lot are identified as Space 1 through Space 5.

Parking Lot 2 is located on the north side of the park along 132nd Street near the tennis courts and includes five accessible parking spaces. The parking spaces in this lot are identified as Space 6 through Space 10.

Following are the findings for parking spaces and access aisles in each parking lot.

10.3.1 Parking Lot 1 Accessible Parking

The accessible spaces in Parking Lot 1 are located in two separate areas. Spaces 1 through 3 are adjacent to the Rowley Gymnasium and Recreation Building. Spaces 4 and 5 are located on the south side of the baseball fields.

10.3.1.1 Parking Spaces 1 through 3 (and associated access aisles)

Parking Spaces 1 through 3 are located directly adjacent to the Rowley Gymnasium and Rowley Recreation Building. The paved surface is generally level and accessible paths of travel to these two buildings as well as the basketball courts, skateboard park and Playground 1 are provided. The non-compliant issues include the following:

- The parking striping and ISA's require repainting.
- Striping dimensions should be updated to compliant widths and depths
- The signage is too low and not complete.
- Minor modifications of the pavement surfaces are required.

See PK1, PK2, PK3, AA12, and AA23 Checklists for complete information.

10.3.1.2 Parking Spaces 4 and 5 (and associated access aisles)

Parking Spaces 4 and 5 are located just south of Baseball Field 4. While these spaces require minimal modifications to meet access compliance requirements, they do not safely connect to any accessible routes or amenities within the park. In addition to the minor modifications to these spaces, accessible routes should be created to connect to the lower park



Parking Spaces 1 through 3



Parking Spaces 4 and 5

area as well as baseball fields (and specifically Baseball Field 4). This should include a new sidewalk to the lower park area and a ramp and new stair system to the upper baseball fields.

See PK4, PK5 and AA45 Checklists for complete information.

10.3.2 Parking Lot 2 Accessible Parking

Parking Spaces 6 through 10 (and associated access aisles and curb ramps) are severely non-compliant. The entire area should be removed and reconfigured to comply with current codes. The non-compliant issues include the following:

- The parking spaces are not deep enough.
- Several of the spaces are not wide enough.
- There are no valid van accessible spaces.
- In some areas the slopes are very steep.
- The access aisles are not wide enough.
- None of the curb ramps are compliant.
- The entire area required repaving.
- There are limited accessible routes to park amenities.

See PK6 through PK10 Checklists for parking space details.

See AA through AAA Checklists for access aisle details.

See CR through CR Checklists for curb ramp details.



Parking Spaces 6 through 10 Area



Typical Non-compliant Curb Ramps

10.4 Playground Areas

There are three separate play areas located in the park. Play Area 1 is the only area that has been updated with new equipment in the early 2000s.

10.4.1 Play Area 1

The main play area is located near 132nd Street between the skateboard park, Rowley Gymnasium and the basketball courts. There are five different play equipment elements including two large play structures and three swing sets. The ground surface includes areas of sand and areas of padded rubber material. All of the play equipment was updated in the early 2000s and meets current accessibility standards. There are a few padded surface areas that are worn and require patching.

There are two benches along the concrete walkway around the perimeter of the play area. Both have adjacent concrete surface for wheelchair users.



Bench Seating at Play Area 1

10.4.1.1 Play Structure 1

This play structure is designed for children ages 5 to 12. It was originally installed in the early 2000s and is in good condition. It includes 5 ground level play components areas and 4 elevated play components. These include the following:

- Ground Level
 - Ladder
 - Overhead Rings
 - Overhead Spinning Ring
 - Climbing Tower
 - Play Countertop
- Elevated
 - Double Slide
 - Curved Slide
 - Bridge
 - Corkscrew Pole



Play Structure 1

Based on five elevated play components, a minimum of two accessible ground level play components are required. While the overhead rings are on the accessible route, all other ground level play equipment is located on sand surfaces and generally not accessible. The padded ground surface should be extended to at least one additional ground level play component.

This play structure also includes one transfer platform located on the padded rubberized material. The top of the platform is 15” above the ground surface (compliant). The flat surface is greater than 24” wide by 14” deep (compliant).

10.4.1.2 Play Structure 2

This play structure is designed for children ages 2 to 5. It was originally installed in the early 2000s and is in good condition. It includes 4 ground level play components areas and 4 elevated play components. These include the following:

- Ground Level
 - Climbing Blocks
 - Play Countertop
 - Ladder
 - Play Booth
- Elevated
 - Double Slide
 - Bridge
 - Corkscrew Pole



Play Structure 2

Based on three elevated play components, a minimum of one accessible ground level play component is required and is provided.

This play structure also includes one transfer platform located on the padded rubberized material. The top of the platform is 15” above the ground surface (compliant). The flat surface is greater than 24” wide by 14” deep (compliant).

In general, this play structure provides full accessibility and requires no modifications.

**10.4.1.3 Swings with Bucket Seats
(2 structures)**

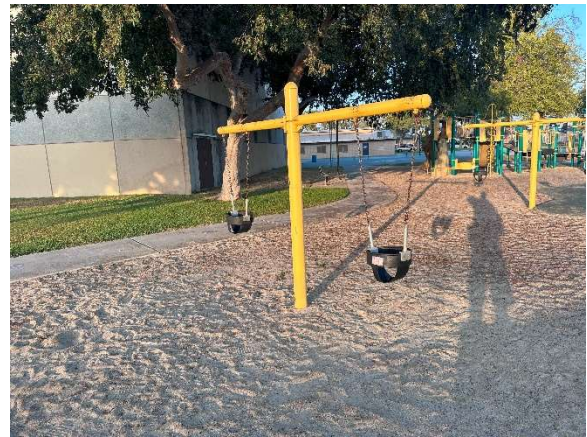
There are two separate swing sets with bucket seats, providing swinging for four children. One of the buckets is located on the padded surface, providing required accessibility to this type of play equipment.



Bucket Swings on Padded Surface

**10.4.1.4 Swings with Belt Seats
(1 structure)**

There is a single belt type swing set provided with swinging for four individuals. One of the swings is located on the padded surface, providing required accessibility to this type of play equipment. However, as noted above, the padded material under the accessible swing is worn and requires repair.



Bucket Swings on Sand Surface



Worn Padded Surface at Belt Swings



Belt Swings

10.4.2 Play Area 2

This play area is located in the lower park area on the southeast side of the park just north of Picnic Area 3. It includes a wooden play structure, an older metal slide, swings and a metal monkey bar structure. The entire area is on a sand surface and has no compliant access into it. All structures should be removed and replaced with equipment that provides accessible equipment with accessible surfaces.



Play Area 2

10.4.3 Play Area 3

This play area contains a single swing structure which is extremely old and in very poor condition. Like Play Area 2, the ground surface is sand and provides no accessibility. This swing set should be removed and replaced with accessible equipment. Accessible surfaces should be included when renovating this space.



Play Area 3

10.5 Picnic Areas

There are three separate covered picnic areas throughout the park. These areas have been inspected for access compliance. Additionally, there is expansive grass areas throughout the park. These areas are not subject to access compliance requirements.

10.5.1 Picnic Area 1

This covered picnic area is located adjacent to the playground that faces 132nd Street. It is a level surfaced concrete area. Currently there are no tables provided in this area. It appears to have a capacity of approximately 3 to 4 tables. Based on this count, at least two accessible seating areas should be provided with any new tables.



Picnic Area 1

10.5.2 Picnic Area 2

This covered picnic area is located south of the large parking lot down a sloping hillside. There are a total of 5 picnic tables provided in this area. Based on 6 to 8 persons per table, this provides a total seating capacity of 30 to 40 persons. New tables should be provided with a minimum of 3 accessible seating areas. This area also has one older non-compliant barbeque located on the grass area. This unit should be removed and replaced with a new compliant barbeque. A compliant path to the new barbeque and clear space should be provided when replaced.



Picnic Area 2



Non-compliant barbeque

10.5.3 Picnic Area 3

This picnic area is the largest covered picnic facility within the park. It is located in the far southeast corner of the park. It contains ten 8-person tables throughout the covered area, providing seating for 80 persons. Two of the tables appear to be intended for accessible seating. However, the table legs block clear accessible seating. It does not appear that these tables can be modified to meet compliance requirements. When replacing tables in other areas of the park, a minimum of four tables should be replaced in this area with ones that provide accessible seating spaces.



Picnic Area 3



Accessible Table (not compliant)

10.6 Sports Facilities

There are a variety of sports facilities located in Rowley Park, providing many types of sports activities for the Gardena community.

10.6.1 Basketball Courts

There is one full basketball court and two half courts located on the northwest side of the park near the Rowley Gymnasium and Recreation Buildings. There is full level access around the courts and there is adequate spectator space provided. The courts are showing some minor cracking, but accessibility is not reduced.

There are two metal benches located between the two half courts. These benches are in poor condition and should be replaced.



Basketball Courts



Benches at Basketball Courts



Skateboard Park

10.6.2 Skateboard Park

The skateboard park is located on the north side of the park adjacent to Play Area 1. There is adequate access into and around the skateboard park. Accessible spectator space around the park is also provided. No accessibility modifications are required at the skateboard park.

10.6.3 Tennis Courts

There are four tennis courts located on the north side of the park between the skateboard park and the 132nd Street parking lot. Accessible routes to the tennis courts from the adjacent parking lot or the restroom building are not provided. The walkway from the parking lot has a step up from the pavement. Additionally, there is no continuous paved pathway from the restrooms to the tennis courts.

There is a pedestrian route around the tennis courts to the activity areas near the gymnasium. However, the concrete walkway is showing signs of heaving in various places. It appears that the walkway has been ground down multiple times to address the uneven surface. It is recommended that the walkway be removed and replaced with new reinforced concrete that has adequately compacted base to prevent heaving in the future.

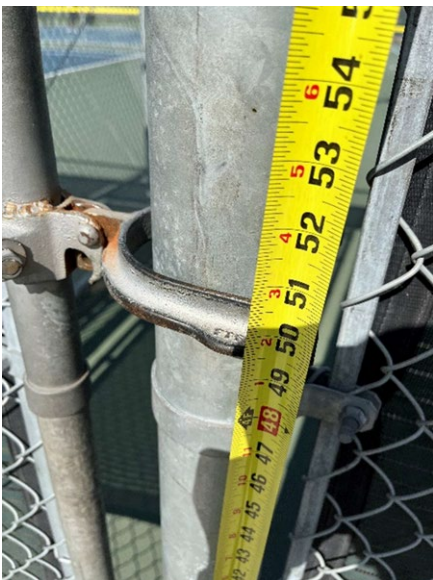
The gates on the west side of the tennis courts are padlocked. The only entrance in use are the two gates on the east side. The hardware is mounted slightly above acceptable reach ranges and is difficult to operate. New accessible hardware should be installed within acceptable reach ranges.



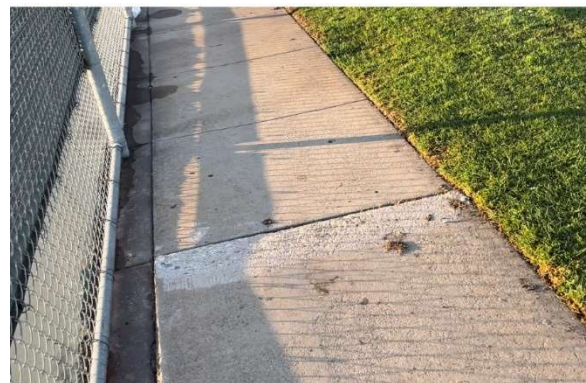
Tennis Courts



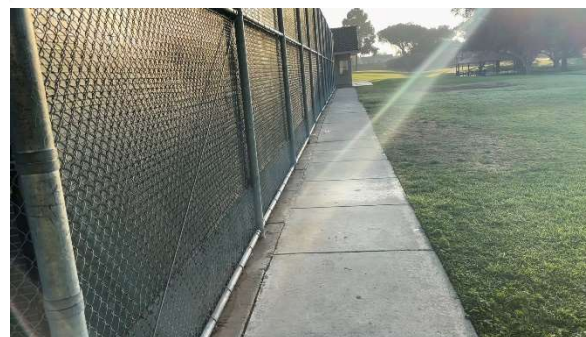
Walkway to Tennis Courts



Tennis Court Gate Hardware



Typical Walkway Grinding



Perimeter Walkway around Tennis Courts
(Uneven Cross Slopes)

10.6.4 Baseball Fields

Rowley Park includes four baseball fields on the south side of the park. Fields 1 and 2 are located immediately adjacent to the Van Ness Avenue parking lot. Fields 3 and 4 are located on the east side of this portion of the park. Access to these four fields is discussed earlier above in this section. In general, new accessible paths of travel should be installed connecting all four baseball fields to other amenities within the park.

10.6.4.1 Baseball Field 1

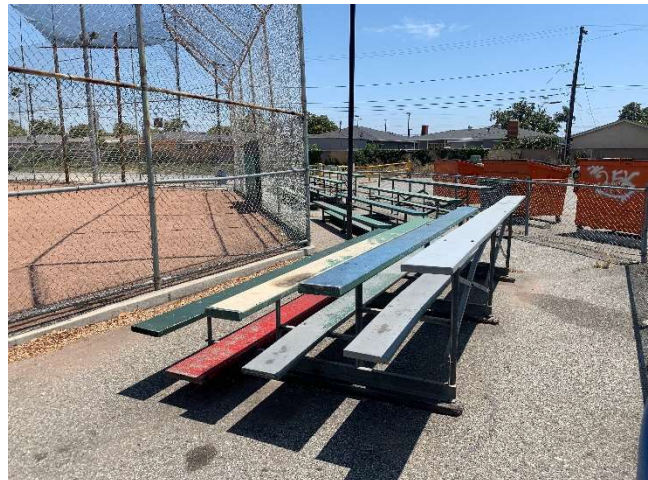
Field 1 is the southwest baseball field. It is immediately adjacent to the Van Ness Avenue Parking lot and Restroom Building 2. There are bleachers set on asphalt on both sides of the field. While the area is level and provides ample maneuvering space, it is recommended that the asphalt be resurfaced to provide a smooth surface. Additionally, there is no protected separation between much of the spectator area and the parking lot. Some form of barrier protection should be installed. The unmarked pedestrian route from the accessible parking spaces near the gymnasium to this field is limited. The pathway at the head of the parked cars is narrow and there is a large overhead light pole that narrows the pathway down to 24". A better dedicated path should be created connecting this field to other areas within the park and the accessible parking spaces.

The dugouts on both sides of the field have a concrete surface and space available for wheelchair seating. However, the transitions between the dirt infield and the dugouts require ongoing maintenance to maintain a level surface.

There are steps leading from the parking lot onto the right field infield and dugout. This should be modified to provide an accessible route to the dugout and field of play.



Baseball Field 1



Baseball Field 1 Bleachers



Steps onto Baseball Field 1

10.6.4.2 Baseball Field 2

Field 2 is the northwest baseball field. It is also located immediately adjacent to the Van Ness Avenue parking lot and the accessible parking spaces. Similar to Field 1, there is no separation between the spectator area and the parking lot. Protection barriers should be installed to separate the areas.

The dugouts have concrete surfaces with space for a wheelchair on the entry side of the enclosure. However, the transitions between the dirt infield and the concrete dugout surfaces are uneven and require ongoing maintenance. Extending the concrete surface may provide better accessibility.



Baseball Field 2



Parking Lot Entry to Baseball Field 2



Field 2 Third Base Dugout Entry



Baseball Field 2 Left Field

10.6.4.3 Baseball Field 3

Field 3 is the northeast field. There are no accessible routes to this field. As noted above, there is a concrete drainage swale that is used as a pathway from the Van Ness Avenue parking lot, but this is not an accessible path. A new compliant concrete pathway connecting this field to other areas of the park is strongly recommended. Additionally, the bleachers on the first base side have a steep incline to access them. This needs to be corrected to meet access standards. The bleachers on the third base side also have no pathway connecting them to any other areas.

The dugouts have concrete surfaces with space for a wheelchair on the entry side of the enclosure. However, the transitions between the dirt infield and the concrete dugout surfaces are uneven and require ongoing maintenance. Extending the concrete surface may provide better accessibility.



Baseball Field 3



Baseball Field 3 Right Bleachers



Field 3 First Base Dugout Entry



Baseball Field 3 Left Bleachers

10.6.4.4 Baseball Field 4

Field 4 is the southwest field. It is just above accessible parking spaces 4 and 5, however there is no accessible route between this field and the parking lot or other park amenities.

Bleachers are located strictly behind home plate and the third base side of the field. They are quite close together and do not provide any usable space for persons in wheelchairs. The concrete area on the first base side does not have any bleachers. It is recommended that the bleachers be redistributed to provide more open space. Additionally, clear paths at least 48" wide should be created to allow passage around both spectator sides.

The dugouts have concrete surfaces with adequate wheelchair space within the dugouts. However, the transitions between the dirt infield and the dugouts require routine maintenance to provide level surface for maneuverability.



Baseball Field 4



Baseball Field 4 Right Side



Field 4 Third Base Dugout Entry



Baseball Field 4 Left Bleachers

10.6.5 Fitness Equipment Stations

There are two separate locations in the lower area of the park with fairly recently added fitness equipment. Access to the equipment is via the concrete walkways within the lower park area. Several of the fitness equipment stations are identified as ADA accessible and provide fully compliant exercise equipment.

There is a parallel bar area adjacent to the newer fitness equipment. This unit is quite old and is mounted on hard pack dirt. The bar system should be replaced and the ground surface should be removed and replaced with material similar to the fitness equipment space.



Fitness Area



Parallel Bars



Fitness Area



Accessible Fitness Equipment Signage

10.6.6 Skating Rink

There is an older concrete skating rink located in the center of the lower park area. It appears to no longer be in use for skating. If this space is to be repurposed for other uses that require accessibility, the entry slopes on the south and east side will need to be revised to meet 5% running slope requirements.



Skating Rink North Entry



Skating Rink South Entry

10.7 Restroom Buildings

There is one older restroom building located adjacent to the 132nd Street parking lot. It includes gender-specific restrooms which are opened for use by city employees during regular hours. Additionally, there is a new restroom building adjacent to the baseball fields and parking lot along Van Ness Avenue. This building includes two accessible individual toilet rooms and two non-accessible toilet rooms.

10.7.1 Restroom Building 1

This older freestanding restroom building is located near the southwest corner of the tennis courts and adjacent to the 132nd Street parking lot. It has two multiple occupant gender-specific restrooms and one obsolete single bowl drinking fountain. The restrooms are in fair condition but require moderate repair work to meet current access requirements.

Required improvements to these restrooms include the following:

- Compliant geometric signage is required.
- Replace damaged door signs.
- Provide pipe insulation on pipes under lavatories.
- Lower various accessories at lavatories to compliant heights.
- Repair toilet compartment hardware.
- Remove and reinstall toilet paper dispensers in compliant locations.

See RR1 and RR2 Checklists for complete details.

There is a single older drinking fountain on the southwest side of the restroom building. This unit is not compliant and should be removed and replaced with a new unit or a new standalone drinking fountain/water bottle filling station should be installed in the vicinity of this building.

While these restrooms provide adequate facilities to this portion of the park, there are no accessible routes from this building to any site amenities other than the non-compliant accessible parking spaces in the 132nd Street parking lot. New concrete pathways should be installed connecting this building to the tennis courts, skateboard park, Playground 1 and other areas in the northwest side of the park. Additionally, a dedicated compliant pathway should be installed connecting this building (as well as the 132nd Street parking lot) to the lower open space located



Original Restroom Building



Non-compliant drinking fountain

to the south of this area. New dedicated paths should be installed connecting the restroom building to Baseball Fields 3 and 4.

10.7.2 Restroom Building 2

This restroom building is located directly to the west of the baseball/softball fields at the Van Ness Avenue parking lot. It is a recent replacement facility to an older restroom building, having been completed in 2022. It includes four individual toilet rooms (two of which are designed as accessible) and two exterior lavatories on the east side of the building. Adjacent to the lavatories is a new drinking fountain/water bottle filling station, also included in this recent renovation. No accessibility modifications to this building are required.



New Restroom Building



New Restroom Building

10.8 Other Buildings

10.8.1 Rowley Gymnasium

See Section 11, Volume 3

10.8.2 Rowley Recreation Building

See Section 12, Volume 3

Project: Rowley Park

Item Observations in **RED** were observed to be non-compliant. Items Observations in **PINK ITALICS** were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.

Area:		PK1- Parking Space 1				Code Cycle 2022
Description:		Far left accessible parking space in Van Ness Avenue lot.				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Accessible Space	Angled, Straight or Parallel	PK1- 1.01	Angled	Informational	N/A	
	<i>Van or Standard accessible stall?</i>	<i>PK1- 1.02</i>	<i>Not defined</i>	<i>Informational</i>	<i>N/A</i>	
	Parking space width	PK1- 1.03	9'-1"	9'-0" or 12'-0" at Van Accessible Space	11B-502.2	
	Parking space depth	PK1- 1.04	Left: 17'-0" Right: 25'-3"	18'-0"	11B-502.2	
	<i>Side stripe color</i>	<i>PK1- 1.05</i>	<i>Correct blue color, but peeling/fading.</i>	<i>Both sides blue</i>	<i>11B-502.3.3</i>	
	Does parked car encroach into required adjacent 48" wide pedestrian route?	PK1- 1.06	Yes	Parked vehicles may not obstruct required width of adjacent accessible route	11B-502.7.2	
	Wheel stop or curb provided to prevent encroachment	PK1- 1.07	Wheelstop provided within parking space	Required if vehicle encroaches into pedestrian way.	11B-502.7.2	
	ISA symbol provided at bottom of stall	PK1- 1.08	Correct location	Aligned with bottom end of space.	11B-502.6.4	
	ISA symbol width x height	PK1- 1.09	44" x 48"	36" x 36"	11B-502.6.4.1 11B-502.6.4.2	
	ISA symbol condition	PK1- 1.10	Poor condition. Requires repainting.	Unfaded, no repainting required	Assumed, not specified in code	
	ISA symbol alignment within parking space	PK1- 1.11	55.5" 54.5" Compliant alignment	Within 6" of centerline of space and sides parallel to space length	11B-502.6.4.2	
	70 Sq. In accessible signage provided at head of	PK1- 1.12	Correct Sign Provided	Reflectorized. White on blue background with ISA symbol	11B-502.6 11B-502.6.1	
	Required Fine Signage	PK1- 1.13	Sign Missing	Minimum Fine \$250	11B-502.6.2	
	<i>Van Accessible signage provided</i>	<i>PK1- 1.14</i>	<i>Unknown if sign is required at this location</i>	<i>Van Accessible signage required</i>	<i>11B-502.6</i>	
	Is the stall signage located within the accessible route?	PK1- 1.15	In planter / landscape area	Informational	---	
	Stall signage height	PK1- 1.16	42" to bottom of sign	80" if within accessible route. 60" if not within accessible route.	11B-502.6 11B-502.6 Exception	
	Paving surface condition	PK1- 1.17	Fair	Smooth & undamaged	Assumed, not specified in code	
Parking Space Cross Slope %	PK1- 1.18	Within space: 0.1% to 1.7% Entry End: 0.2% to 0.9%	1:48 max (2.1% max)	11B-502.4 Exception		
Parking Space Running Slope %	PK1- 1.19	Within space: 0.1% to 1.3% Entry End: 0.2% to 0.6%	1:48 max (2.1% max)	11B-502.4 Exception		

PARKING-1



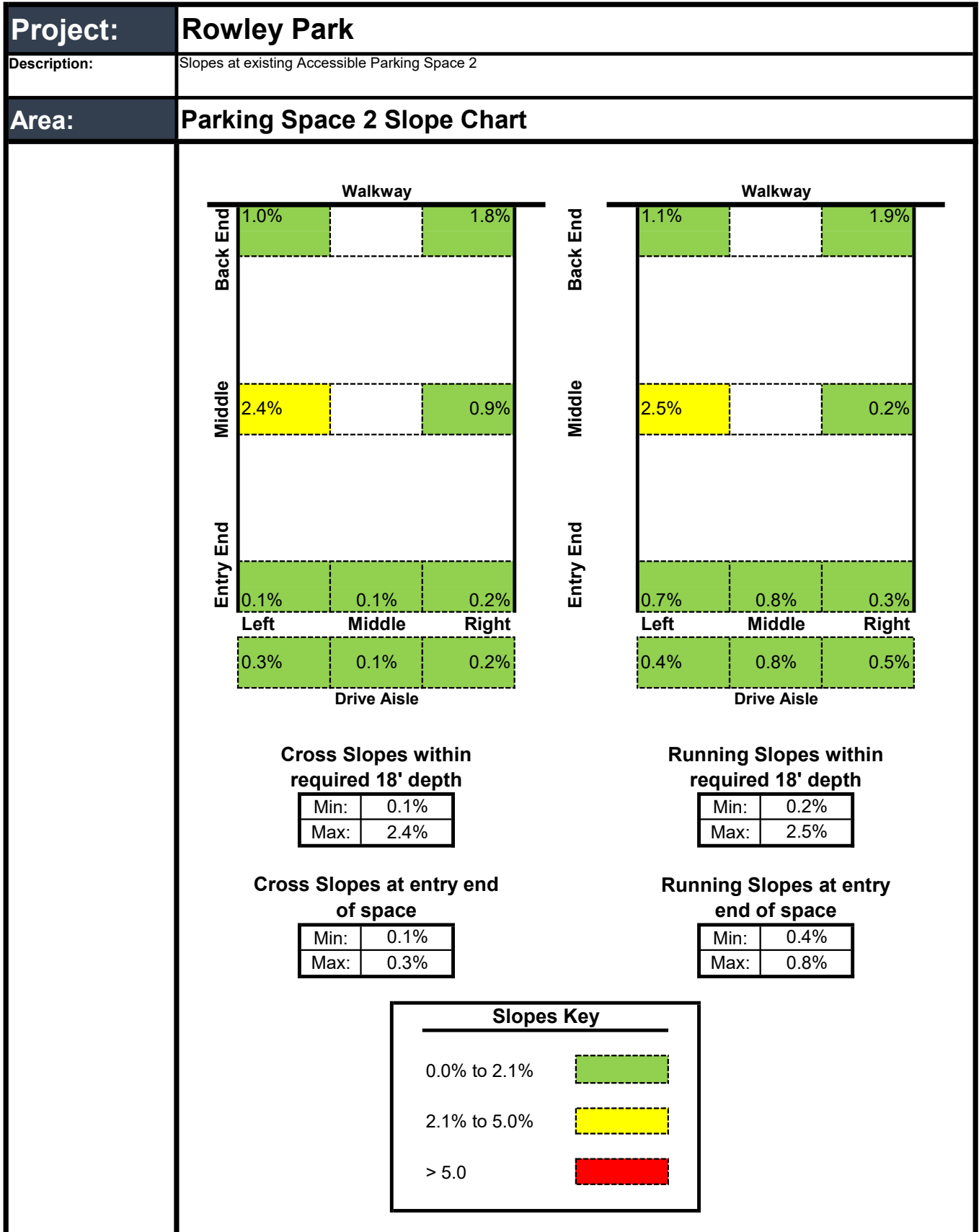
Project: Rowley Park					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	AA12- Access Aisle 12				Code Cycle 2022
Description:	Access aisle between Spaces 1 & 2				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Access Aisle	Connected to accessible route	AA12- 1.01	Aisle is connected to accessible route	Must be connected to accessible route	11B-502.3
	Parking space(s) served	AA12- 1.02	1 & 2	Informational	---
	Access aisle location	AA12- 1.03	Between spaces	Either side of standard space. Right side of van accessible	11B-502.3.4
	Are occupants required to pass behind other parked vehicles?	AA12- 1.04	No	Not permitted	11B-502.7.1
	Built-up ramp inside aisle?	AA12- 1.05	No	Not permitted	11B-502.4
	Access aisle width	AA12- 1.06	59"	Std Space: 60" Van Space: 96" Van Space: 60" if 12' wide parking space	11B-502.3.1
	Access aisle depth	AA12- 1.07	Full depth	Full length of adjacent stall	11B-502.3.1
	Paving condition	AA12- 1.08	Fair	Stable, firm and slip-resistant	11B-302.1
	Access aisle cross slope %	AA12- 1.09	Within Aisle: 0.1% to 2.4% Entry End: 0.6% to 0.8%	1:48 max. (2.1%)	11B-502.4 Exception 1
	Access aisle running slope %	AA12- 1.10	Within Aisle: 0.7% to 2.5% Entry End: 0.5% to 1.4%	1:48 max. (2.1%)	11B-502.5 Exception 1
	Access aisle border	AA12- 1.11	Showing significant wear	4" wide blue border on all sides of access aisle	11B-503.3
	Access aisle diagonal hatching spacing	AA12- 1.12	35" to 36"	36" max o.c.	11B-502.3.3
	"NO PARKING" at bottom of access aisle	AA12- 1.13	Text missing	12" high letters painted white	11B-502.3.3
	"NO PARKING" paint condition	AA12- 1.14	Text missing	Text must be legible	11B-502.3.3

aisle-12



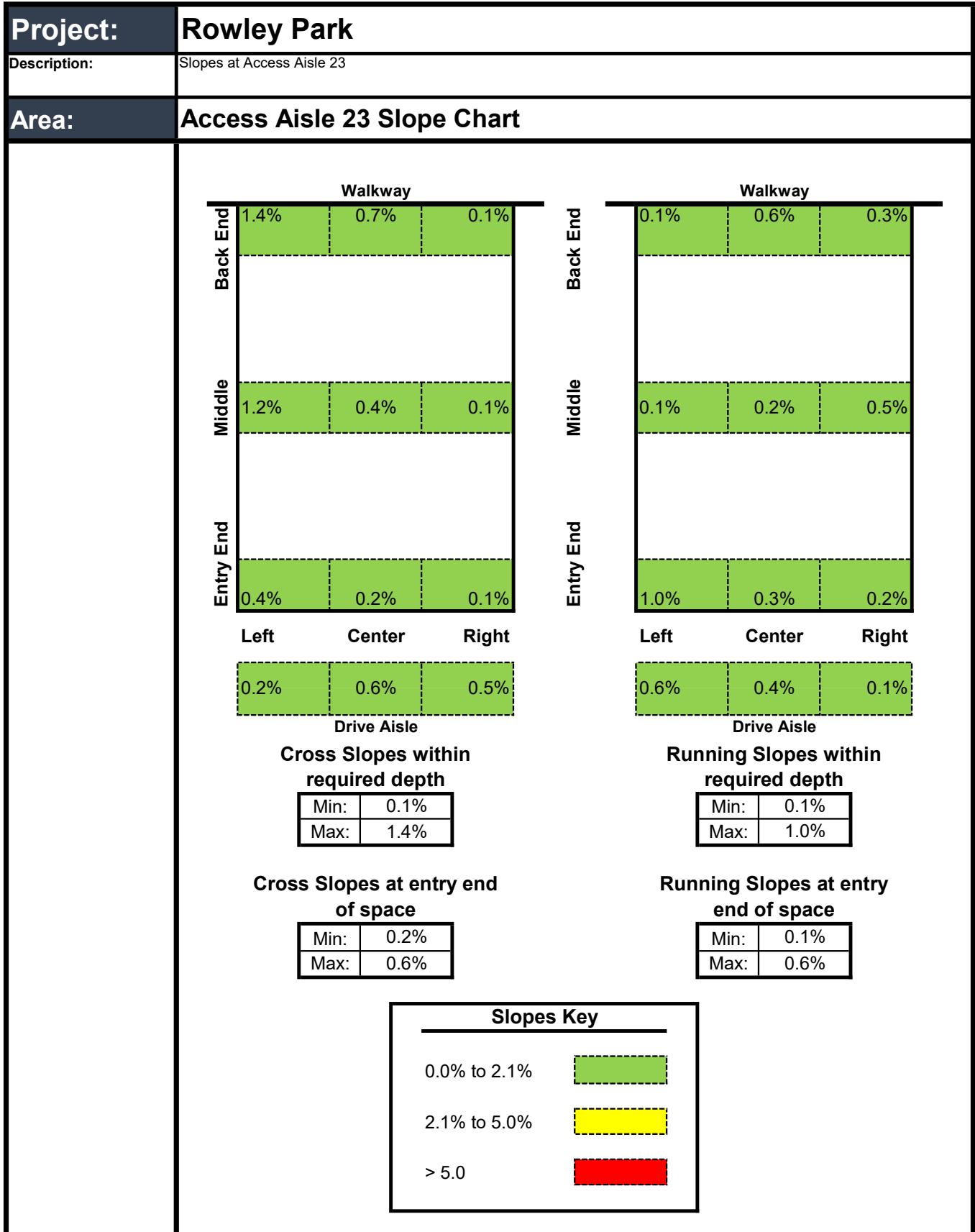
Project: Rowley Park						
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.						
Area:	PK2- Parking Space 2				Code Cycle 2022	
Description:	Middle accessible parking space in Van Ness Avenue lot.					
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Accessible Space	Angled, Straight or Parallel	PK2- 1.01	Angled	Informational	N/A	
	<i>Van or Standard accessible stall?</i>	<i>PK2- 1.02</i>	<i>Not defined</i>	<i>Informational</i>	<i>N/A</i>	
	Parking space width	PK2- 1.03	8'-11"	9'-0" or 12'-0" at Van Accessible Space	11B-502.2	
	Parking space depth	PK2- 1.04	Left: 18'-1" Right: 27'-0"	18'-0"	11B-502.2	
	Side stripe color	PK2- 1.05	Both sides blue	Both sides blue	11B-502.3.3	
	Does parked car encroach into required adjacent 48" wide pedestrian route?	PK2- 1.06	Yes	Parked vehicles may not obstruct required width of adjacent accessible route	11B-502.7.2	
	Wheel stop or curb provided to prevent encroachment	PK2- 1.07	Wheelstop provided within parking space	Required if vehicle encroaches into pedestrian way.	11B-502.7.2	
	ISA symbol provided at bottom of stall	PK2- 1.08	Correct location	Aligned with bottom end of space.	11B-502.6.4	
	ISA symbol width x height	PK2- 1.09	44" x 48"	36" x 36"	11B-502.6.4.1 11B-502.6.4.2	
	ISA symbol condition	PK2- 1.10	Poor condition. Requires repainting.	Unfaded, no repainting required	Assumed, not specified in code	
	ISA symbol alignment within parking space	PK2- 1.11	54" 53"	Within 6" of centerline of space and sides parallel to space length	11B-502.6.4.2	
	70 Sq. In accessible signage provided at head of	PK2- 1.12	Correct Sign Provided	Reflectorized. White on blue background with ISA symbol	11B-502.6 11B-502.6.1	
	Required Fine Signage	PK2- 1.13	Sign Missing	Minimum Fine \$250	11B-502.6.2	
	<i>Van Accessible signage provided</i>	<i>PK2- 1.14</i>	<i>Unknown if sign is required at this location</i>	<i>Van Accessible signage required</i>	<i>11B-502.6</i>	
	Is the stall signage located within the accessible route?	PK2- 1.15	In planter / landscape area	Informational	---	
	Stall signage height	PK2- 1.16	34" to bottom	80" if within accessible route. 60" if not within accessible route.	11B-502.6 11B-502.6 Exception	
	Paving surface condition	PK2- 1.17	Fair	Smooth & undamaged	Assumed, not specified in code	
	Parking Space Cross Slope %	PK2- 1.18	Within space: 0.1% to 1.7% Entry End: 0.1% to 0.3%	1:48 max (2.1% max)	11B-502.4 Exception	
	Parking Space Running Slope %	PK2- 1.19	Within space: 0.2% to 2.5% Entry End: 0.4% to 0.8%	1:48 max (2.1% max)	11B-502.4 Exception	

PARKING-2



Project: Rowley Park					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	AA23- Access Aisle 23				Code Cycle 2022
Description:	Access aisle between Parking Spaces 2 & 3				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Access Aisle	Connected to accessible route	AA23- 1.01	Aisle is connected to accessible route	Must be connected to accessible route	11B-502.3
	Parking space(s) served	AA23- 1.02	2 & 3	Informational	---
	Access aisle location	AA23- 1.03	Between spaces	Either side of standard space. Right side of van accessible	11B-502.3.4
	Are occupants required to pass behind other parked vehicles?	AA23- 1.04	No	Not permitted	11B-502.7.1
	Built-up ramp inside aisle?	AA23- 1.05	No	Not permitted	11B-502.4
	<i>Access aisle width</i>	<i>AA23- 1.06</i>	<i>7'-11"</i>	<i>Std Space: 60" Van Space: 96" Van Space: 60" if 12' wide parking space</i>	<i>11B-502.3.1</i>
	Access aisle depth	AA23- 1.07	Full depth	Full length of adjacent stall	11B-502.3.1
	Paving condition	AA23- 1.08	Fair	Stable, firm and slip-resistant	11B-302.1
	Access aisle cross slope %	AA23- 1.09	Within Aisle: 0.1% to 1.4% Entry End: 0.2% to 0.6%	1:48 max. (2.1%)	11B-502.4 Exception 1
	Access aisle running slope %	AA23- 1.10	Within Aisle: 0.1% to 1.0% Entry End: 0.1% to 0.6%	1:48 max. (2.1%)	11B-502.5 Exception 1
	Access aisle border	AA23- 1.11	Showing slight wear	4" wide blue border on all sides of access aisle	11B-503.3
	<i>Access aisle diagonal hatching spacing</i>	<i>AA23- 1.12</i>	<i>35" to 37"</i>	<i>36" max o.c.</i>	<i>11B-502.3.3</i>
	"NO PARKING" at bottom of access aisle	AA23- 1.13	Text missing	12" high letters painted white	11B-502.3.3
	"NO PARKING" paint condition	AA23- 1.14	Text missing	Text must be legible	11B-502.3.3

AISLE-23



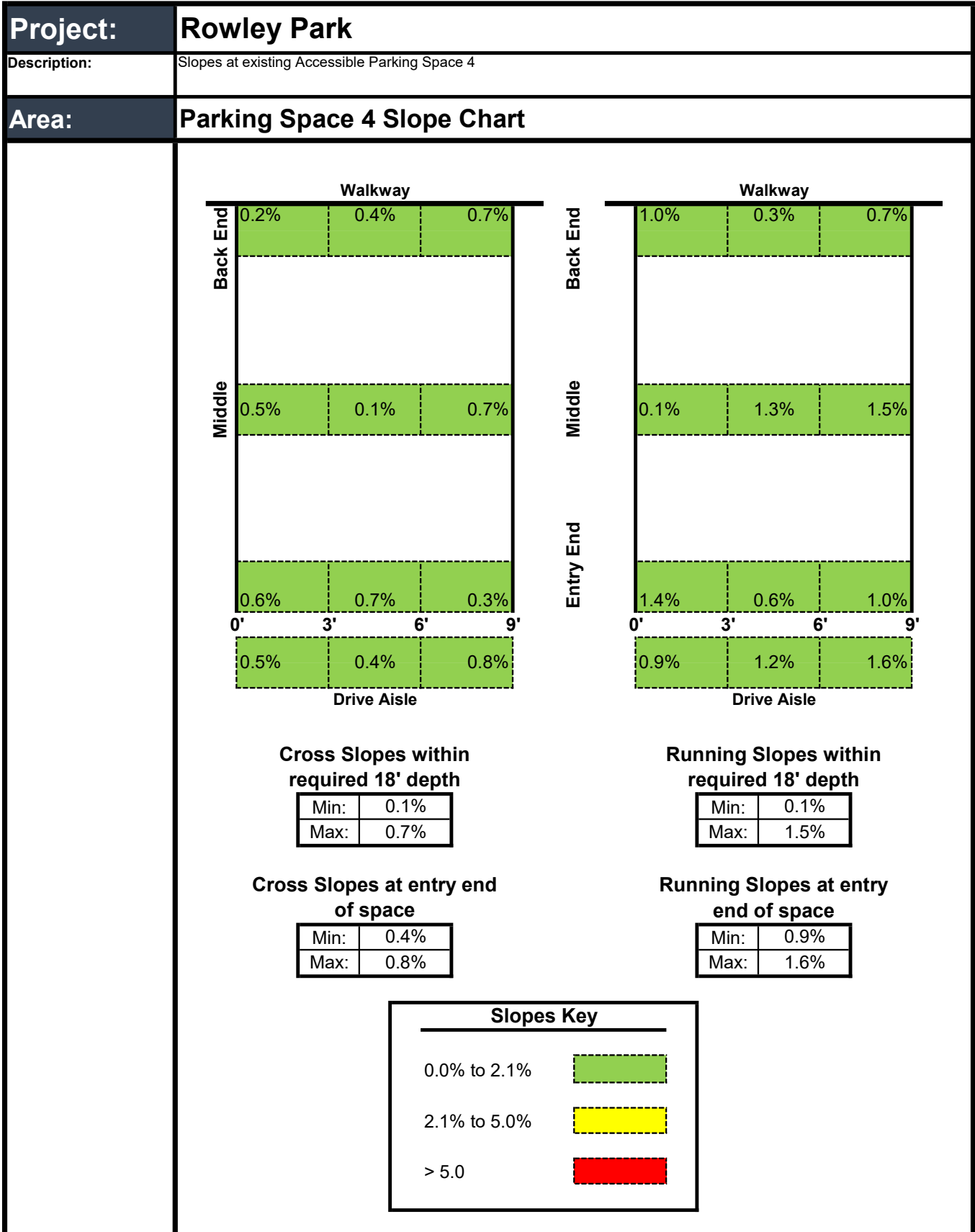
Project: Rowley Park					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	PK3- Parking Space 3				Code Cycle 2022
Description:	Far right accessible parking space in Van Ness Avenue lot.				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Accessible Space	Angled, Straight or Parallel	PK3- 1.01	Angled	Informational	N/A
	Van or Standard accessible stall?	PK3- 1.02	Standard accessible space	Informational	N/A
	Parking space width	PK3- 1.03	9'-2"	9'-0" or 12'-0" at Van Accessible Space	11B-502.2
	Parking space depth	PK3- 1.04	Left: 17'-6" Right: 25'-6"	18'-0"	11B-502.2
	Side stripe color	PK3- 1.05	Both sides blue	Both sides blue	11B-502.3.3
	Does parked car encroach into required adjacent 48" wide pedestrian route?	PK3- 1.06	Yes	Parked vehicles may not obstruct required width of adjacent accessible route	11B-502.7.2
	Wheel stop or curb provided to prevent encroachment	PK3- 1.07	Wheelstop provided within parking space	Required if vehicle encroaches into pedestrian way.	11B-502.7.2
	ISA symbol provided at bottom of stall	PK3- 1.08	Correct location	Aligned with bottom end of space.	11B-502.6.4
	ISA symbol width x height	PK3- 1.09	44" x 48"	36" x 36"	11B-502.6.4.1 11B-502.6.4.2
	ISA symbol condition	PK3- 1.10	Poor condition. Requires repainting.	Unfaded, no repainting required	Assumed, not specified in code
	ISA symbol alignment within parking space	PK3- 1.11	54" 54"	Within 6" of centerline of space and sides parallel to space length	11B-502.6.4.2
	70 Sq. In accessible signage provided at head of stall	PK3- 1.12	Correct Sign Provided	Reflectorized. White on blue background with ISA symbol	11B-502.6 11B-502.6.1
	Required Fine Signage	PK3- 1.13	Sign Missing	Minimum Fine \$250	11B-502.6.2
	Van Accessible signage provided	PK3- 1.14	Sign Not Required	Van Accessible signage required	11B-502.6
	Is the stall signage located within the accessible route?	PK3- 1.15	In planter / landscape area	Informational	---
	Stall signage height	PK3- 1.16	34"	80" if within accessible route. 60" if not within accessible route.	11B-502.6 11B-502.6 Exception
	Paving surface condition	PK3- 1.17	Fair	Smooth & undamaged	Assumed, not specified in code
Parking Space Cross Slope %	PK3- 1.18	Within Space: 0.1% to 0.4% Entry End: 0.2% to 0.5%	1:48 max (2.1% max)	11B-502.4 Exception	
Parking Space Running Slope %	PK3- 1.19	Within Space: 0.1% to 0.7% Entry End: 0.1% to 0.6%	1:48 max (2.1% max)	11B-502.4 Exception	

PARKING-3



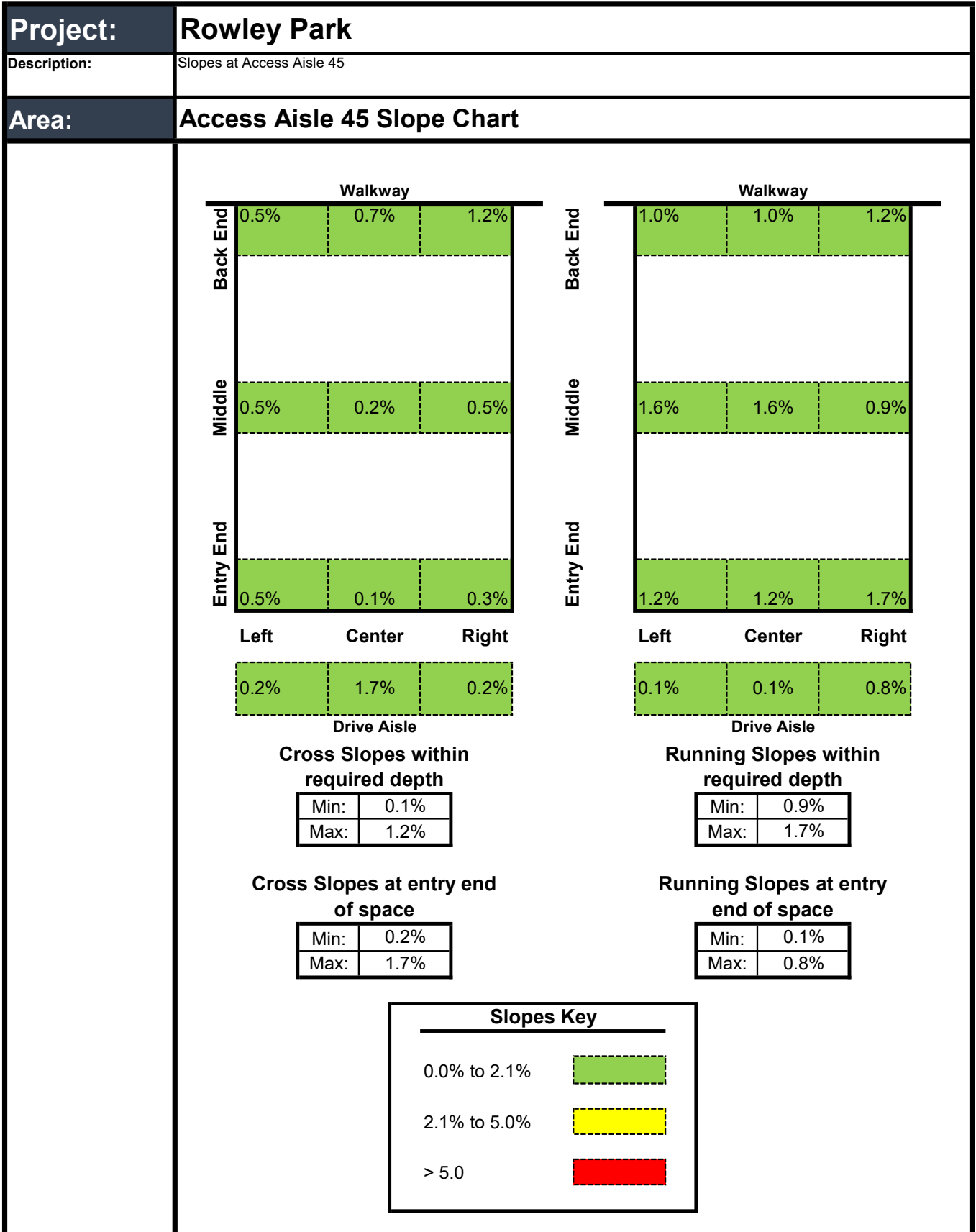
Project: Rowley Park					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	PK4- Parking Space 4				Code Cycle 2022
Description:	Left hand accessible parking space south of baseball fields				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Accessible Space	Angled, Straight or Parallel	PK4- 1.01	Angled	Informational	N/A
	Van or Standard accessible stall?	PK4- 1.02	Van accessible space	Informational	N/A
	Parking space width	PK4- 1.03	10'-8"	9'-0" or 12'-0" at Van Accessible Space	11B-502.2
	Parking space depth	PK4- 1.04	Left: 16'-3" Right: 25'-0"	18'-0"	11B-502.2
	Side stripe color	PK4- 1.05	Correct blue color, but peeling/fading.	Both sides blue	11B-502.3.3
	Does parked car encroach into required adjacent 48" wide pedestrian route?	PK4- 1.06	Possibly	Parked vehicles may not obstruct required width of adjacent accessible route	11B-502.7.2
	Wheel stop or curb provided to prevent encroachment	PK4- 1.07	Wheelstop provided within parking space	Required if vehicle encroaches into pedestrian way.	11B-502.7.2
	ISA symbol provided at bottom of stall	PK4- 1.08	Correct location	Aligned with bottom end of space.	11B-502.6.4
	ISA symbol width x height	PK4- 1.09	44" x 48"	36" x 36"	11B-502.6.4.1 11B-502.6.4.2
	ISA symbol condition	PK4- 1.10	Poor condition. Requires repainting.	Unfaded, no repainting required	Assumed, not specified in code
	ISA symbol alignment within parking space	PK4- 1.11	63" 61"	Within 6" of centerline of space and sides parallel to space length	11B-502.6.4.2
	70 Sq. In accessible signage provided at head of stall	PK4- 1.12	Correct Sign Provided	Reflectorized. White on blue background with ISA symbol	11B-502.6 11B-502.6.1
	Required Fine Signage	PK4- 1.13	Correct Sign Provided	Minimum Fine \$250	11B-502.6.2
	Van Accessible signage provided	PK4- 1.14	Correct Sign Provided	Van Accessible signage required	11B-502.6
	Is the stall signage located within the accessible route?	PK4- 1.15	In planter / landscape area	Informational	---
	Stall signage height	PK4- 1.16	93"	80" if within accessible route. 60" if not within accessible route.	11B-502.6 11B-502.6 Exception
	Paving surface condition	PK4- 1.17	Fair	Smooth & undamaged	Assumed, not specified in code
Parking Space Cross Slope %	PK4- 1.18	Within Space: 0.1% to 0.7% Entry End: 0.4% to 0.8%	1:48 max (2.1% max)	11B-502.4 Exception	
Parking Space Running Slope %	PK4- 1.19	Within Space: 0.1% to 1.5% Entry End: 0.9% to 1.6%	1:48 max (2.1% max)	11B-502.4 Exception	

PARKING-4



Project: Rowley Park					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	AA45- Access Aisle 45				Code Cycle 2022
Description:	Access aisle between Parking Spaces 4 & 5				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Access Aisle	Connected to accessible route	AA45- 1.01	Aisle is not connected to accessible route	Must be connected to accessible route	11B-502.3
	Parking space(s) served	AA45- 1.02	4 & 5	Informational	---
	Access aisle location	AA45- 1.03	Between spaces	Either side of standard space. Right side of van accessible	11B-502.3.4
	<i>Are occupants required to pass behind other parked vehicles?</i>	<i>AA45- 1.04</i>	<i>Possibly</i>	<i>Not permitted</i>	<i>11B-502.7.1</i>
	Built-up ramp inside aisle?	AA45- 1.05	No	Not permitted	11B-502.4
	<i>Access aisle width</i>	<i>AA45- 1.06</i>	<i>78"</i>	<i>Std Space: 60" Van Space: 96" Van Space: 60" if 12' wide parking space</i>	<i>11B-502.3.1</i>
	Access aisle depth	AA45- 1.07	Full depth	Full length of adjacent stall	11B-502.3.1
	Paving condition	AA45- 1.08	Fair	Stable, firm and slip-resistant	11B-302.1
	Access aisle cross slope %	AA45- 1.09	Within Aisle: 0.1% to 1.2% Entry End: 0.2% to 1.7%	1:48 max. (2.1%)	11B-502.4 Exception 1
	Access aisle running slope %	AA45- 1.10	Within Aisle: 0.9% to 1.7% Entry End: 0.1% to 0.8%	1:48 max. (2.1%)	11B-502.5 Exception 1
	Access aisle border	AA45- 1.11	Showing slight wear	4" wide blue border on all sides of access aisle	11B-503.3
	<i>Access aisle diagonal hatching spacing</i>	<i>AA45- 1.12</i>	<i>22" to 69"</i>	<i>36" max o.c.</i>	<i>11B-502.3.3</i>
	<i>"NO PARKING" at bottom of access aisle</i>	<i>AA45- 1.13</i>	<i>Text faded. Requires repainting.</i>	<i>12" high letters painted white</i>	<i>11B-502.3.3</i>
	<i>"NO PARKING" paint condition</i>	<i>AA45- 1.14</i>	<i>Text faded. Requires repainting.</i>	<i>Text must be legible</i>	<i>11B-502.3.3</i>

AISLE-45



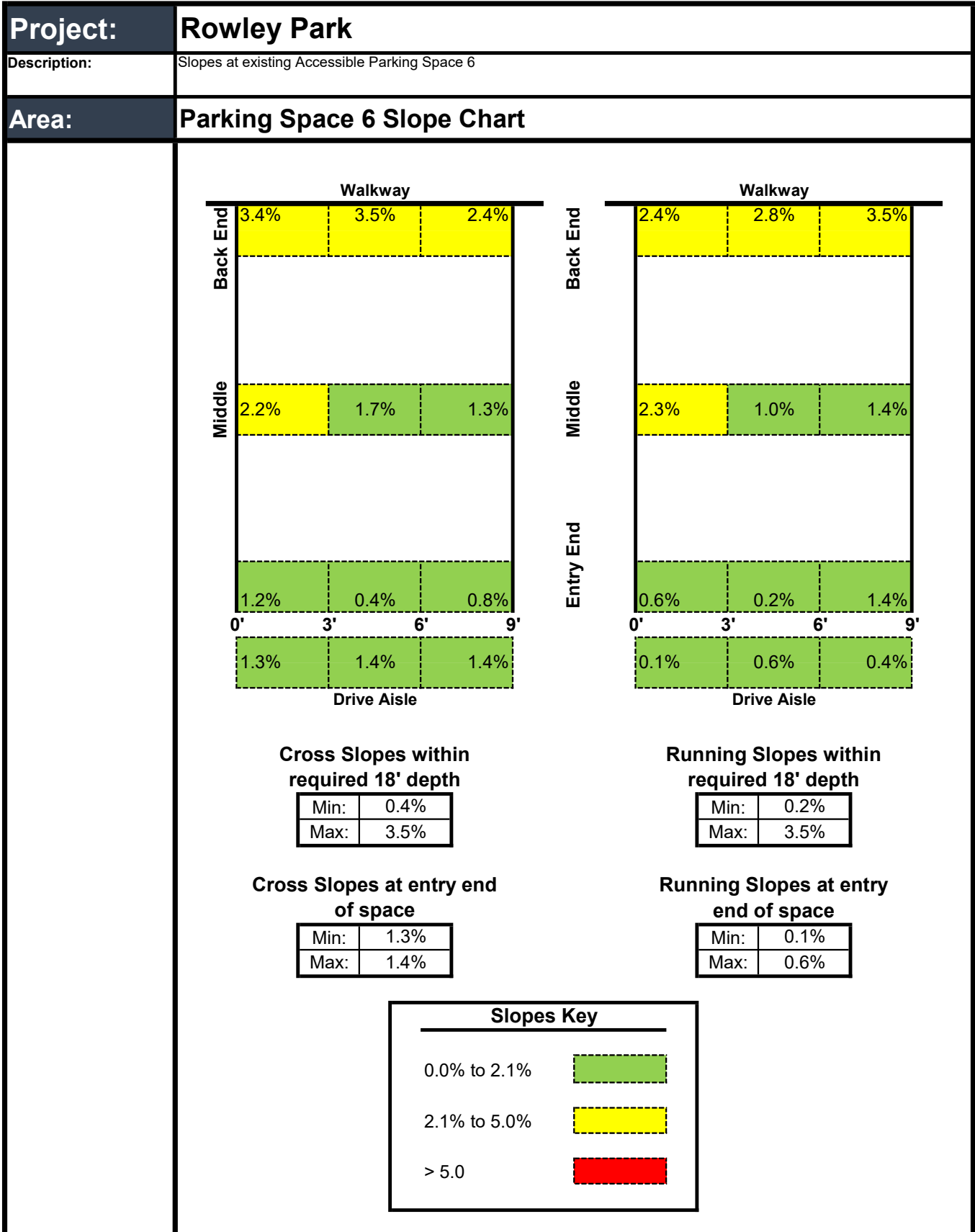
Project: Rowley Park					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	PK5- Parking Space 5				Code Cycle 2022
Description:	Right hand accessible parking space south of baseball fields				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Accessible Space	Angled, Straight or Parallel	PK5- 1.01	Angled	Informational	N/A
	Van or Standard accessible stall?	PK5- 1.02	Identified as van, does not qualify as van accessible	Informational	N/A
	Parking space width	PK5- 1.03	10'-11"	9'-0" or 12'-0" at Van Accessible Space	11B-502.2
	Parking space depth	PK5- 1.04	Left: 16'-0" Right: 19'-0"	18'-0"	11B-502.2
	Side stripe color	PK5- 1.05	Left side blue. Right side peeling/fading/incorrect	Both sides blue	11B-502.3.3
	Does parked car encroach into required adjacent 48" wide pedestrian route?	PK5- 1.06	Possibly	Parked vehicles may not obstruct required width of adjacent accessible route	11B-502.7.2
	Wheel stop or curb provided to prevent encroachment	PK5- 1.07	Wheelstop provided within parking space	Required if vehicle encroaches into pedestrian way.	11B-502.7.2
	ISA symbol provided at bottom of stall	PK5- 1.08	Correct location	Aligned with bottom end of space.	11B-502.6.4
	ISA symbol width x height	PK5- 1.09	44" x 48"	36" x 36"	11B-502.6.4.1 11B-502.6.4.2
	ISA symbol condition	PK5- 1.10	Poor condition. Requires repainting.	Unfaded, no repainting required	Assumed, not specified in code
	ISA symbol alignment within parking space	PK5- 1.11	67" 64"	Within 6" of centerline of space and sides parallel to space length	11B-502.6.4.2
	70 Sq. In accessible signage provided at head of stall	PK5- 1.12	Correct Sign Provided	Reflectorized. White on blue background with ISA symbol	11B-502.6 11B-502.6.1
	Required Fine Signage	PK5- 1.13	Correct Sign Provided	Minimum Fine \$250	11B-502.6.2
	Van Accessible signage provided	PK5- 1.14	Space incorrectly identified as a van accessible space	Van Accessible signage required	11B-502.6
	Is the stall signage located within the accessible route?	PK5- 1.15	In planter / landscape area	Informational	---
	Stall signage height	PK5- 1.16	>80"	80" if within accessible route. 60" if not within accessible route.	11B-502.6 11B-502.6 Exception
	Paving surface condition	PK5- 1.17	Fair	Smooth & undamaged	Assumed, not specified in code
Parking Space Cross Slope %	PK5- 1.18	Within Space: 0.1% to 5.0% Entry End: 1.5% to 2.2%	1:48 max (2.1% max)	11B-502.4 Exception	
Parking Space Running Slope %	PK5- 1.19	Within Space: 0.9% to 2.8% Entry End: 1.7% to 2.9%	1:48 max (2.1% max)	11B-502.4 Exception	

PARKING-5



Project: Rowley Park					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	PK6- Parking Space 6				Code Cycle 2022
Description:	Far left accessible parking space in 132nd Street lot.				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Accessible Space	Angled, Straight or Parallel	PK6- 1.01	Angled	Informational	N/A
	Van or Standard accessible stall?	PK6- 1.02	Standard accessible space	Informational	N/A
	Parking space width	PK6- 1.03	8'-6" to 9'-2"	9'-0" or 12'-0" at Van Accessible Space	11B-502.2
	Parking space depth	PK6- 1.04	Left: 11'-8" Right: 17'-9"	18'-0"	11B-502.2
	Side stripe color	PK6- 1.05	Both sides blue	Both sides blue	11B-502.3.3
	Does parked car encroach into required adjacent 48" wide pedestrian route?	PK6- 1.06	Yes	Parked vehicles may not obstruct required width of adjacent accessible route	11B-502.7.2
	Wheel stop or curb provided to prevent encroachment	PK6- 1.07	Unprotected sidewalk at end of parking space	Required if vehicle encroaches into pedestrian way.	11B-502.7.2
	ISA symbol provided at bottom of stall	PK6- 1.08	Correct location	Aligned with bottom end of space.	11B-502.6.4
	ISA symbol width x height	PK6- 1.09	43" x 41"	36" x 36"	11B-502.6.4.1 11B-502.6.4.2
	ISA symbol condition	PK6- 1.10	Poor condition. Requires repainting.	Unfaded, no repainting required	Assumed, not specified in code
	ISA symbol alignment within parking space	PK6- 1.11	54" 48"	Within 6" of centerline of space and sides parallel to space length	11B-502.6.4.2
	70 Sq. In accessible signage provided at head of stall	PK6- 1.12	Correct Sign Provided	ReflectORIZED. White on blue background with ISA symbol	11B-502.6 11B-502.6.1
	Required Fine Signage	PK6- 1.13	Correct Sign Provided	Minimum Fine \$250	11B-502.6.2
	Van Accessible signage provided	PK6- 1.14	Sign Not Required	Van Accessible signage required	11B-502.6
	Is the stall signage located within the accessible route?	PK6- 1.15	In planter / landscape area	Informational	---
	Stall signage height	PK6- 1.16	88"	80" if within accessible route. 60" if not within accessible route.	11B-502.6 11B-502.6 Exception
	Paving surface condition	PK6- 1.17	Showing wear	Smooth & undamaged	Assumed, not specified in code
Parking Space Cross Slope %	PK6- 1.18	Within Space: 0.4% to 3.5% Entry End: 1.3% to 1.4%	1:48 max (2.1% max)	11B-502.4 Exception	
Parking Space Running Slope %	PK6- 1.19	Within Space: 0.2% to 3.5% Entry End: 0.1% to 0.6%	1:48 max (2.1% max)	11B-502.4 Exception	

PARKING-6



Project: Rowley Park					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	AA67- Access Aisle 67				Code Cycle 2022
Description:	Access aisle between Parking Spaces 6 & 7				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Access Aisle	Connected to accessible route	AA67- 1.01	Aisle is connected to accessible route	Must be connected to accessible route	11B-502.3
	Parking space(s) served	AA67- 1.02	6 & 7	Informational	---
	Access aisle location	AA67- 1.03	Between spaces	Either side of standard space. Right side of van accessible	11B-502.3.4
	Are occupants required to pass behind other parked vehicles?	AA67- 1.04	No	Not permitted	11B-502.7.1
	Built-up ramp inside aisle?	AA67- 1.05	No	Not permitted	11B-502.4
	Access aisle width	AA67- 1.06	5'-9"	Std Space: 60" Van Space: 96" Van Space: 60" if 12' wide parking space	11B-502.3.1
	Access aisle depth	AA67- 1.07	Full depth	Full length of adjacent stall	11B-502.3.1
	Paving condition	AA67- 1.08	Showing wear	Stable, firm and slip-resistant	11B-302.1
	Access aisle cross slope %	AA67- 1.09	Within Aisle: 0.8% to 3.5% Entry End: 1.1% to 1.4%	1:48 max. (2.1%)	11B-502.4 Exception 1
	Access aisle running slope %	AA67- 1.10	Within Aisle: 1.4% to 4.7% Entry End: 0.1% to 0.4%	1:48 max. (2.1%)	11B-502.5 Exception 1
	Access aisle border	AA67- 1.11	Showing slight wear	4" wide blue border on all sides of access aisle	11B-503.3
	<i>Access aisle diagonal hatching spacing</i>	<i>AA67- 1.12</i>	<i>36" to 37"</i>	<i>36" max o.c.</i>	<i>11B-502.3.3</i>
	"NO PARKING" at bottom of access aisle	AA67- 1.13	Text missing	12" high letters painted white	11B-502.3.3
	"NO PARKING" paint condition	AA67- 1.14	Text missing	Text must be legible	11B-502.3.3

AISLE-67



Project: Rowley Park					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	CR23- Curb Ramp 67				Code Cycle 2022
Description:	Curb ramp connected to Access Aisle 67				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Curb Ramp	Curb Ramp Type	CR23- 1.01	Standard Curb Ramp with flared sides	Informational	---
	Curb Ramp Width	CR23- 1.02	41"	48" wide minimum	11B-406.5.2
	Upper Landing Depth	CR23- 1.03	Not connected to accessible route	48" deep minimum	11B-406.5.3
	Upper Landing Width	CR23- 1.04	Not connected to accessible route	At least as wide as the ramp width	11B-406.5.3
	Upper Landing Slope	CR23- 1.05	Running: 3.0% Cross: 05%	1:48 max. (2.1%)	11B-406.5.3
	Ramp Running Slope	CR23- 1.06	11.8%	1:12 max. (8.33%)	11B-406.3.1
	Ramp Cross Slope	CR23- 1.07	2.1%	1:48 max. (2.1%)	11B-406.5.7
	Left flared side slope	CR23- 1.08	20.9%	1:10 max. (10.0%)	11B-406.2.2
	Right flared side slope	CR23- 1.09	21.8%	1:10 max. (10.0%)	11B-406.2.2
	Detectable warnings	CR23- 1.10	Not provided	Curb ramps shall have detectable warnings extending 36" in the direction of travel.	11B-406.5.12 11B-705.1.2.2
	Counter Slope	CR23- 1.11	Compliant	1:20 max. for first 24" from end of curb ramp	11B-406.5.8
	Grade Break at Bottom of Ramp	CR23- 1.12	Uneven surface	Perpendicular to direction of ramp at top/bottom. Surface slopes at grade breaks shall be flush.	11B-406.5.6

CURB RAMP-67

Project: Rowley Park

Item Observations in **RED** were observed to be non-compliant. Items Observations in **PINK ITALICS** were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.

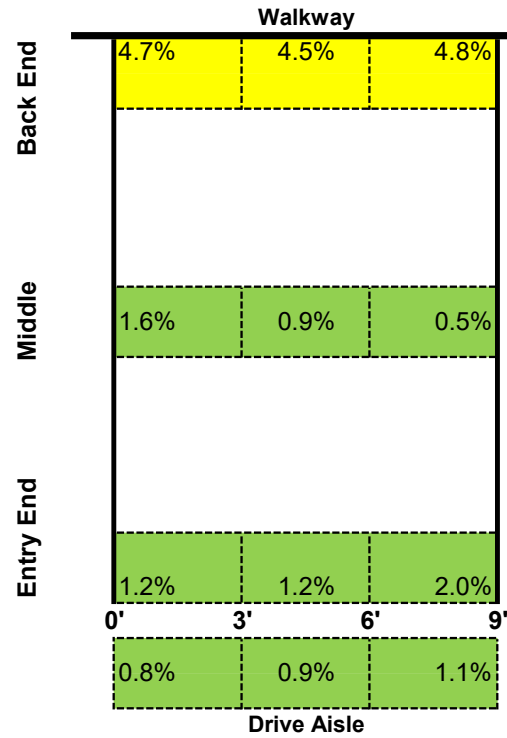
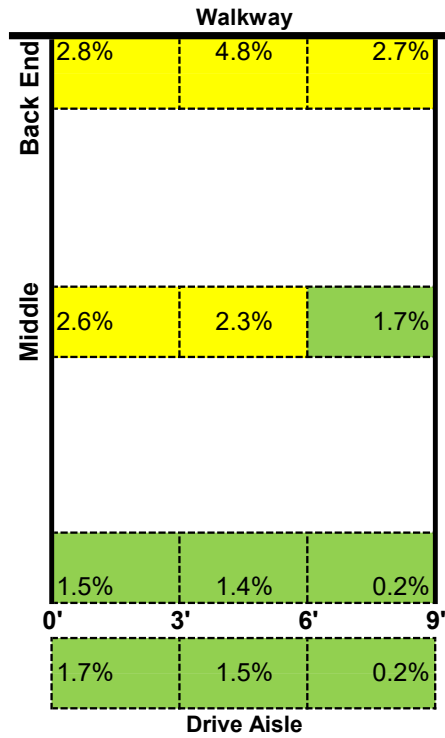
Area:		PK7- Parking Space 7				Code Cycle 2022
Description:		Second left accessible parking space in 132nd Street lot.				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Accessible Space	Angled, Straight or Parallel	PK7- 1.01	Angled	Informational	N/A	
	Van or Standard accessible stall?	PK7- 1.02	Standard accessible space	Informational	N/A	
	Parking space width	PK7- 1.03	8'-5"	9'-0" or 12'-0" at Van Accessible Space	11B-502.2	
	Parking space depth	PK7- 1.04	Left: 12'-8" Right: 17'-8"	18'-0"	11B-502.2	
	Side stripe color	PK7- 1.05	Both sides blue	Both sides blue	11B-502.3.3	
	Does parked car encroach into required adjacent 48" wide pedestrian route?	PK7- 1.06	Yes	Parked vehicles may not obstruct required width of adjacent accessible route	11B-502.7.2	
	Wheel stop or curb provided to prevent encroachment	PK7- 1.07	Unprotected sidewalk at end of parking space	Required if vehicle encroaches into pedestrian way.	11B-502.7.2	
	ISA symbol provided at bottom of stall	PK7- 1.08	Correct location	Aligned with bottom end of space.	11B-502.6.4	
	ISA symbol width x height	PK7- 1.09	43" x 42"	36" x 36"	11B-502.6.4.1 11B-502.6.4.2	
	ISA symbol condition	PK7- 1.10	Poor condition. Requires repainting.	Unfaded, no repainting required	Assumed, not specified in code	
	ISA symbol alignment within parking space	PK7- 1.11	51" 50"	Within 6" of centerline of space and sides parallel to space length	11B-502.6.4.2	
	70 Sq. In accessible signage provided at head of stall	PK7- 1.12	Correct Sign Provided	ReflectORIZED. White on blue background with ISA symbol	11B-502.6 11B-502.6.1	
	Required Fine Signage	PK7- 1.13	Correct Sign Provided	Minimum Fine \$250	11B-502.6.2	
	Van Accessible signage provided	PK7- 1.14	Sign Not Required	Van Accessible signage required	11B-502.6	
	Is the stall signage located within the accessible route?	PK7- 1.15	In planter / landscape area	Informational	---	
	Stall signage height	PK7- 1.16	87"	80" if within accessible route. 60" if not within accessible route.	11B-502.6 11B-502.6 Exception	
	Paving surface condition	PK7- 1.17	Showing wear	Smooth & undamaged	Assumed, not specified in code	
Parking Space Cross Slope %	PK7- 1.18	Within Space: 0.2% to 4.8% Entry End: 0.2% to 1.7%	1:48 max (2.1% max)	11B-502.4 Exception		
Parking Space Running Slope %	PK7- 1.19	Within Space: 0.5% to 4.8% Entry End: 0.8% to 1.1%	1:48 max (2.1% max)	11B-502.4 Exception		

PARKING-7

Project: Rowley Park

Description: Slopes at existing Accessible Parking Space 7

Area: Parking Space 6 Slope Chart



Cross Slopes within required 18' depth

Min:	0.2%
Max:	4.8%

Running Slopes within required 18' depth

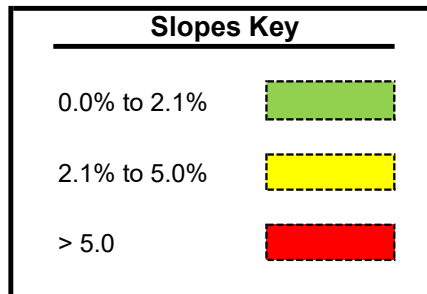
Min:	0.5%
Max:	4.8%

Cross Slopes at entry end of space

Min:	0.2%
Max:	1.7%

Running Slopes at entry end of space

Min:	0.8%
Max:	1.1%



Project: Rowley Park					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	AA78- Access Aisle 78				Code Cycle 2022
Description:	Access aisle between Parking Spaces 7 & 8				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Access Aisle	Connected to accessible route	AA78- 1.01	Aisle is connected to accessible route	Must be connected to accessible route	11B-502.3
	Parking space(s) served	AA78- 1.02	6 & 7	Informational	---
	Access aisle location	AA78- 1.03	Between spaces	Either side of standard space. Right side of van accessible	11B-502.3.4
	Are occupants required to pass behind other parked vehicles?	AA78- 1.04	No	Not permitted	11B-502.7.1
	Built-up ramp inside aisle?	AA78- 1.05	No	Not permitted	11B-502.4
	Access aisle width	AA78- 1.06	38"	Std Space: 60" Van Space: 96" Van Space: 60" if 12' wide parking space	11B-502.3.1
	Access aisle depth	AA78- 1.07	Full depth	Full length of adjacent stall	11B-502.3.1
	Paving condition	AA78- 1.08	Showing wear	Stable, firm and slip-resistant	11B-302.1
	Access aisle cross slope %	AA78- 1.09	Within Aisle: 0.8% to 3.6% Entry End: 0.4%	1:48 max. (2.1%)	11B-502.4 Exception 1
	Access aisle running slope %	AA78- 1.10	Within Aisle: 0.3% to 4.1% Entry End: 0.2%	1:48 max. (2.1%)	11B-502.5 Exception 1
	Access aisle border	AA78- 1.11	Showing slight wear	4" wide blue border on all sides of access aisle	11B-503.3
	Access aisle diagonal hatching spacing	AA78- 1.12	35" to 37"	36" max o.c.	11B-502.3.3
	"NO PARKING" at bottom of access aisle	AA78- 1.13	Text missing	12" high letters painted white	11B-502.3.3
	"NO PARKING" paint condition	AA78- 1.14	Text missing	Text must be legible	11B-502.3.3

aisle-78



Project: Rowley Park

Item Observations in **RED** were observed to be non-compliant. Items Observations in **PINK ITALICS** were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.

Area:	CR67- Curb Ramp 67	Code Cycle 2022
Description:	Curb ramp connecting to Access Aisle 78	

MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Curb Ramp	Curb Ramp Type	CR67- 1.01	Standard Curb Ramp with flared sides	Informational	---
	Curb Ramp Width	CR67- 1.02	38"	48" wide minimum	11B-406.5.2
	Upper Landing Depth	CR67- 1.03	60"	48" deep minimum	11B-406.5.3
	Upper Landing Width	CR67- 1.04	Full width of curb ramp	At least as wide as the ramp width	11B-406.5.3
	Upper Landing Slope	CR67- 1.05	Running: 1.5% Cross: 1.3%	1:48 max. (2.1%)	11B-406.5.3
	Ramp Running Slope	CR67- 1.06	9.7%	1:12 max. (8.33%)	11B-406.3.1
	Ramp Cross Slope	CR67- 1.07	1.4%	1:48 max. (2.1%)	11B-406.5.7
	Left flared side slope	CR67- 1.08	9.9%	1:10 max. (10.0%)	11B-406.2.2
	Right flared side slope	CR67- 1.09	7.9%	1:10 max. (10.0%)	11B-406.2.2
	Detectable warnings	CR67- 1.10	Not provided	Curb ramps shall have detectable warnings extending 36" in the direction of travel.	11B-406.5.12 11B-705.1.2.2
	Counter Slope	CR67- 1.11	11.2% slope at gutter	1:20 max. for first 24" from end of curb ramp	11B-406.5.8
	Grade Break at Bottom of Ramp	CR67- 1.12	Compliant	Perpendicular to direction of ramp at top/bottom. Surface slopes at grade breaks shall be flush.	11B-406.5.6

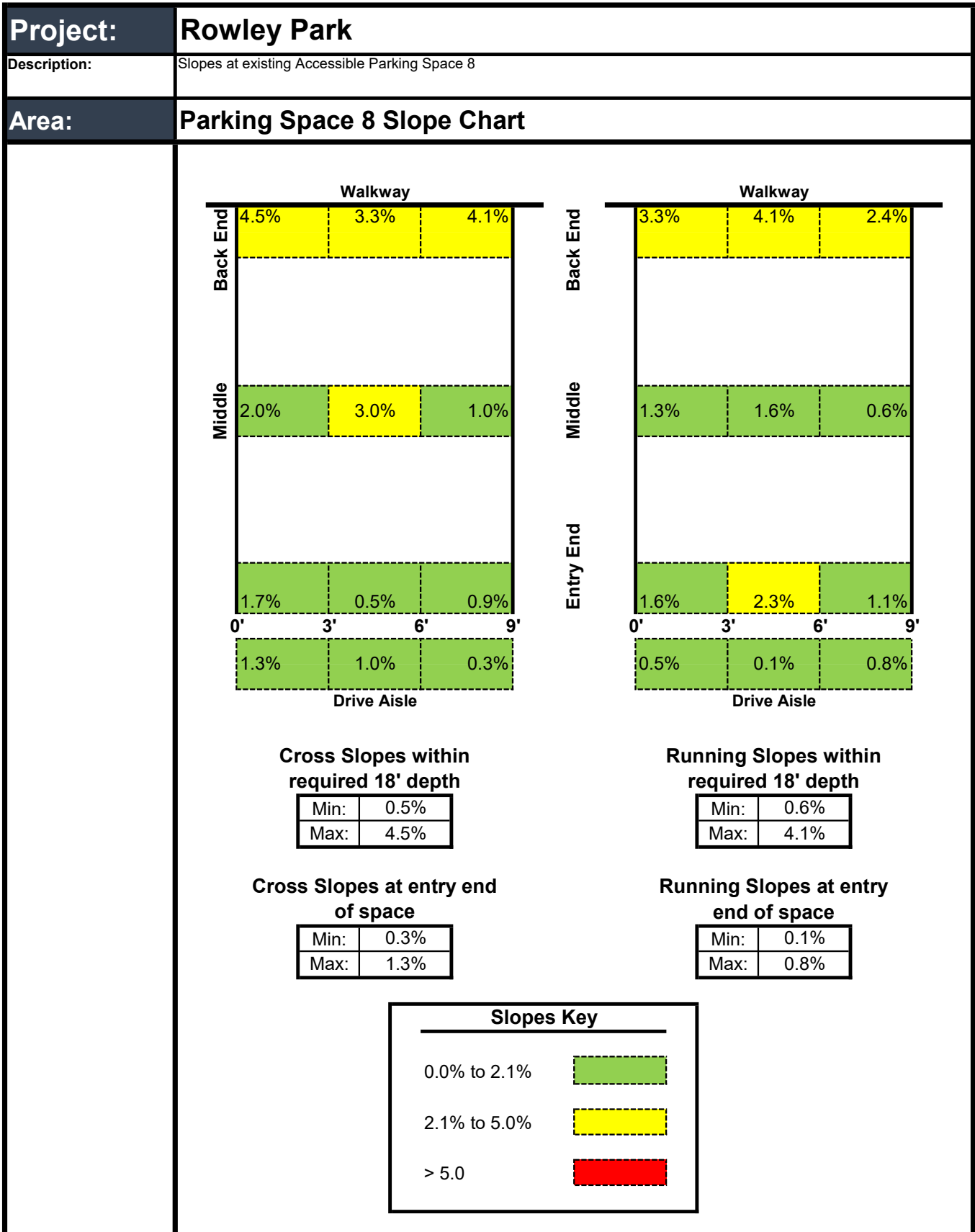
CURB RAMP-78

Project: Rowley Park

Item Observations in **RED** were observed to be non-compliant. Items Observations in **PINK ITALICS** were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.

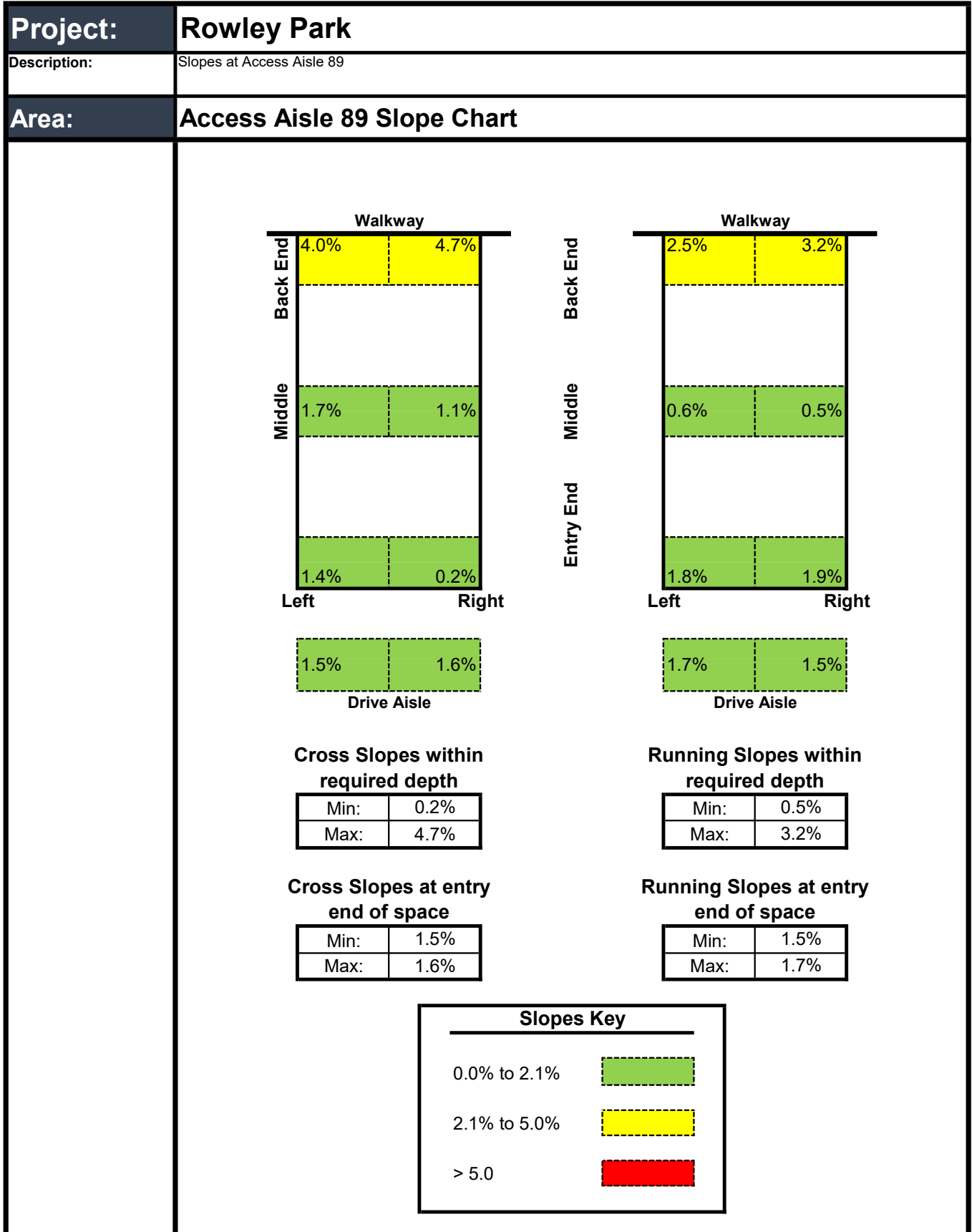
Area:		PK8- Parking Space 8			Code Cycle
Description:		Middle accessible parking space in 132nd Street lot.			2022
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Accessible Space	Angled, Straight or Parallel	PK8- 1.01	Angled	Informational	N/A
	Van or Standard accessible stall?	PK8- 1.02	Standard accessible space	Informational	N/A
	Parking space width	PK8- 1.03	8'-6"	9'-0" or 12'-0" at Van Accessible Space	11B-502.2
	Parking space depth	PK8- 1.04	Left: 12'-6" Right: 17'-7"	18'-0"	11B-502.2
	<i>Side stripe color</i>	<i>PK8- 1.05</i>	<i>Correct blue color, but peeling/fading.</i>	<i>Both sides blue</i>	<i>11B-502.3.3</i>
	Does parked car encroach into required adjacent 48" wide pedestrian route?	PK8- 1.06	Yes	Parked vehicles may not obstruct required width of adjacent accessible route	11B-502.7.2
	Wheel stop or curb provided to prevent encroachment	PK8- 1.07	Unprotected sidewalk at end of parking space	Required if vehicle encroaches into pedestrian way.	11B-502.7.2
	ISA symbol provided at bottom of stall	PK8- 1.08	Correct location	Aligned with bottom end of space.	11B-502.6.4
	ISA symbol width x height	PK8- 1.09	41" x 41"	36" x 36"	11B-502.6.4.1 11B-502.6.4.2
	ISA symbol condition	PK8- 1.10	Poor condition. Requires repainting.	Unfaded, no repainting required	Assumed, not specified in code
	ISA symbol alignment within parking space	PK8- 1.11	59" 45"	Within 6" of centerline of space and sides parallel to space length	11B-502.6.4.2
	70 Sq. In accessible signage provided at head of stall	PK8- 1.12	Correct Sign Provided	ReflectORIZED. White on blue background with ISA symbol	11B-502.6 11B-502.6.1
	Required Fine Signage	PK8- 1.13	Correct Sign Provided	Minimum Fine \$250	11B-502.6.2
	Van Accessible signage provided	PK8- 1.14	Sign Not Required	Van Accessible signage required	11B-502.6
	Is the stall signage located within the accessible route?	PK8- 1.15	In planter / landscape area	Informational	---
	Stall signage height	PK8- 1.16	83"	80" if within accessible route. 60" if not within accessible route.	11B-502.6 11B-502.6 Exception
	Paving surface condition	PK8- 1.17	Poor	Smooth & undamaged	Assumed, not specified in code
Parking Space Cross Slope %	PK8- 1.18	Within space: 0.5% to 4.5% Entry End: 0.3% to 1.3%	1:48 max (2.1% max)	11B-502.4 Exception	
Parking Space Running Slope %	PK8- 1.19	Within space: 0.6% to 4.1% Entry End: 0.1% to 0.8%	1:48 max (2.1% max)	11B-502.4 Exception	

PARKING-8



Project: Rowley Park					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	AA89- Access Aisle 89				Code Cycle 2022
Description:	Access aisle between Spaces 8 & 9				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Access Aisle	Connected to accessible route	AA89- 1.01	Aisle is connected to accessible route	Must be connected to accessible route	11B-502.3
	Parking space(s) served	AA89- 1.02	8 & 9	Informational	---
	Access aisle location	AA89- 1.03	Between spaces	Either side of standard space. Right side of van accessible space	11B-502.3.4
	Are occupants required to pass behind other parked vehicles?	AA89- 1.04	No	Not permitted	11B-502.7.1
	Built-up ramp inside aisle?	AA89- 1.05	No	Not permitted	11B-502.4
	<i>Access aisle width</i>	<i>AA89- 1.06</i>	<i>59"</i>	<i>Std Space: 60" Van Space: 96" Van Space: 60" if 12' wide parking space</i>	<i>11B-502.3.1</i>
	Access aisle depth	AA89- 1.07	Full depth	Full length of adjacent stall	11B-502.3.1
	Paving condition	AA89- 1.08	Poor	Stable, firm and slip-resistant	11B-302.1
	Access aisle cross slope %	AA89- 1.09	Within Aisle: 0.2% to 4.7% Entry End: 1.5% to 1.6%	1:48 max. (2.1%)	11B-502.4 Exception 1
	Access aisle running slope %	AA89- 1.10	Within Aisle: 0.5% to 3.2% Entry End: 1.5% to 1.7%	1:48 max. (2.1%)	11B-502.5 Exception 1
	Access aisle border	AA89- 1.11	Poor condition. Requires repainting.	4" wide blue border on all sides of access aisle	11B-503.3
	Access aisle diagonal hatching spacing	AA89- 1.12	36" to 38"	36" max o.c.	11B-502.3.3
	"NO PARKING" at bottom of access aisle	AA89- 1.13	Text missing	12" high letters painted white	11B-502.3.3
	"NO PARKING" paint condition	AA89- 1.14	Text missing	Text must be legible	11B-502.3.3

aisle-89



Project: Rowley Park

Item Observations in **RED** were observed to be non-compliant. Items Observations in **PINK ITALICS** were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.

Area:	CR89- Curb Ramp 89	Code Cycle 2022
Description:	Curb ramp connected to Access Aisle 89	

MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Curb Ramp	Curb Ramp Type	CR89- 1.01	Standard Curb Ramp with flared sides	Informational	---
	Curb Ramp Width	CR89- 1.02	48"	48" wide minimum	11B-406.5.2
	Upper Landing Depth	CR89- 1.03	60"	48" deep minimum	11B-406.5.3
	Upper Landing Width	CR89- 1.04	48"	At least as wide as the ramp width	11B-406.5.3
	Upper Landing Slope	CR89- 1.05	Running: 0.2% Cross: 1.3%	1:48 max. (2.1%)	11B-406.5.3
	Ramp Running Slope	CR89- 1.06	9.1%	1:12 max. (8.33%)	11B-406.3.1
	Ramp Cross Slope	CR89- 1.07	1.5%	1:48 max. (2.1%)	11B-406.5.7
	Left flared side slope	CR89- 1.08	8.9%	1:10 max. (10.0%)	11B-406.2.2
	Right flared side slope	CR89- 1.09	5.7%	1:10 max. (10.0%)	11B-406.2.2
	Detectable warnings	CR89- 1.10	Not provided	Curb ramps shall have detectable warnings extending 36" in the direction of travel.	11B-406.5.12 11B-705.1.2.2
	Counter Slope	CR89- 1.11	12.6%	1:20 max. for first 24" from end of curb ramp	11B-406.5.8
	Grade Break at Bottom of Ramp	CR89- 1.12	Compliant	Perpendicular to direction of ramp at top/bottom. Surface slopes at grade breaks shall be flush.	11B-406.5.6

CURB RAMP 89

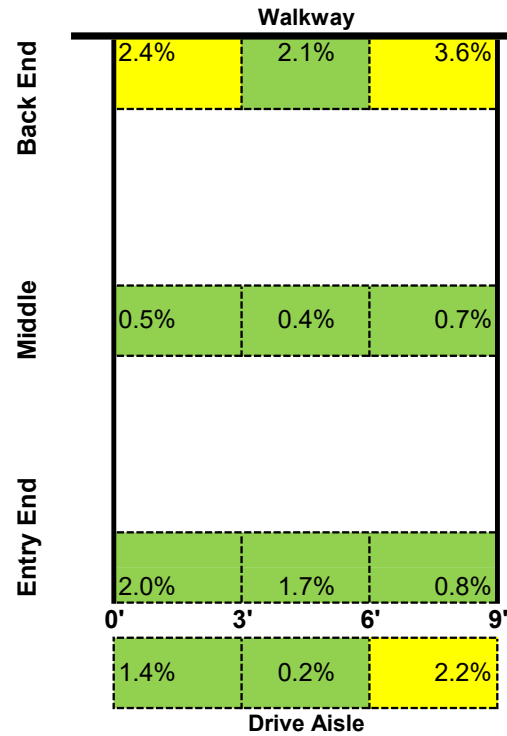
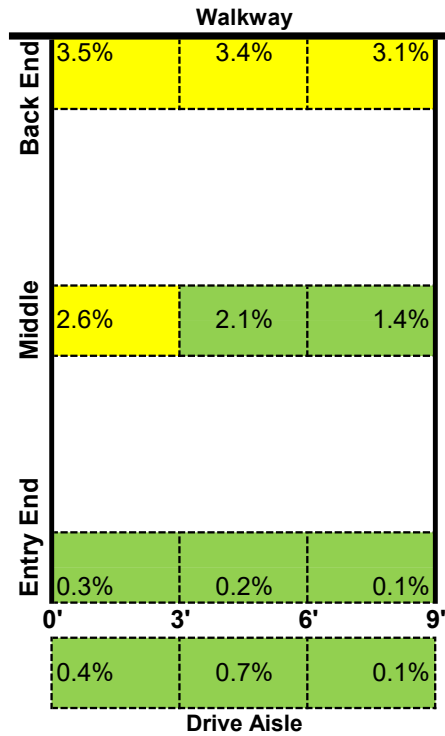
Project: Rowley Park					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	PK9- Parking Space 9				Code Cycle
Description:	Fourth from the left accessible parking space in 132nd Street lot.				2022
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Accessible Space	Angled, Straight or Parallel	PK9- 1.01	Angled	Informational	N/A
	Van or Standard accessible stall?	PK9- 1.02	Standard accessible space	Informational	N/A
	Parking space width	PK9- 1.03	7'-10"	9'-0" or 12'-0" at Van Accessible Space	11B-502.2
	Parking space depth	PK9- 1.04	Left: 12'-10" Right: 18'-0"	18'-0"	11B-502.2
	<i>Side stripe color</i>	<i>PK9- 1.05</i>	<i>Correct blue color, but peeling/fading.</i>	<i>Both sides blue</i>	<i>11B-502.3.3</i>
	Does parked car encroach into required adjacent 48" wide pedestrian route?	PK9- 1.06	Yes	Parked vehicles may not obstruct required width of adjacent accessible route	11B-502.7.2
	Wheel stop or curb provided to prevent encroachment	PK9- 1.07	Unprotected sidewalk at end of parking space	Required if vehicle encroaches into pedestrian way.	11B-502.7.2
	ISA symbol provided at bottom of stall	PK9- 1.08	Yes	Aligned with bottom end of space.	11B-502.6.4
	ISA symbol width x height	PK9- 1.09	42" x 41"	36" x 36"	11B-502.6.4.1 11B-502.6.4.2
	ISA symbol condition	PK9- 1.10	Poor condition. Requires repainting.	Unfaded, no repainting required	Assumed, not specified in code
	ISA symbol alignment within parking space	PK9- 1.11	41" 54"	Within 6" of centerline of space and sides parallel to space length	11B-502.6.4.2
	70 Sq. In accessible signage provided at head of	PK9- 1.12	Correct Sign Provided	ReflectORIZED. White on blue background with ISA symbol	11B-502.6 11B-502.6.1
	Required Fine Signage	PK9- 1.13	Correct Sign Provided	Minimum Fine \$250	11B-502.6.2
	Van Accessible signage provided	PK9- 1.14	Sign Not Required	Van Accessible signage required	11B-502.6
	Is the stall signage located within the accessible route?	PK9- 1.15	In planter / landscape area	Informational	---
	Stall signage height	PK9- 1.16	84"	80" if within accessible route. 60" if not within accessible route.	11B-502.6 11B-502.6 Exception
	Paving surface condition	PK9- 1.17	Poor	Smooth & undamaged	Assumed, not specified in code
Parking Space Cross Slope %	PK9- 1.18	Within Space: 0.1% to 3.5% Entry End: 0.1% to 0.7%	1:48 max (2.1% max)	11B-502.4 Exception	
Parking Space Running Slope %	PK9- 1.19	Within Space: 0.4% to 3.6% Entry End: 0.2% to 2.2%	1:48 max (2.1% max)	11B-502.4 Exception	

PARKING-9

Project: Rowley Park

Description: Slopes at existing Accessible Parking Space 9

Area: Parking Space 9 Slope Chart



Cross Slopes within required 18' depth

Min:	0.1%
Max:	3.5%

Running Slopes within required 18' depth

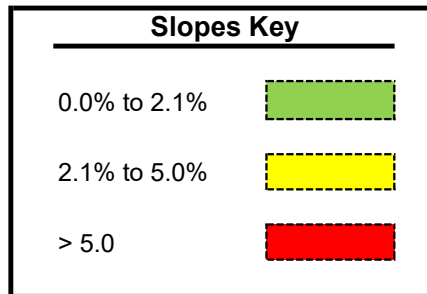
Min:	0.4%
Max:	3.6%

Cross Slopes at entry end of space

Min:	0.1%
Max:	0.7%

Running Slopes at entry end of space

Min:	0.2%
Max:	2.2%



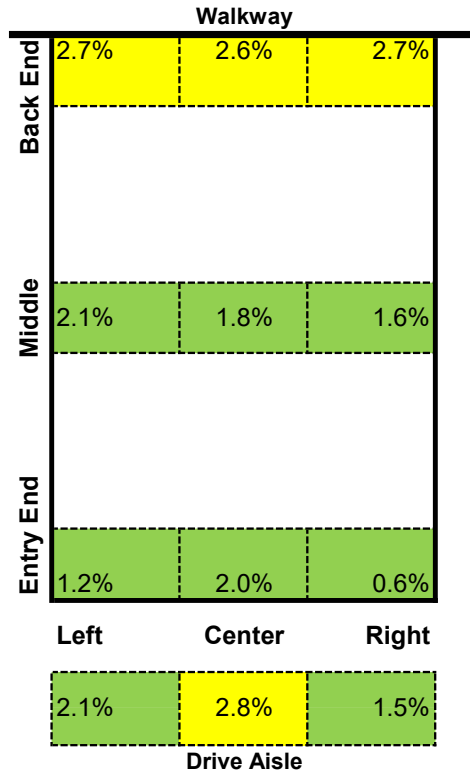
Project: Rowley Park					
Item Observations in RED were observed to be non-compliant. Items Observations in <i>PINK ITALICS</i> were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	AA910- Access Aisle 910				Code Cycle 2022
Description:	Access aisle between Spaces 8 & 9				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Access Aisle	Connected to accessible route	AA910- 1.01	Aisle is connected to accessible route	Must be connected to accessible route	11B-502.3
	Parking space(s) served	AA910- 1.02	9 & 10	Informational	---
	Access aisle location	AA910- 1.03	Between spaces	Either side of standard space. Right side of van accessible space	11B-502.3.4
	Are occupants required to pass behind other parked vehicles?	AA910- 1.04	No	Not permitted	11B-502.7.1
	Built-up ramp inside aisle?	AA910- 1.05	No	Not permitted	11B-502.4
	<i>Access aisle width</i>	<i>AA910- 1.06</i>	<i>79"</i>	<i>Std Space: 60" Van Space: 96" Van Space: 60" if 12' wide parking space</i>	<i>11B-502.3.1</i>
	Access aisle depth	AA910- 1.07	Full depth	Full length of adjacent stall	11B-502.3.1
	Paving condition	AA910- 1.08	Poor	Stable, firm and slip-resistant	11B-302.1
	Access aisle cross slope %	AA910- 1.09	Within Aisle: 0.6% to 7.7% Entry End: 1.5% to 2.8%	1:48 max. (2.1%)	11B-502.4 Exception 1
	Access aisle running slope %	AA910- 1.10	Within Aisle: 0.2% to 3.7% Entry End: 1.1% to 2.1%	1:48 max. (2.1%)	11B-502.5 Exception 1
	Access aisle border	AA910- 1.11	Poor condition. Requires repainting.	4" wide blue border on all sides of access aisle	11B-503.3
	Access aisle diagonal hatching spacing	AA910- 1.12	36" to 37"	36" max o.c.	11B-502.3.3
	"NO PARKING" at bottom of access aisle	AA910- 1.13	Text missing	12" high letters painted white	11B-502.3.3
	"NO PARKING" paint condition	AA910- 1.14	Text missing	Text must be legible	11B-502.3.3

AISSLE-910

Project: Rowley Park

Description: Slopes at Access Aisle 23

Area: Access Aisle 23 Slope Chart

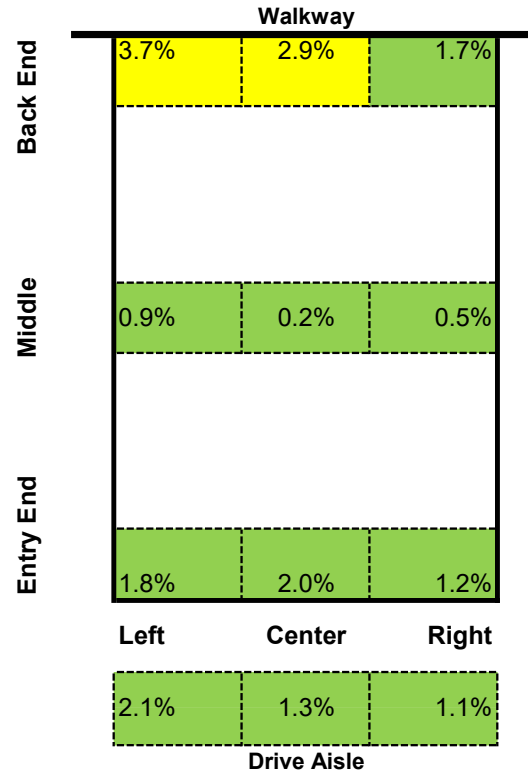


Cross Slopes within required depth

Min:	0.6%
Max:	2.7%

Cross Slopes at entry end of space

Min:	1.5%
Max:	2.8%

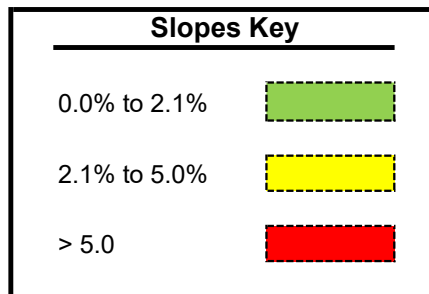


Running Slopes within required depth

Min:	0.2%
Max:	3.7%

Running Slopes at entry end of space

Min:	1.1%
Max:	2.1%

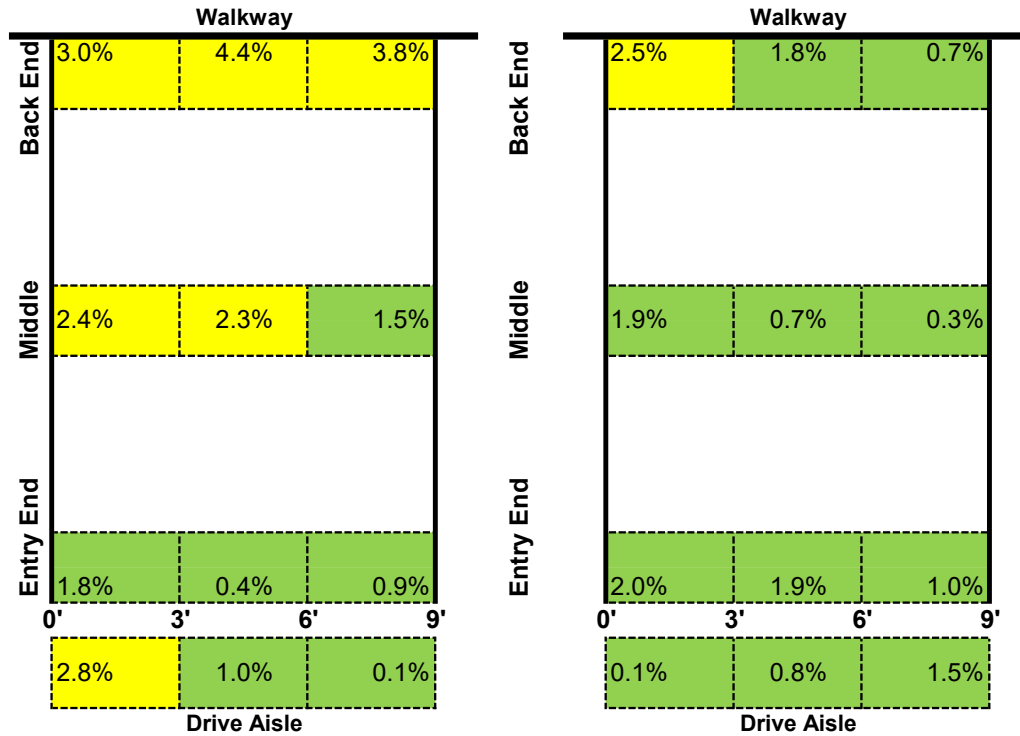


Project: Rowley Park					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	PK10- Parking Space 10				Code Cycle
Description:	Far right hand accessible parking space in 132nd Street lot.				2022
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Accessible Space	Angled, Straight or Parallel	PK10- 1.01	Angled	Informational	N/A
	Van or Standard accessible stall?	PK10- 1.02	Standard accessible space	Informational	N/A
	Parking space width	PK10- 1.03	7'-6"	9'-0" or 12'-0" at Van Accessible Space	11B-502.2
	Parking space depth	PK10- 1.04	Left: 12'-8" Right: 17'-0"	18'-0"	11B-502.2
	<i>Side stripe color</i>	<i>PK10- 1.05</i>	<i>Correct blue color, but peeling/fading.</i>	<i>Both sides blue</i>	<i>11B-502.3.3</i>
	Does parked car encroach into required adjacent 48" wide pedestrian route?	PK10- 1.06	Yes	Parked vehicles may not obstruct required width of adjacent accessible route	11B-502.7.2
	Wheel stop or curb provided to prevent encroachment	PK10- 1.07	Unprotected sidewalk at end of parking space	Required if vehicle encroaches into pedestrian way.	11B-502.7.2
	ISA symbol provided at bottom of stall	PK10- 1.08	Yes	Aligned with bottom end of space.	11B-502.6.4
	ISA symbol width x height	PK10- 1.09	42" x 43"	36" x 36"	11B-502.6.4.1 11B-502.6.4.2
	ISA symbol condition	PK10- 1.10	Poor condition. Requires repainting.	Unfaded, no repainting required	Assumed, not specified in code
	ISA symbol alignment within parking space	PK10- 1.11	42" 48"	Within 6" of centerline of space and sides parallel to space length	11B-502.6.4.2
	70 Sq. In accessible signage provided at head of	PK10- 1.12	Correct Sign Provided	ReflectORIZED. White on blue background with ISA symbol	11B-502.6 11B-502.6.1
	Required Fine Signage	PK10- 1.13	Correct Sign Provided	Minimum Fine \$250	11B-502.6.2
	Van Accessible signage provided	PK10- 1.14	Sign Not Required	Van Accessible signage required	11B-502.6
	Is the stall signage located within the accessible route?	PK10- 1.15	In planter / landscape area	Informational	---
	Stall signage height	PK10- 1.16	83"	80" if within accessible route. 60" if not within accessible route.	11B-502.6 11B-502.6 Exception
	Paving surface condition	PK10- 1.17	Poor	Smooth & undamaged	Assumed, not specified in code
Parking Space Cross Slope %	PK10- 1.18	Within Space: 0.4% to 4.4% Entry End: 0.1% to 2.8%	1:48 max (2.1% max)	11B-502.4 Exception	
Parking Space Running Slope %	PK10- 1.19	Within Space: 0.3% to 2.5% Entry End: 0.1% to 1.5%	1:48 max (2.1% max)	11B-502.4 Exception	

Project: Rowley Park

Description: Slopes at existing Accessible Parking Space 10

Area: Parking Space 10 Slope Chart



Cross Slopes within required 18' depth

Min:	0.4%
Max:	4.4%

Running Slopes within required 18' depth

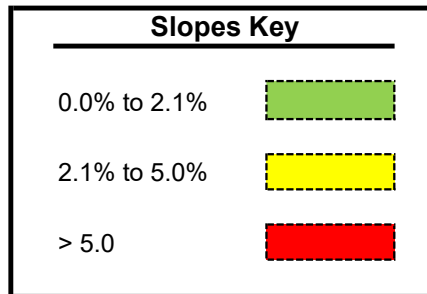
Min:	0.3%
Max:	2.5%

Cross Slopes at entry end of space

Min:	0.1%
Max:	2.8%

Running Slopes at entry end of space

Min:	0.1%
Max:	1.5%



Project: Rowley Park

Item Observations in **RED** were observed to be non-compliant. Items Observations in **PINK ITALICS** were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.

Area:		ST1- Stair 1				Code Cycle
Description:		Site stair from Parking Spaces 4 & 5 to baseball fields.				2022
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Lower Landing	Landing depth	ST1- 1.01	Landing is within the parking lot. Not compliant	48" min. Not less than width of stair	CBC Chapter 10 1011.6	
	Landing Slopes	ST1- 1.02	Running: 0.4% Cross: 0.8%	1:48 slope in all directions	CBC Chapter 10 1011.6	
	Left handrail extension length.	ST1- 1.03	There is only one non-compliant handrail in the middle of the stair.	Tread length plus 12" minimum	11B-505.10.3	
	Right handrail extension length.	ST1- 1.04	See above	Tread length plus 12" minimum	11B-505.10.3	
	Left handrail extension height.	ST1- 1.05	See above	34" to 38" above bottom landing	11B-505.4	
	Right handrail extension height.	ST1- 1.06	See above	34" to 38" above bottom landing	11B-505.4	
Stair Run	Riser height	ST1- 2.01	7.5"	Uniform riser height. 4" to 7" high	11B-504.2	
	Tread length	ST1- 2.02	29"	Uniform tread length. 11" minimum	11B-504.2	
	Stair width	ST1- 2.03	107"	Egress issue. Not an access issue	CBC Chapter 10 1009.3	
	Stair nosing	ST1- 2.04	Square	1/2" maximum radius	11B-504.5	
	Contrasting stripe at bottom stair	ST1- 2.05	Missing	Full width. 2 to 4" wide. 1" max. from stair nosing	11B-504.4.1	
	Contrasting stripe at all treads (exterior conditions only)	ST1- 2.06	Missing	Full width. 2 to 4" wide. 1" max. from stair nosing	11B-504.4.1	
	Contrasting stripe at top landing	ST1- 2.07	Missing	Full width. 2 to 4" wide. 1" max. from stair nosing	11B-504.4.1	
	Handrail diameter or perimeter	ST1- 2.08	2.5" diameter	1.25" to 2" circular cross section or 4" to 6.25" perimeter for non-circular handrails. 2.25" max cross section	11B-505.7.1	
	Left handrail clearance and surface	ST1- 2.09	Unlimited	1.5" min. from adjacent surfaces. Free of abrasive elements	11B-505.5 11B-505.8	
	Right handrail clearance and surface	ST1- 2.10	Unlimited	1.5" min. from adjacent surfaces. Free of abrasive elements	11B-505.5 11B-505.8	
	Left handrail height from stair nosing	ST1- 2.11	39" above nosing	34" to 38" high above stair nosing	11B-505.4	
	Right handrail height from stair nosing	ST1- 2.12	Only one handrail located in middle of stair.	34" to 38" high above stair nosing	11B-505.4	
	Left Guardrail protection	ST1- 2.13	Not required	42" high at drop offs 30" high or more.	CBC-1013.2 CBC-1013.3	
	Right Guardrail protection	ST1- 2.14	Not required	42" high at drop offs 30" high or more.	CBC-1013.2 CBC-1013.3	

STAIR-1

Project: Rowley Park					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	ST1- Stair 1				Code Cycle 2022
Description:	Site stair from Parking Spaces 4 & 5 to baseball fields.				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Upper Landing	Landing depth	ST1- 3.01	22"	Not less than the width of the stair	CBC Chapter 1010.1.6
	Landing slopes	ST1- 3.02	Running: 5.4% Cross: 1.3%	1:48 slope in all directions	CBC Chapter 1010.1.6
	Left handrail extension length	ST1- 3.03	No extension	12" beyond the top riser	11B-505.10.2
	Right handrail extension length	ST1- 3.04	No extension	12" beyond the top riser	11B-505.10.2
	Left handrail extension height	ST1- 3.05	No extension	34" to 38" above top landing	11B-505.4
	Right handrail extension height	ST1- 3.06	No extension	34" to 38" above top landing	11B-505.4
Other Issues	Vertical Clearance under stairs	ST1- 4.01	N/A	80" high min. or 27" high barrier protecting area below min. clearance	11B-307.4
	Open Risers	ST1- 4.02	Compliant risers	Open stairs are not permitted. 1/2" openings permitted on exterior stairs.	11B-504.3

STAIR-1

Project: Rowley Park

Item Observations in **RED** were observed to be non-compliant. Items Observations in **PINK ITALICS** were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.

Area:	RR1- Men's Restroom	Code Cycle 2022
Description:	Men's restroom at building adjacent to 132nd Street parking lot.	

MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Door	Door Swing Direction	RR1- 1.01	Door is held open during operating hours.	Informational	---
	Clear Door Width	RR1- 1.02	34"	32" clear	11B-404.3.1
	Closer Provided	RR1- 1.03	No Closer	Informational	---
	Pull Approach Direction	RR1- 1.04	n/a	Informational	---
	Pull Side Clearance from Latch	RR1- 1.05	N/A	n/a	Table 11B-404.2.4.1
	Pull Side Clearance from Hinge	RR1- 1.06	N/A	n/a	Table 44B-404.2.4.4
	Exterior Front Approach Depth	RR1- 1.07	N/A	n/a	Table 11B-404.2.4.1
	Exterior Landing Slopes	RR1- 1.08	Level	1:48 slope in all directions	11B-305.2
	Interior Approach Direction	RR1- 1.09	n/a	Informational	---
	Push Side Clearance from Latch	RR1- 1.10	16.5"	n/a	Table 11B-404.2.4.1
	Push Side Clearance from Hinge	RR1- 1.11	N/A	n/a	Table 44B-404.2.4.4
	Push Front Approach Depth	RR1- 1.12	> 48"	n/a	Table 11B-404.2.4.1
	Push Side Landing Slopes	RR1- 1.13	Level interior	1:48 slope in all directions	11B-305.2
	Exterior hardware type	RR1- 1.14	n/a	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7
	Exterior hardware height	RR1- 1.15	N/A	34" to 44"	11B-404.2.7
	Interior hardware type	RR1- 1.16	n/a	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7
	Interior hardware height	RR1- 1.17	N/A	34" to 44"	11B-404.2.7
	Door Closer Speed Standard Closer	RR1- 1.18	N/A	Must open 90°. 5 second min. time from 90° to 12°	11B-404.2.8.1
	Door Closer Speed Spring Closer		N/A	Must open 90°. 1.5 second min from 70° to closed.	44B-404.2.8.2
	Door Opening Force	RR1- 1.19	N/A	5 lbs. max.	11B-404.2.9
Smooth Bottom Panel (push conditions only)	RR1- 1.20	N/A	10" min. at bottom of door.	11B-404.2.10	

RR1-MEN

Project: Rowley Park					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	RR1- Men's Restroom				Code Cycle 2022
Description:	Men's restroom at building adjacent to 132nd Street parking lot.				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Signage	<i>Wall sign provided</i>	<i>RR1- 2.01</i>	<i>Provided but deteriorating</i>	<i>Provide at entry to restrooms</i>	<i>11B-216.2</i>
	Characters	RR1- 2.02	Compliant	Tactile and Braille panel below pictogram	11B-703.6.1
	Pictogram	RR1- 2.03	Compliant	6" high pictogram field	11B-703.6.1
	Latch Sign Height	RR1- 2.04	Tactile: 56.5" Braille: 55.75"	48" to bottom of Braille, 60" to bottom of tactile	11B-703.4.1
	Latch Sign Offset from door	RR1- 2.05	Compliant	Centerline at 9" min. offset from door on pull side	11B-703.4.2
	Geometric Door Sign provided	RR1- 2.06	Missing	Geometric signage shall be provided at toilet room entrances.	11B-216.8.1
	Geometric Door Signage configuration	RR1- 2.07	Missing	12" Equilateral triangle, color shall contrast with door color	11B-703.7.2.6.3
	Geometric Door Signage Height	RR1- 2.08	Missing	58" to 60"	11B-703.7.2.6
	Geometric Door Signage Horiz. Location	RR1- 2.09	Missing	Within 1" of door centerline	11B-703.7.2.6
Accessible Lavatory	Sink Height	RR1- 3.01	34"	34" max. to top of rim	11B-606.3
	Under sink vertical clearances	RR1- 3.02	Front: 30.5" 8" inboard: 27"	29" min. at front, 27" min. at 8" inboard	11B-306.3.1
	P Trap Clearance	RR1- 3.03	Compliant	P trap under sink may not encroach into clear space.	11B-306.3.1
	Clear floor space at sink	RR1- 3.04	Compliant	30" wide x 48" deep	11B-602.2
	Max Knee Clearance	RR1- 3.05	Compliant	Extend 25" deep x 9" above floor	11B-306.3.2
	Toe Clearance Depth	RR1- 3.06	Compliant	17" min. under element.	11B-306.2.3
	Offset from side wall	RR1- 3.07	Compliant	18" min. from side wall	11B-606.6
	Faucet Controls	RR1- 3.08	Push button on top of faucet	Lever or automatic	11B-606.4
	Wrapped pipes	RR1- 3.09	Missing	All pipes under lavs shall be insulated.	11B-606.5
	Mirror max. height	RR1- 3.10	None provided	40" max to bottom of reflective surface	11B-603.5
	Soap dispenser height	RR1- 3.11	46"	40" max. to operable parts	11B-603.5
	Paper towel dispenser or automatic hand dryer height	RR1- 3.12	Hand dryer at 38.5"	40" high to operable parts or sensor	11B-603.5

RR1-MEN

Project: Rowley Park

Item Observations in **RED** were observed to be non-compliant. Items Observations in **PINK ITALICS** were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.

Area:		RR1- Men's Restroom				Code Cycle 2022
Description:		Men's restroom at building adjacent to 132nd Street parking lot.				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Accessible Water Closet Compartment	Compartment door width	RR1- 4.01	34.5"	34" min. at side entry	11B-604.8.1.2	
	Compartment door handle types	RR1- 4.02	Missing	Door pull on both sides of door	11B-604.8.1.2	
	Door handle height (interior)	RR1- 4.03	Missing	34" to 44"	11B-404.2.7	
	Door handle height (exterior)	RR1- 4.04	Missing	34" to 44"	11B-404.2.7	
	Compartment door self-closer	RR1- 4.05	Compliant	Self closer required	11B-604.8.1.2	
	Compartment door latch type & height	RR1- 4.06	41"	Operable with no tight grasping, pinching, twisting of wrist. 48" high max.	11B-404.2.7	
	Compartment width	RR1- 4.07	60"	60" min. with 12" vertical clearance on one side. 66" min. with full height walls.	11B-604.3	
	Compartment depth	RR1- 4.08	117"	56" min. (wall hung) 59" min. (floor mount)	11B-604.8.1.1	
Accessible Water Closet	Clearance in front of WC	RR1- 5.01	> 48"	48" min.	11B-604.8.1.1.2	
	WC offset from side wall	RR1- 5.02	18"	17" to 18"	11B-604.2	
	WC seat height	RR1- 5.03	19"	17" to 19"	11B-604.4	
	WC controls side	RR1- 5.04	Top of toilet	On wide side or automatic	11B-604.6	
	Side grab bar length	RR1- 5.05	48"	42" min.	11B-604.5.1	
	Side grab bar height	RR1- 5.06	34"	33" to 36"	11B-609.4	
	Side grab bar diameter	RR1- 5.07	1.5"	1.25" to 2"	11B-609.2.1	
	Side grab bar offset from rear wall	RR1- 5.08	4"	12" max.	11B-604.5.1	
	Side grab bar extent from rear wall	RR1- 5.09	52"	54" min.	11B-604.5.1	
	Side grab bar clearance to accessories	RR1- 5.10	Toilet paper dispenser located above bar. Not compliant	1 1/2" min. below grab bar 12" min. above grab bar	11B-609.3	

RR1-MEN

Project: Rowley Park					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	RR1- Men's Restroom				Code Cycle 2022
Description:	Men's restroom at building adjacent to 132nd Street parking lot.				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Accessible Water Closet (Continued)	Rear grab bar length	RR1- 5.11	36"	36" min.	11B-604.5.2
	Rear grab bar height	RR1- 5.12	33.5"	33" to 36"	11B-609.4
	Rear grab bar diameter	RR1- 5.13	1.5"	1.25" to 2"	11B-609.2.1
	Rear grab bar centerline offsets	RR1- 5.14	12" 24"	12" min. from CL of WC to end on wall side. 24" min. from CL of WC to end on wide side.	11B-604.5.2
	Toilet paper dispenser model type	RR1- 5.15	Compliant	Operable with no tight grasping, pinching, twisting of wrist	11B-309.4
	Toilet paper dispenser height	RR1- 5.16	Toilet paper dispenser locate above bar. Not compliant	19" min.	11B-604.7.1
	Toilet paper dispenser offset from WC front	RR1- 5.17	Not measured	Centerline at 7" to 9" in front of WC	11B-604.7.1
	Seat cover dispenser model type	RR1- 5.18	None provided	Operable with no tight grasping, pinching, twisting of wrist	11B-404.2.7
	Seat cover dispenser height	RR1- 5.19	None provided	40" max. to operable part	11B-603.5
	Other findings	RR1- 5.20	N/A	Compartment entry clearances	0
Accessible Urinal	Urinal Provided	RR1- 6.01	Provided	Informational	-
	Urinal partition depth	RR1- 6.02	No partition provided	Informational	-
	Urinal clearance width	RR1- 6.03	Compliant	30" wide @ 24" max partition 36" wide @ 24" min partition	11B-605.3 11B-305
	Urinal rim height	RR1- 6.04	17"	17" max.	11B-605.2
	Urinal depth	RR1- 6.05	14"	13.5" min.	11B-605.2
	Urinal controls height	RR1- 6.06	44"	44" max.	11B-605.4

RR1-MEN

Project: Rowley Park					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	RR1- Men's Restroom				Code Cycle 2022
Description:	Men's restroom at building adjacent to 132nd Street parking lot.				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Baby Changing Station	Location	RR1- 7.01	N/A	Cannot be in path of travel or in accessible toilet compartment	11B-309
	Pull down device height	RR1- 7.02	n/a	48" max.	11B-309
	Height when in use	RR1- 7.03	n/a	34" max	11B-309
	Underside clearance	RR1- 7.04	n/a	27" min. at front access conditions	
	Clearance at path of travel	RR1- 7.05	n/a	When deployed, baby changing station may not block path of travel.	11B-226.4
	Operable parts	RR1- 7.06	n/a	Operable with no tight grasping, pinching, twisting of wrist	11B-309.4
Miscellaneous Features	Coat hook height	RR1- 8.01	n/a	48" max.	11B-603.4
	Trash can height	RR1- 8.02	n/a	40" max.	11B-603.5
	Light switch height	RR1- 8.03	n/a	48" max. to top of box. 54" max under previous code cycle.	11B-308.1.2
	Electrical outlet height	RR1- 8.04	n/a	48" max. to top of box. 54" max under previous code cycle.	11B-308.1.2
	Other findings	RR1- 8.05	N/A		

RR1-MEN

Project: Rowley Park					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	RR2- Women's Restroom				Code Cycle 2022
Description:	Women's restroom at building adjacent to 132nd Street parking lot.				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Door	Door Swing Direction	RR2- 1.01	Door is held open during operating hours.	Informational	---
	Clear Door Width	RR2- 1.02	34"	32" clear	11B-404.3.1
	Closer Provided	RR2- 1.03	No Closer	Informational	---
	Pull Approach Direction	RR2- 1.04	n/a	Informational	---
	Pull Side Clearance from Latch	RR2- 1.05	N/A	N/A	Table 11B-404.2.4.1
	Pull Side Clearance from Hinge	RR2- 1.06	N/A	N/A	Table- 11B-404.2.4.4
	Exterior Front Approach Depth	RR2- 1.07	N/A	N/A	Table 11B-404.2.4.1
	Exterior Landing Slopes	RR2- 1.08	Level	1:48 slope in all directions	11B-305.2
	Interior Approach Direction	RR2- 1.09	n/a	Informational	---
	Push Side Clearance from Latch	RR2- 1.10	N/A	n/a	Table 11B-404.2.4.1
	Push Side Clearance from Hinge	RR2- 1.11	N/A	n/a	Table- 11B-404.2.4.4
	Push Front Approach Depth	RR2- 1.12	N/A	n/a	Table 11B-404.2.4.1
	Push Side Landing Slopes	RR2- 1.13	Level interior	1:48 slope in all directions	11B-305.2
	Exterior hardware type	RR2- 1.14	n/a	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7
	Exterior hardware height	RR2- 1.15	N/A	34" to 44"	11B-404.2.7
	Interior hardware type	RR2- 1.16	n/a	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7
	Interior hardware height	RR2- 1.17	N/A	34" to 44"	11B-404.2.7
	Door Closer Speed Standard Closer	RR2- 1.18	N/A	Must open 90°. 5 second min. time from 90° to 12°	11B-404.2.8.1
	Door Closer Speed Spring Closer		N/A	Must open 90°. 4.5 second min from 70° to closed.	11B-404.2.8.2
	Door Opening Force	RR2- 1.19	N/A	5 lbs. max.	11B-404.2.9
Smooth Bottom Panel (push conditions only)	RR2- 1.20	N/A	10" min. at bottom of door.	11B-404.2.10	

RR2-WOMEN

Project: Rowley Park					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	RR2- Women's Restroom				Code Cycle 2022
Description:	Women's restroom at building adjacent to 132nd Street parking lot.				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Signage	<i>Wall sign provided</i>	<i>RR2- 2.01</i>	<i>Provided but deteriorating</i>	<i>Provide at entry to restrooms</i>	<i>11B-216.2</i>
	Characters	RR2- 2.02	Compliant	Tactile and Braille panel below pictogram	11B-703.6.1
	Pictogram	RR2- 2.03	Compliant	6" high pictogram field	11B-703.6.1
	Latch Sign Height	RR2- 2.04	Tactile: 56.5" Braille: 55.75"	48" to bottom of Braille, 60" to bottom of tactile	11B-703.4.1
	Latch Sign Offset from door	RR2- 2.05	Compliant	Centerline at 9" min. offset from door on pull side	11B-703.4.2
	Geometric Door Sign provided	RR2- 2.06	Missing	Geometric signage shall be provided at toilet room entrances.	11B-216.8.1
	Geometric Door Signage configuration	RR2- 2.07	Missing	12" Equilateral triangle, color shall contrast with door color	11B-703.7.2.6.3
	Geometric Door Signage Height	RR2- 2.08	Missing	58" to 60"	11B-703.7.2.6
	Geometric Door Signage Horiz. Location	RR2- 2.09	Missing	Within 1" of door centerline	11B-703.7.2.6
Accessible Lavatory	Sink Height	RR2- 3.01	34"	34" max. to top of rim	11B-606.3
	Under sink vertical clearances	RR2- 3.02	Front: 31" 8" inboard: 27.5"	29" min. at front, 27" min. at 8" inboard	11B-306.3.1
	P Trap Clearance	RR2- 3.03	Compliant	P trap under sink may not encroach into clear space.	11B-306.3.1
	Clear floor space at sink	RR2- 3.04	Compliant	30" wide x 48" deep	11B-602.2
	Max Knee Clearance	RR2- 3.05	Compliant	Extend 25" deep x 9" above floor	11B-306.3.2
	Toe Clearance Depth	RR2- 3.06	Compliant	17" min. under element.	11B-306.2.3
	Offset from side wall	RR2- 3.07	Compliant	18" min. from side wall	11B-606.6
	Faucet Controls	RR2- 3.08	Push button on top of faucet	Lever or automatic	11B-606.4
	Wrapped pipes	RR2- 3.09	Missing	All pipes under lavs shall be insulated.	11B-606.5
	Mirror max. height	RR2- 3.10	40"	40" max to bottom of reflective surface	11B-603.5
	Soap dispenser height	RR2- 3.11	59"	40" max. to operable parts	11B-603.5
	Paper towel dispenser or automatic hand dryer height	RR2- 3.12	Hand dryer at 39"	40" high to operable parts or sensor	11B-603.5

RR2-WOMEN

Project: Rowley Park					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	RR2- Women's Restroom				Code Cycle 2022
Description:	Women's restroom at building adjacent to 132nd Street parking lot.				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Accessible Water Closet Compartment	Compartment door width	RR2- 4.01	34"	34" min. at side entry	11B-604.8.1.2
	Compartment door handle types	RR2- 4.02	Inside only	Door pull on both sides of door	11B-604.8.1.2
	Door handle height (interior)	RR2- 4.03	38" to 42"	34" to 44"	11B-404.2.7
	Door handle height (exterior)	RR2- 4.04	Missing	34" to 44"	11B-404.2.7
	Compartment door self-closer	RR2- 4.05	Non-functional	Self closer required	11B-604.8.1.2
	Compartment door latch type & height	RR2- 4.06	40"	Operable with no tight grasping, pinching, twisting of wrist. 48" high max.	11B-404.2.7
	Compartment width	RR2- 4.07	60"	60" min. with 12" vertical clearance on one side. 66" min. with full height walls.	11B-604.3
	Compartment depth	RR2- 4.08	118"	56" min. (wall hung) 59" min. (floor mount)	11B-604.8.1.1
Accessible Water Closet	Clearance in front of WC	RR2- 5.01	> 48"	48" min.	11B-604.8.1.1.2
	WC offset from side wall	RR2- 5.02	18"	17" to 18"	11B-604.2
	WC seat height	RR2- 5.03	20"	17" to 19"	11B-604.4
	WC controls side	RR2- 5.04	Top of toilet	On wide side or automatic	11B-604.6
	Side grab bar length	RR2- 5.05	48"	42" min.	11B-604.5.1
	Side grab bar height	RR2- 5.06	34"	33" to 36"	11B-609.4
	Side grab bar diameter	RR2- 5.07	1.5"	1.25" to 2"	11B-609.2.1
	Side grab bar offset from rear wall	RR2- 5.08	7"	12" max.	11B-604.5.1
	Side grab bar extent from rear wall	RR2- 5.09	55"	54" min.	11B-604.5.1
	Side grab bar clearance to accessories	RR2- 5.10	Toilet paper dispenser locate above bar. Not compliant	1 1/2" min. below grab bar 12" min. above grab bar	11B-609.3

RR2-WOMEN

Project: Rowley Park					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	RR2- Women's Restroom				Code Cycle 2022
Description:	Women's restroom at building adjacent to 132nd Street parking lot.				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Accessible Water Closet (Continued)	Rear grab bar length	RR2- 5.11	36"	36" min.	11B-604.5.2
	Rear grab bar height	RR2- 5.12	34"	33" to 36"	11B-609.4
	Rear grab bar diameter	RR2- 5.13	1.5"	1.25" to 2"	11B-609.2.1
	Rear grab bar centerline offsets	RR2- 5.14	24" 12"	12" min. from CL of WC to end on wall side. 24" min. from CL of WC to end on wide side.	11B-604.5.2
	Toilet paper dispenser model type	RR2- 5.15	Compliant	Operable with no tight grasping, pinching, twisting of wrist	11B-309.4
	Toilet paper dispenser height	RR2- 5.16	Toilet paper dispenser locate above bar. Not compliant	19" min.	11B-604.7.1
	Toilet paper dispenser offset from WC front	RR2- 5.17	13"	Centerline at 7" to 9" in front of WC	11B-604.7.1
	Seat cover dispenser model type	RR2- 5.18	None provided	Operable with no tight grasping, pinching, twisting of wrist	11B-404.2.7
	Seat cover dispenser height	RR2- 5.19	None provided	40" max. to operable part	11B-603.5
	Other findings	RR2- 5.20	N/A	Compartment entry clearances	0

RR2-WOMEN

Project: Rowley Park					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	RR2- Women's Restroom				Code Cycle 2022
Description:	Women's restroom at building adjacent to 132nd Street parking lot.				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Baby Changing Station	Location	RR2- 7.01	N/A	Cannot be in path of travel or in accessible toilet compartment	11B-309
	Pull down device height	RR2- 7.02	n/a	48" max.	11B-309
	Height when in use	RR2- 7.03	n/a	34" max	11B-309
	Underside clearance	RR2- 7.04	n/a	27" min. at front access conditions	
	Clearance at path of travel	RR2- 7.05	n/a	When deployed, baby changing station may not block path of travel.	11B-226.4
	Operable parts	RR2- 7.06	n/a	Operable with no tight grasping, pinching, twisting of wrist	11B-309.4
Miscellaneous Features	Coat hook height	RR2- 8.01	n/a	48" max.	11B-603.4
	Trash can height	RR2- 8.02	n/a	40" max.	11B-603.5
	Light switch height	RR2- 8.03	n/a	48" max. to top of box. 54" max under previous code cycle.	11B-308.1.2
	Electrical outlet height	RR2- 8.04	n/a	48" max. to top of box. 54" max under previous code cycle.	11B-308.1.2
	Other findings	RR2- 8.05	N/A		

RR2-WOMEN

11. ROWLEY GYMNASIUM

11.1 Site Summary

Location: 13220 Van Ness Avenue

Rowley Gymnasium is an existing building located adjacent to the west parking lot and Van Ness Avenue. The building has one full basketball court with bleachers on one wall. There are gender-specific restrooms located off the main lobby. The building also has a recently outfitted computer lab available to the public.

11.2 General Accessibility and Lobby

The entry door to the gymnasium building is an automatic sliding glass door. It provides full accessibility into the building. There is also another sliding glass door between the lobby and the gymnasium space. This door is also fully accessible.

See DR1 and DR2 Checklists for complete details.

There is a single drinking fountain located in the lobby. There are minor corrections required for this drinking fountain. Primarily, the unit requires protection on either side of the unit. Ideally, a second higher unit should be installed to provide use for standing individuals.

See DF1 Checklist for complete details.



Rowley Gymnasium Entrance



Gymnasium Entry Door



Drinking Fountain



Lobby Door into Gymnasium

11.3 Restrooms

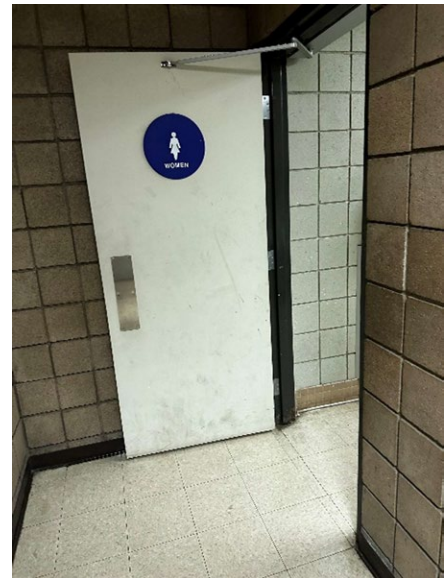
There are two gender-specific multiple occupant restrooms located off the lobby. While these restrooms are in moderately compliant condition, there are areas in need of accessibility repairs. These include the following:

- Install correct wall signage.
- Relocate geometric signage to exterior side of doors.
- Service automatic door openers (if they are to be used)
- Correct accessible lavatory heights.
- Wrap all pipes under lavatories.
- Adjust mirror heights (where applicable)
- Adjust lavatory accessory heights.
- Make necessary repairs to toilet compartment doors and hardware.
- Adjust toilet offsets from side wall.
- Adjust toilet grab bar locations.
- Relocate toilet paper dispensers to compliant locations.
- Adjust coat hook location (where applicable).

See RR1 and RR2 Checklists for complete details.



Men's Restroom Entry



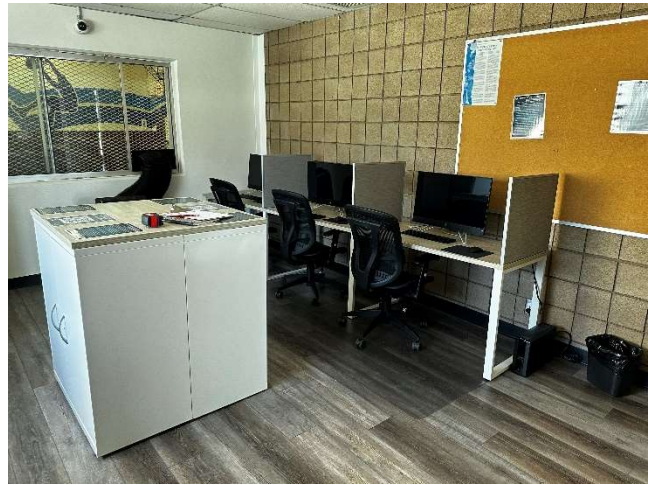
Women's Restroom Entry

There are also existing locker rooms located down the hall from the restrooms. These locker rooms are no longer in use and are used strictly for storage at this time. These locker rooms were not inspected as a part of this survey.

11.4 Computer Lab

There is a recently remodeled computer lab on the left side of the lobby. There is a single inswinging dutch door entering from the lobby space. The lab has five desk stations with countertops at 29" and 28" clear underneath. All stations are 47" wide by 24" deep and provide adequate access. The floor surface is new laminate flooring and provides a smooth surface for maneuverability. All computer workstations provide adequate access for the disabled. No workstation modifications are required.

See DR3 Checklist for entry door details.



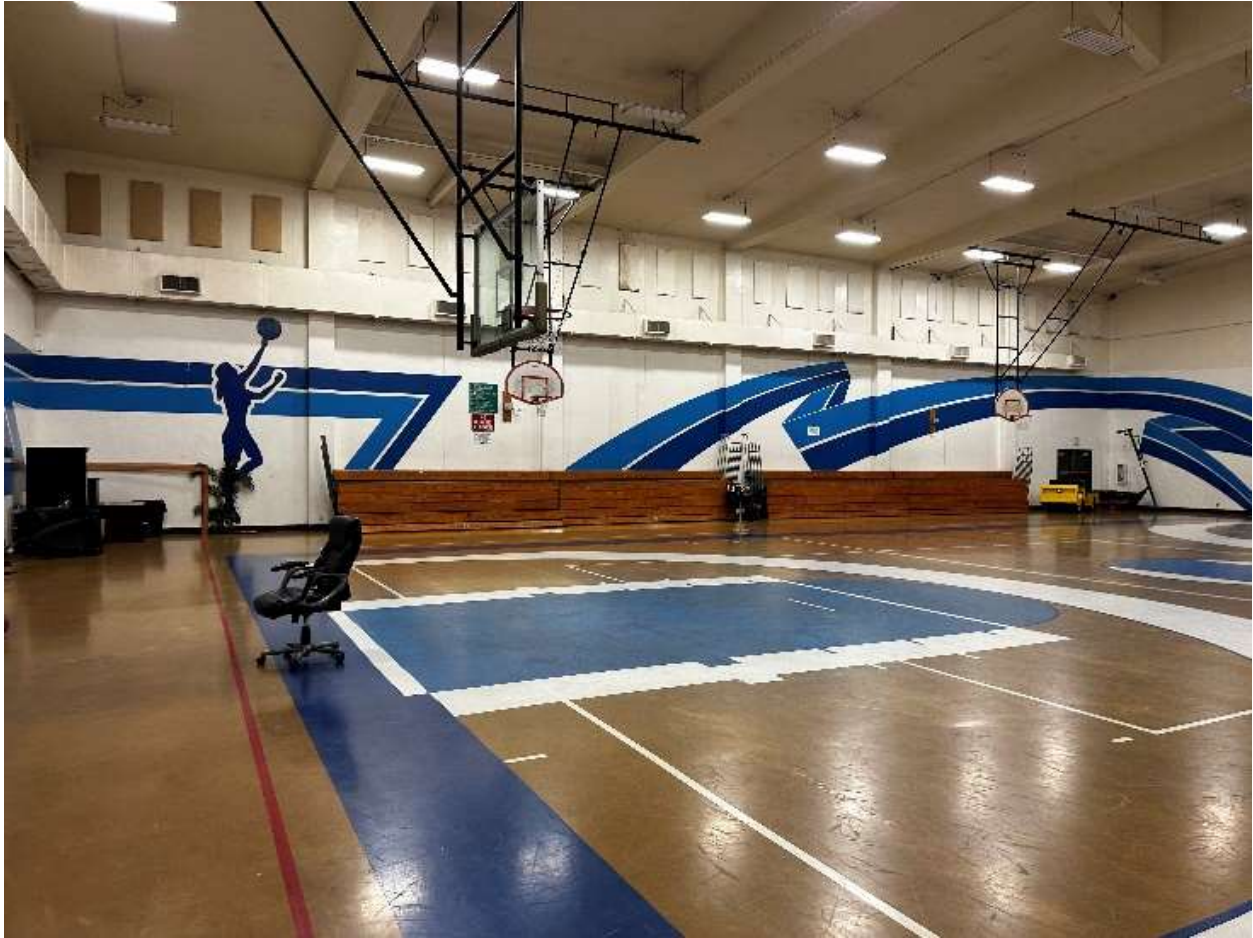
Computer Lab



Computer Lab Dutch Door

11.5 Gymnasium

The gymnasium can be configured as one basketball court with bleachers on one side or two side by side basketball courts with the bleachers retracted. There is adequate level space around the courts for access. Additionally, there is space on the entry end of the bleachers for floor level wheelchair seating. However, there is no dedicated space within the bleachers when fully extended for wheelchair space in the middle of the bleacher seating area. Modifying the bleachers in the future to provide additional accessible seating space should be considered.



Rowley Gymnasium

Project: Rowley Gymnasium						
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.						
Area:	DR1- Door 1					Code Cycle 2022
Description:	Rowley Gymnasium Main Entry Door					
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Entry Door	Door Swing Direction	DR1- 1.01	Sliding Door	Informational	---	
	Clear Door Width	DR1- 1.02	72"	32" clear	11B-404.3.1	
	Closer Provided	DR1- 1.03	Automatic operating door. No user assistance required	Informational	---	
	Pull Approach Direction (Exterior)	DR1- 1.04	Pull Side Interior Front Approach	Informational	---	
	Pull Side Clearance from Latch	DR1- 1.05	N/A	18" min.	Table 11B-404.2.4.1	
	Pull Side Clearance from Hinge	DR1- 1.06	N/A	0"	Table-11B-404.2.4.4	
	Pull Front Approach Depth	DR1- 1.07	Unlimited	60" min.	Table 11B-404.2.4.1	
	Pull Side Landing Slopes	DR1- 1.08	Level	1:48 slope in all directions	11B-305.2	
	Push Approach Direction (Interior)	DR1- 1.09	Push Side Front Approach No closer or latch	Informational	---	
	Push Side Clearance from Latch	DR1- 1.10	N/A	0"	Table 11B-404.2.4.1	
	Push Side Clearance from Hinge	DR1- 1.11	N/A	0"	Table-11B-404.2.4.4	
	Push Front Approach Depth	DR1- 1.12	Unlimited	48" min.	Table 11B-404.2.4.1	
	Push Side Landing Slopes	DR1- 1.13	Level interior	1:48 slope in all directions	11B-305.2	
	Exterior hardware type	DR1- 1.14	n/a	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7	
	Exterior hardware height	DR1- 1.15	N/A	34" to 44"	11B-404.2.7	
	Interior hardware type	DR1- 1.16	n/a	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7	
	Interior hardware height	DR1- 1.17	N/A	34" to 44"	11B-404.2.7	
	Door Closer Speed Standard Closer	DR1- 1.18	Automatic operation	Must open 90°. 5 second min. time from 90° to 12°	11B-404.2.8.1	
	Door Closer Speed Spring Closer	DR1- 1.19	N/A	Must open 90°. 1.5 second min from 70° to closed.	11B-404.2.8.2	
	Door Opening Force	DR1- 1.20	Automatic Operation	5 lbs. max.	11B-404.2.9	
	Smooth Bottom Panel (push conditions only)	DR1- 1.21	N/A	10" min. at bottom of door.	11B-404.2.10	

DOOR-1

Project: Rowley Gymnasium					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	DR1- Door 1				Code Cycle 2022
Description:	Rowley Gymnasium Main Entry Door				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Door continued	Threshold	DR1- 1.22	Compliant	1/4" vertical + 1/4" bevel max.	11B-303.2 11B-404.2.5
	Floor mats	DR1- 1.23	None	Must be secured.	11B-302.2
	Secondary interior lock height	DR1- 1.24	N/A	48" max. at front approach	11B-308.2.1
	Peephole / vision light height	DR1- 1.25	Full height glass	43" max. to bottom of clear panel	11B-404.2.11

DOOR-1

Project: Rowley Gymnasium						
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.						
Area:	DR2- Door 2					Code Cycle 2022
Description:	Rowley Gymnasium Interior Gym Door					
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Entry Door	Door Swing Direction	DR2- 1.01	Sliding Door	Informational	---	
	Clear Door Width	DR2- 1.02	72"	32" clear	11B-404.3.1	
	Closer Provided	DR2- 1.03	Automatic operating door. No user assistance required	Informational	---	
	Pull Approach Direction (Exterior)	DR2- 1.04	Pull Side Interior Front Approach	Informational	---	
	Pull Side Clearance from Latch	DR2- 1.05	N/A	18" min.	Table 11B-404.2.4.1	
	Pull Side Clearance from Hinge	DR2- 1.06	N/A	0"	Table-11B-404.2.4.4	
	Pull Front Approach Depth	DR2- 1.07	Unlimited	60" min.	Table 11B-404.2.4.1	
	Pull Side Landing Slopes	DR2- 1.08	Level	1:48 slope in all directions	11B-305.2	
	Push Approach Direction (Interior)	DR2- 1.09	Push Side Front Approach No closer or latch	Informational	---	
	Push Side Clearance from Latch	DR2- 1.10	N/A	0"	Table 11B-404.2.4.1	
	Push Side Clearance from Hinge	DR2- 1.11	N/A	0"	Table-11B-404.2.4.4	
	Push Front Approach Depth	DR2- 1.12	Unlimited	48" min.	Table 11B-404.2.4.1	
	Push Side Landing Slopes	DR2- 1.13	Level interior	1:48 slope in all directions	11B-305.2	
	Exterior hardware type	DR2- 1.14	n/a	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7	
	Exterior hardware height	DR2- 1.15	N/A	34" to 44"	11B-404.2.7	
	Interior hardware type	DR2- 1.16	n/a	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7	
	Interior hardware height	DR2- 1.17	N/A	34" to 44"	11B-404.2.7	
	Door Closer Speed Standard Closer	DR2- 1.18	Automatic operation	Must open 90°. 5 second min. time from 90° to 12°	11B-404.2.8.1	
	Door Closer Speed Spring Closer	DR2- 1.19	N/A	Must open 90°. 1.5 second min from 70° to closed.	11B-404.2.8.2	
	Door Opening Force	DR2- 1.20	Automatic Operation	5 lbs. max.	11B-404.2.9	
	Smooth Bottom Panel (push conditions only)	DR2- 1.21	N/A	10" min. at bottom of door.	11B-404.2.10	

DOOR-2

Project: Rowley Gymnasium					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	DR2- Door 2				Code Cycle 2022
Description:	Rowley Gymnasium Interior Gym Door				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Door continued	Threshold	DR2- 1.22	Compliant	1/4" vertical + 1/4" bevel max.	11B-303.2 11B-404.2.5
	Floor mats	DR2- 1.23	None	Must be secured.	11B-302.2
	Secondary interior lock height	DR2- 1.24	N/A	48" max. at front approach	11B-308.2.1
	Peephole / vision light height	DR2- 1.25	Full height glass	43" max. to bottom of clear panel	11B-404.2.11

DOOR-2

Project: Rowley Gymnasium					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	DF1- Drinking Fountain 1				Code Cycle 2022
Description:	Rowley Gymnasium Drinking Fountain in Lobby				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
General Drinking Fountain requirements	Accessible Route	DF1- 1.01	Compliant	Units must be on an accessible route.	---
	<i>Minimum Number</i>	<i>DF1- 1.02</i>	<i>Single unit. No high unit provided</i>	<i>No fewer than two located together</i>	<i>11B-211.2</i>
	Clear Floor Space	DF1- 1.03	Provided	30" x 48"	11B-602.2
	Drinking Fountain Depth	DF1- 1.04	19"	Wall and post mounted fountains: 18" min., 19" max. depth	11B-602.8
	Pedestrian protection	DF1- 1.05	No protection provided at either side of drinking fountain.	Fountain in 18" deep alcove or protected by wing walls that extend within 6" of floor.	11B-602.9
	Alcove width	DF1- 1.06	None provided	32" wide min.	11B-602.9
Low fountain	Knee Clearance under unit	DF1- 1.07	29"	27" clear	11B-602.2 11B-306
	Operable parts	DF1- 1.08	Front edge at 37"	Accessible within 6" of front edge of fountain or automatic	11B-602.3
	Spout outlet height	DF1- 1.09	35"	36" max.	11B-602.4
	Spout Location (horizontal from back wall)	DF1- 1.10	16" from wall 3" from front edge	15" min. from vertical support, 5" max from front edge.	11B-602.5
	Water Flow Height	DF1- 1.11	Compliant	4" min. above fountain rim height	11B-602.6
	Water Flow, Spouts less than 3" from front	DF1- 1.12	N/A	Water stream angle shall be 30° max.	11B-602.6
	Water Flow, Spouts 3" to 5" from front	DF1- 1.13	Compliant	Water stream angle shall be 15° max.	11B-602.6
High fountain (standing person)	Is a high drinking fountain provided?	DF1- 2.01	No	Required	11B-602.7
	Spout outlet height	DF1- 2.02	N/A	38" to 43"	11B-602.7
Water Bottle Filling Station	Is a water bottle filling station provided?	DF1- 3.01	None provided	Informational	---
	Front approach or side approach	DF1- 3.02	N/A	Informational	---
	Reach range	DF1- 3.03	N/A	48" max to operable parts	11B-308.3.1

DF1

Project: Rowley Gymnasium						
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.						
Area:	DR3- Door 3					Code Cycle 2022
Description:	Door to Computer Lab					
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Entry Door	Door Swing Direction	DR3- 1.01	Single Inswinging Interior Door	Informational	---	
	Clear Door Width	DR3- 1.02	33"	32" clear	11B-404.3.1	
	Closer Provided	DR3- 1.03	No Closer	Informational	---	
	Pull Approach Direction (Exterior)	DR3- 1.04	Pull Side Interior Front Approach	Informational	---	
	Pull Side Clearance from Latch	DR3- 1.05	Unlimited	18" min.	Table 11B-404.2.4.1	
	Pull Side Clearance from Hinge	DR3- 1.06	N/A	0"	Table- 11B-404.2.4.1	
	Pull Front Approach Depth	DR3- 1.07	71"	60" min.	Table 11B-404.2.4.1	
	Pull Side Landing Slopes	DR3- 1.08	Level	1:48 slope in all directions	11B-305.2	
	Push Approach Direction (Interior)	DR3- 1.09	Push Side Front Approach No closer or latch	Informational	---	
	Push Side Clearance from Latch	DR3- 1.10	19"	0"	Table 11B-404.2.4.1	
	Push Side Clearance from Hinge	DR3- 1.11	N/A	0"	Table- 11B-404.2.4.1	
	Push Front Approach Depth	DR3- 1.12	Unlimited	48" min.	Table 11B-404.2.4.1	
	Push Side Landing Slopes	DR3- 1.13	Level interior	1:48 slope in all directions	11B-305.2	
	Exterior hardware type	DR3- 1.14	Lever	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7	
	Exterior hardware height	DR3- 1.15	38"	34" to 44"	11B-404.2.7	
	Interior hardware type	DR3- 1.16	Lever	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7	
	Interior hardware height	DR3- 1.17	38"	34" to 44"	11B-404.2.7	
	Door Closer Speed Standard Closer	DR3- 1.18	None provided	Must open 90°. 5 second min. time from 90° to 12°	11B-404.2.8.1	
	Door Closer Speed Spring Closer	DR3- 1.19	N/A	Must open 90°. 1.5 second min from 70° to closed.	11B-404.2.8.2	
	Door Opening Force	DR3- 1.20	N/A	5 lbs. max.	11B-404.2.9	
Smooth Bottom Panel (push conditions only)	DR3- 1.21	Solid slab door	10" min. at bottom of door.	11B-404.2.10		

DOOR-3

Project: Rowley Gymnasium					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	DR3- Door 3				Code Cycle 2022
Description:	Door to Computer Lab				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Door continued	Threshold	DR3- 1.22	Compliant	1/4" vertical + 1/4" bevel max.	11B-303.2 11B-404.2.5
	Floor mats	DR3- 1.23	None	Must be secured.	11B-302.2
	Secondary interior lock height	DR3- 1.24	N/A	48" max. at front approach	11B-308.2.1
	Peephole / vision light height	DR3- 1.25	N/A	43" max. to bottom of clear panel	11B-404.2.11

DOOR-3

Project: Rowley Gymnasium

Item Observations in **RED** were observed to be non-compliant. Items Observations in **PINK ITALICS** were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.

Area:		RR1- Men's Restroom				Code Cycle 2022
Description:		Rowley Gymnasium Men's Restroom				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Entry Door	Door Swing Direction	RR1- 1.01	Single Outswinging Interior Door	Informational	---	
	Clear Door Width	RR1- 1.02	33"	32" clear	11B-404.3.1	
	Closer Provided	RR1- 1.03	Non-Functioning Closer	Informational	---	
	Pull Approach Direction	RR1- 1.04	Pull Side Latch Approach	Informational	---	
	Pull Side Clearance from Latch	RR1- 1.05	Unlimited	24" min.	Table 11B-404.2.4.1	
	Pull Side Clearance from Hinge	RR1- 1.06	N/A	0"	Table 44B-404.2.4.4	
	Exterior Front Approach Depth	RR1- 1.07	56"	48" min.	Table 11B-404.2.4.1	
	Exterior Landing Slopes	RR1- 1.08	Level interior	1:48 slope in all directions	11B-305.2	
	Interior Approach Direction	RR1- 1.09	Push Side Front Approach No closer or latch	Informational	---	
	Push Side Clearance from Latch	RR1- 1.10	36"	0"	Table 11B-404.2.4.1	
	Push Side Clearance from Hinge	RR1- 1.11	N/A	0"	Table 44B-404.2.4.4	
	Push Front Approach Depth	RR1- 1.12	Unlimited	48" min.	Table 11B-404.2.4.1	
	Push Side Landing Slopes	RR1- 1.13	Level interior	1:48 slope in all directions	11B-305.2	
	Exterior hardware type	RR1- 1.14	D Handle	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7	
	Exterior hardware height	RR1- 1.15	37" to 41"	34" to 44"	11B-404.2.7	
	Interior hardware type	RR1- 1.16	Flat push plate	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7	
	Interior hardware height	RR1- 1.17	31" to 47"	34" to 44"	11B-404.2.7	
	Door Closer Speed Standard Closer	RR1- 1.18	N/A	Must open 90°- 5 second min. time from 90° to closed.	44B-404.2.8.1	
	Door Closer Speed Spring Closer		N/A	Must open 90°- 1.5 second min from 70° to closed.	44B-404.2.8.2	
	Door Opening Force	RR1- 1.19	N/A	5 lbs. max.	11B-404.2.9	
Smooth Bottom Panel (push conditions only)	RR1- 1.20	Solid slab door	10" min. at bottom of door.	11B-404.2.10		

RR1-MEN-GYM

Project: Rowley Gymnasium						
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.						
Area:	RR1- Men's Restroom				Code Cycle 2022	
Description:	Rowley Gymnasium Men's Restroom					
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Entry Signage	Wall sign provided	RR1- 2.01	Missing	Provide at entry to restrooms	11B-216.2	
	Characters	RR1- 2.02	Missing	Tactile and Braille panel below pictogram	11B-703.6.1	
	Pictogram	RR1- 2.03	Missing	6" high pictogram field	11B-703.6.1	
	Latch Sign Height	RR1- 2.04	Missing	48" to bottom of Braille, 60" to bottom of tactile	11B-703.4.1	
	Latch Sign Offset from door	RR1- 2.05	Missing	Centerline at 9" min. offset from door on pull side	11B-703.4.2	
	Geometric Door Sign provided	RR1- 2.06	Provided. Located on wrong side of door if door.	Geometric signage shall be provided at toilet room entrances.	11B-216.8.1	
	Geometric Door Signage configuration	RR1- 2.07	Missing	12" Equilateral triangle, color shall contrast with door color	11B-703.7.2.6.3	
	Geometric Door Signage Height	RR1- 2.08	70"	58" to 60"	11B-703.7.2.6	
	Geometric Door Signage Horiz. Location	RR1- 2.09	Centered	Within 1" of door centerline	11B-703.7.2.6	
Accessible Lavatory	Sink Height	RR1- 3.01	31"	34" max. to top of rim	11B-606.3	
	Under sink vertical clearances	RR1- 3.02	Front: 28.5" 8" inboard; 25"	29" min. at front, 27" min. at 8" inboard	11B-306.3.1	
	P Trap Clearance	RR1- 3.03	Compliant	P trap under sink may not encroach into clear space.	11B-306.3.1	
	Clear floor space at sink	RR1- 3.04	Compliant	30" wide x 48" deep	11B-602.2	
	Max Knee Clearance	RR1- 3.05	Compliant	Extend 25" deep x 9" above floor	11B-306.3.2	
	Toe Clearance Depth	RR1- 3.06	Compliant	17" min. under element.	11B-306.2.3	
	Offset from side wall	RR1- 3.07	All three lavatories are compliant	18" min. from side wall	11B-606.6	
	Faucet Controls	RR1- 3.08	Lever	Lever or automatic	11B-606.4	
	Wrapped pipes	RR1- 3.09	Missing	All pipes under lavs shall be insulated.	11B-606.5	
	Mirror max. height	RR1- 3.10	49"	40" max to bottom of reflective surface	11B-603.5	
	Soap dispenser height	RR1- 3.11	54"	40" max. to operable parts	11B-603.5	
	Paper towel dispenser or automatic hand dryer height	RR1- 3.12	54"	40" high to operable parts or sensor	11B-603.5	

RR1-MEN-GYM

Project: Rowley Gymnasium

Item Observations in **RED** were observed to be non-compliant. Items Observations in **PINK ITALICS** were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.

Area:		RR1- Men's Restroom				Code Cycle 2022
Description:		Rowley Gymnasium Men's Restroom				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Accessible Water Closet Compartment	Compartment door width	RR1- 4.01	35"	34" min. at side entry	11B-604.8.1.2	
	Compartment door handle types	RR1- 4.02	D Handle	Door pull on both sides of door	11B-604.8.1.2	
	Compartment door handle height (interior)	RR1- 4.03	38" to 44"	34" to 44"	11B-404.2.7	
	Compartment door handle height (exterior)	RR1- 4.04	38" to 44"	34" to 44"	11B-404.2.7	
	Compartment door self-closer	RR1- 4.05	Not functioning	Self closer required	11B-604.8.1.2	
	Compartment door latch type & height	RR1- 4.06	Compliant 41"	Operable with no tight grasping, pinching, twisting of wrist. 48" high max.	11B-404.2.7	
	Compartment width	RR1- 4.07	60"	60" min. with 12" vertical clearance on one side. 66" min. with full height walls.	11B-604.3	
	Compartment depth	RR1- 4.08	105"	56" min. (wall hung) 59" min. (floor mount)	11B-604.8.1.1	
Accessible Water Closet	Clearance in front of WC	RR1- 5.01	75"	48" min.	11B-604.8.1.1.2	
	WC offset from side wall	RR1- 5.02	19.5"	17" to 18"	11B-604.2	
	WC seat height	RR1- 5.03	19"	17" to 19"	11B-604.4	
	WC controls side	RR1- 5.04	Wide side	On wide side or automatic	11B-604.6	
	Side grab bar length	RR1- 5.05	48"	42" min.	11B-604.5.1	
	Side grab bar height	RR1- 5.06	33"	33" to 36"	11B-609.4	
	Side grab bar diameter	RR1- 5.07	1.25"	1.25" to 2"	11B-609.2.1	
	Side grab bar offset from rear wall	RR1- 5.08	3"	12" max.	11B-604.5.1	
	Side grab bar extent from rear wall	RR1- 5.09	51"	54" min.	11B-604.5.1	
	Clearances above and below grab bars	RR1- 5.10	Nothing mounted above or below grab bar	1.5" below min. 12" above min.	11B-609.3	

RR1-MEN-GYM

Project: Rowley Gymnasium					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	RR1- Men's Restroom				Code Cycle 2022
Description:	Rowley Gymnasium Men's Restroom				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Accessible Water Closet (Continued)	Rear grab bar length	RR1- 5.11	36"	36" min.	11B-604.5.2
	Rear grab bar height	RR1- 5.12	33"	33" to 36"	11B-609.4
	Rear grab bar diameter	RR1- 5.13	1.25"	1.25" to 2"	11B-609.2.1
	Rear grab bar centerline offsets	RR1- 5.14	23" 13"	12" min. from CL of WC to end on wall side. 24" min. from CL of WC to end on wide side.	11B-604.5.2
	Toilet paper dispenser model type	RR1- 5.15	Compliant model	Operable with no tight grasping, pinching, twisting of wrist	11B-309.4
	Toilet paper dispenser height	RR1- 5.16	Mounted on wrong wall	19" min.	11B-604.7.1
	Toilet paper dispenser offset from WC front	RR1- 5.17	Mounted on wrong wall	Centerline at 7" to 9" in front of WC	11B-604.7.1
	Seat cover dispenser model type	RR1- 5.18	Compliant	Operable with no tight grasping, pinching, twisting of wrist	11B-404.2.7
	Seat cover dispenser height	RR1- 5.19	40"	40" max. to operable part	11B-603.5
Other findings	RR1- 5.20	N/A	Compartment entry clearances	0	
Accessible Urinal	Urinal Provided	RR1- 6.01	Provided	Informational	-
	Urinal partition depth	RR1- 6.02	No partition provided between urinals	Informational	-
	Urinal clearance width	RR1- 6.03	Compliant	30" wide @ 24" max partition 36" wide @ 24" min partition	11B-605.3 11B-305
	Urinal rim height	RR1- 6.04	17"	17" max.	11B-605.2
	Urinal depth	RR1- 6.05	15"	13.5" min.	11B-605.2
	Urinal controls height	RR1- 6.06	39"	44" max.	11B-605.4

RR1-MEN-GYM

Project: Rowley Gymnasium					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	RR1- Men's Restroom				Code Cycle 2022
Description:	Rowley Gymnasium Men's Restroom				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Baby Changing Station	Location	RR1- 7.01	N/A	Cannot be in path of travel or in accessible toilet compartment	11B-309-
	Pull down device height	RR1- 7.02	N/A	48" max.	11B-309
	Height when in use	RR1- 7.03	N/A	34" max	11B-309
	Underside clearance	RR1- 7.04	N/A	27" min. at front access-conditions	
	Clearance at path of travel	RR1- 7.05	N/A	When deployed, baby changing station may not block path of travel.	11B-226.4
	Operable parts	RR1- 7.06	N/A	Operable with no tight grasping, pinching, twisting of wrist	11B-309.4
Miscellaneous Features	Coat hook height	RR1- 8.01	65"	48" max.	11B-603.4
	Trash can height	RR1- 8.02	Freestanding within room	40" max.	11B-603.5
	Light switch height	RR1- 8.03	48"	48" max. to top of box. 54" max under previous code cycle.	11B-308.1.2
	Electrical outlet height	RR1- 8.04	46"	48" max. to top of box. 54" max under previous code cycle.	11B-308.1.2
	Other findings	RR1- 8.05	N/A		

RR1-MEN-GYM

Project: Rowley Gymnasium					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	RR2- Women's Restroom				Code Cycle 2022
Description:	Rowley Gymnasium Women's Restroom				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Door	Door Swing Direction	RR2- 1.01	Single Outswinging Interior Door	Informational	---
	Clear Door Width	RR2- 1.02	33"	32" clear	11B-404.3.1
	Closer Provided	RR2- 1.03	Standard Closer	Informational	---
	Pull Approach Direction	RR2- 1.04	Pull Side Latch Approach	Informational	---
	Pull Side Clearance from Latch	RR2- 1.05	Unlimited	24" min.	Table 11B-404.2.4.1
	Pull Side Clearance from Hinge	RR2- 1.06	N/A	0"	Table-11B-404.2.4.4
	Exterior Front Approach Depth	RR2- 1.07	57"	48"	Table 11B-404.2.4.1
	Exterior Landing Slopes	RR2- 1.08	Level interior	1:48 slope in all directions	11B-305.2
	Interior Approach Direction	RR2- 1.09	Push Side Front Approach No closer or latch	Informational	---
	Push Side Clearance from Latch	RR2- 1.10	48"	0"	Table 11B-404.2.4.1
	Push Side Clearance from Hinge	RR2- 1.11	N/A	0"	Table-11B-404.2.4.4
	Push Front Approach Depth	RR2- 1.12	Unlimited	48" min.	Table 11B-404.2.4.1
	Push Side Landing Slopes	RR2- 1.13	Level interior	1:48 slope in all directions	11B-305.2
	Exterior hardware type	RR2- 1.14	D Handle	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7
	Exterior hardware height	RR2- 1.15	36" to 40"	34" to 44"	11B-404.2.7
	Interior hardware type	RR2- 1.16	Flat push plate	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7
	Interior hardware height	RR2- 1.17	31" to 47"	34" to 44"	11B-404.2.7
	Door Closer Speed Standard Closer	RR2- 1.18	Not testable	Must open 90°. 5 second min. time from 90° to 12°	11B-404.2.8.1
	Door Closer Speed Spring Closer		N/A	Must open 90°. 1.5 second min from 70° to closed.	11B-404.2.8.2
	Door Opening Force	RR2- 1.19	Not testable	5 lbs. max.	11B-404.2.9
Smooth Bottom Panel (push conditions only)	RR2- 1.20	Solid slab door	10" min. at bottom of door.	11B-404.2.10	

RR2-WOMEN-GYM

Project: Rowley Gymnasium					
Item Observations in RED were observed to be non-compliant. Items Observations in <i>PINK ITALICS</i> were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	RR2- Women's Restroom				Code Cycle 2022
Description:	Rowley Gymnasium Women's Restroom				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Signage	Wall sign provided	RR2- 2.01	Missing	Provide at entry to restrooms	11B-216.2
	Characters	RR2- 2.02	Missing	Tactile and Braille panel below pictogram	11B-703.6.1
	Pictogram	RR2- 2.03	Missing	6" high pictogram field	11B-703.6.1
	Latch Sign Height	RR2- 2.04	Missing	48" to bottom of Braille, 60" to bottom of tactile	11B-703.4.1
	Latch Sign Offset from door	RR2- 2.05	Missing	Centerline at 9" min. offset from door on pull side	11B-703.4.2
	Geometric Door Sign provided	RR2- 2.06	Provided	Geometric signage shall be provided at toilet room entrances.	11B-216.8.1
	Geometric Door Signage configuration	RR2- 2.07	Compliant	12" Equilateral triangle, color shall contrast with door color	11B-703.7.2.6.3
	Geometric Door Signage Height	RR2- 2.08	Mounted on interior side of door	58" to 60"	11B-703.7.2.6
	Geometric Door Signage Horiz. Location	RR2- 2.09	Centered	Within 1" of door centerline	11B-703.7.2.6
Accessible Lavatory	Sink Height	RR2- 3.01	32.5"	34" max. to top of rim	11B-606.3
	Under sink vertical clearances	RR2- 3.02	Front: 29.5 8" inboard: 25"	29" min. at front, 27" min. at 8" inboard	11B-306.3.1
	P Trap Clearance	RR2- 3.03	Slight encroachment	P trap under sink may not encroach into clear space.	11B-306.3.1
	Clear floor space at sink	RR2- 3.04	Compliant	30" wide x 48" deep	11B-602.2
	Max Knee Clearance	RR2- 3.05	Compliant	Extend 25" deep x 9" above floor	11B-306.3.2
	Toe Clearance Depth	RR2- 3.06	Compliant	17" min. under element.	11B-306.2.3
	Offset from side wall	RR2- 3.07	23" on both sides	18" min. from side wall	11B-606.6
	Faucet Controls	RR2- 3.08	Single lever	Lever or automatic	11B-606.4
	Wrapped pipes	RR2- 3.09	Missing	All pipes under lavs shall be insulated.	11B-606.5
	Mirror max. height	RR2- 3.10	49.5"	40" max to bottom of reflective surface	11B-603.5
	Soap dispenser height	RR2- 3.11	60"	40" max. to operable parts	11B-603.5
	Paper towel dispenser or automatic hand dryer height	RR2- 3.12	50" 47"	40" high to operable parts or sensor	11B-603.5

RR2-WOMEN-GYM

Project: Rowley Gymnasium					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	RR2- Women's Restroom				Code Cycle 2022
Description:	Rowley Gymnasium Women's Restroom				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Accessible Water Closet Compartment	Compartment door width	RR2- 4.01	35.5"	34" min. at side entry	11B-604.8.1.2
	Compartment door handle types	RR2- 4.02	D Handle	Door pull on both sides of door	11B-604.8.1.2
	Compartment door handle height (interior)	RR2- 4.03	38" to 44"	34" to 44"	11B-404.2.7
	Compartment door handle height (exterior)	RR2- 4.04	38" to 44"	34" to 44"	11B-404.2.7
	Compartment door self-closer	RR2- 4.05	Provided	Self closer required	11B-604.8.1.2
	Compartment door latch type & height	RR2- 4.06	Compliant 41"	Operable with no tight grasping, pinching, twisting of wrist. 48" high max.	11B-404.2.7
	Compartment width	RR2- 4.07	60"	60" min. with 12" vertical clearance on one side. 66" min. with full height walls.	11B-604.3
	Compartment depth	RR2- 4.08	105"	56" min. (wall hung) 59" min. (floor mount)	11B-604.8.1.1
Accessible Water Closet	Clearance in front of WC	RR2- 5.01	75"	48" min.	11B-604.8.1.1.2
	WC offset from side wall	RR2- 5.02	19.5"	17" to 18"	11B-604.2
	WC seat height	RR2- 5.03	19"	17" to 19"	11B-604.4
	WC controls side	RR2- 5.04	Wide side	On wide side or automatic	11B-604.6
	Side grab bar length	RR2- 5.05	48"	42" min.	11B-604.5.1
	Side grab bar height	RR2- 5.06	33.5"	33" to 36"	11B-609.4
	Side grab bar diameter	RR2- 5.07	1.25"	1.25" to 2"	11B-609.2.1
	Side grab bar offset from rear wall	RR2- 5.08	5"	12" max.	11B-604.5.1
	Side grab bar extent from rear wall	RR2- 5.09	53"	54" min.	11B-604.5.1
	Clearances above and below grab bars	RR2- 5.10	Nothing mounted above or below grab bar	1.5" below min. 12" above min.	11B-609.3

RR2-WOMEN-GYM

Project: Rowley Gymnasium					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	RR2- Women's Restroom				Code Cycle 2022
Description:	Rowley Gymnasium Women's Restroom				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Accessible Water Closet (Continued)	Rear grab bar length	RR2- 5.11	36"	36" min.	11B-604.5.2
	Rear grab bar height	RR2- 5.12	33.5"	33" to 36"	11B-609.4
	Rear grab bar diameter	RR2- 5.13	1.5"	1.25" to 2"	11B-609.2.1
	Rear grab bar centerline offsets	RR2- 5.14	13" 23"	12" min. from CL of WC to end on wall side. 24" min. from CL of WC to end on wide side.	11B-604.5.2
	Toilet paper dispenser model type	RR2- 5.15	Compliant model	Operable with no tight grasping, pinching, twisting of wrist	11B-309.4
	Toilet paper dispenser height	RR2- 5.16	Mounted on wrong wall	19" min.	11B-604.7.1
	Toilet paper dispenser offset from WC front	RR2- 5.17	Mounted on wrong wall	Centerline at 7" to 9" in front of WC	11B-604.7.1
	Seat cover dispenser model type	RR2- 5.18	Compliant	Operable with no tight grasping, pinching, twisting of wrist	11B-404.2.7
	Seat cover dispenser height	RR2- 5.19	40"	40" max. to operable part	11B-603.5
	Other findings	RR2- 5.20	Waste receptacle at 40"	Compartment entry clearances	0

RR2-WOMEN-GYM

Project: Rowley Gymnasium					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	RR2- Women's Restroom				Code Cycle 2022
Description:	Rowley Gymnasium Women's Restroom				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Baby Changing Station	Location	RR2- 7.01	N/A	Cannot be in path of travel or in accessible toilet compartment	11B-309
	Pull down device height	RR2- 7.02	N/A	48" max.	11B-309
	Height when in use	RR2- 7.03	N/A	34" max	11B-309
	Underside clearance	RR2- 7.04	N/A	27" min. at front access conditions	
	Clearance at path of travel	RR2- 7.05	N/A	When deployed, baby changing station may not block path of travel.	11B-226.4
	Operable parts	RR2- 7.06	N/A	Operable with no tight grasping, pinching, twisting of wrist	11B-309.4
Miscellaneous Features	Coat hook height	RR2- 8.01	64"	48" max.	11B-603.4
	Trash can height	RR2- 8.02	Freestanding	40" max.	11B-603.5
	Light switch height	RR2- 8.03	49"	48" max. to top of box. 54" max under previous code cycle.	11B-308.1.2
	Electrical outlet height	RR2- 8.04	46"	48" max. to top of box. 54" max under previous code cycle.	11B-308.1.2
	Other findings	RR2- 8.05	N/A		

RR2-WOMEN-GYM

12. ROWLEY RECREATION CENTER

12.1 Site Summary

Location: 13220 Van Ness Avenue

Rowley Recreation Center is an existing building located in the northwest corner of Rowley Park near the corner of Van Ness Avenue and 132nd Street. This building is used for various larger gatherings. The building includes one large meeting/assembly room, two multiple-occupant gender-specific restrooms and a lobby with a drinking fountain/water bottle filling station.



12.2 General Accessibility and Lobby

The recreation building has an automatic sliding entry door from the exterior. It provides unimpeded access into the building and requires no accessibility modifications.

There is also a swinging door between the lobby and the assembly space. The door is equipped with automatic openers on both side. While the generally meets accessibility dimensional requirements, the automatic openers were not functioning and makes accessibility difficult. The openers need to be serviced and repaired as necessary.

The lobby provides access directly into the assembly room as well as the restrooms. There is a clear path of travel to all interior public spaces.

See DR1 and DR2 Checklists for complete details.



Recreation Building Main Entrance



Recreation Building Entry Door



Community Room Entry Door



Automatic Operator
(non-functioning)

There is one drinking fountain/water bottle filling station within the lobby. There is no drinking fountain for standing individual. While there is full access within the lobby space, there is no required side protection on either side of the unit. Rails should be installed on either side to meet this requirement.

See DF1 Checklist for complete details.



12.3 Restrooms

There are two separate gender-specific multiple occupant restrooms located at the front of the building near the lobby. Access into both restrooms is unimpeded. However, both restrooms are equipped with automatic door openers which were not operational at the time of the inspection. Testing of the door pressure and closing speeds was not possible. There are also several other non-compliant issues that should be addressed. One of the most significant issues to correct is the width of the accessible toilet compartments in both restrooms. Adjustment of the partitions may require significant redesigning of the restrooms.

Areas requiring correction in both restrooms include the following:

- Automatic Door Openers need to be repaired.
- Door signage at both restrooms require correction/relocation.
- Minor repair work at the accessible lavatories in both restrooms.
- Relocation of lavatory accessories to meet height requirements.
- Accessible toilet compartment door handles need to be installed.
- Modification of the accessible toilet compartment widths.
- Adjustment of the grab bar locations.
- Relocation of the toilet paper dispensers to below side grab bars with compliant offsets.
- Adjustment of coat hook locations.

See RR1 and RR2 Checklists for complete details.



Men's Restroom Entry



Women's Restroom Entry



Men's Accessible Toilet Compartment
57.5" wide



Women's Accessible Toilet Compartment
58" wide



Men's Toilet Paper Dispenser
(wrong location)



Women's Toilet Paper Dispenser
(wrong location)



Men's non-compliant dispenser height



Women's non-compliant dispenser height

12.4 Community Room

There is one large community room in the building. It is accessed through a double door entry with automatic operators. These operators were non-functional at the time of the inspection (see above). The room has no fixed furniture, allowing multiple configurations. The entire space is level and provides full accessibility and requires no accessibility modifications.



Recreation Center Meeting Room

Project: Rowley Recreation Center

Item Observations in **RED** were observed to be non-compliant. Items Observations in **PINK ITALICS** were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.

Area:		DR1- Door 1				Code Cycle 2022
Description:		Public entry door at parking lot				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Entry Door	Door Swing Direction	DR1- 1.01	Sliding Door	Informational	---	
	Clear Door Width	DR1- 1.02	72" clear	32" clear	11B-404.3.1	
	Closer Provided	DR1- 1.03	Automatic operating door. No user assistance required	Informational	---	
	Pull Approach Direction (Exterior)	DR1- 1.04	Sliding Front Approach	Informational	---	
	Pull Side Clearance from Latch	DR1- 1.05	N/A	n/a	Table 11B-404.2.4.1	
	Pull Side Clearance from Hinge	DR1- 1.06	N/A	n/a	Table 11B-404.2.4.4	
	Pull Front Approach Depth	DR1- 1.07	Unlimited	n/a	Table 11B-404.2.4.1	
	Pull Side Landing Slopes	DR1- 1.08	Level	1:48 slope in all directions	11B-305.2	
	Push Approach Direction (Interior)	DR1- 1.09	Sliding Front Approach	Informational	---	
	Push Side Clearance from Latch	DR1- 1.10	N/A	n/a	Table 11B-404.2.4.1	
	Push Side Clearance from Hinge	DR1- 1.11	N/A	n/a	Table 11B-404.2.4.4	
	Push Front Approach Depth	DR1- 1.12	Unlimited	n/a	Table 11B-404.2.4.1	
	Push Side Landing Slopes	DR1- 1.13	Level interior	1:48 slope in all directions	11B-305.2	
	Exterior hardware type	DR1- 1.14	n/a	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7	
	Exterior hardware height	DR1- 1.15	N/A	34" to 44"	11B-404.2.7	
	Interior hardware type	DR1- 1.16	n/a	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7	
	Interior hardware height	DR1- 1.17	N/A	34" to 44"	11B-404.2.7	
	Door Closer Speed Standard Closer	DR1- 1.18	N/A	Must open 90°. 5 second min. time from 90° to 12°	11B-404.2.8.1	
	Door Closer Speed Spring Closer	DR1- 1.19	N/A	Must open 90°. 4.5 second min from 70° to closed.	11B-404.2.8.2	
	Door Opening Force	DR1- 1.20	N/A	5 lbs. max.	11B-404.2.9	
	Smooth Bottom Panel (push conditions only)	DR1- 1.21	N/A	10" min. at bottom of door.	11B-404.2.10	

DOOR-1

Project: Rowley Recreation Center					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	DR1- Door 1				Code Cycle 2022
Description:	Public entry door at parking lot				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Door continued	Threshold	DR1- 1.22	Compliant	1/4" vertical + 1/4" bevel max.	11B-303.2 11B-404.2.5
	Floor mats	DR1- 1.23	No mats	Must be secured.	11B-302.2
	Secondary interior lock height	DR1- 1.24	N/A	48" max. at front approach	11B-308.2.1
	Peephole / vision light height	DR1- 1.25	Full height glass	43" max. to bottom of clear panel	11B-404.2.11

DOOR-1

Project: Rowley Recreation Center						
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.						
Area:	DR2- Door 2					Code Cycle 2022
Description:	Doors to assembly room					
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Entry Door	Door Swing Direction	DR2- 1.01	Double Outswinging Interior Door	Informational	---	
	Clear Door Width	DR2- 1.02	33" each leaf	32" clear	11B-404.3.1	
	Closer Provided	DR2- 1.03	Standard Closer	Informational	---	
	Pull Approach Direction (Exterior)	DR2- 1.04	Pull Side Exterior Front Approach	Informational	---	
	Pull Side Clearance from Latch	DR2- 1.05	N/A	24" min.	Table-11B-404.2.4.4	
	Pull Side Clearance from Hinge	DR2- 1.06	N/A	0"	Table-11B-404.2.4.4	
	Exterior Front Approach Depth	DR2- 1.07	Unlimited	60" min.	Table 11B-404.2.4.1	
	Exterior Landing Slopes	DR2- 1.08	Level interior	1:48 slope in all directions	11B-305.2	
	Interior Approach Direction	DR2- 1.09	Sliding Front Approach	Informational	---	
	Push Side Clearance from Latch	DR2- 1.10	N/A	n/a	Table-11B-404.2.4.4	
	Push Side Clearance from Hinge	DR2- 1.11	N/A	n/a	Table-11B-404.2.4.4	
	Push Front Approach Depth	DR2- 1.12	Unlimited	n/a	Table 11B-404.2.4.1	
	Push Side Landing Slopes	DR2- 1.13	Level interior	1:48 slope in all directions	11B-305.2	
	Exterior hardware type	DR2- 1.14	Lever	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7	
	Exterior hardware height	DR2- 1.15	37"	34" to 44"	11B-404.2.7	
	Interior hardware type	DR2- 1.16	Horizontal push/pull bar	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7	
	Interior hardware height	DR2- 1.17	40"	34" to 44"	11B-404.2.7	
	Door Closer Speed Standard Closer	DR2- 1.18	8.54 seconds	Must open 90°. 5 second min. time from 90° to 12°	11B-404.2.8.1	
	Door Closer Speed Spring Closer	DR2- 1.19	N/A	Must open 90°. 1.5 second min from 70° to closed.	11B-404.2.8.2	
	Door Opening Force	DR2- 1.20	15 lbs. Automatic door opener creates excessive pressure. Opener not operational	5 lbs. max.	11B-404.2.9	
	Smooth Bottom Panel (push conditions only)	DR2- 1.21	Solid slab door	10" min. at bottom of door.	11B-404.2.10	

DOOR-2

Project: Rowley Recreation Center					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	DR2- Door 2				Code Cycle 2022
Description:	Doors to assembly room				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Door continued	Threshold	DR2- 1.22	Compliant	1/4" vertical + 1/4" bevel max.	11B-303.2 11B-404.2.5
	Floor mats	DR2- 1.23	None	Must be secured.	11B-302.2
	Secondary interior lock-height	DR2- 1.24	N/A	48" max. at front approach	41B-308.2.1
	Peephole / vision light height	DR2- 1.25	Full height glass.	43" max. to bottom of clear panel	11B-404.2.11

DOOR-2

Project: Rowley Recreation Center					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	DF1- Drinking Fountain 1				Code Cycle 2022
Description:	Drinking fountain in lobby				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
General Drinking Fountain requirements	Accessible Route	DF1- 1.01	Compliant	Units must be on an accessible route.	---
	<i>Minimum Number</i>	<i>DF1- 1.02</i>	<i>Single unit provided</i>	<i>No fewer than two located together</i>	<i>11B-211.2</i>
	Clear Floor Space	DF1- 1.03	Provided	30" x 48"	11B-602.2
	Drinking Fountain Depth	DF1- 1.04	19"	Wall and post mounted fountains: 18" min., 19" max. depth	11B-602.8
	Pedestrian protection	DF1- 1.05	No protection provided at either side of drinking fountain.	Fountain in 18" deep alcove or protected by wing walls that extend within 6" of floor.	11B-602.9
	Alcove width	DF1- 1.06	None provided	32" wide min.	11B-602.9
Low fountain	Knee Clearance under unit	DF1- 1.07	27"	27" clear	11B-602.2 11B-306
	Operable parts	DF1- 1.08	Yes	Accessible within 6" of front edge of fountain or automatic	11B-602.3
	Spout outlet height	DF1- 1.09	33.5"	36" max.	11B-602.4
	Spout Location (horizontal from back wall)	DF1- 1.10	16" from wall 3" from front edge	15" min. from vertical support, 5" max from front edge.	11B-602.5
	Water Flow Height	DF1- 1.11	Compliant	4" min. above fountain rim height	11B-602.6
	Water Flow, Spouts less than 3" from front	DF1- 1.12	Compliant	Water stream angle shall be 30° max.	11B-602.6
	Water Flow, Spouts 3" to 5" from front	DF1- 1.13	N/A	Water stream angle shall be 45° max.	11B-602.6
High fountain (standing person)	<i>Is a high drinking fountain provided?</i>	<i>DF1- 2.01</i>	<i>Not provided</i>	<i>Required</i>	<i>11B-602.7</i>
	Spout outlet height	DF1- 2.02	N/A	38" to 43"	11B-602.7
Water Bottle Filling Station	Is a water bottle filling station provided?	DF1- 3.01	Provided	Informational	---
	Front approach or side approach	DF1- 3.02	Front or side	Informational	---
	Reach range	DF1- 3.03	46"	48" max to operable parts	11B-308.3.1

DF1

Project: Rowley Recreation Center

Item Observations in **RED** were observed to be non-compliant. Items Observations in **PINK ITALICS** were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.

Area:		RR1- Men's Restroom				Code Cycle 2022
Description:		Men's restroom adjacent to lobby				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Entry Door	Door Swing Direction	RR1- 1.01	Single Inswinging Interior Door	Informational	---	
	Clear Door Width	RR1- 1.02	33"	32" clear	11B-404.3.1	
	Closer Provided	RR1- 1.03	Automatic operating door. Currently not operational	Informational	---	
	Pull Approach Direction	RR1- 1.04	Pull Side Interior Front Approach	Informational	---	
	Pull Side Clearance from Latch	RR1- 1.05	19"	18" min.	Table 11B-404.2.4.1	
	Pull Side Clearance from Hinge	RR1- 1.06	N/A	0"	Table 44B-404.2.4.4	
	Pull Side Front Approach Depth	RR1- 1.07	Unlimited	60" min.	Table 11B-404.2.4.1	
	Exterior Landing Slopes	RR1- 1.08	Level interior	1:48 slope in all directions	11B-305.2	
	Interior Approach Direction	RR1- 1.09	Push Side Front Approach No closer or latch	Informational	---	
	Push Side Clearance from Latch	RR1- 1.10	19"	0"	Table 11B-404.2.4.1	
	Push Side Clearance from Hinge	RR1- 1.11	N/A	0"	Table 44B-404.2.4.4	
	Push Front Approach Depth	RR1- 1.12	50"	48" min.	Table 11B-404.2.4.1	
	Push Side Landing Slopes	RR1- 1.13	Level interior	1:48 slope in all directions	11B-305.2	
	Exterior hardware type	RR1- 1.14	Flat push plate	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7	
	Exterior hardware height	RR1- 1.15	31" to 47"	34" to 44"	11B-404.2.7	
	Interior hardware type	RR1- 1.16	D Handle	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7	
	Interior hardware height	RR1- 1.17	36" to 41"	34" to 44"	11B-404.2.7	
	Door Closer Speed Standard Closer	RR1- 1.18	Not testable	Must open 90°. 5 second min. time from 90° to 12°	11B-404.2.8.1	
	Door Closer Speed Spring Closer		N/A	Must open 90°. 1.5 second min from 70° to closed.	44B-404.2.8.2	
	Door Opening Force	RR1- 1.19	Not testable	5 lbs. max.	11B-404.2.9	
Smooth Bottom Panel (push conditions only)	RR1- 1.20	Solid slab door	10" min. at bottom of door.	11B-404.2.10		

RR1-MEN-GYM

Project: Rowley Recreation Center					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	RR1- Men's Restroom				Code Cycle 2022
Description:	Men's restroom adjacent to lobby				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Signage	Wall sign provided	RR1- 2.01	Provided	Provide at entry to restrooms	11B-216.2
	Characters	RR1- 2.02	Compliant	Tactile and Braille panel below pictogram	11B-703.6.1
	Pictogram	RR1- 2.03	Compliant	6" high pictogram field	11B-703.6.1
	Latch Sign Height	RR1- 2.04	Tactile: 48" Braille: 47"	48" to bottom of Braille, 60" to bottom of tactile	11B-703.4.1
	Latch Sign Offset from door	RR1- 2.05	N/A Push condition	Centerline at 9" min. offset from door on pull side	11B-703.4.2
	Geometric Door Sign provided	RR1- 2.06	Provided	Geometric signage shall be provided at toilet room entrances.	11B-216.8.1
	Geometric Door Signage configuration	RR1- 2.07	Compliant	12" Equilateral triangle, color shall contrast with door color	11B-703.7.2.6.3
	Geometric Door Signage Height	RR1- 2.08	61"	58" to 60"	11B-703.7.2.6
	Geometric Door Signage Horiz. Location	RR1- 2.09	Centered	Within 1" of door centerline	11B-703.7.2.6
Accessible Lavatory	Sink Height	RR1- 3.01	34"	34" max. to top of rim	11B-606.3
	Under sink vertical clearances	RR1- 3.02	Front: 30.5" 8" inboard: 27"	29" min. at front, 27" min. at 8" inboard	11B-306.3.1
	P Trap Clearance	RR1- 3.03	Slight encroachment	P trap under sink may not encroach into clear space.	11B-306.3.1
	Clear floor space at sink	RR1- 3.04	Compliant	30" wide x 48" deep	11B-602.2
	Max Knee Clearance	RR1- 3.05	Compliant	Extend 25" deep x 9" above floor	11B-306.3.2
	Toe Clearance Depth	RR1- 3.06	Compliant	17" min. under element.	11B-306.2.3
	Offset from side wall	RR1- 3.07	Compliant	18" min. from side wall	11B-606.6
	Faucet Controls	RR1- 3.08	Single lever	Lever or automatic	11B-606.4
	Wrapped pipes	RR1- 3.09	Missing	All pipes under lavs shall be insulated.	11B-606.5
	Mirror max. height	RR1- 3.10	46"	40" max to bottom of reflective surface	11B-603.5
	Soap dispenser height	RR1- 3.11	54.5"	40" max. to operable parts	11B-603.5
	Paper towel dispenser or automatic hand dryer height	RR1- 3.12	45" 53"	40" high to operable parts or sensor	11B-603.5

RR1-MEN-GYM

Project: Rowley Recreation Center

Item Observations in **RED** were observed to be non-compliant. Items Observations in **PINK ITALICS** were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.

Area:		RR1- Men's Restroom				Code Cycle 2022
Description:		Men's restroom adjacent to lobby				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Accessible Water Closet Compartment	Compartment door width	RR1- 4.01	35.5"	34" min. at side entry	11B-604.8.1.2	
	Compartment door handle types	RR1- 4.02	Missing	Door pull on both sides of door	11B-604.8.1.2	
	Compartment door handle height (interior)	RR1- 4.03	Missing	34" to 44"	11B-404.2.7	
	Compartment door handle height (exterior)	RR1- 4.04	Missing	34" to 44"	11B-404.2.7	
	Compartment door self-closer	RR1- 4.05	Compliant	Self closer required	11B-604.8.1.2	
	Compartment door latch type & height	RR1- 4.06	Lock at 41"	Operable with no tight grasping, pinching, twisting of wrist. 48" high max.	11B-404.2.7	
	Compartment width	RR1- 4.07	57.5"	60" min. with 12" vertical clearance on one side. 66" min. with full height walls.	11B-604.3	
	Compartment depth	RR1- 4.08	51" to popout wall	56" min. (wall hung) 59" min. (floor mount)	11B-604.8.1.1	
Accessible Water Closet	Clearance in front of WC	RR1- 5.01	75"	48" min.	11B-604.8.1.1.2	
	WC offset from side wall	RR1- 5.02	18.5"	17" to 18"	11B-604.2	
	WC seat height	RR1- 5.03	19"	17" to 19"	11B-604.4	
	WC controls side	RR1- 5.04	Wide side	On wide side or automatic	11B-604.6	
	Side grab bar length	RR1- 5.05	42"	42" min.	11B-604.5.1	
	Side grab bar height	RR1- 5.06	33"	33" to 36"	11B-609.4	
	Side grab bar diameter	RR1- 5.07	1.25"	1.25" to 2"	11B-609.2.1	
	Side grab bar offset from rear wall	RR1- 5.08	13"	12" max.	11B-604.5.1	
	Side grab bar extent from rear wall	RR1- 5.09	55"	54" min.	11B-604.5.1	
	Clearance above and below grab bars	RR1- 5.10	TP dispenser is located 3.5" above side grab bar	1.5" clear below min 12" clear above min	11B-609.3	

RR1-MEN-GYM

Project: Rowley Recreation Center						
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.						
Area:	RR1- Men's Restroom				Code Cycle 2022	
Description:	Men's restroom adjacent to lobby					
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Accessible Water Closet (Continued)	Rear grab bar length	RR1- 5.11	36"	36" min.	11B-604.5.2	
	Rear grab bar height	RR1- 5.12	33"	33" to 36"	11B-609.4	
	Rear grab bar diameter	RR1- 5.13	1.25"	1.25" to 2"	11B-609.2.1	
	Rear grab bar centerline offsets	RR1- 5.14	21.5" 14.5"	12" min. from CL of WC to end on wall side. 24" min. from CL of WC to end on wide side.	11B-604.5.2	
	Toilet paper dispenser model type	RR1- 5.15	Compliant model	Operable with no tight grasping, pinching, twisting of wrist	11B-309.4	
	Toilet paper dispenser height	RR1- 5.16	Mounted above grab bar	19" min.	11B-604.7.1	
	Toilet paper dispenser offset from WC front	RR1- 5.17	12" in front of toilet	Centerline at 7" to 9" in front of WC	11B-604.7.1	
	Seat cover dispenser model type	RR1- 5.18	Compliant model	Operable with no tight grasping, pinching, twisting of wrist	11B-404.2.7	
	Seat cover dispenser height	RR1- 5.19	37"	40" max. to operable part	11B-603.5	
Other findings	RR1- 5.20	N/A	Compartment entry clearances	0		
Accessible Urinal	Urinal Provided	RR1- 6.01	Provided	Informational	-	
	Urinal partition depth	RR1- 6.02	No partitions provided	Informational	-	
	Urinal clearance width	RR1- 6.03	Compliant	30" wide @ 24" max partition 36" wide @ 24" min partition	11B-605.3 11B-305	
	Urinal rim height	RR1- 6.04	16"	17" max.	11B-605.2	
	Urinal depth	RR1- 6.05	15"	13.5" min.	11B-605.2	
	Urinal controls height	RR1- 6.06	37"	44" max.	11B-605.4	

RR1-MEN-GYM

Project: Rowley Recreation Center					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	RR1- Men's Restroom				Code Cycle 2022
Description:	Men's restroom adjacent to lobby				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Baby Changing Station	Location	RR1- 7.01	N/A	Cannot be in path of travel or in accessible toilet compartment	11B-309-
	Pull down device height	RR1- 7.02	N/A	48" max.	11B-309
	Height when in use	RR1- 7.03	N/A	34" max	11B-309
	Underside clearance	RR1- 7.04	N/A	27" min. at front access-conditions	
	Clearance at path of travel	RR1- 7.05	N/A	When deployed, baby changing station may not block path of travel.	11B-226.4
	Operable parts	RR1- 7.06	N/A	Operable with no tight grasping, pinching, twisting of wrist	11B-309.4
Miscellaneous Features	Coat hook height	RR1- 8.01	65" in stall	48" max.	11B-603.4
	Trash can height	RR1- 8.02	28"	40" max.	11B-603.5
	Light switch height	RR1- 8.03	49"	48" max. to top of box. 54" max under previous code cycle.	11B-308.1.2
	Electrical outlet height	RR1- 8.04	42"	48" max. to top of box. 54" max under previous code cycle.	11B-308.1.2
	Other findings	RR1- 8.05	N/A		

RR1-MEN-GYM

Project: Rowley Recreation Center						
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.						
Area:	RR2- Women's Restroom					Code Cycle 2022
Description:	Women's restroom adjacent to lobby					
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE	
Entry Door	Door Swing Direction	RR2- 1.01	Single Inswinging Interior Door	Informational	---	
	Clear Door Width	RR2- 1.02	33"	32" clear	11B-404.3.1	
	Closer Provided	RR2- 1.03	Automatic operating door. Currently not operational	Informational	---	
	Pull Approach Direction	RR2- 1.04	Pull Side Interior Front Approach	Informational	---	
	Pull Side Clearance from Latch	RR2- 1.05	24"	18" min.	Table 11B-404.2.4.1	
	Pull Side Clearance from Hinge	RR2- 1.06	N/A	0"	Table-11B-404.2.4.4	
	Pull Side Front Approach Depth	RR2- 1.07	Unlimited	60" min.	Table 11B-404.2.4.1	
	Exterior Landing Slopes	RR2- 1.08	Level interior	1:48 slope in all directions	11B-305.2	
	Push Approach Direction	RR2- 1.09	Push Side Front Approach No closer or latch	Informational	---	
	Push Side Clearance from Latch	RR2- 1.10	72"	0"	Table 11B-404.2.4.1	
	Push Side Clearance from Hinge	RR2- 1.11	N/A	0"	Table-11B-404.2.4.4	
	Push Front Approach Depth	RR2- 1.12	54"	48" min.	Table 11B-404.2.4.1	
	Push Side Landing Slopes	RR2- 1.13	Level interior	1:48 slope in all directions	11B-305.2	
	Exterior hardware type	RR2- 1.14	Flat push plate	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7	
	Exterior hardware height	RR2- 1.15	31" to 42"	34" to 44"	11B-404.2.7	
	Interior hardware type	RR2- 1.16	D Handle	Operable w/ no tight grasping, pinching, twisting of wrist.	11B-404.2.7	
	Interior hardware height	RR2- 1.17	37" to 42"	34" to 44"	11B-404.2.7	
	Door Closer Speed Standard Closer	RR2- 1.18	Not testable	Must open 90°. 5 second min. time from 90°	11B-404.2.8.1	
	Door Closer Speed Spring Closer		N/A	Must open 90°. 1.5 second min from 70° to closed.	11B-404.2.8.2	
	Door Opening Force	RR2- 1.19	Not testable	5 lbs. max.	11B-404.2.9	
Smooth Bottom Panel (push conditions only)	RR2- 1.20	Solid slab door	10" min. at bottom of door.	11B-404.2.10		

RR2-WOMEN-GYM

Project: Rowley Recreation Center					
Item Observations in RED were observed to be non-compliant. Items Observations in <i>PINK ITALICS</i> were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	RR2- Women's Restroom				Code Cycle
Description:	Women's restroom adjacent to lobby				2022
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Entry Signage	Wall sign provided	RR2- 2.01	Missing	Provide at entry to restrooms	11B-216.2
	Characters	RR2- 2.02	Missing	Tactile and Braille panel below pictogram	11B-703.6.1
	Pictogram	RR2- 2.03	Missing	6" high pictogram field	11B-703.6.1
	Latch Sign Height	RR2- 2.04	Missing	48" to bottom of Braille, 60" to bottom of tactile	11B-703.4.1
	Latch Sign Offset from door	RR2- 2.05	Missing	Centerline at 9" min. offset from door on pull side	11B-703.4.2
	Geometric Door Sign provided	RR2- 2.06	Provided	Geometric signage shall be provided at toilet room entrances.	11B-216.8.1
	Geometric Door Signage configuration	RR2- 2.07	Compliant	12" Equilateral triangle, color shall contrast with door color	11B-703.7.2.6.3
	Geometric Door Signage Height	RR2- 2.08	Mounted on inside face of door	58" to 60"	11B-703.7.2.6
	Geometric Door Signage Horiz. Location	RR2- 2.09	Mounted on inside face of door	Within 1" of door centerline	11B-703.7.2.6
Accessible Lavatory	Sink Height	RR2- 3.01	33"	34" max. to top of rim	11B-606.3
	Under sink vertical clearances	RR2- 3.02	Front: 30" 8" inboard: 27"	29" min. at front, 27" min. at 8" inboard	11B-306.3.1
	P Trap Clearance	RR2- 3.03	Compliant	P trap under sink may not encroach into clear space.	11B-306.3.1
	Clear floor space at sink	RR2- 3.04	Compliant	30" wide x 48" deep	11B-602.2
	Max Knee Clearance	RR2- 3.05	Compliant	Extend 25" deep x 9" above floor	11B-306.3.2
	Toe Clearance Depth	RR2- 3.06	Compliant	17" min. under element.	11B-306.2.3
	Offset from side wall	RR2- 3.07	Compliant	18" min. from side wall	11B-606.6
	Faucet Controls	RR2- 3.08	Single lever	Lever or automatic	11B-606.4
	Wrapped pipes	RR2- 3.09	Missing	All pipes under lavs shall be insulated.	11B-606.5
	Mirror max. height	RR2- 3.10	46.5"	40" max to bottom of reflective surface	11B-603.5
	Soap dispenser height	RR2- 3.11	58"	40" max. to operable parts	11B-603.5
	Paper towel dispenser or automatic hand dryer height	RR2- 3.12	46"	40" high to operable parts or sensor	11B-603.5

RR2-WOMEN-GYM

Project: Rowley Recreation Center					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	RR2- Women's Restroom				Code Cycle 2022
Description:	Women's restroom adjacent to lobby				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Accessible Water Closet Compartment	Compartment door width	RR2- 4.01	35"	34" min. at side entry	11B-604.8.1.2
	Compartment door handle types	RR2- 4.02	Missing	Door pull on both sides of door	11B-604.8.1.2
	Compartment door handle height (interior)	RR2- 4.03	Missing	34" to 44"	11B-404.2.7
	Compartment door handle height (exterior)	RR2- 4.04	Missing	34" to 44"	11B-404.2.7
	Compartment door self-closer	RR2- 4.05	Not operational	Self closer required	11B-604.8.1.2
	Compartment door latch type & height	RR2- 4.06	Lock at 41"	Operable with no tight grasping, pinching, twisting of wrist. 48" high max.	11B-404.2.7
	Compartment width	RR2- 4.07	58"	60" min. with 12" vertical clearance on one side. 66" min. with full height	11B-604.3
	Compartment depth	RR2- 4.08	111"	56" min. (wall hung) 59" min. (floor mount)	11B-604.8.1.1
Accessible Water Closet	Clearance in front of WC	RR2- 5.01	84"	48" min.	11B-604.8.1.1.2
	WC offset from side wall	RR2- 5.02	17.75"	17" to 18"	11B-604.2
	WC seat height	RR2- 5.03	19"	17" to 19"	11B-604.4
	WC controls side	RR2- 5.04	Wide	On wide side or automatic	11B-604.6
	Side grab bar length	RR2- 5.05	42"	42" min.	11B-604.5.1
	Side grab bar height	RR2- 5.06	33"	33" to 36"	11B-609.4
	Side grab bar diameter	RR2- 5.07	1.25"	1.25" to 2"	11B-609.2.1
	Side grab bar offset from rear wall	RR2- 5.08	10"	12" max.	11B-604.5.1
	Side grab bar extent from rear wall	RR2- 5.09	52"	54" min.	11B-604.5.1
	Clearance at grab bars	RR2- 5.10	TP dispenser is mounted 4" above side grab bar	1.5" below bar min 12" above bar min	11B-609.3

RR2-WOMEN-GYM

Project: Rowley Recreation Center					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	RR2- Women's Restroom				Code Cycle 2022
Description:	Women's restroom adjacent to lobby				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Accessible Water Closet (Continued)	Rear grab bar length	RR2- 5.11	36"	36" min.	11B-604.5.2
	Rear grab bar height	RR2- 5.12	34.5"	33" to 36"	11B-609.4
	Rear grab bar diameter	RR2- 5.13	1.25"	1.25" to 2"	11B-609.2.1
	Rear grab bar centerline offsets	RR2- 5.14	14" 22"	12" min. from CL of WC to end on wall side. 24" min. from CL of WC to end on wide side.	11B-604.5.2
	Toilet paper dispenser model type	RR2- 5.15	Compliant	Operable with no tight grasping, pinching, twisting of wrist	11B-309.4
	Toilet paper dispenser height	RR2- 5.16	Mounted above side grab bar	19" min.	11B-604.7.1
	Toilet paper dispenser offset from WC front	RR2- 5.17	5" in front of toilet	Centerline at 7" to 9" in front of WC	11B-604.7.1
	Seat cover dispenser model type	RR2- 5.18	Compliant	Operable with no tight grasping, pinching, twisting of wrist	11B-404.2.7
	Seat cover dispenser height	RR2- 5.19	24"	40" max. to operable part	11B-603.5
Other findings	RR2- 5.20	N/A	Compartment entry clearances	0	

RR2-WOMEN-GYM

Project: Rowley Recreation Center					
Item Observations in RED were observed to be non-compliant. Items Observations in PINK ITALICS were observed to be partially compliant or marginally non-compliant. Please see individual findings in report for specific details.					
Area:	RR2- Women's Restroom				Code Cycle 2022
Description:	Women's restroom adjacent to lobby				
MAJOR SUBJECT	MINOR SUBJECT	ITEM NO.	OBSERVATION	REQUIREMENT	CODE REFERENCE
Baby Changing Station	Location	RR2- 7.01	N/A	Cannot be in path of travel or in accessible toilet compartment	11B-309
	Pull-down device height	RR2- 7.02	N/A	48" max.	11B-309
	Height when in use	RR2- 7.03	N/A	34" max	11B-309
	Underside clearance	RR2- 7.04	N/A	27" min. at front access-conditions	
	Clearance at path of travel	RR2- 7.05	N/A	When deployed, baby changing station may not block path of travel.	11B-226.4
	Operable parts	RR2- 7.06	N/A	Operable with no tight grasping, pinching, twisting of wrist	11B-309.4
Miscellaneous Features	Coat hook height	RR2- 8.01	In stall at 62"	48" max.	11B-603.4
	Trash can height	RR2- 8.02	29"	40" max.	11B-603.5
	Light switch height	RR2- 8.03	49"	48" max. to top of box. 54" max under previous code cycle.	11B-308.1.2
	Electrical outlet height	RR2- 8.04	42"	48" max. to top of box. 54" max under previous code cycle.	11B-308.1.2
	Other findings	RR2- 8.05	N/A		

RR2-WOMEN-GYM

END VOLUME 3



City of Gardena Parks and Recreation Master Plan



Assessment of Current Recreation Programming (12/13/23)

Introduction

The City of Gardena 2023/2024 Adopted Budget describes the responsibilities of the Recreation and Human Services Department as:

"The Recreation and Human Services Department is responsible for providing a broad array of recreation, social and community services to a diverse community of individuals, families, and organizations."

The budget document further identifies three key goals as:

- **GOAL 1**--To support and promote the quality of life and the local economy; and ensure public safety by providing a number and quality of safe, accessible, and affordable programs.
- **GOAL 2**--Facilitate, volunteer, and provide recreational opportunities for individuals with disabilities that promote an optimal lifestyle.
- **GOAL 3**--Provide a wide variety of events and community services which facilitate community unity, engagement, and cultural participation.

In addition to providing parks and open spaces, the City of Gardena through the Recreation and Human Services Department provides a range of services and programs geared towards meeting the recreation needs and interests of various age levels. The services and programs provided by the Department include:

- **Aquatics** --Currently, the City has funded and is underway with a project that demolishes the existing aquatic center and replaces it with a larger facility. Additionally, two residential units to the west of the project site were purchased for the development of a community complex with amenities for the aquatics center and a new senior center. Construction is anticipated to be completed by Spring of 2025. The Primm Memorial Pool has not operated since 2019 due to the COVID-19 pandemic and the condition of the facility.
- **Classes** – The Department offers classes for both young people and adults such as gymnastics and dance.
- **Human Services** – The Department provides a variety of services to the community, including youth and adult counseling, food pantry, senior citizen outreach, and meals programming, and care for those suffering from Alzheimer's.
- **Recreation programming** – Gardena provides a variety of preschool and youth programs, after-school programs, camps, teen programming, classes, and sporting activities. Teen programming is highlighted by the Youth Commission and a variety of teen enrichment programs, such as Girls Night, are aimed at supporting teens through quality programs and creating new opportunities for personal growth.

- Seniors – The Gardena Senior Citizens Bureau offers social and recreation programs, supportive services programs, nutrition programs, and home delivered meals.
- Special Events – The Department organizes several signature events such as the Jazz Festival, Food, Wine, and Brew, Cinco de Mayo, and Martin Luther King Parade. These events are completed working in conjunction with numerous civic organizations, businesses, and other public agencies.
- Sports – Youth and adult sports programming is offered throughout the year offering a wide variety of sports such as basketball, soccer, futsal, baseball, and softball.

This report, *Assessment of Recreation Programming*, will review, evaluate, and make recommendations based on professional experience for the following areas:

Organizational Background

- Organizational Structure and Staffing
- Participation
- Private/Public Recreation Facilities
- Support Functions

Recreation Programming

- Aquatics—Future Programming
- Children, Youth, and Teen Services
- Classes
- Community Events
- Health and Well-Being
- Human Services and Special Needs
- Organized Sports
- Outdoor Recreation Programming
- Community Facilities and Centers
- Seniors

COVID Update

Please note that due to COVID related impacts, many programs and activities were cancelled beginning around March of 2020. Almost all City programming was cancelled, reduced in scope, or put on hold.

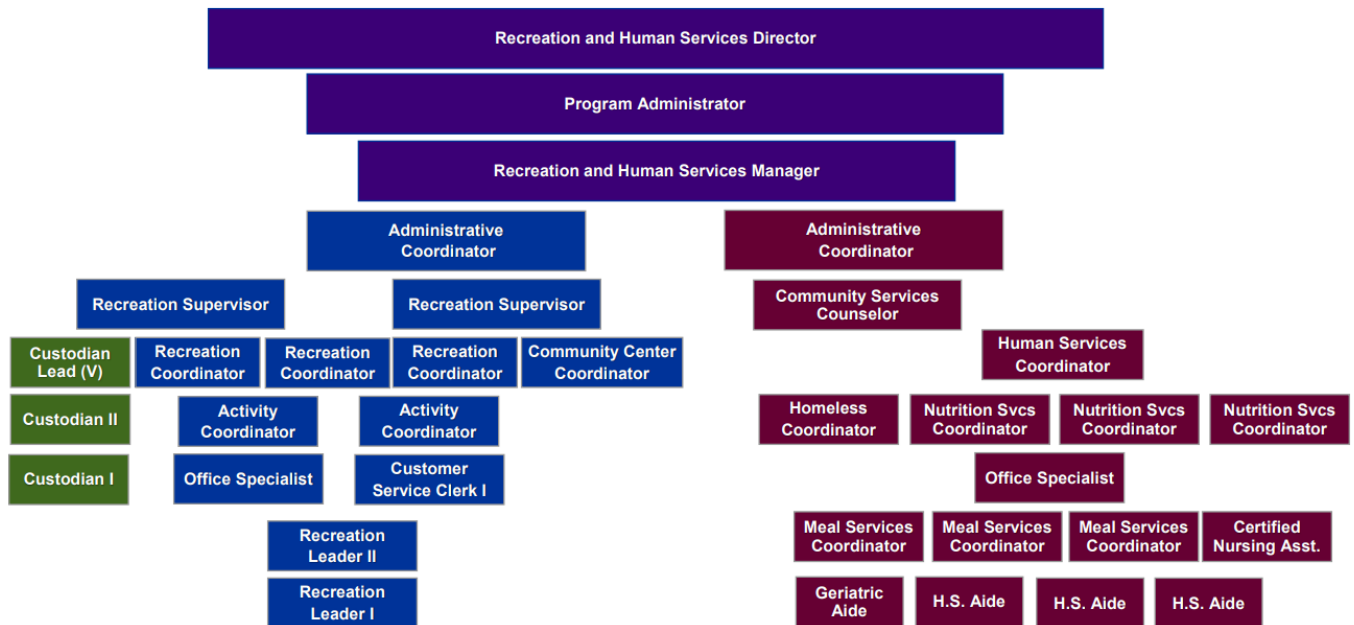
At the time of this report, California, and the City of Gardena have opened facilities and programming from previous COVID restrictions. Some programs have remained closed such as the Senior Day Care Center which will reopen November 2023 and other programs continue to build up participation numbers.

Organizational Structure

The Recreation and Human Services Department is responsible for providing a broad array of recreation, social and community services to the citizens of Gardena. The Department is advised by four Commissions Recreation and Parks, Senior Citizens, Youth, and Human Services Commissions. The recreation component is under the supervision of a Recreation and Human Services Director who directly supervises the Program Administrator and the Recreation and Human Services Manager. Two Administrative Coordinators oversee the two major divisions of Recreation and Human Services.

Figure 1 provides an overall depiction of the reporting relationships within the Recreation and Human Services Department. Note that the chart depicts the organization as it was effective January 2023.

Figure 1
Recreation and Human Services Department Organizational Chart



An agency’s organizational structure is the road map of its communication patterns. A well-designed structure can also make it easier to identify inefficiencies and new problems as the organization grows. Reviewing the organizational structure and staffing levels on a regular basis will help ensure that the agency is set up for optimal growth well into the future.

A portion of the Parks and Recreation Master Plan process is to evaluate the current staffing levels and organizational structure based upon the existing department and potential growth with the development of the Master Plan. This analysis, for park maintenance under Public Works, must consider current maintenance standards, ongoing replacement schedules for equipment, vehicles, and park and facility infrastructure, and future growth projected due to recommendations within the Parks and Recreation Master Plan.

For the Recreation and Human Services Department, the Master Plan process will help to identify customer needs, analyze current levels of recreational programming, and review the program development process, measurement systems, competitive analysis, and marketing initiatives that the Department may have undertaken or are recommended within the Master Plan.

Currently Departmental positions are budgeted for Fiscal Year 23/24 at 75.81 full-time equivalent and is composed within three Divisions as:

- Recreation—43.36
- Facilities—13.09
- Human Services—19.36

Park maintenance, ground maintenance, and tree trimming activities fall under the leadership of the Public Works Department within a separate division of that department. Full-time equivalent staffing within the Parks Division amounts to 11.5 FTE.

Staffing Levels

What are the common signs that staffing levels might not be adequate within an agency?

- Critical tasks are not completed, or they are completed later than they should have been.
- Backlog of maintenance.
- Increased overtime levels.
- Increased absence due to stress, fatigue, and other ill health.
- Increased staff turnover due to high workload, stress, and fatigue.

How many staff does an agency need and at what times? The answer to this question is all about assessing workload. Several factors affect the evaluation of workload:

- Is the workload flat, time independent, or variable?
- What is the workload and the related skills needed to accomplish each task?
- What is the agencies absenteeism rate?
- Will there be project work and training requirements?
- Will the proposed staffing level allow for new work and programming?

The ultimate staffing level is based on an estimate of how much an agency can produce based on a given set amount of people, equipment, and infrastructure.

Park and Recreation agencies often use trial and error as opposed to a detailed calculation. Trial and error are a perfectly valid method however the errors are very expensive. If you err on being overstaffed, it is inefficient. If you err on being understaffed it could lead to the loss of customers, lower programming levels, failure of the organization to meet community goals.

Benchmarking, as displayed within this report, is another vehicle to establish staffing levels, especially for park maintenance activities. One of the most underutilized benefits of benchmarking is its use to develop staffing levels for existing or new facilities. Most projects focus on the construction costs and other aspects of the occupancy process such as furniture, the move in, and equipment. Completely overlooked in many cases are the staffing plans to operate, maintain, and program a facility.

For a public park facility, operating costs often represent a vast majority of the life-cycle costs and the appropriate staffing levels have a significant impact on the overall condition of the facility. Using benchmarking is a straightforward process that shows the importance and the impact of staffing decisions over the life cycle of the building. Without good benchmarking comparisons, agencies may not realize that staffing levels may need to be increased or decreased, the level of service is too low, or which best practices may have the most impact on improving the staff utilization.

For park and recreation agencies, adequate staffing levels are often a determination of what staff can accomplish and complete. Are they able to meet the existing workload and little more or are they able to reach out to the community, determine needs, design new programming, conduct safety evaluations, perform preventative maintenance tasks, update and develop policies and procedures, and perform other tasks to meet the needs of the park and recreational system and the public.

Participation

Due to COVID-related closures and cancellations, registration figures compiled by the City of Gardena showed a tremendous decline in the Department’s recreational programming participation for the year 2020. For 2021, programming rebounded and continues to grow with nearly 5,400 registrations, not counting after school programs, adult sports, and many special events. Registration numbers continue to hold with some programs showing slight increases.

Registrations for after school programs were very strong in 2022 and show slight increases in 2023. For 2022, Freeman Park recorded 2,204 registrations, Johnson Park 2,304, and Nakaoka Community Center 2,738.

While Recreation and Human Services offers a variety of programming, youth sports and senior candlelight dinners continue to be highly successful and popular. Other popular programming includes ballet and beginner gymnastics.

Figure 2
City of Gardena - Recreation Programming Participation

Programs/Subject Areas	2022 Number	2023 Number
Dance		
Dance, Cheer, & Tumbling I & II (Ages 5-13)	30	23
Ballet & Tap I	60	300
Ballet, Tap, & Jazz II	11	114
Ballet, Tap & Contemporary	---	37
Cheer, & Tumbling I & II	17	69
Hip Hop I - Tik Tok Inspired	24	49
Modeling I & II	9	3
Gymnastics		
Gymnastics Advanced	96	59
Gymnastics Beginning/Intermediate	244	142
Gymnastics Parent and Me	112	55
Gymnastics Tiny Tots	269	200
Karate		
Advanced Karate	71	35
Beginners Karate	207	41
Black Belt Karate	81	15
Kinder Karate (Ages 4-6)	300	58
Youth/Teen Camps		
Teen Fall Camp	13	---
Teen Spring Camp	---	13
Teen Summer Camp	45	---
Teen Winter Camp	10	---
Spring Youth Camp Freeman Park	---	35

Programs/Subject Areas	2022 Number	2023 Number
Spring Youth Camp Johnson Park	---	33
TPR Programs		
St. Patrick's Day Dance--TPR	---	22
Sports Adult Basketball--TRP	---	8
Youth Sports*		
Co-Ed Youth Basketball Outdoor Skills and Drills Clinics--6-7	11	---
Co-Ed Youth Basketball Outdoor Skills and Drills Clinics--10-11	7	---
Co-Ed Youth Basketball Outdoor Skills and Drills Clinics-- 8-9	14	---
Co-Ed Youth Basketball Outdoor Skills and Drills Clinics--Rookie 4-5	7	---
Co-Ed Youth Basketball Outdoor Skills and Drills Clinics--Bantam 6-7	30	---
Co-Ed Youth Basketball Outdoor Skills and Drills Clinics--10-11	13	---
Co-Ed Youth Basketball Outdoor Skills and Drills Clinics-- 8-9	22	---
Co-Ed Youth Basketball Outdoor Skills and Drills Clinics--Rookie 4-5	13	---
Co-Ed Youth Basketball Skills Clinics 2023 1st grade - 2nd grade	---	42
Co-Ed Youth Basketball Skills Clinics 2023 3rd grade - 4th grade	---	14
Co-Ed Youth Basketball Skills Clinics 2023 3rd grade -5th/6th grade	---	15
Co-Ed Youth Basketball Skills Clinics 2023 7th grade - 8th grade	---	9
Co-Ed Youth Soccer 1st grade - 2nd grade	60	---
Co-Ed Youth Soccer Tk-K	71	---
March Madness Youth Basketball Skills Competition Bantam 6-7	13	---
March Madness Youth Basketball Skills Competition Pee Wee 8-9	7	---
March Madness Youth Basketball Skills Competition Rookie 4-5	9	---
Youth Baseball Co-ed T-Ball	144	---
Youth Baseball Double A	135	---
Youth Baseball Single A	179	---
Youth Baseball Triple A	214	---
Youth Baseball and Softball Skills Clinics Baseball Clinic	36	---
*For Co-Ed Youth Basketball, Gardena in 2022 had teams based on age. In 2023 they had teams based on grade. This was the same program just a modification of age groups.		

Programs/Subject Areas	2022 Number	2023 Number
Youth Sports (continued)		
Youth Baseball and Softball Skills Clinics Softball Clinic	29	---
Youth Basketball 1st grade - 2nd grade	---	74
Youth Basketball 3rd grade - 4th grade	---	51
Youth Basketball 5th grade - 6th grade	---	62
Youth Basketball 2023 7th grade - 8th grade	---	28
Youth Chess Tournament	---	41
Youth Flag Football 1st-2nd Grade	28	---
Youth Flag Football 3rd grade - 4th grade	72	---
Youth Flag Football 3rd-4th Grade	37	---
Youth Flag Football 5th-6th Grade	20	---
Youth Flag Football TK-K	25	---
Youth Flag Football Skills Clinics 3rd grade - 4th grade	23	---
Youth Flag Football Skills Clinics 5th grade - 6th grade	9	---
Youth Flag Football Skills Clinics TK - 2nd grade	25	---
Youth Futsal 3rd grade - 4th grade	---	35
Youth Futsal 5th grade - 6th grade	---	21
Youth Futsal Clinics 3rd grade - 4th grade	---	27
Youth Futsal Clinics 5th grade - 6th grade	---	9
Youth Soccer 1st grade - 2nd grade	---	86
Youth Soccer Clinics 1st grade - 2nd grade	---	46
Youth Softball 10U	94	---
Youth Softball 13U	110	---
Youth Softball 8U	53	---
Seniors		
Cal-Fresh Nutrition Class Cal Fresh Nutrition	17	19
Fun In The Sun Senior Day	148	179
LA County Fair Gardena on the Go	64	
Gardena on the Go- OVO	28	
GOTG - Strawberry Festival	40	44
GOTG-Casablanca	---	5
Hollywood Bowl Gardena on the Go	17	---
GOTG LA Kings Game	19	---
LA Original Farmers Market	37	---
Laker Game Gardena on the Go	40	---
Lions Thanksgiving Luncheon	131	---
Paint in the Park- Johnson	30	---
Paint in the Park- Rowley	48	---
Senior Health Fair	169	---
Senior Basic Gardening Class	---	8
Senior Paint Workshop	18	9
So. Coast Botanic Garden	14	---

Programs/Subject Areas	2022 Number	2023 Number
Seniors (continued)		
Under the Sea Bingo	91	---
SoFi Stadium Tour	57	---
Candlelight Dinner Celebration of Summer	127	---
Candlelight Dinner Christmas	127	---
Candlelight Dinner Halloween	112	---
Candlelight Dinner Holiday	158	---
Candlelight Dinner Mardi Gras	175	---
Candlelight Dinner New Year	147	---
Candlelight Dinner Rock & Roll-	131	---
Candlelight Dinner Thanksgiving	134	---
Candlelight Dinner Wine & Dine	129	---
TOTAL PARTICIPATION	5,317	2,183

Private Recreational Facilities

Partly due to sitting near the Pacific Ocean and adjacent to mountains, desert, and a variety of outdoor activities, the Gardena area is home to numerous commercial health, fitness, and dance operators. Some of the fitness clubs also feature swimming pools. A partial listing includes:

Dignity Health Sports Park

The Dignity Health Sports Park, located in Carson, is a sports complex which includes a soccer stadium used by the Los Angeles Galaxy, a track and field facility, and a tennis stadium. The Center also serves as a training facility by the U.S. national soccer team.

Toyota Sports Center

Located in El Segundo, this facility is the training center for the Los Angeles Kings and the Ontario Reign hockey teams. It is a 135,000 square foot facility costing over \$24 million to construct. The Toyota Sports Center opened in 2000 and includes three public ice rinks, NHL, Olympic, and a smaller sized ice rink. The facility's three public ice rinks host amateur and youth hockey leagues throughout the year. One million guests pass through the doors of the facility annually.

VELO Sports Center

The VELO Sports Center, located in Carson, is a 100,000 square foot, \$15 million specially designed 250- meter indoor wood bicycle racing track. The VELO Sports Center is also a part of Dignity Health Sports Park's partnership with the USOC as an Official U.S. Olympic Training Site and is a home track to USA Cycling's national track cycling program. The VELO Sports Center hosts training and international competitions for the world's elite cyclists, as well as classes open to the public, at any skill level.

Non-Profit/ Government Recreational Providers

Gardena-Carson Family YMCA

A unit of the YMCA of Los Angeles located in Gardena; the YMCA has been making a positive impact in Los Angeles County for over 130 years. Today there are twenty-six branches. The Gardena/Carson branch offers group exercise, personal training, senior fitness, swim lessons, family activities, and childcare.

Boys and Girls Club of Carson

The closest Boys & Girls Club to Gardena is the facility in Carson which helps to bridge the gap between school and home, serving up to 700 kids on any given day. They offer after-school programming at eight locations in Carson, Compton, Watts, and South Los Angeles for youth ages 6-18 years old. The Club is based in the Main Street Clubhouse in Carson and utilizes seven local schools for programming.

Beach Cities Health District

As part of its comprehensive approach to health, Beach Cities Health District offers a wide variety of services to the residents of the South Bay. This includes the Adventure Plex featuring a variety of camps, arts and crafts, sports court, and a rock wall. The District also offers the Center for Health and Fitness featuring a gym variety of classes including yoga and pilates, group and individual exercise programs and health and wellness programming.

Harbor Regional Center

There are 21 regional centers covering the state of California. All Regional Centers are private, non-profit corporations that contract with the State of California, Department of Developmental Services, to provide services and support for people with developmental disabilities and their families. A Regional Center is located in Torrance.

Aquatic Programming

With the reconstruction of the Primm Memorial Pool and the new Senior Center, the City of Gardena currently does not offer aquatic facilities or swim lesson programming. Construction is anticipated to be completed by the 2025 summer season. Within the community and nearby there are several private and public providers of aquatic programming available for Gardena residents:

- Regal Swim structured swim lessons for swimmers ages two to adult. Their webpage states that their instructors and lifeguards are professionals with at least a bachelor's degree. Due to staffing shortages, they are only doing lessons at your home and apartment pools and will start spring sign-ups on March 1, 2023.
- Redondo Union High School Aquatic Center is an outdoor 15-lane, 25-yard pool with covered bleacher seating for 200 spectators. The facility opened in the Fall of 2010 and is also open to the public on the weekends year-round, and during the weekdays in the Summer.
- Mira Costa High School and City of Manhattan Beach Begg Pools are operated by the City of Manhattan Beach. Mira Costa is scheduled during non-school hours. The City offers a variety of youth, adult, and senior aquatic programming.
- El Segundo Wiseburn Unified School District Aquatics Center is located at Wiseburn High School. The facility features a 53.2 meter, 10-lane competition pool with an expanded shallow entry area and two movable bulkheads, allowing for more flexible aquatics programs. Also included is a warm-up 25-yard by 4-lane teaching/fitness pool. The City of El Segundo offers times for community swim lessons, fitness classes, and other recreational programs.
- South Bay Aquatics features year-round indoor swim facilities dedicated to "providing quality swim instruction to our customers and their families in a fun, friendly and family-oriented environment." Facilities are located in Redondo Beach and Torrance.

- Lucky Duck Swim School, located in Gardena, offers a variety of swimming lessons to develop primary to advanced skills for all ages. Private lessons can also be arranged. Other programs offered include:
 - Adult Fitness Swim Program
 - Baby & Me
 - Children with Special Need
 - Competitive Team
 - Group Lessons
 - Homeschools
 - Junior Guard Prep

Fitness/Dance/Yoga/Pilates

Private recreation related businesses are found within and in nearby communities. Only Gardena businesses are listed.

Fitness:

- Fitness 19
- Fuerza Gym
- Blink Fitness
- Lunar Fitness
- Code 3 Athletics

Dance

- Aly's Dance Studio
- MJ Dance Studio
- Latin Dance Forever
- Gardena Dance Center
- Trejo Dance Floors Inc.

Yoga/Pilates

- Core Power Yoga
- Cali Yoga LLC
- Pilates Plus

Adjacent Communities

Gardena is near the Pacific Ocean in a heavily populated area of Los Angeles County. The city is surrounded by numerous communities, many which offer recreation programming, senior and community centers, and other recreation facilities. The following is a brief listing of some of these facilities.

Los Angeles County

Los Angeles County's Department of Parks and Recreation offers several recreation centers within the Gardena vicinity and in the City with the Rosecrans Recreations Center located at Rosecrans Park. Other centers include:

- Harbor City Recreation Center—Harbor City
- Normandale Recreation Center—Torrance
- Imperial Courts Recreation Center—Lynwood
- 109th St Recreation Center—Los Angeles

Torrance

The City of Torrance has four separate Senior Centers which provide a variety of programming such as special interest classes, weekday hot lunches, exercise and dance classes, card playing, shuffleboard, and billiards. They have a teen center, “The Attic Teen Center”; an aquatics facility “Benstead Plunge”; an active Farmers Market and Sports Center at Charles Wilson Park; and a downtown Torrance Community Theatre.

Torrance also features the Torrance Cultural Arts Center featuring meeting and banquet rooms, visual and performing arts studios, the 502-seat James Armstrong Theatre, two spacious outdoor plazas, and the authentic Pine Wind Japanese garden.

Lawndale

The Department of Community Services operates the Lawndale Community Center, Diane Bollinger Memorial Gymnasium, the Community Center Annex, the City Hall council chamber, and the City's Show Wagon mobile trailer.

Inglewood

The city operates two facilities, the 13,000 sq. ft. Lockhaven Recreation Center, and the Inglewood Senior Center. Traditional recreation activities are offered at the Recreation Center and programs specifically for seniors are offered at the Inglewood Senior Center and City recreation centers including Darby, Rogers, Vincent, and Siminski Parks. The park-based recreation centers offer many programs that are offered for all adults including seniors.

Hermosa Beach

The City of Hermosa Beach features a community center that is comprised of two theatres (the 502-seat Community Theatre and the 82-seat 2nd Story Theatre), the Hermosa Beach Historical Society Museum, Hermosa Five-O Senior Activity Center, the Emergency Operations Center. Both theatre facilities operate as rental venues, with the city occasionally utilizing the Community Theatre for film screenings, special events, and other community gatherings.

Hawthorne

The City of Hawthorne through the Community Service Department provides a variety of recreational programming, a Senior Center, the Betty Ainsworth Sports Center, Memorial Center, and the Hawthorne Pool. Both the Betty Ainsworth Sports Center and the Memorial Center include a full size basketball court, volleyball court, (2) racquetball courts, fitness room, and dance room.

El Segundo

The City of El Segundo, through the Community Services Department provides a range of services and programs geared towards meeting the recreation needs and interests of various age levels. The Department manages and programs several facilities at Recreation Park including the Joslyn Center, Teen Center, and the George E. Gordon Clubhouse.

Redondo Beach

The Community Service Department operates the 1,453-seat Redondo Beach Performing Arts Center, featuring a theater, grand lobby, and 40,000 square feet of special event programming areas. Other public facilities managed by the city are a Teen Center, Skate Park, and a Senior Center.

Manhattan Beach

The Manhattan Heights Community Center is home to the REC Program, Teen Center, and the Manhattan Heights Senior Club. Available to the public for meetings, parties, and other gatherings, the auditorium can accommodate about 170 people. The building also includes a catering kitchen and a meeting and activity room. A variety of recreation programming was offered at this center. A second Center within the city is the Joslyn Community Center, home to a senior citizens club and is available for public rental.

Support Functions

Support Functions relate to how programs and operations are implemented by the City of Gardena including the operation and/or development of facilities and policies or procedures to support the delivery of recreational programming. These may relate to support services or facilities and how they may impact on many of the programs.

Cost Recovery

The concept of cost recovery is an approach to allocating the limited taxpayer funds for partial or wholly subsidized services, setting fees, and pursuing alternative funding sources depending on the beneficiary of the service. Under a cost recovery policy, each recreation activity area would be assigned to one of four program groups based upon an assessment of its service and cost recovery values. These groups range from programs with a community benefit to those with an individual benefit. The criteria are:

- Community Benefit- Represents those programs, facilities and services that benefit the community. These programs, facilities and services may increase property values, provide safety, and enhance quality of life for the residents. The community generally pays for these basic services and facilities through taxes. These services shall be offered to agency residents at a minimal or no fee.
- Community/Individual Benefit - Represents those programs, facilities and services that promote individual physical and mental well-being and provide recreational skill development. They are generally the more traditionally expected services and beginner instructional levels. These programs, services and facilities shall be assigned fees based on a specified percentage of direct and indirect costs that represent a tax subsidy to account for the community benefit and participant fee to account for the Individual Benefit.

- Individual/Community Benefit- Represents services that promote individual physical and mental well-being and provide an intermediate level of recreational skill development. This level provides more individual and less community benefit and should be paid to reflect this.
- Highly Individual Benefit - Represents specialized services generally for specific groups with a competitive focus. In this level, programs and services should be priced to recover full costs.

Within the established fee schedule for Gardena, reviewed periodically and approved by the City Council, are included both resident and non-resident fees but only for a select number of programs and activities. Fees were last reviewed and approved by the City Council in 2021. Gardena Municipal Code Sections 11.16.010 and 11.16.020 detail that each enrollee in a city recreation class, camp, adult sports league, or other recreation program of the city shall pay those fees established by the Department. It further details that these fees shall not exceed the actual cost of the activity, including administrative overhead costs.

Recreation and Parks Commission

There are four Commissions within the City of Gardena that support the functions and operations of the Recreation and Human Services Department.

- Human Services Commission
- Park and Recreation Commission
- Senior Citizens Commission
- Youth Commission

All of these Commissions detailed within this report and are appointed by the Mayor and City Council to advise the City on important programs and policy decisions.

The Recreation and Parks Commission is comprised of five members who advise the Council on matters relating to recreation and parks within the City. Areas of review and recommendation for the Commission include:

- Needs of the City pertaining to the acquisition, development, and use of facilities, buildings, and structures.
- Promoting public interest in recreation and parks programs and regulations.
- Consulting and conferring with public officials and agencies, citizens, civic, educational, professional, and other organizations.

The Commission meets monthly with Department staff serving as the staff liaison.

Utilization of a Foundation to Support Recreation and Human Services

Foundations often serve as a charitable channel through which worthwhile programs including arts & culture, environmental/nature, youth programs, senior programs, therapeutic programs, and youth scholarships are supported.

Foundations are generally a nonprofit 501(c)(3) organization that works with and would support the Department and potentially other community organizations to develop educational, environmental, recreation, and community service programs for the community. The primary mission of a Foundation dedicated towards park and recreational functions should be based on:

- To aid, sponsor, promote, advance, and assist in the provision of public parks, recreation, and Recreation and Human Services in the Gardena Area.
- To cooperate with and support the city and other community organizations in the development of recreational, educational, environmental, and community service programs throughout the city for the benefit and enjoyment of people in the service area.
- To receive, invest, and manage funds acquired through dues, donations, grants, gifts, bequests, and solicitations in furtherance of the purposes and goals of the City.

The primary foundation that supports the City of Gardena and the Recreation and Human Services Department is the non-profit organization Charitable Funds Benefitting Gardena. This organization provides supplemental resources directly to City of Gardena programs and community organizations to enhance the lives of individuals facing adversity. Their web page states that they have six years of fundraising to help our youth, seniors, and at-risk population and have co-sponsored 22 fundraising events. Examples include the Wobble Before You Gobble, Thanksgiving at Pollo Inka, Food, Wine, and Brew, and Back to School Backpack Giveaway.

There are several foundations and community support groups within and near Gardena. These include:

- Gardena Elks--Elks Lodges bring so much more to their communities than just a building, golf course or pool. They are places where neighbors come together, families share meals, and children grow up. Elks invest in their communities through programs that help children grow up healthy and drug-free, meet the needs of today's veterans, and improve the quality of life.
- Gardena Lions--Our mission is to empower Lions clubs, volunteers, and partners to improve health and well-being, strengthen communities, and support those in need through humanitarian services and grants that impact lives globally, and encourage peace and international understanding.
- Gardena Rotary--We provide service to others, promote integrity, and advance world understanding, goodwill, and peace through our fellowship of business, professional, and community leaders.
- Kiwanis Club of Gardena--Kiwanis is an organization of volunteers dedicated to improving Gardena one child at a time.
- Project Ropa--A unique non-profit organization serving Los Angeles. Their mission is to restore dignity and empower the lives of people experiencing homelessness in Los Angeles by providing clean clothes, hygiene essentials, and employment opportunities.
- Friends of Gardena Willows Wetlands Preserve--Is a 501(c)(3) non-profit founded to restore, maintain, and enhance the Gardena Willows Wetland Preserve's unique natural habitat and native flora and fauna for the enjoyment, enrichment, and education of present and future generations of all ages.

- Gardena WIC Center--Women, Infants, and (WIC) Children is a program of Heluna Health with a Center in Gardena. WIC provides healthy food, nutrition education, breastfeeding support, and family resources to women, children, and families from the Gardena location.
- Behavioral Health Services Inc.—BHS is a non-profit, community based, integrated healthcare organization established in 1973. Currently BHS provides services from 26 locations throughout Southern California with their home office and three additional locations within Gardena. Primary services provided include pediatrics, primary and preventative care, prenatal care, family planning, behavioral health, prevention, and substance abuse recovery.
- Gardena Valley Japanese Cultural Institute—GVJCI is a 501(c)(3) non-profit organization whose mission is to engage, share, and embrace the Nikkei experience and culture. They offer a variety of programs, classes, a senior lunch program, and a variety of special events throughout the year. They operate two facilities, GVJCI Main Hall and the GVJCI Nisei Veterans Memorial Hall, both of which are available for rental.
- Connected to Lead--A 501 (c) (3) non-profit organization offering programs designed to develop resilient leaders who are connected to resources and make an impact.
- The Gardena Police Foundation--Provides supplemental resources directly to the Gardena Police Department and the Gardena community in the form of grant funds to improve public safety operations, provide resources to the public, and enhance youth programs and community outreach.

Marketing

Marketing and communication of public information in both print and electronic media is essential to increase public awareness about programs and facilities to reach all ages, non-users, and the underserved. Currently the City does not print a program guide but is planning one for the future. They have produced electronically via the City's website an Events Brochure for Spring/Summer 2023 titled *Live-Work-Play Recreation Activity Guide*. When residents sign up for "Stay in the Know" This program interfaces with Constant Contact. All flyers of upcoming events are then sent through Constant Contact electronically. Currently there are 2,060 subscribers.

While the City provides a quality level of service in many areas, improvement can be gained in some aspects of marketing, branding, and facility rental. Foremost among potential improvements, the city should expand programming promotions to portions of the community currently not participating or underserved in services provided.

The Department promotes many programs and special events on Facebook currently with 3,400 followers. As of June 2023, the City has 6,300 followers on Facebook, 2,500 on Twitter, and 475 YouTube subscribers. The City also utilizes Instagram.

Scholarships

To date, Recreation and Human Services does not have a developed financial assistance program for residents of Gardena wishing to enroll in recreational programs but is planning one with the assistance of Charitable Funds Benefiting Gardena.

As in many communities, park related sports associations have financially supported families that could not afford program registration in the past for items such as youth sports enrollment, uniforms, and awards.

Registration

The Department utilizes an online registration system, CivicRec. The agreement with CivicRec expired June 2023 but was extended for an additional two years. Currently the City paid a locked in fee of \$10,746 for the initial years of the contract. Starting this June, the fee increased by 3% and will increase an additional 3% annually.

The system is also used by the Senior Citizen Bureau and Human Services Division to track volunteer hours, attendance, statistics, and registration for programs.

Providing Services for a Growing and Ethnically Diverse Population that are Convenient and Equitably Distributed

Providing services to a growing and ethnically diverse population should be an emphasis of the city due to the changing demographics. Further, these services should be convenient, accessible, and equitably distributed to all residents in terms of recreation programs, support services, and facilities needed close to home and/or centrally located. Within the Gardena City boundaries, in 2023 over 40% of the population was of Hispanic origin, relatively unchanged from 2010. Asian populations show a similar pattern remaining close to 25% of the population today and in 2010. Within California and Gardena, the need to provide services for an ethnically diverse population will present challenges for the city.

Joint Use Agreements

Recreation and Human Services currently has no partnerships with joint use agreement in place. Joint use agreements are typically made with private and non-profit organizations for the use of city facilities or with the local school district for use of school facilities and fields.

With limited resources for both capital construction and operations, it is important that the City work cooperatively with the school district work and other public agencies to evaluate the costs and benefits of new city facilities versus the costs and benefits of joint use facilities. An example would be the work with Friends of the Willows on the Gardena Willows Wetlands.

Volunteers Programs

In a time of reduced tax funding opportunities and heavier reliance on alternative sources of funding, the use of volunteers is considered a valuable component of maintaining quality service levels. A 2018 study completed by the Beach Cities Health District, serving residents of Manhattan Beach, Hermosa Beach, and Redondo Beach, found that 51% of District residents stated that they have volunteered over the past year. This compares to 39% for Los Angeles County and 45% for the State of California.

The City and Recreation and Human Services have an ongoing volunteer program, with many programs supported by volunteers. For the City, there is a formal application process

that allows individuals to volunteer for the Police Department or for Special Events, Seniors, Teens, Instructor/Teacher, Sports, Office/Clerical, or other. Youth sports coaches, seniors, and planning committees for special events are common volunteers.

The Senior Citizens Bureau utilizes volunteers for an extensive array of activities. Volunteers can:

- Deliver meals to homebound seniors.
- Transport and escort seniors to appointments,
- Assist with grocery shopping and prescription pick-up.
- Complete in-home light housekeeping.
- Assist with in-home personal care.

Adopt a Park programs are often established by park agencies to allow individuals or groups to assume some level of responsibility for one or more eligible activities at their adopted park. The identified benefits of this program include another set of eyes on the park, enhancement of the environment, beautification of parks, trails, and green spaces, greater public education and awareness of parks, recreation programs, and Recreation and Human Services, and community and/or corporate support of park-related capital improvements. Currently Gardena does not have an Adopt a Park Program but receives significant support from the Friends of Gardena Willows Wetland Preserve.

Volunteer recruitment and training is a new challenge to community agencies as the volunteer pool diminishes because of working parents and the aging WWII generation of steadfast, community volunteers. Offering meaningful volunteer opportunities to baby boomers and instilling volunteerism in youth will facilitate new volunteer support. Many agencies state-wide have initiated programs of Park Stewards who foster leadership and partial management of park sites in conjunction with city-staff.

Support Functions Preliminary Recommendations:

- To minimize duplication and/or competition the City should continue to coordinate fiscally and in long-range planning with Los Angeles School District, County of Los Angeles, and with other public and non-profit agencies to provide for the best use of public and private resources to meet recreation demands.
- City and School District should explore all possibilities to trade existing facilities and or land providing there is public benefits gained by both agencies.
- City and School District should explore the development of joint school/park facilities within new school and/or park sites and/or reutilization of decommissioned schools as a neighborhood community/service center.
- Develop a working relationship with established 501 (c) (3) foundations to support Gardena and other local community organizations in the development of educational, environmental, recreation, and community service programs. The primary focus should be based:
 - To aid, sponsor, promote, advance, and assist in the provision of public parks, recreation, and Recreation and Human Services in the Gardena Area.
 - To cooperate with and support the Recreation and Human Services Department and other community organizations in the development of interpretive, recreational, educational, environmental, and community service programs throughout the city for the benefit and enjoyment of people in the service area.
 - To receive, invest, and manage funds acquired through dues, donations, grants, gifts, bequests, and solicitations in furtherance of the purposes and goals of the City.
- Implement an Adopt a Park Program to enhance the quality of the City's parks, recreational facilities, and. Eligible task that could be included in the Adopt-A-Park program include:
 - Trash pickup
 - Graffiti/Gum removal
 - Reporting of suspicious or illegal activity at park site

- Purchasing items, supplies, or landscaping and landscape maintenance (e.g., benches, tree planting, etc.)
 - Facility and equipment upkeep and maintenance
- Implement Safe Routes to Schools and Parks via a joint agreement with Los Angeles County School District. Project should be designed to encourage walking to and from schools and parks. A goal of the program would be to increase the outdoor activities of families by providing incentives for non-automotive transportation and providing additional opportunities for physical exercise.
- Develop and implement a scholarship program providing financial assistance for Gardena residents and available to qualifying youth wanting to participate in a variety of Department recreation activities. To qualify families must complete an application and provide documentation of household income and residency.
- Finalize the program to compare fee policies of other jurisdictions with the City's and establish a policy that supports established revenue generation goals for each program taking into consideration equity, cost recovery, and consistency.
- Adopt a non-resident fee policy that approves a minimum 10% additional fee to all non-resident participants.
- Create challenging and meaningful volunteer opportunities for all age segments in the community.
- Work cooperatively with local service clubs to recruit volunteers for special projects or events.
- Create a program in cooperation with schools and youth groups such as the Boy Scouts, to engage youth in the design of and completion of volunteer work.
- Evaluate marketing efforts directed towards those subgroups of residents who do not utilize the city web page or internet to learn about recreational programming.
- Develop a survey/method to review registration database for demographic and engagement trends for all demographic groups.
- Develop a method to review registration databases to evaluate demographic trends for young people in the community to see how wide-reaching current youth programming is.
- Develop a social Media Marketing Plan that includes web site improvements and increased online visibility beyond Facebook, Instagram, Twitter, and Nextdoor based on establishing a brand for the City.
- Complete a comprehensive marketing plan that considers all segments of the community and identifies potential promotional strategies for each of the following:
 - Networking - go where your market is.
 - Direct marketing - sales letters, brochures, and flyers, especially to those portions of the community currently being underserved.
 - Advertising - print media, directories.
 - Training programs - to increase awareness.
 - Write articles, give advice, become known as an expert.
 - Direct/personal selling.
 - Publicity/press releases.
 - Trade shows, health/wellness fairs and similar events.

Aquatics

The existing Primm Memorial Pool was built decades ago and has not been in operation since the summer of 2019 due to the deteriorating condition of the pool and related facilities. Further, the facility was red tagged due to its deficiencies and did not meet the Health Department, Building Department, and Americans with Disabilities Act (ADA) requirements.

In September 2021, the City Council approved the design Architecture and Engineering services for the project to RJM Design Group. Funding for the project was to come from a \$8.5 million Proposition 68 park grant, \$6.5 million Bond Proceed funds (General Funds), and \$1.4 million federal earmarks.

The existing pool facility was approximately 1,500 square feet with showers and locker rooms. The proposed new facility is to be 11,916 square feet of which 1,284 square feet is dedicated to the pool equipment/trash container room. This community complex will be adjacent to the pool and built on property acquired by the City. The new building will have amenities for both a senior center and aquatic center. The senior center will have a reception/lobby, restroom, conference room, office, breakroom, storage room and kitchen/pantry. The aquatics center will have a ticket window, men and women's locker rooms, and family restroom.

Primm Pool, demolished in 2022, was a 25-yards with 6-lanes with the new pool expanded to 8-lanes. Facilities will include aquatics center entrance, outdoor showers, bleacher seating, seat walls, shade structures, diving board, pool equipment/mechanical room, and pool storage. The outdoor courtyard will have an exercise station, ADA accessible drinking fountain, picnic tables, barbecue grill and lawn area.

The project is scheduled to go out to bid Summer of 2023 and construction is estimated to take one year. Opening of the new facility is scheduled for Spring 2025.

In 2019, the last year of operation, Primm Pool's extensive summer aquatics program provided both drop in and scheduled opportunities. Programs that were offered included:

- Aqua Aerobics.
- Swim Lessons (4 sessions)—Parent and Me, Youth, Teen, and Adult
- Lap Swimming
- Recreational Swim
- Seniors and Developmentally Disabled

Aquatics Preliminary Recommendations:

- Evaluate the opportunity to enter into a joint use agreement with Los Angeles Unified School District for expanded use of the pool. The new facility could be utilized as an advanced training facility offering level 4 swimming lessons and up, lifeguard training classes, swim team activities, SCUBA, water polo, and special events.

Children, Youth, and Teen Services

Compared to America with an average age of 38.4, Gardena currently holds a slightly older population, with a median age of 39.6 in 2022. The overall population under 19 has been declining and will continue to decline, which is similar to the County trend. Meanwhile, the percentage of those 65 and over followed general population trends with significant increases during the 2010-to-2022-time frame. The greatest growth in population by age group was evidenced among City residents 70 to 74 years, increasing 37.5% and those 65 to 69 years, increasing 32.5%. Despite an aging population, children, and youth services, especially at the teenage level, should remain focal points for the City of Gardena.

Childcare needs are increasing and serve a valuable community and recreation service. The 2015 *Los Angeles Child Care Needs Assessment and Strategic Plan 2015-2020* prepared by the Los Angeles Local Child Care and Development Planning Council, found that only 17% of childcare demand was being met in the County. The study found there are 262,957 children ages 0-12 years with parents in the workforce, yet there are only 46,324 licensed spaces.

The Los Angeles Strategic Plan identified that although the County's population continues to grow, the number of childcare centers and family childcare homes has decreased significantly since 2010. In 2010, there were 387 childcare centers with a capacity of 33,224. At the end of 2014, there were only 355 centers with a capacity of 30,223. That is a loss of thirty-two (32) centers representing a capacity loss of 3,001 spaces. There was also a loss of 751 family childcare homes representing a capacity loss of 6,376 spaces. Overall, the greatest identified needs for childcare in Los Angeles were affordability, infant and school age care, and a growing need for evening and weekend care.

Preschool and Youth

Gardena offers a limited number of programs designed for ages 0-6. Current programming includes Ballet and Tap for ages 2-4, Gymnastics Parent and Me for ages 1-4 and Tiny Tots Gymnastics for ages 4-6.

After-School Program

The City provides an after-school program for students ages 5-12 at Freeman Park, Johnson Park, the Nakaoka Community Center, and Rowley Park. The program provides homework help, snacks, arts and crafts, and recreational activities. Current fees are \$40 per week. Restarted in Fall of 2021, all three programs are consistently popular. The Nakaoka Community Center After-School program draws the largest number of participants, reaching as high as 98 for a registration period and over 2,700 for the entire year. The Freeman and Johnson Park Programs range from the high 40's to low 70's with all programs at or near capacity.

Youth Summer Camps

The Department offers a 9-week (depending on the summer dates) Summer Youth Day Camp for ages 5-12. Campers participate in a variety of activities, including sports, fitness fun, cooperative games and team building, arts and crafts, excursions, and educational activities. Camps are held at Freeman Park, Johnson Park, and the Nakaoka Community

Center and include two snacks per day. Camps are held between the hours of 7 a.m. and 6 p.m. Current costs are \$135 per child per week with a sibling discount.

Youth Sports

A variety of traditional sports programming, co-ed basketball, co-ed soccer, co-ed futsal, baseball, softball, and co-ed flag football is offered by the Department for kindergarten through 8th grade.

Youth Sports Clinics are held prior to the beginning of each sport season. All clinics are free to participate in, but registration is required. Clinics are held for flag football, soccer, basketball, futsal, baseball, and softball. Youth sports clinics focus on providing the fundamentals of the sport while teaching good sportsmanship in a structured environment.

Teens and Youth Commission

The Gardena Youth Commission is comprised of five members appointed by the City Council and five “at-large” members approved by the Commission and ratified by the City Council. The Commission, acting in an advisory capacity, identifies and evaluates youth and community problems, projects and concerns and develops recommendations presented to the City Council. In addition, they serve as volunteers working in community activities with community groups, organizations, and staff from the Recreation and Human Services Department.

Additional duties that are often found within Youth Commission’s include:

- Formulating general policies on youth services for approval by the City Council.
- Assisting with periodic inventories of youth services that exist or may be needed.
- Aiding in coordinating youth services with the programs of other governmental agencies, public service agencies, and volunteer organizations.
- Offering a Youth in Government Day.

The City does offer an annual program called Girls Night Out, a young women’s empowerment event where girls 13-17 learn about positive self-image, self-love, and sisterhood. The program is held at the Nakaoka Community Center.

Children, Youth & Teen Services Preliminary Recommendations:

- The City should complete a Youth Master Plan to create an overall vision, develop core values, and identify outcomes that include safe youth, prepared youth, engaged youth, strong families, and communities.
- Explore the development of additional programs or activities which could include joint meetings with Youth Commissioners and hosting a Youth Town Hall with the City Council.
- The city should sponsor a joint Youth Commission Summit with adjoining cities. The goal would be to develop suggestions of how working together, Gardena and the adjacent jurisdictions could improve and expand teen services.

- Work with health care associations, to incorporate healthy eating and exercising habits into after-school recreation programs and camps for young children that model healthy living.
- Collaborate with Los Angeles County School District to ensure state standards for physical education are implemented and supplement school programs with physical activity and skill development in recreation offerings.

Classes

Gardena offers a limited number of enrichment classes, with the majority currently offered aimed towards seniors and youth. Recreation and Human Services provides activities, programs, and special events in nearly 30 topic areas, primarily for seniors and youth. Classes include senior exercise, line dancing, pickleball, Tai Chi, an array of youth dance programs, and gymnastics for tots on up. With the passage in September 2019 of Assembly Bill 5 (AB 5) the City was impacted with the ability to contract for classes and services. AB 5 minimized the amount of work which can be conducted by freelancers and contractors without being considered employees.

Through the Live-Work-and Play Recreation Brochure the City searches for new instructors to conduct classes for youth, adults, and seniors. Subject areas could include tutoring, art, exercise, dance, instruments, etc. requirements for an instructor include a background check, insurance, and a City business license.

With the onset of COVID, many programs and activities were cancelled but reinstated over the past year. Many classes such as continuing education classes, exercise programs, and fitness programs continue to be candidates for experimentation with the delivery of the class over the internet. ZOOM or other similar provider could be utilized for this effort. Currently Zoom has collaborative features like white boarding, annotation tools for screen-sharing, nonverbal feedback to mimic raising your hand in class, and local recording so that students can easily revisit lectures or exercise programs. Further, registration can be set up so that a password is given upon registration allowing entry into the class.

Classes Preliminary Recommendations:

- With limited staffing available for the development of new programming, the Department should first document the need for additional staffing and provide a recommended costs and implementation schedule.
- Develop a full line of educational tutoring, career programs, vocational, and life skill classes aimed at the teenage population.
- Increase art programming by offering them at venues close to home: neighborhood facilities, parks, churches, museums, the library, and shopping malls.
- Gardena should continue to monitor demand for programs and classes to determine and address changing needs and usage patterns.
- Develop a line of healthy organic eating cooking programs.
- Develop multi-cultural arts programs and activities that promote personal connections among participants and allow the community to highlight and share its diverse customs, celebrations, and diversions.
- Collaborate with local and regional arts organizations to maximize resources and expertise bringing additional cultural programs to residents.
- Survey current participants and non-participants to determine their preferences for additional kinds of classes and determine if there are any deterrents to their participation, such as transportation, childcare, or lack of technology.

Community Facilities

Gardena has a number of public buildings under the responsibility of the Recreation and Human Services Department. The Parks and Recreation Master Plan will include a full review of buildings, facility condition, accessibility, and development of proposed park improvements based on site analysis, community feedback, and proposed recommendations. Community buildings include:

- Ken Nakaoka Community Center—Primary home of the Gardena Senior program this facility is also available for rental. Rooms are:
 - Auditorium--Seating 200 with chairs or 100 with tables and chairs.
 - Room A—65 people.
 - Room C—45 people
 - Room D—50 people.
 - Room E—42 people.
 - Room F—35 people.
- Rowley Park Auditorium—This building accommodates a maximum of 150 people utilizing chairs or 90 with table and chairs. A full kitchen is included.
- Picnic Shelter Reservations—Within the City there are four parks featuring five reservable areas.
 - Freeman Park—50 people with 4 tables and 2 grills.
 - Fukai Park—150 people with 10 tables and 3 grills.
 - Johnson Park—50 people with 6 tables and 2 grills.
 - Rowley Park North—50 people with 4 tables and 2 grills
 - Rowley Park South—100 people with 6 tables and 2 grills.
- Tennis Courts—The City offers two facilities with several courts available for reservation.
 - Johnson Park Courts-4 court facility with 3 reservable.
 - Rowley Park Courts—4 court facility with 3 reservable.
- Smaller Facilities—The City offers several smaller building rentals primarily as classrooms. These are:
 - Bell Park—60 with chairs or 45 with tables and chairs.
 - Freeman Park—60 with chairs or 35 with tables and chairs.
 - Fukai Park—75 with chairs or 50 with tables and chairs.
 - Rowley Park—150 with chairs or 100 with table and chairs.
 - Johnson Park—60 with chairs or 30 with tables and chairs.
 - Thornburg Park—50 with chairs or 35 with tables and chairs.

Community Facilities Preliminary Recommendations:

- The City should consider the development of a marketing plan to promote and fully utilize all available spaces for public rental and use.
- The City has limited offerings for pickleball and due to the popularity and continued growth of this sport, the City should expand the offering of lessons and the programming for all ages. The courts to be added at Mas Fukai Park could be utilized for this purpose.

Community Events

Community special events that bridge the community and bring people together for recreation, cultural expression, community improvement, and entertainment are popular programs. These events unite the community and build community identity and vitality. Special events are a unique community service that generates revenue through facility rental, admission fees, and concessions, and revenue to the community through increased business activities and tourism.

The Recreation and Human Services Department working in conjunction with numerous civic organizations, businesses, and other public agencies provides facilities, staff support, and miscellaneous services for several signatures, special, and seasonal events in the community.

Examples of recent special events include:

- UCLA Summer Blood Drive
- Healthy Pet Clinic
- Show and Shine Car Exhibit
- Kids to Park Day
- Self-Care Mental Health Fair
- Stamp Out Hunger Donation Drive
- Organic Waste Recycling
- Gardena Willows Tea Party
- Vision, Hearing, and Diabetes Screening
- South Bay Youth Fishing Event
- Annual Bonsai Exhibit and Sale
- City of Gardena Dodger Day
- Bring it on the Blvd Downtown Street Fair
- Cinco de Mayo Parade and Festival
- Earth Day Celebration
- Juneteenth Celebration
- Spring Carnival
- Easter at the Park
- Community Craft Fair and Yard Sale
- Casino Night
- Annual Chess Tournament
- Martin Luther King Jr. Parade
- Fun in the Sun Senior Day
- Monthly Candlelight Dinner
- Flag Day Celebration
- 4th of July Celebration
- Jazz Festival
- Veteran's Day
- Winter Wonderland and Tree Lighting Ceremony

Gardena Valley Chamber of Commerce

The Gardena Valley Chamber of Commerce was established in 1933 and organized to advance the general welfare and prosperity of the City of Gardena by serving as the bridge between businesses, residents, community, and government. The Chamber sponsors a limited number of events such as the monthly Wine Down Wednesday's Business Mixer and Let's Talk Trash! Breakfast meeting. There is no current agreement with the Chamber and the City.

Harbor Gateway Chamber of Commerce

Founded in 2019 this Chamber states that they serve the Harbor Gateway, unincorporated Los Angeles County, and City of Gardena with strong partnerships that advocates for the business community. The Chamber works with city, county, state & federal officials, local businesses, and the community at large to address the issues affecting the area.

Recently the Harbor Gateway Chamber co-sponsored an event to clean an unincorporated portion of Gardena Blvd, called Clean California! Community members from throughout the area joined forces to help clean up Historic Gardena Blvd in the community of Harbor Gateway North. Volunteers from Environmental Charter Middle School, the Boys and Girls Club, Athens Park Concerned Citizens Group, Harbor Gateway North Neighborhood Council Homeless Committee, and the Harbor Gateway South Neighborhood Council picked up the waste around the schools and the Boys and Girls Club. Their efforts removed 606 tons of debris from the streets.

Community Events Preliminary Recommendations:

- The Department should document the need for additional staffing that will allow a continued role in cooperating with the Gardena Valley and Harbor Gateway Chamber of Commerce, Los Angeles County School District, civic organizations, and businesses, to produce community-wide special events.
- Showcase different cultures in special event programming to enhance cultural understanding and unity.
- The Recreation and Human Services and Economic Development Departments, in conjunction with the Gardena Valley and Harbor Gateway Chamber of Commerce, should conduct and report to the City Council economic profile reports of special events held within city limits.

Health and Well-Being

A former program of The League of California Cities, Kaiser Permanente, and the Nutrition Education and Obesity Prevention Grant Branch (NEOPB) developed the Healthy Eating Active Living (HEAL) Cities Campaign. The HEAL Initiative was designed to help combat obesity by making healthy choices accessible to more people in underserved communities across California. Programs were designed to empower residents to lead healthier lives through environmental changes that are sustained by policies and enhanced by education and promotion.

More than 100 California cities joined the campaign, adopting policies and resolutions supporting healthy communities. The National League of Cities has also resolved to support HEAL's expansion, and state municipal league executives in Maryland, Oregon and Virginia are currently actively exploring similar projects.

While California's obesity rates overall meet the Healthy People 2020 national goal, the State has a long way to go to create a healthy population. As one of the most populous states, the number of individuals affected by obesity and obesity-related health conditions is high and costly. Despite progress, disparities persist in obesity rates, with higher rates of obesity among Californians with the lowest household incomes and educational attainment, as well as among some racial and ethnic groups in California.

NEOPB currently designs innovative partnerships empowering low-income Californians to increase fruit and vegetable consumption, physical activity, and food security with the goal of preventing obesity and other diet related chronic diseases. NEOPB addresses the statewide obesity epidemic through food and activity education, breastfeeding support, community development strategies and marketing of healthy behaviors, focusing on low-income Californians.

The League of California Cities encouraged California cities to help parents make healthy family choices, create healthy schools, provide access to healthy and affordable foods, and adopt city design and planning principles that promote physical activity. Cal Cities encouraged cities to involve youth, especially middle and high school students, with city health-related programs. Further, they encouraged cities to address the needs of an aging population through local and statewide planning, education, and conference programming.

Eight cities in Los Angeles County — Baldwin Park, Bell Gardens, El Monte, Huntington Park, La Puente, Pasadena, San Fernando, and South El Monte — have adopted policies to offer healthy beverages and snacks to employees and residents who use municipal facilities and programs. Following the example of local schools, these cities offer only items that meet nutritional standards aimed at supporting health. Sugary drinks such as sodas and sports beverages are being replaced with fruit juice, low-fat milk, diet drinks and water.

The 2019 California Department of Education school fitness results for Los Angeles County found that in the measurement of aerobic capacity 35% of 5th graders, 30.8% of 7th

graders, and 29% of 9th graders needs improvement. Further, with body composition measurement it was found that 25.4% of 5th graders, 23.2% of 7th graders, and 21% of 9th graders not only needed improvement but were considered at a health risk.

Although obesity rates across the nation and California have stabilized over the past few years, the rate for children continues to be problematic. A 2018 report by Kids Data found that 41.3% of 5th graders in California were overweight and/or obese. This number declined to 40% and 37.8% for 7th and 9th graders, respectively. Los Angeles County rates were higher at 45.6%, 43%, and 41.3%. These rates are slightly higher than the 2018 report.

According to Kids Data, the share of students who are overweight or obese varies widely by region and race/ethnicity. For example, the percentage of 5th graders who were overweight or obese in 2019 ranged from 24% to 55% across counties with data, and from less than 5% to more than 75% across school districts. In the same period, 50% of Hispanic/Latino 5th graders statewide were overweight or obese, compared with fewer than 30% of their Asian and white peers.

A 2016 report by Los Angeles County Department of Public Health, *Parks and Public Health in LA County* found that the availability of parks and associated recreational programs impacts the public's health. Parks can be a focal point for promoting physical activity among both children and adults through recreational programs and structured activities such as walking groups. Evidence also suggests that people who live close to parks and recreation facilities have lower rates of obesity and engage in more physical activity than those who do not. For example, a ten-year study of over 3,000 children in southern California found that those living near parks and recreational programs had lower rates of obesity at 18 years of age than comparable children who lived further away.

To encourage and help Gardena residents find opportunities for participation in health and fitness programming and counter growing obesity rates, the City could develop a "Healthy Gardena" program. Currently, the City and their partners are offering a variety of health and fitness programs that could work towards the promotion of well-being and healthy lifestyles. Expansion of programming and partnerships could surround the subject areas of access to healthier ways to eat and exercise, nutrition, and fitness, and to how use community parks and facilities to use towards a healthier lifestyle.

The Healthy Gardena Initiative could be a collaborative of members representing both public and private sectors, county agencies, school district staff, community businesses, elected officials, city staff, local health clinics, and foundations to address the following goals:

- Reduce calorie consumption.
- Increase consumption of healthy foods and beverages.
- Increase physical activity.

Specific programs could be:

- Prioritize capital improvements projects to increase the opportunities for physical activities in existing areas.
- Include a health element in the general plan update.
- Adopt a City-wide Safe Routes to School (SRTS) plan in partnership with the Los

- Continue to develop bike lanes and walking trails.
- The city is working to continue to create sustainable development patterns, such that the majority of residents are within one-half mile walking distance to a variety of neighborhood goods, services, and public facilities.
- Continue to provide and maintain neighborhood parks for outdoor recreational activities that encourage walking, biking, and other forms of physical activity.
- Continue to partner with community organizations to offer recreational youth and adult sports leagues.
- Promote and partner on health-related community events, and health and resource fairs.
- Continue to encourage mixed-use and transit-oriented development.
- Support existing farmers' markets and the creation of new healthy food access points.
- Ensure that only healthy snacks are provided at recreational centers.

Specific recommended actions could include:

- Support the expansion of community gardens and farmers markets to increase access to healthy food, including fresh fruit and vegetables.
- Consider placing a Health Element with livability principles including health goals and policies related to physical activity and access to healthy food into the City's General Plan.
- Consider revising appropriate policies and plans to include or reference Complete Streets policies and Livable Streets Design Manual, which could include a network of streets and public spaces to support active living.
- Expand community access to indoor and outdoor public facilities through joint use agreements with schools and/or other partners.
- Craft an ordinance which will place limits on fast food around schools.
- Build incentives for development project proposals to demonstrate favorable impact on resident and employee physical activity and access to healthy foods.

Health and Well-Being Preliminary Recommendations:

- Develop multi-disciplinary health partnerships with schools, local hospitals, and health care providers, private health clubs, and other agencies to bring public information and educational programs that prevent obesity and successfully promote physical activity across entire communities.
- Work with Los Angeles County, Los Angeles County School District, and other public agencies to determine the needs of the Gardena community and initiate a city-wide strategic planning effort for a Healthy Gardena program.
- Report on an on-going basis to the public and policy makers on the health and wellness outcomes of the City's programs and facilities.
- Develop a line of healthy organic eating cooking programs to complement the existing array of cooking programs and camps.
- Promote healthy eating throughout the community by providing healthy snacks at City sponsored programs, day camps, and special events that meet state nutritional standards.

Human Services and Special Needs

For the 2021-2022 school year, the Los Angeles County School District created an *Equity and Inclusion Dashboard* to provide public access related to student achievement and wellness data. According to the District, the *Equity and Inclusion Dashboard* compiles district data “in an objective way and allows for reporting in disaggregation format. This data allows for comparison across various student characteristics or attributes. The Equity Dashboard is intended as a tool to assist in understanding where inequities may exist.” The District identifies several groups of students meeting the criteria of special needs and the respective percentage of the student population.

- English Learners--1.9%
- Foster Youth--0.1%
- Homeless--0.1%
- Socioeconomically Disadvantaged--5.8%
- Students with Disabilities--10.3%

Delivery of services to those with special needs presents numerous challenges including training of childcare workers, finding staff with training in specific areas for children who need one-on-one attention, and keeping costs low, while providing appropriate and quality accommodations. For parents, the continuum of special services and childcare for their special needs child from infant care to preschool to kindergarten and beyond can be challenging when considering cost, availability, location, and transportation.

The Human Services Division of the Department provides a variety of services to the community, including licensed family childcare, youth and adult counseling, senior citizen outreach and meals programming, and care for those suffering from Alzheimer’s or mental disease. The Division is separated into five independent areas of operation:

- Senior Citizen’s Bureau
- Senior Citizen’s Day Care Center for those with Alzheimer’s
-
- Youth and Family Services Bureau.

Human Services Commission

The Human Services Commission is comprised of five members who are appointed by the Mayor and City Council. Their role is to advise the City on important programs and policy decisions related to the development and utilization of human resources within the City for the betterment of the community.

Areas of review and recommendation for the Commission include:

- Advise the Council on all matters relating to social conditions within the City.
- Assess and report to the Council the social needs of the residents.
- Advise the Human Services Division on policy and program direction for meeting such needs,

The Commission meets monthly with Department staff serving as the staff liaison.

The Division provides diversified programming which includes recreational activities, field trips, special holiday and summer programs. A sampling of other programs provided by the Division within Gardena include:

- Summer Glow Up Dance Party—Therapeutic Recreation dance program that is held every 2nd Friday of the month.
- Therapeutic Recreation Adult Sports—Bocce Ball and Basketball
- Helping Hands Holiday Program--An annual event for those with financial hardships to receive food vouchers and toys for the holiday season.
- Emergency Services Food Pantry—This program operates weekly Monday through Friday and is made possible by numerous local donations.
- Emergency & Homeless Services—Provided to those at-risk or experiencing homelessness by providing people access to food, hygiene supplies, and case management services. The Homeless Coordinator works with the Gardena/Hawthorne Mental Evaluation Team through our Gardena Police Department to provide outreach and immediate services.
- Senior Support--Information and referral services, case management, in-home support, daily nutritional meals at seven community sites, home-delivered meals, outreach, health clinics, escort, and shopping services.
- Alzheimer’s Disease Care--Specialized care for people suffering from Alzheimer’s Disease including daily socialization and recreation programs, exercise, lunch, art and music therapy, counseling, health screening, transportation, and special events.
- Birthday Kit Program—Birthday kits provided to residents in financial need.
- CARES Act--Rental, utility, and nutrition assistance for Gardena residents financially impacted by COVID.

The Department, working with the Human Services Commission has developed an extensive program that helps meet the social needs of residents within Gardena. Long-term development, expansion, and management of a complete city-wide program will require several major steps, partners, and answering the following considerations:

- Assess the availability of services currently provided throughout the City.
- Review current services that have been effective.
- Review effectiveness and accessibility of programs and services provided to individuals and families.
- Review concerns and issues in current programming and services and how they can be readily addressed.
- Provide individuals and families a forum and platform to address concerns.
- Assess availability of services in respect to cost, location, and types of services provided.
- Identify funding sources, social welfare programs, and fundraising opportunities.
- Locate and discuss jobs and post-secondary educational options for transitional independence.
- Build partnerships with service providers, school districts, non-profit organizations, county agencies, state agencies, and local churches.

The Human Services Division has an extensive array of successful programs and activities. Within other cities in California there are numerous examples of other human services programs. Specific examples are:

- The Supporting Kids Involving Parents Program (SKIP) is a "parent and me" program that provides children with special needs opportunities for sensory enrichment, improvement of social skills, recreational play, and parent support. (Temecula)
- The High Hopes Program provides adults with special needs an opportunity for social interaction with peers, while participating in group activities and events. (Temecula)
- Installing inclusive swing seats, sensory area, and ADA accessible facilities. The installation of swing seats is often called the "Yellow Swing Program." (Varied)
- Recreational Activities for the Developmentally Disabled (RADD), a program designed specifically for the developmentally disabled. The philosophy of RADD is to provide opportunity for personal growth for those 15 and up through recreation activities that enhance the quality of life for individuals of all abilities. (Pleasanton)
- A Swim Buddy Program is made up of volunteers who assist with Adaptive Swim Lessons by working directly with lesson participants. Adaptive Swim Lessons are set up with 1 instructor, 3 students, and 3 swim buddies (1 for each student) in each class. It is the Swim Buddy's role to act as an extension of the instructor and help their buddy with what the instructor is teaching. (Temecula)
- The Friendly Stars Program is a social recreation program for developmentally disabled adults 18 and over. Activities encourage participants to interact with one another along with staff in a social and enjoyable atmosphere. Activities include arts and crafts, karaoke, movies, a weekly dance with music and one special event each month. (City of Riverside)
- Adaptive Recreation Teens is specifically designed for the younger crowd, teens with developmental disabilities can participate in weekly bowling sessions and weekend programs and outings around the community. (Davis)

Special Needs Preliminary Recommendations:

- The Recreation and Human Services Department should develop and receive City Council approval of an Inclusion Policy that is committed to following the guidelines set forth by Title VI and the ADA to ensure that all programs, activities, and services, when viewed in their entirety, are readily accessible to and usable by individuals with disabilities.
- Evaluate the opportunity to develop and offer inclusion programming allowing participants the opportunity for more "hands-on" job training classes, to improve their potential for finding employment.
- Explore potential cooperative agreements with other Los Angeles County communities, Harbor Regional Center, and the Los Angeles County School District to provide programming opportunities for the developmentally disabled.
- In coordination with other agencies and non-profits increase the availability of summer programs, after school programs, independent living programs, and job training programs specific to youth with disabilities.

Organized Sports

Within the City there are several community and sport groups that regularly utilize Gardena playing fields and facilities throughout the year in addition to programming and league play organized by the Department. The following facilities are used for practices only:

- Mas Fukai Park – Baseball/Softball (practices only)
- Freeman Park – Baseball/Softball (practices only)
- Johnson Park – Soccer/Football (practices only), Adult Rugby and Badminton (practices only)
- Rowley Park – Football, Basketball, Baseball, and Softball (practices only)

No Los Angeles County School District fields are utilized by the City nor by any sports organization within Gardena.

Youth Sports—League Play

While enrollment among the various groups fluctuates each year, since COVID, as in many local communities, most groups have seen a decline in enrollment.

Rush Gymnasium Open Play

Starting in spring 2023, open play is available to all ages at the Rush Gymnasium every Tuesday and Thursday from 3:00 p.m.-8:00 p.m.

Adult Sports

Due to COVID the City was forced to cancel all adult sports activities. By the summer of 2021, Recreation and Human Services was reinstating the adult sports program. Adult Co-ed Slow Pitch Softball play has seen consistent numbers since that date with player registration between 33-56 per season. The high was fall of 2021 with 56 and the low was spring of 2022 with 33.

The City also offers Pickleball and Tai Chi.

Sports Program Preliminary Recommendations:

- Continue cooperative efforts with youth sports organizations to provide safe and accessible programs that develop sports skills, good sportsmanship and provide youth experiences in organized sports such as the popular baseball, softball, basketball, and football.
- Growing interest in other sports, including cricket, badminton, rugby, and lacrosse, should be monitored and if needed, new programming developed.
- Explore options to develop agreements with the County of Los Angeles, Hermosa Beach City Unified School District, Beach Cities Health District, neighboring city municipalities and local non-profits. Agreements could be developed for a wide variety of purposes such as joint use of facilities and programming.
- City and School District should explore all possibilities to trade existing facilities and or land providing there is public benefits gained by both agencies.
- City and School District should explore the development of joint school/park facilities within new school and/or park sites.
- Develop cooperative efforts with youth sports organizations to provide safe and accessible programs that develop sports skills, good sportsmanship and provide youth experiences in organized sports such as the popular baseball, softball, basketball, and football.

Outdoor Recreation Programs

The City of Gardena is a fully developed community with less than two percent of vacant land. A major portion of vacant land or open space is Willows Wetland, a federally protected 8-acre unique natural area with native flora and fauna located north of commercial development at the northwest corner of Vermont Avenue and Artesia Boulevard.

In April 1999, the City of Gardena adopted *A Plan for the Gardena Willows Wetland*. The purpose of this plan was to provide a comprehensive guide for preserving and enhancing the Willows Wetland's environmental integrity and quality, while providing a place where the community can experience, appreciate, and enjoy the natural environment.

The 2006 Recreation and Human Services Element Conservation Plan includes the goal of preserving and enhancing the Willows Wetland and protecting its natural resources. Four implementation policies are detailed in the Conservation Plan. These are:

- Foster the implementation of the recommendations identified in *A Plan for the Gardena Willows Wetland*.
- Foster environmental education, passive recreation, and volunteer programs that are compatible with the protection and enhancement of the wetland.
- Encourage community involvement in preserving the wetland.
- Promote collaboration with regional or State agencies in protecting the biological resources of the Willows Wetland.

The facility is supported by The Friends of Gardena Willows Wetland Preserve who have adopted several objectives including:

- *To restore, maintain, and enhance the Gardena Willows Wetland Preserve's unique natural habitat and native flora and fauna for the enjoyment, enrichment, and education of present and future generations of all ages.*
- *To conduct restoration and enhancement programs including water conservation, the reintroduction of native species, and the removal of non-native species.*
- *To design and implement educational programs for the community, including school tours, regarding the natural history of the South Bay and the Gardena Willows Wetland Preserve.*
- *To provide environmental, scientific, and educational opportunities to the community.*

Situated within the backdrop and easy access of the Pacific Ocean and within one to two hours of the San Gabriel and San Bernadino Mountains, the City of Gardena has ample opportunity both inside and outside city boundaries to strengthen outdoor recreation experiences by connecting children and families with nature and open space.

Both the short-term and long-term impacts of COVID resulted in many social changes such as an increased need for outdoor recreation, as many families saw changing lifestyles, working and schooling from home. Nationwide, most public parks experienced record attendance during the pandemic and current trends indicate that those use patterns will continue into the immediate future.

Outdoor recreation related programs and activities will serve to increase the resident's appreciation of natural resources and foster a sense of stewardship within their own park system. The City of Gardena, with the Friends of the Willows as a focal point, has a unique opportunity to develop and offer a variety of outdoor recreation programming.

Outdoor recreation related programs and activities will serve to increase the resident's appreciation of natural resources and foster a sense of stewardship within their own park system. Continued research by the Data Resource Center for Child and Adolescent Health finds that children who experience the natural world are healthier in every major way, intellectually, emotionally, socially, and physically. A report by the Henry J. Kaiser Family foundation found that electronic media use by young adults and youth has increased to 7 ½ hours a day or more than 50 hours a week.

Outdoor Recreation Preliminary Recommendations:

- Collaborate with Friends of Willows to provide new outdoor recreational programming that is based on health, fitness, and educational opportunities provided by the wetlands.
- Expand passive and active outdoor programs for families, neighborhood-oriented walks, foot races, or bicycle events to provide safe venues for physical activity.
- Collaborate with Los Angeles County School District, local colleges and universities, Audubon Society, and other organizations to offer programs in environmental education and interpretation to develop stewardship for natural resources and instill an appreciation for the natural environment.
- Develop low-cost/free programs for families in neighborhood parks to encourage children and families to get out and play.
- Develop a *Park Steward* Volunteer Program where individuals can provide environmental enhancements, clean-up, and coordinate other volunteers within local parks.
- Continue to Implement Safe Routes to Schools and Parks via a joint Los Angeles County School District project to encourage walking to and from schools and parks. One goal of the program is to increase the outdoor activities of families by providing incentives for non-automotive transportation and providing additional opportunities for physical exercise.

Senior Programs

Currently Gardena offers senior recreation programming for those ages 50 and above at the Ken Nakaoka Community Center. With the demolition of Primm Pool, the City is expanding both the pool and developing a new Senior Center. This facility, with expected Fall 2024 completion, will be operated as the primary Senior Center with more classes and activities. The Nakaoka Senior activities will continue to exist since seniors are not able to have meals at the new center. The City currently provides numerous activities, lectures, health information, and an extensive social services support program.

Our Nation is aging, as is the state and the City of Gardena. The U.S. Census Bureau shows the nation's 65-and-older population has grown rapidly since 2010, driven by the aging of Baby Boomers born between 1946 and 1964. In 2019, there were 54.1 million people aged 65 and older, up from 39.6 million in 2009. The population is projected to reach 80.8 million by 2040 and 94.7 million by 2060. The growth of this population contributed to an increase in the national median age from 37.2 years in 2010 to 38.8 in 2022. By 2030, it is projected to be well over 39 years.

Gardena currently holds an older population with a median age in 2022 of 39.6, increasing from 37.9 in 2010. Comparatively Los Angeles County had a median age of 34.8 in 2010, 36.4 in 2022 and projected age of 37.7 by 2027.

The percentage of those aged 60 and older within Gardena continues to grow at a rate faster than the remaining age groups. Those 65 and over followed general population trends with significant increases during the 2010-to-2022-time frame. The greatest growth in population by age group was evidenced among City residents 70 to 74 years, increasing 37.5% and those 65 to 69 years, increasing 32.5%. The U.S. Census Bureau projects that California's population for those over 60 will increase by 130% by 2030. The high rate of growth in this age group in Gardena is an indication that senior services and facilities will be in high demand over the next several decades.

Recognizing that California's over-65 population is projected to grow to 8.6 million by 2030, Governor Gavin Newsom in June 2019, issued an executive order calling for the creation of a Master Plan for Aging. This Master Plan is intended to serve as a blueprint that can be used by state government, local communities, private organizations, and philanthropy to build environments that promote an age friendly California.

The Master Plan for Aging outlines five bold goals and twenty-three strategies to build a California for all ages by 2030. It also includes a Data Dashboard on Aging to measure progress and a Local Playbook to drive partnerships that help meet these goals. The goals are:

- Housing for All Stages & Ages--We will live where we choose as we age in communities that are age, disability, and dementia-friendly and climate- and disaster-ready.
- Health Reimagined--We will have access to the services we need to live at home in our communities and to optimize our health and quality of life.

- Inclusion & Equity, Not Isolation--We will have lifelong opportunities for work, volunteering, engagement, and leadership and will be protected from isolation, discrimination, abuse, neglect, and exploitation.
- Caregiving That Works--We will be prepared for and supported through the rewards and challenges of caring for aging loved ones.
- Affording Aging--We will have economic security for as long as we live.

When COVID reached Gardena and California, the virus disproportionately harmed older and other at-risk adults, and it strained aging and disability services. Older adults experienced unprecedented death rates – particularly among Latino, Black, and Asian Pacific Islander communities and those living in nursing homes. Intensified social isolation and ageism have been especially burdensome. At the same time many public senior programming efforts were shut down with the intent of stopping the spread of COVID.

Through these past two years with the impacts of COVID, several key priorities have risen to the top of needs facing senior populations. Locally, these are:

- Affordable senior housing, including support for aging in place.
- Affordable and accessible transportation.
- Affordable and accessible healthcare.
- Access to finance and legal services.
- Creation and support of a resource center for aging and disabilities.
- Opportunities for education, employment, volunteerism, and social support.
- Ongoing involvement in the development of Senior Services within the community.
- Promote inter-generational programs.

Senior Citizens Day Care Center

This program, currently closed since COVID but reopening November 2023, helped to improve the quality of life of participants by preventing premature or inappropriate institutionalization. The Center provided supportive socialization and rehabilitation programs for older adults who were experiencing memory loss, dementia, or Alzheimer’s disease. Respite and support services to caregivers and family members were also provided. Eligible individuals included clients who are frail, disabled, and/or memory impaired. Fees were based on a sliding scale based on client’s income level. Transportation was available for residents of Gardena via GTrans Special Transit Services.

Prior to closure from COVID the City had 18 seniors enrolled in the program.

Home Delivered Meals

The Elderly Nutrition Program offers home delivered meals to isolated and homebound seniors. Participants receive a hot meal daily, weekend meals, informational material on good nutrition, and are monitored on a regular basis to determine changing needs. The number of home delivered meals has fluctuated over the past three years. Total delivered for each fiscal year were:

- Fiscal Year 20-21: 43,506 meals for 181 clients
- Fiscal Year 21-22: 49,259 for 199 clients
- Fiscal Year 22-23: 35,079 meals for 153 clients

Lunches

Lunches are served Monday through Friday at four area locations, and provide a hot, nutritious meal, for a small-suggested donation. Social and recreation programs are planned along with the meals. Meal locations are:

- Ken Nakaoka Community Center—Monday thru Friday
- Senior Citizens Day Care Center--for registered clients only Monday thru Friday
- Rowley Park Senior Club--lunch served at 12:00 noon Monday and Wednesday only.
- Lawndale Senior Citizens Center—Monday thru Friday

The number of senior lunches served over the past three years are:

- Fiscal Year 20-21: 98,898 meals for 698 seniors
- Fiscal Year 21-22: 111,375 meals to 712 seniors
- Fiscal Year 22-23: 21,052 meals for 816 seniors

The City generally offers between 6-15 programs with an additional 5-10 services that are provided. In total approximately 1,700-2,000 seniors participate. Current programs and activities offered by City and other partners include:

- Legal Service-Bet Tzedek provides free legal services to low-income elderly residents of Los Angeles County. These services are provided at various community centers on a monthly basis, by appointment only.
- Special programs, lectures, and seminars such as Protect Yourself from Fraud.
- Walking Club—Weekly at Willow Wetland Preserve (75 members).
- Candlelight Dinners—Such as A Night in Paradise.
- Fun in the Sun Senior Day.
- Senior Exercise Class—Four days a week at Rush Gym.
- Senior Showtime: Movies shown in the NCC Auditorium.
- Technology classes such as the Senior Cell Phone Class.
- Blood Pressure check.
- Bingo.
- Enrichment classes such as Art and Gardening.
- Excursions and Trips.

Senior Services Commission

This Commission is comprised of five members who are appointed by the Mayor and City Council. Their role is to advise the City on important programs and policy decisions related to the needs and concerns of the City's older adult population. The Commission coordinates its activities with those of the Gardena Valley Affiliated Committee on Aging.

Senior Programs Preliminary Recommendations:

- The Department should complete a staffing study to evaluate and fund the staffing needs for the new Senior Center, along with continue full operation of the Ken Nakaoka Community Center.
- Work with Los Angeles County and other public agencies to determine the needs of older adults in the Gardena area and initiate planning to take a more active role in programming and service needs for older adults.
- Evaluate the opportunities to work with local colleges/universities to provide technical support.

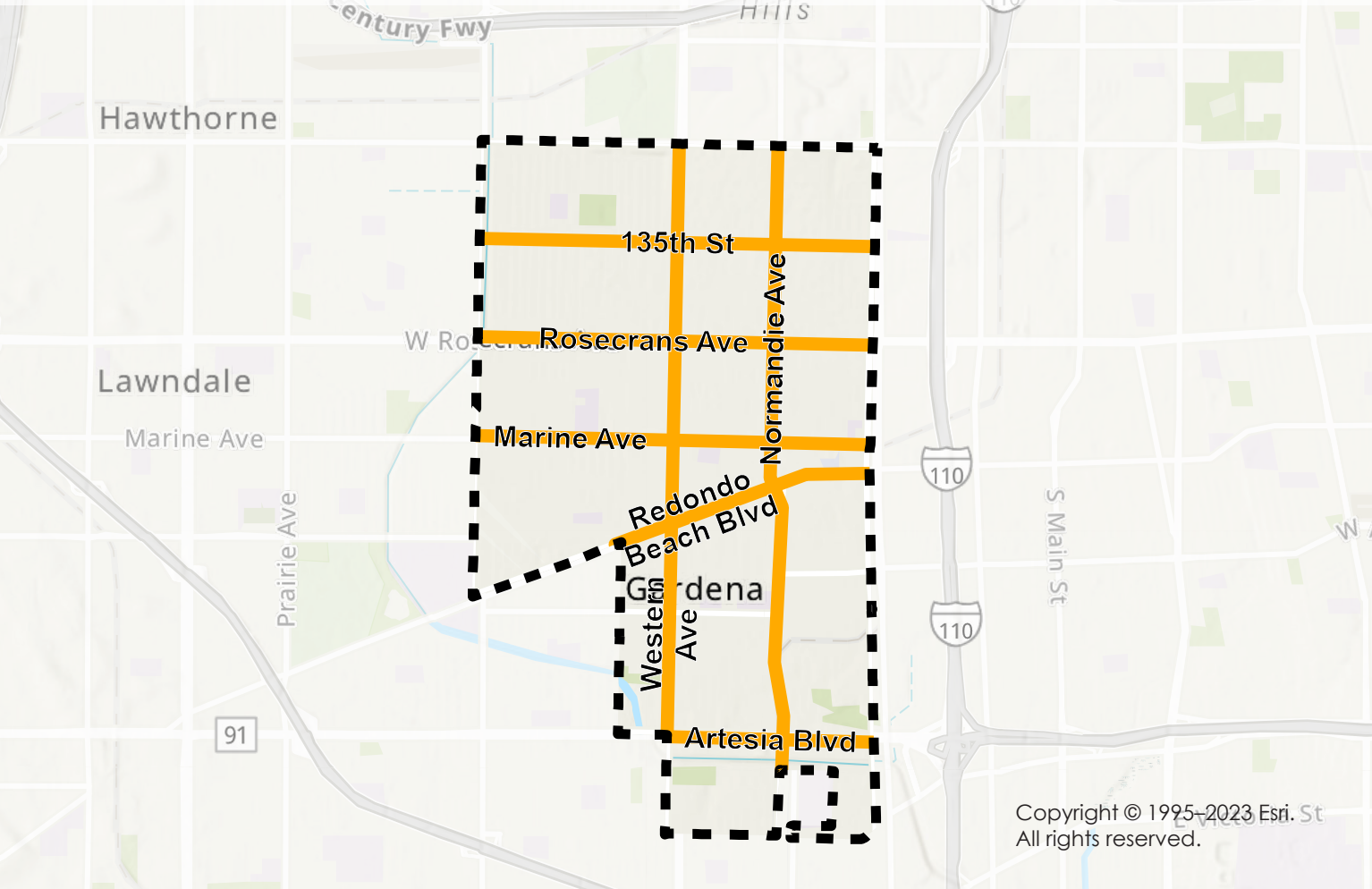
City of Gardena Demographics

Regional Setting

Gardena is a city in Los Angeles County in California's Southern Region. The city is approximately 6 square miles.

Gardena is located north of the San Diego (405) Freeway, south of the Century (105) Freeway, west of the Harbor (110) Freeway, and east of the 91 Freeway.

Gardena is bounded by the unincorporated area of West Athens on the north, West Rancho Dominguez to the east, and Carson on the east and south, Torrance to the southwest, and Lawndale and Hawthorne to the west.



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Local Setting

In September of 1930 the City of Gardena was officially incorporated. Gardena started as a small farming community that combined Gardena, Moneta, and Strawberry Park into a Municipal Corporation, Sixth Class City.

Within the Gardena City boundaries, several significant man-made features help shape neighborhoods and provide both opportunities and constraints with respect to parks, recreation, transportation, and community life. These include:

- 1 – South Western Avenue Major Arterial
- 2 – Casinos (Lucky Lady and Hustler)
- 3 – Dominguez Channel
- 4 – Gardena Willows Wetland Preserve



Photo by Google Maps

Western Avenue



Photo by thehustlercasino.com

The Hustler Casino

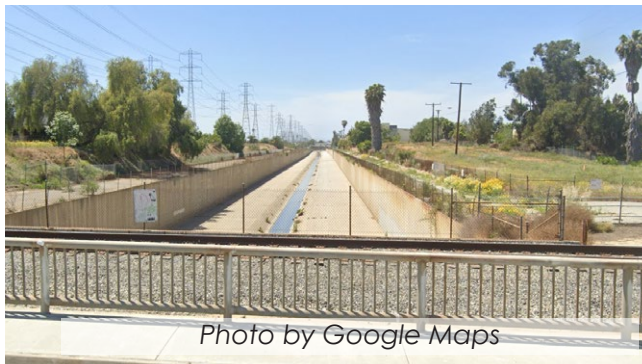


Photo by Google Maps

Dominguez Channel



Photo by RJM Design Group

Gardena Willows Wetland Preserve

Who is Gardena? A Community Profile

Understanding the demographic context of a community can create a valuable perspective for understanding current parks and recreation facility and program requirements and, moreover, for anticipating parks and recreation facility and program needs in the future. A complete demographics analysis was developed utilizing the Environmental Systems Research Institute (Esri) 2022 demographic datasets. This information helps to gain a deeper understanding of “whom” the community is and “where” they are geographically. Exhibit 1 illustrates the 2022 demographic profile for the City of Gardena, California.

Five community characteristics have been prepared as a foundation for understanding City residents' recreation needs and preferences now and in the future.

- Population estimates and forecasts;
- Age distribution;
- Household information;
- Household income; and
- Tapestry lifemode groups.

POPULATION ESTIMATES AND FORECASTS

Exhibit 2, Gardena Population Growth, presents a twenty-two year history of population growth within the area. As the data illustrates, the population during the 2010 to 2022 time frame has increased from 58,829 residents to 61,543 residents, reflecting a 4.6% change, with approximately 226 new residents documented each year on average.

The Esri forecast data set indicates this trend will slow down and the population will decrease to 61,068 by 2027. The five year growth from 2022 to 2027 of -0.8% is above the County’s average growth rate of -1.9% change from 2022 to 2027. The forecasted population for the City of Gardena in 2032 is 61,794.

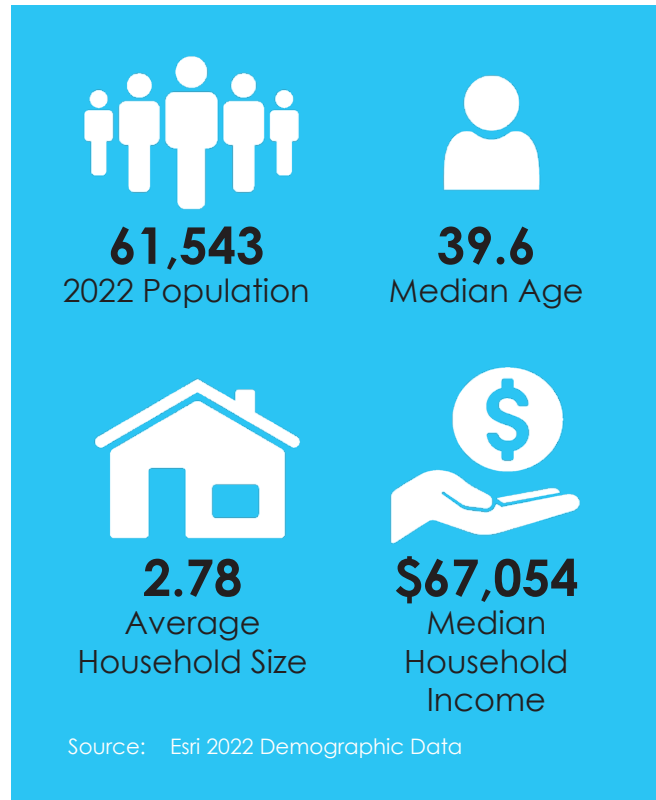


Exhibit 1: 2022 Gardena Demographic Profile

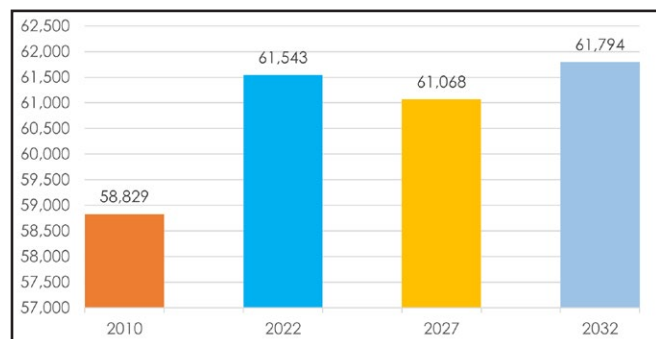


Exhibit 2: Gardena Population Growth (2010-2032)

AGE DISTRIBUTION

The City of Gardena's Age Profile as illustrated in Exhibit 3, shows 38% of the population to be classified in the 35-64 category. The under 19 years of age segment (23%) is slightly lower than the Los Angeles County population (24.6%). The 65 and over category is only 18% which is slightly higher than the L.A. County average of 14.5%. The City of Gardena's Age Profile shows a high proportion of residents in the 35-64 age range.

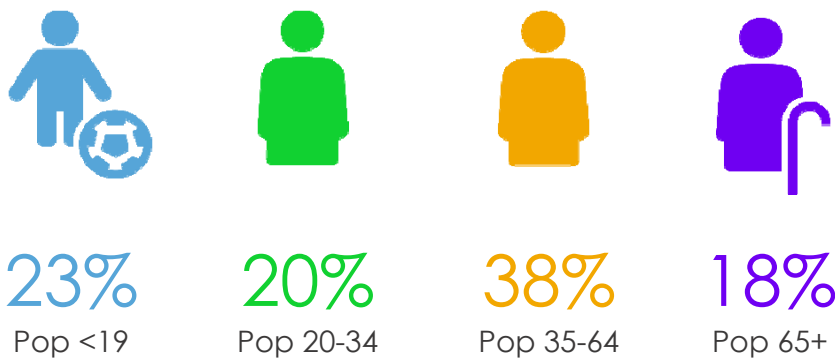


Exhibit 3: 2022 Gardena Age Profile

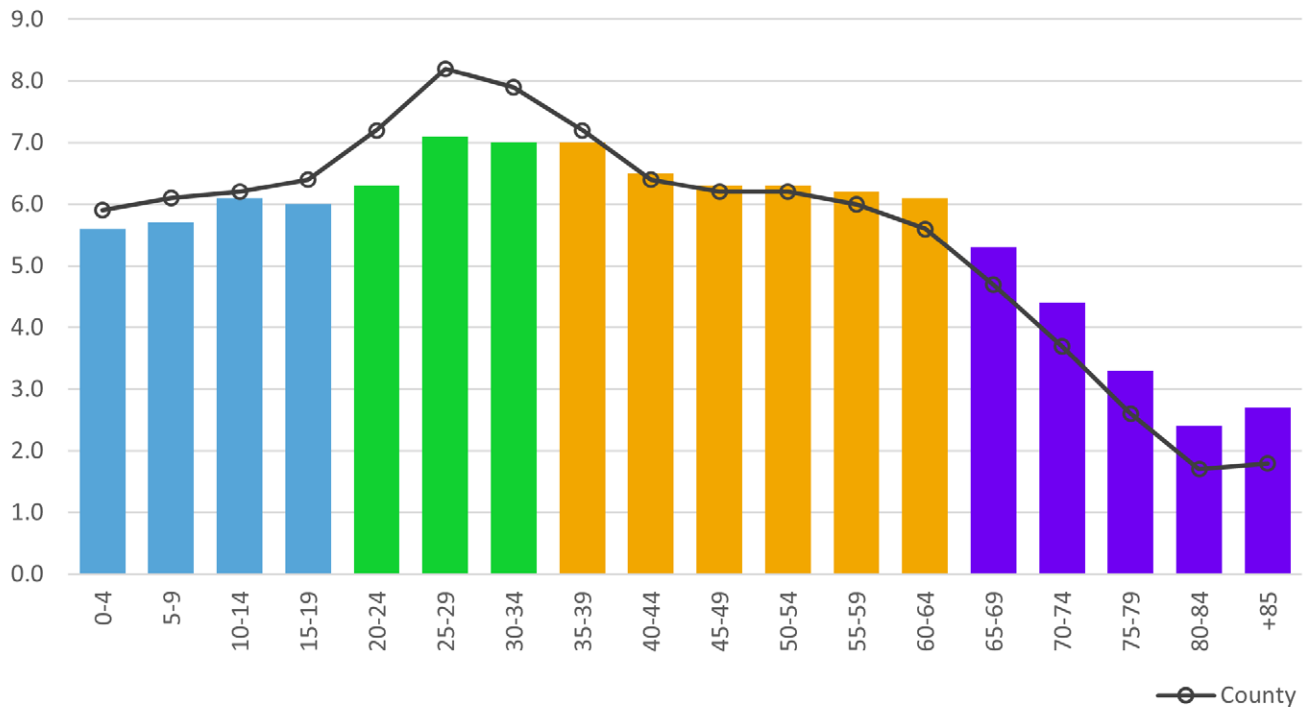


Exhibit 3.1: 2022 Gardena Age Profile compared to Los Angeles County Age Profile

Exhibit 4, Population Change by Age Group, presents a twelve year pattern of population growth followed by a projected population decline by age group within the City.

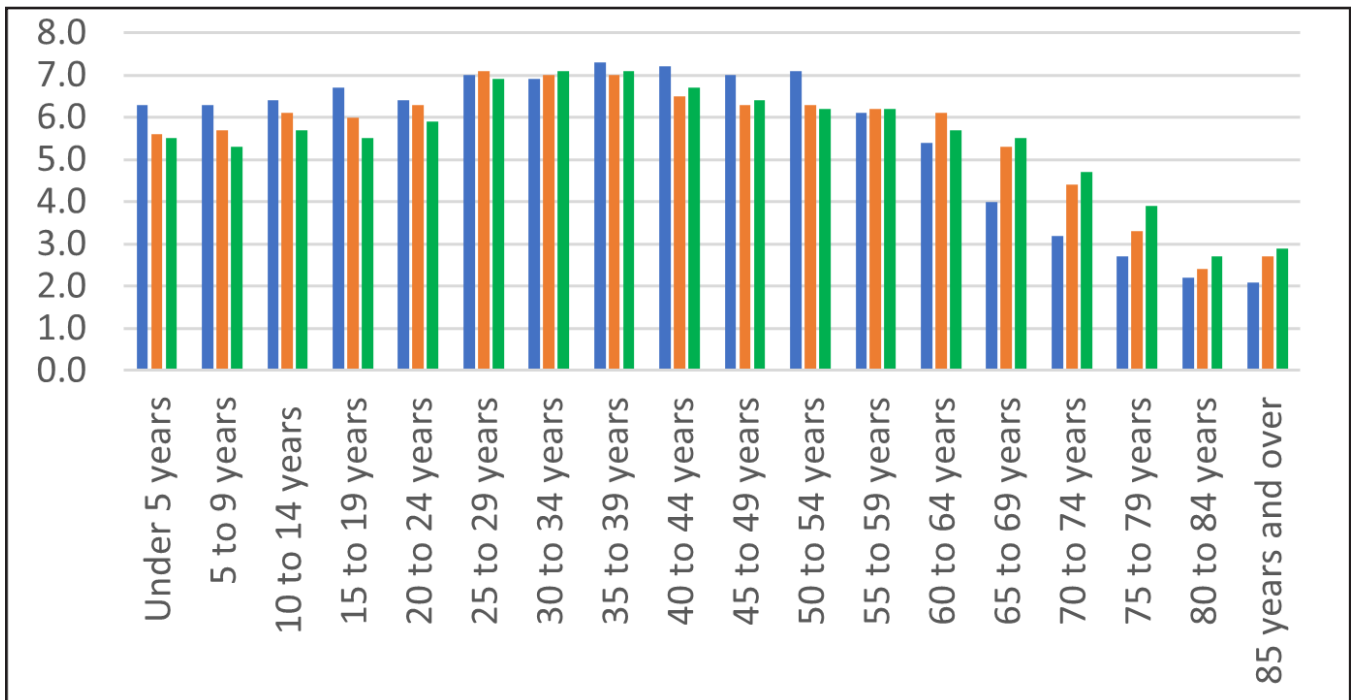


Exhibit 4: Population Change by Age Group (2010, 2022, 2027)

Exhibit 4 reveals:

- During the 2010 to 2022 time frame, the *greatest growth* in population by age group was evidenced among City residents 70 to 74 years (37.5%) and those 65 to 69 years (32.5%).
- During the 2010 to 2022 time frame, the *greatest decline* in population by age group was evidenced among City residents under 50 to 54 years of age (-11.3%), and those under 5 years (-11.1%).
- The overall population under 19 has been declining and will continue to decline which is similar to the County trend.
- In 2010, 35% of Gardena households had children under the age of 18.
- As a result of the changes in the distribution by age, the median age in the City grew from 37.9 years in 2010 to 39.6 years in 2022.

HOUSEHOLD INFORMATION

Average household size in the City of Gardena remained stable from 2.82 persons per household in 2010 to 2.78 persons per household in 2022. This is slightly lower than the County average of 2.86 persons per household in 2022.

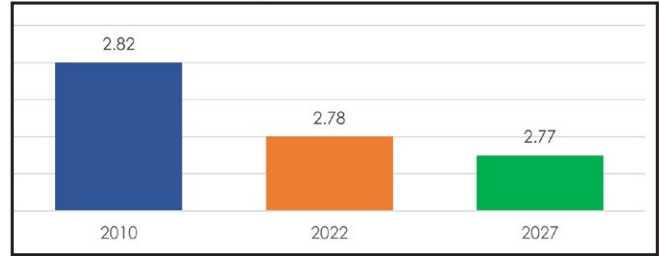


Exhibit 5: Average Household Size

Exhibit 6 illustrates housing unit growth in the City during the 2010 to 2022 time frame occurred at a 5.3% rate, with approximately 95 new housing units documented each year on average. The City housing unit growth during the 2010-2022 time frame was above the rate in the County which was 4.9%.

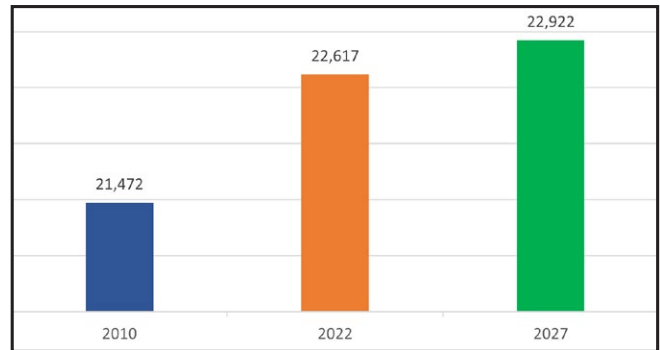


Exhibit 6: Number of Housing Units in Gardena

Exhibit 7 shows the City's proportion of homeowners has been similar over the past twelve-year period from 45.9% to 47.8%. Renters have decreased (-3%) during the 2010 to 2022 time frame.

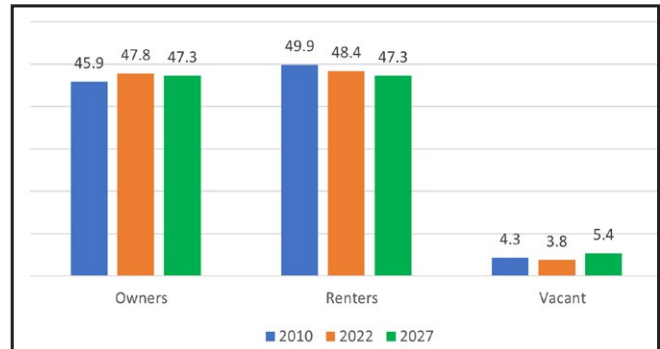


Exhibit 7: % of Owners, Renters, and Vacant Housing Units

The median housing value of \$594,366 in the City of Gardena in 2022 is below the median value of \$690,931 in Los Angeles County.

HOUSEHOLD INCOME

The median household income in 2022 for the city was \$67,054. The median household income for the County of Los Angeles was \$81,426 in 2022. The median income figure in the City is projected to grow 24.2% during the 2022 to 2027 period compared to 23.3% for the County.

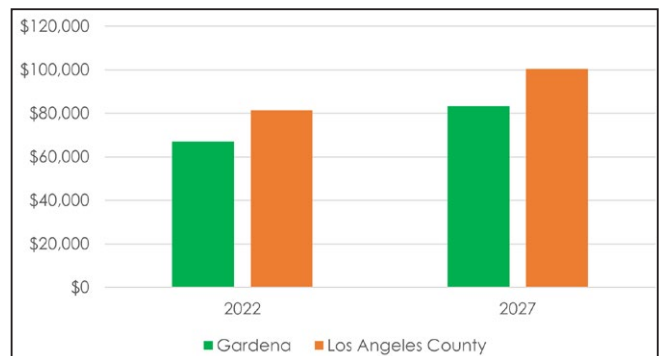
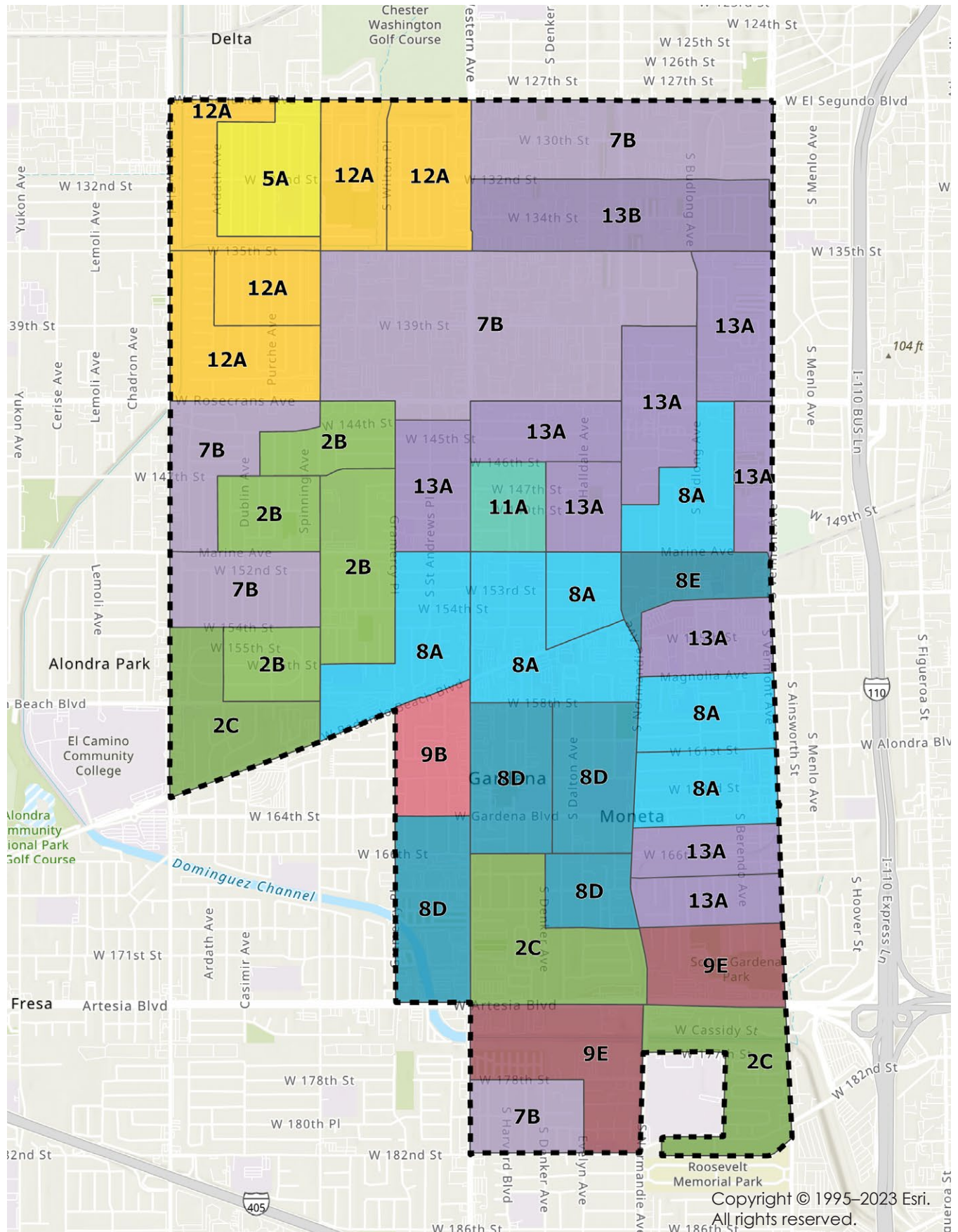


Exhibit 8: Median Household Income in Gardena compared to Los Angeles County

TAPESTRY SEGMENTS



The 68-segment Tapestry Segmentation system classifies U.S. neighborhoods based on their socioeconomic and demographic compositions.

Households in the City of Gardena fall into one of eight Tapestry Lifemode groups:

13	<p>13A % of Gardena HH: 26.57% Average Age: 32.8 Average Income: \$46K</p>	<p>Typically married couples with children. Mostly Spanish speaking households. Generally interested in active recreation including soccer. Enjoy music and theme parks. May use public transportation.</p>
8	<p>8A, 8D % of Gardena HH: 26.23% Average Age: 38.5 Average Income: \$59.5K</p>	<p>Mix of single/married, renters/homeowners, and middle/working class. Majority attended college. Internet savvy. Commonly interested in night life and outdoor activities.</p>
2	<p>2B, 2C % of Gardena HH: 15.48% Average Age: 42.7 Average Income: \$93K</p>	<p>Typically prosperous married couples living in older suburban neighborhoods or townhomes. Majority are homeowners. Many with older children. Generally interested in active recreation and fitness.</p>
12	<p>12A % of Gardena HH: 10.69% Average Age: 39.6 Average Income: \$43K</p>	<p>Typically residents who grew up close to home. Close knit community. Young families. Older children, living at home is common. Focus on religion and strong character values.</p>
7	<p>7B % of Gardena HH: 9.48% Average Age: 34 Average Income: \$62K</p>	<p>Typically young married couples with children and grandparents who are multi-generational and multilingual. Focus on children activities. Generally interested in sports and water/theme parks. Comfortable with technology.</p>
9	<p>9B, 9E % of Gardena HH: 7.03% Average Age: 53.1 Average Income: \$57K</p>	<p>Married empty nesters or singles living alone. Have cell phones and land lines. Tend to have regular exercise routine and are health conscience.</p>

The remaining two Tapestry Lifemode groups that have less than 3% of the resident population include:

11	<p>11A % of Gardena HH: 2.41% Average Age: 35.3 Average Income: \$45K</p>	<p>5</p>	<p>5A % of Gardena HH: 2.11% Average Age: 48 Average Income: \$75K</p>
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CPSCs Participation

Demand Analysis Considering Participation Rates							
Activity	Per Capita Participation Per Year	Peak Day Demand (Participants)	Turnovers Per Day	Design Standard for Facility	Number of Facilities Demanded	Facility Need Ratio	
Tennis	8.91	250	8.0	4 players / court	7.8	1/ 7,863	pop.
Pickleball	8.02	225	16.0	4 players / court	7.0	1/ 8,735	pop.
Basketball (Outdoor)	14.47	2,440	8.0	4 players / court	9.5	1/ 6,457	pop.

Current Surplus / Deficit

Surplus Deficit Analysis Considering Demand from All Sports Organization Players Using City Facilities

Facility	Local Facility Need Ratio		2022 Current Needs	Existing City Facilities	Surplus / Deficit (-)	School Facilities Available	Other Facilities Available*	Total Facilities Available	Total Surplus/ Deficit(-)
Baseball									
Organized Youth	1/	15,386 pop.	4.0	9.0	5.0	0.0	0.0	9.0	5.0
Basketball (indoor)	1/	34,475 pop.	1.8	3.0	1.2	0.0	0.0	3	1.2
Football									
Organized Youth	1/	20,514 pop.	3.0	0.0	-3.0	0.0	0.0	0	-3.0
Soccer									
Organized Youth	1/	61,543 pop.	1.0	1.0	0.0	0.0	0.0	1	0.0
Futsal	1/	22,379 pop.	2.8	2.0	-0.8	0.0	0.0	2	-0.8

Surplus Deficit Analysis Considering Demand Only from Sports Organization Players who are City Residents

Facility	Local Facility Need Ratio		2022 Current Needs	Existing City Facilities	Surplus / Deficit (-)	School Facilities Available	Other Facilities Available*	Total Facilities Available	Total Surplus/ Deficit(-)
Baseball									
Organized Youth	1/	21,670 pop.	2.8	9.0	6.2	0.0	0.0	9	6.2
Basketball	1/	57,107 pop.	1.1	3.0	1.9	0.0	0.0	3	1.9
Football									
Organized Youth	1/	39,451 pop.	1.6	0.0	-1.6	0.0	0.0	0	-1.6
Soccer									
Organized Youth	1/	116,119 pop.	0.5	1.0	0.5	0.0	0.0	1	0.5
Futsal	1/	32,434 pop.	1.9	2.0	0.1	0.0	0.0	2	0.1

Future Surplus / Deficit

Surplus Deficit Analysis Considering Demand from All Sports Organization Players Using City Facilities

Facility	Local Facility Need Ratio		2032 Future Needs	Existing City Facilities	Surplus / Deficit (-)	School Facilities Available	Other Facilities Available*	Total Facilities Available	Total Surplus/ Deficit(-)
Baseball									
Organized Youth	1/ 15,386	pop.	4.0	9.0	5.0	0.0	0.0	9	5.0
Basketball (Indoor)	1/ 34,475	pop.	1.8	3.0	1.2	0.0	0.0	3	1.2
Football									
Organized Youth	1/ 20,514	pop.	3.0	0.0	-3.0	0.0	0.0	0	-3.0
Soccer									
Organized Youth	1/ 61,543	pop.	1.0	1.0	0.0	0.0	0.0	1	0.0
Futsal	1/ 22,379	pop.	2.8	2.0	-0.8	0.0	0.0	2	-0.8

Surplus Deficit Analysis Considering Demand Only from Sports Organization Players who are City Residents

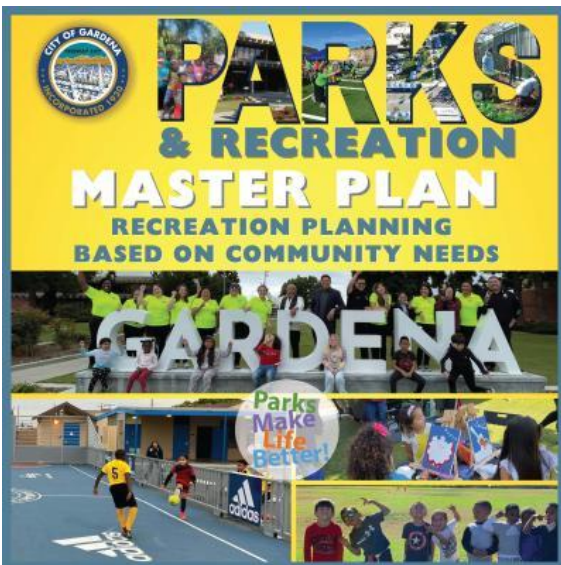
Facility	Local Facility Need Ratio		2032 Future Needs	Existing City Facilities	Surplus / Deficit (-)	School Facilities Available	Other Facilities Available*	Total Facilities Available	Total Surplus/ Deficit(-)
Baseball									
Organized Youth	1/ 21,670	pop.	2.9	9.0	6.1	0.0	0.0	9	6.1
Basketball	1/ 57,107	pop.	1.1	3.0	1.9	0.0	0.0	3	1.9
Football									
Organized Youth	1/ 39,451	pop.	1.6	0.0	-1.6	0.0	0.0	0	-1.6
Soccer									
Organized Youth	1/ 116,119	pop.	0.5	1.0	0.5	0.0	0.0	1	0.5
Futsal	1/ 32,434	pop.	1.9	2.0	0.1	0.0	0.0	2	0.1



City of Gardena - Parks and Recreation Master Plan

Recreation Planning based on Local Community Needs

RJM Design Group Inc.
Draft



Parks & Recreation Master Plan

The [City of Gardena](#) in collaboration with [RJM Design Group](#), is conducting a Parks and Recreation Master Plan. This Master Plan will guide parks and recreation development now and in the future.

Explore this site to learn more about the City of Gardena's Parks and

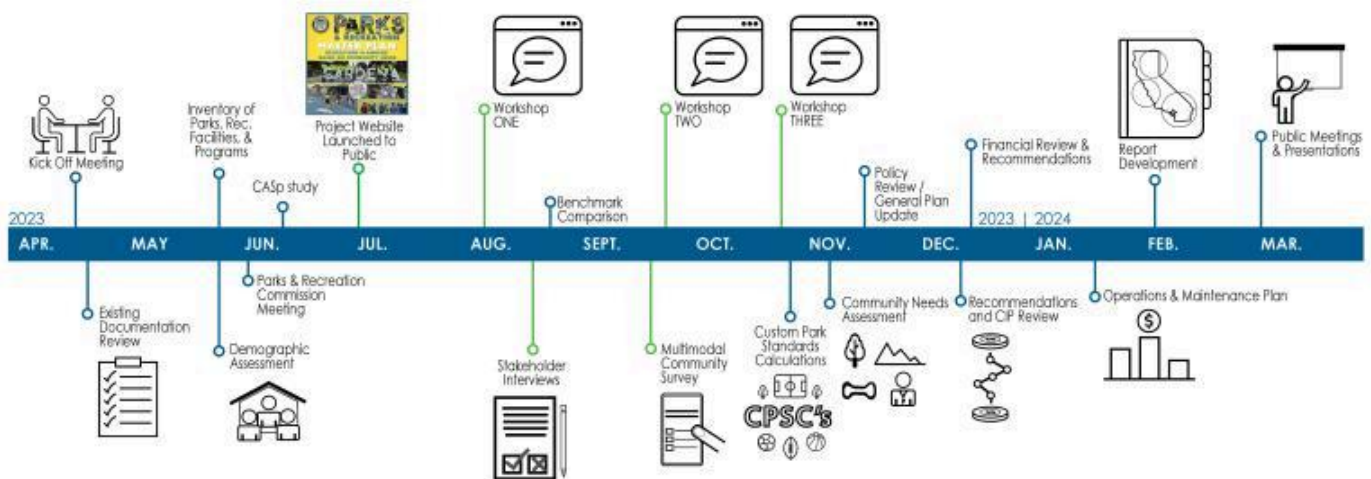
City of Gardena

Parks and Recreation Master Plan

Recreation Master Plan and how you can get involved in the community engagement process. This project website is updated regularly throughout the project duration, so community members can check back frequently to stay up to date with the Parks & Recreation Master Plan project.

Timeline

The Gardena Parks and Recreation Master Plan is anticipated to be completed in 2024.



What is a Master Plan?

How do I get involved?



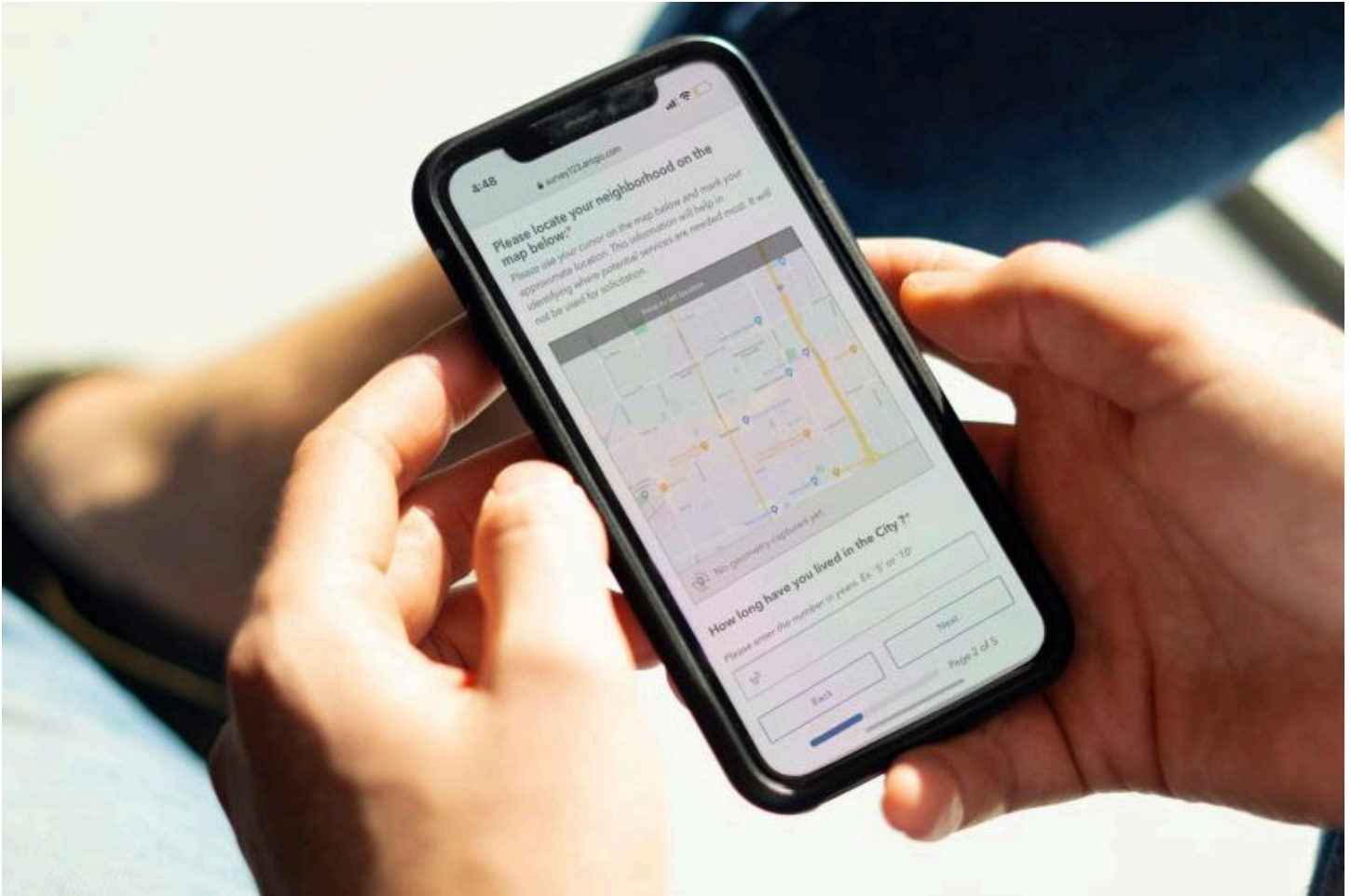
What is a Master Plan?

A Parks and Recreation Master Plan identifies **local community needs** and offers specific **recommendations** to support the local community.



What is the Purpose of a Master Plan?

The Parks and Recreation Master Plan will serve as a guide for the **management** and **development** of parks, recreation facilities, and programs.



How do I get Involved?

Community engagement and feedback is paramount to the success of this project. Please scroll down for more information on how how to voice your **valuable opinion**.



Community Voice

Critical to the development of any project is close coordination through information sharing with the community. Throughout the process, City Staff and RJM will be collecting data through multiple surveys and in

person meetings.

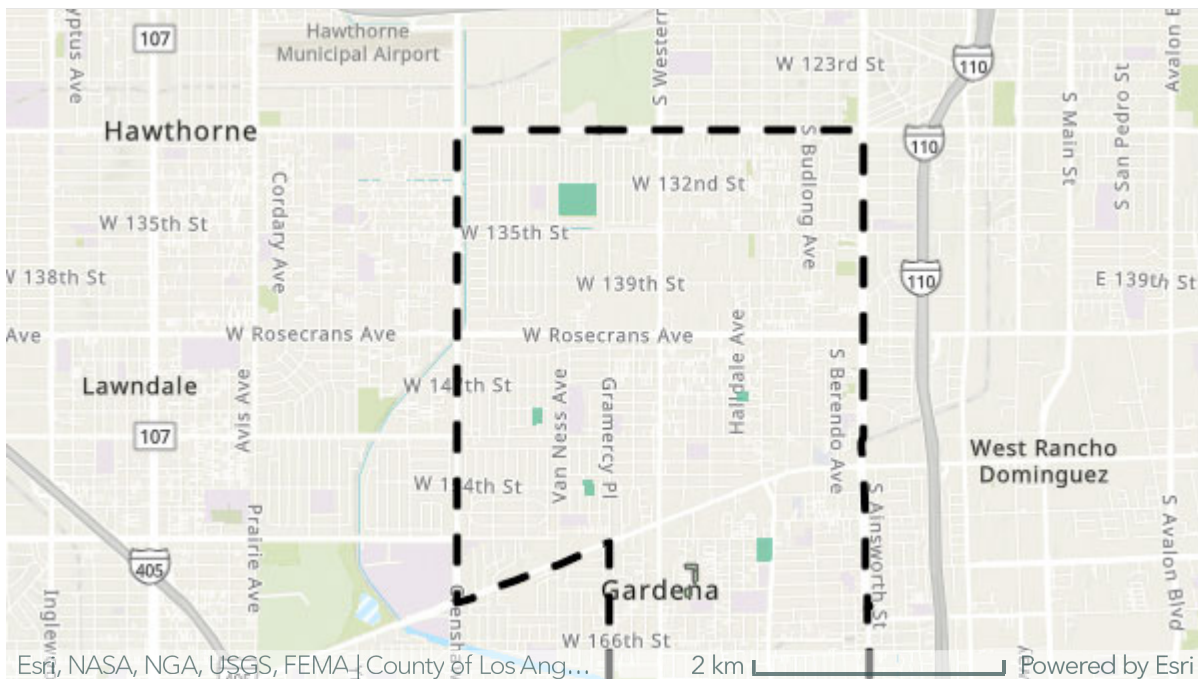
As this project progresses so will the information presented on this website. If you miss a survey don't worry. At any point in time, you can provide direct feedback to the project team via the "feedback" button below. This feedback will be reviewed and considered by the team on a regular basis.

[Feedback](#)

City of Gardena Parks

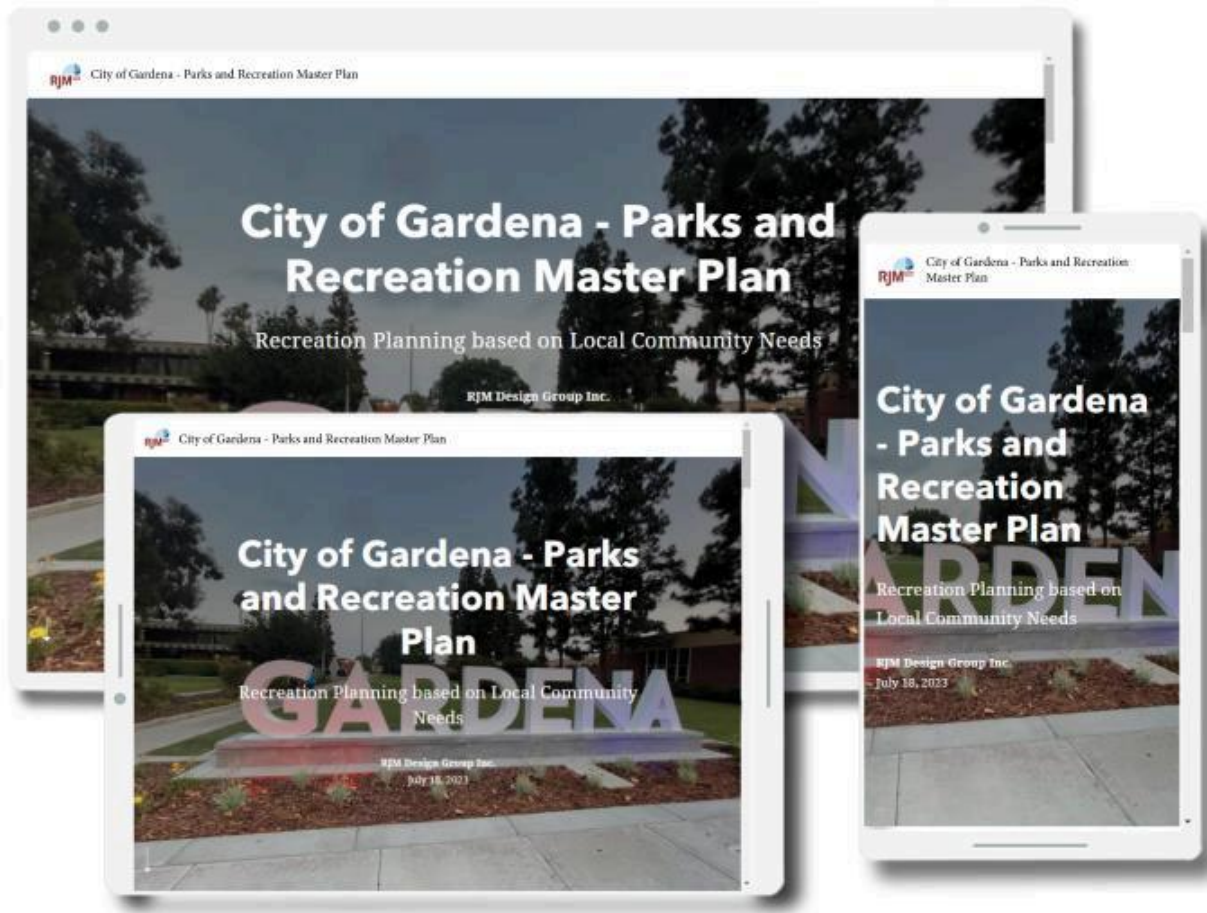
The City of Gardena owns and maintains eight (8) parks, two gymnasiums, a large-two story community center, a swimming pool, and the Gardena Willows Wetland Preserve.

Explore the map below to see what parks and recreation facilities exist throughout the city.



City of Gardena Parks and Recreation Facilities

Project Updates



May-June 2023

Background research and data collection begin! Our team is working on collecting previous planning materials and establishing lines of coordination with the City of Gardena's team members and setting up the project website for community outreach and information sharing.

July 2023

The Gardena Parks and Recreation Master Plan project website is launched!

August 2023

Mark your calendar! The City of Gardena will host three (3) in-person meetings to encourage and receive community input regarding the City's parks and recreation desires.

Workshop #1:

Thursday, August 17 at 6:00PM to 8:00PM
at Nakaoka Community Center Auditorium
1670 W. 162nd Street, Gardena, CA

Workshop #2:

Wednesday, September 27 at 6:00PM to 8:00PM
at Nakaoka Community Center Auditorium
1670 W. 162nd Street, Gardena, CA

Workshop #3:

Thursday, October 26 at 6:00PM to 8:00PM
at Rowley Park
13220 Van Ness Avenue, Gardena, CA

We enjoyed seeing everyone at Workshop #1 held in person at the Nakaoka Community Center on Thursday, August 17 from 6:00 PM to 8:00 PM. The online survey will be open for two weeks from August 18 to September 3. **To take the survey, click the button below.** Also, if you were unable to attend Workshop #1, the presentation video is available below. The Workshop #1 Survey results will be posted in the 'Results' section of this website.

Survey #1 Closed



Gardena Workshop #1 Commencement Video

September 2023

Starting September 25, Probolsky Research will be conducting a multimodal survey of residents by phone, email, and text messages. If you are randomly selected, please participate in this important survey for the Parks and Recreation Master Plan.

Workshop #2 will be held in person at the Nakaoka Community Center Auditorium on Wednesday, September 27 at 6:00 PM to 8:00 PM. Workshop #2 Survey will open for 2 weeks from September 27 at 8PM through October 12. **To take the survey, click the button below.** Also, if you were unable to attend Workshop #2, the presentation video is available below starting on September 28. The Workshop #2 Survey results will be posted in the 'Results' section of this website.

Survey #2 Closed

Gardena Workshop #2 Commencement Video



Workshop #2 Commencement Video

October 2023

The Workshop #1 survey results are in! Please scroll down to see the Workshop #1 summary.

Workshop #3 will be held in person at the Rowley Park Gymnasium on Thursday, October 26 at 6:00 PM to 8:00 PM. **We have extended the survey close date!** Workshop #3 Survey will open for over 5 weeks from October 26 at 8PM through December 3. **To take the survey, click the button below.** Also, if you were unable to attend Workshop #3, the presentation video is available below. The Workshop #3 Survey results will be posted in the 'Results' section of this website.

Survey #3 Closed

Gardena Workshop #3 Commencement Video



The Workshop #2 survey results are in! Please scroll down to see the Workshop #2 summary.

November 2023

The statistically valid, multimodal community survey results are in! Please scroll down to see the Multimodal Survey summary.

December 2023

The Workshop #3 survey results are in! Please scroll down to see the Workshop #3 summary.

February 2024

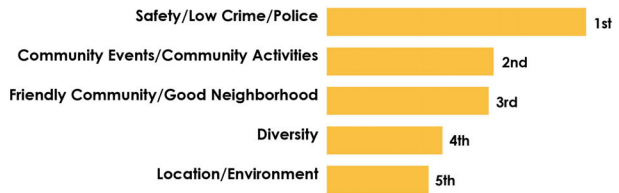
The project team is currently developing recommendations and preparing the Parks and Recreation Master Plan report to present at public meetings.

Presentations to the Commission and City Council are anticipated to occur in April 2024. Once scheduled, the dates, times, and locations will be posted here on the project website.

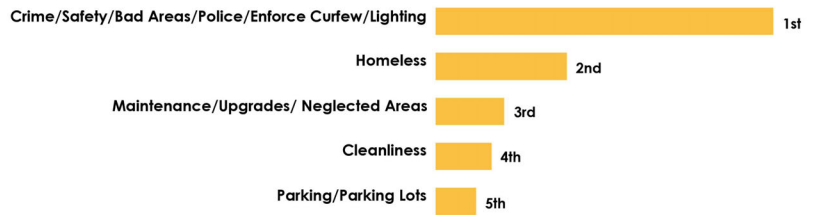
Check back regularly to learn how the project is unfolding and provide your [feedback](#) by taking the survey in the Community Voice section anytime during the project.

Find future Online Surveys here, in the Project Updates section of the website.

What are the most important community characteristics that make the City of Gardena a great place to live, work and play?



What are the issues or trends that may be negatively impacting those important community characteristics and should be considered in the Parks and Recreation Master Plan?



What role can the Recreation and Human Services Department play in addressing those issues and support the community characteristics that make the City of Gardena a great place to live, work and play?



Note: The Public Works Department is responsible for park maintenance and graffiti abatement.

Results

Workshop #1 Summary

Residents of the City of Gardena were invited to the community workshop to learn about the Parks and Recreation Master Plan process, and to participate in the first survey. Workshop #1 commenced on August 17, 2023, at 6:00pm to 8:00pm at the Nakaoka Community Center. The workshop was in person and the presentation was made available online for those who could not attend. Twenty-four (24) attendees participated in the evening workshop. RJM shared an overview of the Parks and Recreation Master Plan process, City demographics, and existing resources, followed by a brief outline of the evening’s workshop agenda. Workshop participants filled out the survey individually and then

discussed their answers to achieve a consensus among their group.

The Workshop #1 Survey was open for over two weeks until September 3, 2023. The survey was available online and paper copies were available at all community centers and city pop-up events. The Workshop #1 Survey was also advertised on the City’s social media and City website. Sixteen (16) online surveys were received and one hundred sixty-seven (167) paper copies were collected, including the surveys collected at the workshop, for a total of one hundred eighty-three (183) surveys.

What is one park feature or recreation facility you would most like to see added or improved in the City of Gardena?



What is one recreation program, class, or activity you would most like to see added or expanded in the City of Gardena?

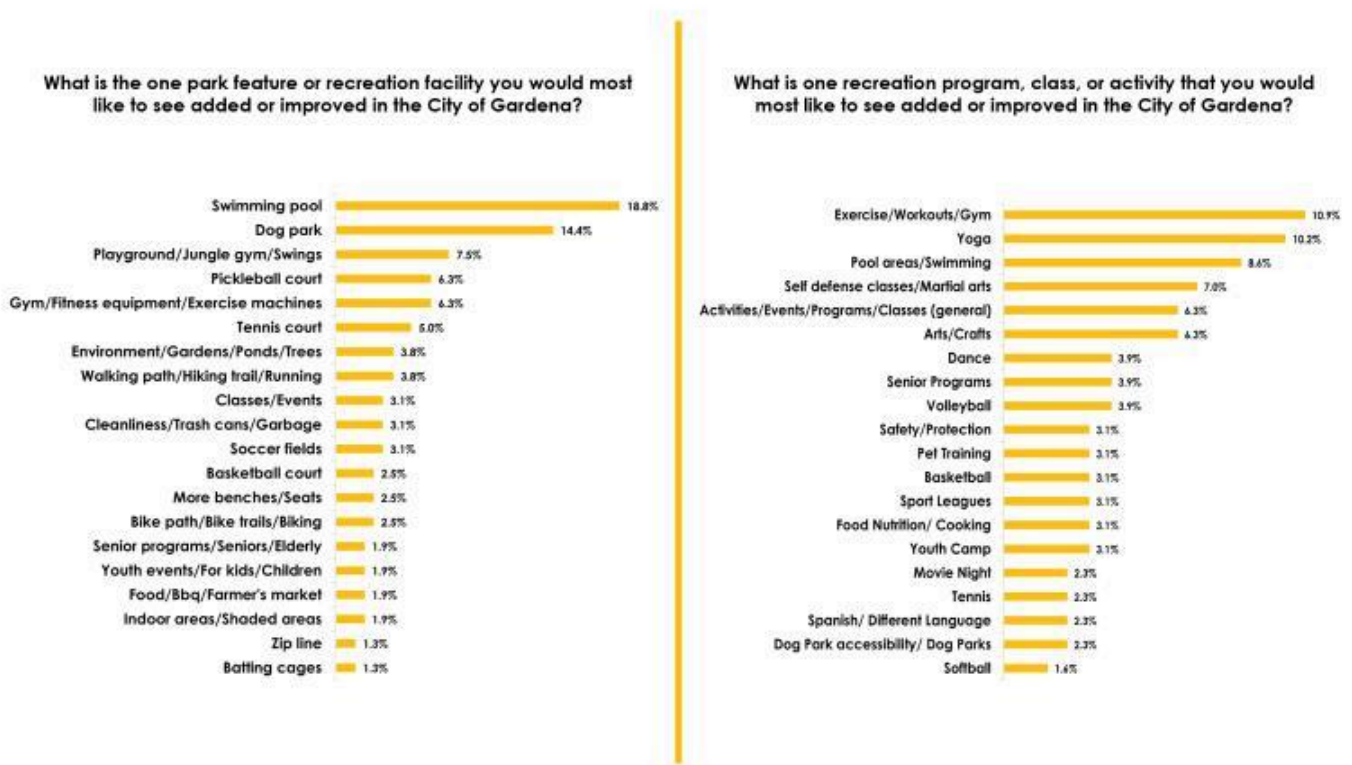


Workshop #2 Summary

Residents of the City of Gardena were invited to the community workshop to learn about the Parks and Recreation Master Plan process, and to participate in the second Survey. Workshop #2 commenced on September 27, 2023, at 6:00pm to

8:00pm at the Nakaoka Community Center. The workshop was in person and available online for those who could not attend. Thirty-one (31) attendees participated in the evening workshop. RJM shared an overview of the Master Plan process, City demographics, existing resources, and results of the Workshop #1 Survey.

The Workshop #2 Survey was open for two weeks until October 12, 2023. The survey was available online and paper copies were available at all community centers and city pop-up events. The Workshop #2 Survey was also advertised on the City’s social media and City website. A total of one hundred eighty-seven (187) surveys were collected.



Multimodal Survey Summary

The statistically valid, multimodal survey consisting of 400 households was administered between September 27 and October 4, 2023. Interviews were conducted in English and Spanish languages. Highlights from the multimodal survey include:

- When residents are looking for information about parks and recreation 34% get information from the City’s website, 33% from the online or google searches, 6% from city hall, and 5% from social media and emails.
- 78% are satisfied with the recreation facilities and programs in Gardena.
- 80% are satisfied with the maintenance of parks and recreation facilities in Gardena.
- 27% use Rowley Park the most.
- 44% visit playgrounds at least once a month.

Please choose your top 5 park feature and/or recreation facility you would most like to see added or improved in Gardena to meet the needs of the community?



Please choose your top 5 programs, classes, or activities you would most like to see added or improved in Gardena to meet the needs of the community?



Workshop #3 Summary

Residents of the City of Gardena were invited to the community workshop to learn about the Parks and Recreation Master Plan process, and to participate in the third Survey. Workshop #3 commenced on October 26th, 2023, at 6:00pm to 8:00pm at Rowley Park. The workshop was in person and available online for those who could not attend. Fifty (50) attendees participated in the evening workshop.

The Workshop #3 Survey was open for over five weeks until December 3rd, 2023. The survey was available online and paper copies were available at all community centers and City pop-up events. The Workshop #3 Survey was also advertised on the City's social media, City website, and City pop-up events. A total of Two hundred Sixty-Eight (268) surveys were completed.

Project Team

City of Gardena

Stephany Santin, Director
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Services

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Administrative
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Landscape Designer

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Specialist

Camarillo CASp

David Carlson, Certified
Access Specialist (CASp)



CITY OF GARDENA
PARKS MASTER PLAN

52 FEEDBACK COMMENTS COLLECTED (03/06/24)

PARK/FACILITY NEED OR IMPROVEMENT	TIMES MENTIONED
ADA Compliancy and Accessibility	1
Add something like Wilson's Park in Torrance	1
Adjusting Operating Hours for Pools, Fields and Facilities	3
Adult volleyball court (sand)	1
Beautification project	1
Benches	1
Bike lanes	1
Bulletin board at community buildings	1
Cleanliness (litter, graffiti, maintenance)	7
Dog Park	4
Exercise Stations/Equipment	2
Increased Trees and Planting	6
Lighting	2
More green space	1
Pickleball Court	2
Playground Improvements (equipment upgrades, more imaginative)	3
Pool	1
Renovate Community Buildings	6
Shade	2
Sidewalk Widening	1
Trash and Recycle Bins	1
Walkability in City/multimodal transportation	1
Walking Path/Circulation in Parks (reflexology barefoot path)	8
Willows Wetlands (keep open, increase funding)	6

PROGRAM NEED OR IMPROVEMENT	TIMES MENTIONED
Affordable Rental Facilities	2
After School Programs	2
Adult enrichment programs (18 – 59)	1
Bowling	1
Communication from Department	1
Community Events (street fairs, farmers markets, cultural heritage celebrations, art fairs)	3
Language Programs	1
Nature Education/Conservation Class	2
Marathon Running Program	1
Martial Arts/Self Defense Classes	2
Programs for Toddlers/Babies	1
Security Guard/Park Ranger for Park Surveillance/Safety	8
Senior Center and Activities	2
Sports Programs for Kids	1
Teen Programs (non-sport related)	2
Volleyball program	1
Yoga	1

Comments:

1. Better care needs to be taken in maintaining litter, cleanliness, VAGRANCY, graffiti, permitting use of fields. There's constant trash and GLASS all over Bell Park on Halldale, even though there are maintenance workers there almost every day.
2. I'd like to request a nice walking path, about 1-2 miles, with trees and away from the main street. Thank you! Sending prayers for a successful project!
3. More Tree's and landscaping are needed across Gardena streets, common areas, and parks. The more trees the better.
4. I would like to have a dog park please.
5. Wetlands - More hours and days open to the public. Currently Park opens on weekends only. Mas Fukai Master Plan Outreach, Nov 20, 2021. Made the following suggestions: (a) Wider sidewalks, (b) Pickle ball court to double up as badminton court, and (c) reflexology barefoot walking path. Interested in knowing the status of suggestions. For the benefit of participants and the purpose of transparency, how is participation raffle conducted and when results are released?
6. I read comments in other forums where people are interested in a dog park. Perhaps converting one of the smaller parks into a dog run. I'm not a fan of dogs at the larger parks because of young children playing and people who don't pick up after their pets. Perhaps adding exercise stations throughout the various parks and showing

walking/running paths connecting the various parks to encourage people to go to other parks in the city.

Adding benches throughout the parks so people can sit but still be away from crowds. Add shade trees or tables with coverings.

Making entrances and paths ADA compliant and accessible.

7. Please update the rooms at all parks. Have them cleaned on a more frequent basis.
8. Plant more trees at Mas Fukai Park to 1) manage noise for surrounding residents like me, 2) bring more oxygen to the area where there's a busy street, 3) create shaded areas to hang out, 4) cool the area, and 5) beautify the area.
9. We would like open swim times all year round and the opportunity to use the fields.
10. Gardena has great parks already. I look forward to the addition of the new pool and senior center coming soon. My children and my grandchildren enjoyed going to the local parks like Friedman because they provided the slides and swings, they loved. It was a great neighborhood park and just the right size. The only improvement that I can think of is to make the parks feel safe to go to. I always felt safe at my local park but not as safe other parks in other neighborhoods. It would also be nice to have a great walking park like Wilson Park, but I know this may not be possible.
I have never pursued this, but does Gardena have facilities available to rent at affordable prices to residences for private parties? Would that be possible for purpose for the Rosecrans acquisition?
Thank you for the opportunity.
11. Pickleball courts at Rawley Park
Walking Paths with mile markers
Good lighting throughout the park.
Park Rangers
12. The Gardena Willows needs A LOT of support! It needs to be OPENED EVERY DAY to the public and the city needs to update the aging infrastructure.
13. More funding for Gardena Wetlands
14. Additional funding for Gardena willows. Thank you.
15. We love what a precious hidden gem Gardena Willows is! And seeing more funding to help keep it up and preserve this special wetland is important to us.
16. Hello, I'd like to advocate for funding the Gardena Willows Wetland Preserve, they're doing important work to keep some biodiversity in the area and educate people about ways they can contribute to the betterment of nature.
17. Protecting our wetlands is even more important than ever. Vital species live there, and they are an essential part of the ecosystem that mustn't be lost.
18. More funding for Gardena willows!
19. Gardena needs a dog park
I hate driving to Redondo & Manhattan and spending the day there when I could

be in my own city

Thanks for listening!

20. Please continue support this pivotal space to continue educating our next generation and protect the native species in our community.
21. Freeman Park is awesome.
22. The city needs to add non-sports related programs for the kids after schools and weekends. Programs such as music Auto and wood shop cheerleading. Somewhere for the kids to go after school and at the weekends. We need to focus on keeping our teens busy instead of allowing them to walk the street if they're not into sports.
23. Heading into the existing Parks more programs that are not sports related for teens. Such as cheerleading golf music Auto wood shop. Even language programs would be Spanish to English speaking teens.
24. I live across the street from Mas Fukai and am very interested in the City's long-term plans regarding parks. I have the following comments.
 - DESIGN STANDARDS: Recreation spaces should not feel like prison rec yards. Chain link fences are ugly and intimidating, they do not create spaces that are enticing. There are other graffiti resistant fence types that can be used to keep users safe from road traffic while contributing to neighborhood aesthetics
 - Trees: there is tree inequity occurring throughout SoCal with wealthier areas benefiting from more trees and subsequently, better air quality and lower temperatures. Any new park planning ought to prioritize planting more trees for our children's generation.
 - Dog spaces: It's long past due that Gardena have a dedicated dog park.
25. Hi Zack! I was in group 5 at the #2 Masterplan Workshop on 9/27. I forgot to include recycling bins and trash bins along the Johnson Park sidewalk-similar to the two beautiful recycling/trash bins just outside Nakaoka Center on 162nd Street. After weekends and holidays, trash is usually strewn along the park sidewalk and ends up blocking the gutter storm drain. Last year the Parks/Recreation manager responded to my request for a doggy disposal bin (yay), but more trash and recycling bins would help keep our park clean. Thank you! #ReduceReuseRecycle
26. me gustaria que dieran mas programas deportivos para los ninos - I wish they would give more sports programs for the kids.
27. we love all the events that you are having. It is always good to see these events. Keep up the great work.
28. me gustaria que ofrecieran defenza personal para los ninos - I'd like them to offer self-defense for the kids.
29. Boxing, bowling, karate classes
30. Mas Fukai needs repairs :/ in the child ground area, it's the park closest to us. love all the city events :)
31. es que esta bien, para qu los ninos se diviertan can seguridad - It's okay for kids to have fun in safety.

32. for more football when season comes after school care, daycare for kids and workout station for park.
33. I would like to see more activities for seniors at all parks, especially at mas fukai park.
34. some of the parks could use a little TLC. but the staff is always amazing. Sometimes there's trash all along the playground but cleanliness is key.
35. it's great to see a lot of support for mas fukai park. We need funding for the willow wetlands next.
36. just need more security
37. The parks are great and good for the community.
38. Shade for all diamonds at the parks
39. Me gusta que tenga mas seguridad por que a veces hay algunas peleas - I like that it has more security because sometimes there are some fights.
40. los parques estan bien solo pienso que tienen que tener mas vigilancia para un mejor desarrollo de los niños y jóvenes - The parks are fine; I just think they must have more surveillance for a better development of the children and doones.
41. more programs for two-year-olds
42. me gustaria un programa de maraton de correr - I'd like a marathon running program.
43. I love the parks because my kids have so much fun when they go.
44. more affordable facility rentals for community groups
45. create more affordable access to facilities rentals. I have a Gardena girl scout troop that's needs a place to meet but current rates are not affordable for the families who are in need.
46. we lived in Gardena for all of our lives and are happy the community come together and raise funds to clean and help parks get better is so cool.
47. "Workshop survey link redirects to log in page, so I will have to input my responses here. I trust you'll input into an ""official"" survey form for me please? Community characteristics: community events and low crime. Negative trends: maintenance/upgrades, crime/safety (see comments). Role of R&HS: Communication, community events, green spaces. One park feature: shade. One rec program: yoga. Comments: R&HS Dept. should look into more events such as street fairs, where streets are closed off and people are allowed to congregate, walk around, and meet each other. These fairs could be farmers markets, cultural heritage celebrations, art fairs, etc. They attract people to areas they may otherwise not see in the city and really bring out a sense of community that I believe we all strongly yearn for. These fairs could be advertised in mailers and on the internet via social media to get most of the demographics in the city."
48. More lighting is needed on residential streets. There are safety issues at night in areas that only have 1-2 lamps for the entire block. Gardena Blvd (between Vermont and Normandie) beautification project would be wonderful to attract more business and have a cohesive look to the street. Having bulletin board in the post office or other community centers would help highlight city services.

Adult volleyball program and sand court would be ideal. Cleaning up the immediate areas surrounding the train tracks on Vermont and Normandie and adding green scape of trees would give the city a more attractive and clean look.

49. I like the Wilson's Park in the city of Torrance. I think it's about 1 sq mile all around and includes greenery as well as a variety of sports areas. It allows people to walk and exercise a full mile around and even has exercise equipment for use. Also has tables for picnic areas and serves as a farmer's market location weekly. If we have the space and can have something like this in Gardena, it would elevate our city and make it more attractive to live in.
50. Gardena should be planned holistically with economic development and design incorporated as a whole city, something that's walkable, multi modal and transportation friendly and not just car oriented. In regards to parks, there should be more of the below: Running/walking paths, whole city; Bike lanes; Toddler and older kids play structures that are more imaginative; Play with the strength of Gardena Willows
51. Please keep me updated: [REDACTED]
52. There needs to be more class offerings for adults. There are programs for youth and seniors (which is great) but there is a lack of programs for adults. Please consider offering enrichment programs for adults 18 - 59.



**CITY OF GARDENA
PARKS AND RECREATION MASTER PLAN
STAKEHOLDER INTERVIEW SUMMARY**

February 15, 2024

INTRODUCTION

Stakeholder interviews were conducted between August 14, 2023 and February 13, 2024. Seven (7) questions were asked of eight (8) community stakeholders including the Council Members and Community Leaders. Stakeholders were emailed a one-page questionnaire related to the Parks and Recreation Master Plan. They were asked to fill out the questionnaire, then later schedule an in person or video conference interview with an RJM representative to discuss their responses in more detail.

QUESTION #1

What are the most important issues in Gardena related to the Parks, Recreation Facilities, Programs, and Services currently provided?

Modernize/upgrade existing park amenities (more amenities & features in all parks, upgrade park equipment)	2
Promote programs/offerings to public that don't have social media (kiosks, readerboard/electronic bulletin boards at parks)	2
Renovate community buildings (upgrade Mas Fukai Building air conditioning/flooring/kitchen/bluetooth/wifi/TV, sound system)	2
Safety	2
Allocate resources to operate and maintain Willows Wetland Preserve	1
Expand after school programs	1
Need more parking & handicapped parking	1

QUESTION #2

What are the most important parks, recreation facilities, and services for residents in the future?

Improve building ADA/access and security	3
Senior programs	2
Dog park	1
Exercise equipment	1
Get funding to open Willows Wetland Preserve to the public	1
Homelessness solutions	1
Modernize equipment and infrastructure	1
Pickleball courts	1
Provide local opportunities for employment	1
Renovated restrooms	1
Rush gymnasium renovation	1
Staffing	1
Stay ahead of trends to attract people to parks	1
Upgrade existing parks to support multimodal transportation	1
Use parks to address digital divide concerns	1
Walking trails	1

QUESTION #3

What does the Recreation and Human Services Department do best in providing parks, recreation facilities, programs, and services to community residents?

Affordable programs	3
Events/Activities for all ages, kids, and seniors	2
Attentive, caring, and supportive staff	2
After school programs (daycare at Freeman Park)	1
Community outreach	1
Youth sports program	1

QUESTION #4

How can the Recreation and Human Services Department improve in providing parks, recreation facilities, programs, and services to community residents?

App or hotline number to track community requests & coordination with police department, parks, and public works)	1
Be mindful of dedicated instructors/locals who want to give back to their community	1
Electronic bulletin boards (fix & update existing to inform community of events)	1
Equipment at Thornburg Park is very limited	1
Improve restrooms (ADA standards)	1
Improve Willows Wetland Preserve infrastructure and provide staffing	1
Modernize existing infrastructure with community needs	1
New building at Mas Fukai for dance program	1
Offer a large selection of recreational opportunities	1
Partnerships with organizations	1
Play structures and picnic tables need replacement	1
Provide more trees and shade	1
Provide robotics/coding programs	1
Wifi/network labs for those who don't have access to computers/internet	1

QUESTION #5

What is your vision for parks and recreation services in 2033?

A dance room with professional amenities (hardwood flooring, mirrors, portable bars, internet/bluetooth, sound system, tv monitors)	1
All facilities open floor plans/modern amenities	1
Beautiful parks	1
Community with modern LEED certified/energy efficient buildings and parking lots with solar panels as shade	1
More facilities to accommodate seniors and children	1
More stimulating after school activities (computer center, outside strength building equipment)	1
New trends in recreation available in Gardena	1
Parks that support multimodal lifestyle and opportunities to live and work in Gardena	1
Provide many services	1
Senior pool is open	1
Willows Wetland Preserve is open full time, has dedicated staff, and daily programming	1

QUESTION #6

What is one program, class, or activity you would most like to see added or expanded in Gardena to meet the needs of the community?

Swim lessons	2
Coding class	1
Dance program (expand to include theater, point, and exercise)	1
Music classes (guitar, piano, voice)	1
Pickleball classes	1
Robotics class	1
School field trips to the Willows Wetlands	1
School JUA for programs	1
Self defense classes	1
Senior exercise class	1
Technology/computer training	1
Tennis	1

QUESTION #7

What is the one park feature or recreation facility you would most like to see added or improved in Gardena to meet the needs of the community?

Walking trail in parks	3
Pickleball courts (possible to restripe tennis courts?)	2
Better playground equipment	1
Computer lab (access to wifi and drop in hours)	1
Dance studio (at new Mas Fukai Park building)	1
Dog park	1
Gardena Willows Wetland Preserve improvements	1
More tennis courts	1
Picnic area improvements	1
Renovate buildings (more meeting spaces and larger rooms for seniors)	1
Security cameras at all parks	1
Shade	1

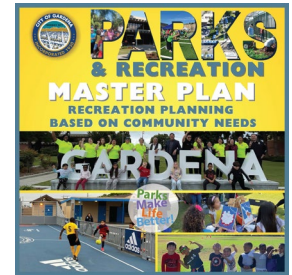
Additional Comments:

- ◇ Modernize all parks.
- ◇ Chase bank building could be senior center option.
- ◇ On Your Toes Dance Studios has provided city dance program since 2001.
- ◇ Proud of Recreation and Human Resources Department - Gardena is better because of all the program offerings.
- ◇ There has been drug/gang activity at Thornburg Park.



WORKSHOP # 1 SUMMARY

DATE: September 25, 2023
TO: CITY OF GARDENA
FROM: RJM Design Group, Inc.
SUBJECT: Parks and Recreation Master Plan



Residents of the City of Gardena were invited to the community workshop to learn about the Parks and Recreation Master Plan process, and to participate in the first survey. Workshop #1 commenced on August 17, 2023, at 6:00pm to 8:00pm at the Nakaoka Community Center. The workshop was in person and the presentation was made available online for those who could not attend. Twenty-four (24) attendees participated in the evening workshop. RJM shared an overview of the Parks and Recreation Master Plan process, City demographics, and existing resources, followed by a brief outline of the evening's workshop agenda. Workshop participants filled out the survey individually and then discussed their answers to achieve a consensus among their group, the results of the 8/17/23 workshop group activity were as follows:



GROUP 1	<p>Characteristics</p> <ol style="list-style-type: none"> 1. Diversity 2. Safety 3. Variety of services 	<p>Issues</p> <ol style="list-style-type: none"> 1. Presence / training of more staff in parks (mental health issues) 2. More activities and classes for kids in individual parks (unruly youth) 3. cleanliness and structures in parks, no sand, woodchips, more shade, walking paths for seniors 	<p>Department Role</p> <ol style="list-style-type: none"> 1. Open conversations with non-profits ex. willows to open up to meet needs of community, nature club for middle schoolers, open county libraries for schools, homeschooling 2. \$ 3. Offer variety of classes / resources to bring in the demographics ex. farmers market, technology, nature
GROUP 2	<p>Characteristics</p> <ol style="list-style-type: none"> 1. Diversity 2. Safety / community policing 3. Inclusive services for all (seniors / MOW / rec) 	<p>Issues</p> <ol style="list-style-type: none"> 1. Age of buildings - maintenance / technology 2. Street maintenance - lack of lighting, lack of greenspace, graffiti, speeding on streets, illegal dumping 3. Walking paths / parks for dogs Generational lack of involvement / engagement 	<p>Department Role</p> <ol style="list-style-type: none"> 1. Money - more funding opportunities, grants, fundraisers, non profits, bus and hiring - more staff park maintenance, PW/PD/rec for safer areas 2. Expand services - hours, activities, music, STEAM, track, more outreach, focus on school partnerships, library 3. close the generational gap - focus on bridging youth and adults to increase involvement (marketing)
GROUP 3	<p>Characteristics</p> <ol style="list-style-type: none"> 1. Diversity 2. Location 3. Small town feel 	<p>Issues</p> <ol style="list-style-type: none"> 1. Crime / safety / homelessness 2. Parking / transportation alternatives / diversity / walking paths 3. No outdoor gathering for activities / no downtown center 	<p>Department Role</p> <ol style="list-style-type: none"> 1. Provide walkways / paths / trails within and between parks (add trees) 2. How to get the word out to all residents 3. Adequet staffing
GROUP 4	<p>Characteristics</p> <ol style="list-style-type: none"> 1. Activities for all ages 2. Safety - police involved in community 3. Diversity 	<p>Issues</p> <ol style="list-style-type: none"> 1. Population density - parking 2. Homelessness 3. Security and respect at parks 	<p>Department Role</p> <ol style="list-style-type: none"> 1. More programming for younger ages (everyone except seniors) 2. Update infrastructure 3. Community partnerships to support parks and recreation

The Workshop #1 Survey was open for over two weeks until September 3, 2023. The survey was available online and paper copies were available at all community centers and city pop-up events. The Workshop #1 Survey was also advertised on the City's social media and City website. Sixteen (16) online surveys were recieved and one hundred sixty-seven (167) paper copies were collected, including the surveys collected at the workshop, for a total of one hundred eighty-three (183) surveys. The survey summary results are as follows:

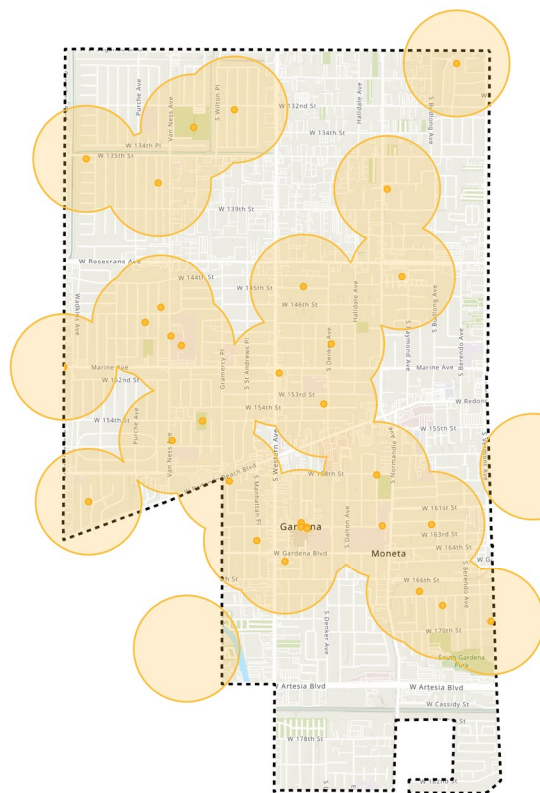
Residents: 161

Non-Residents: 22



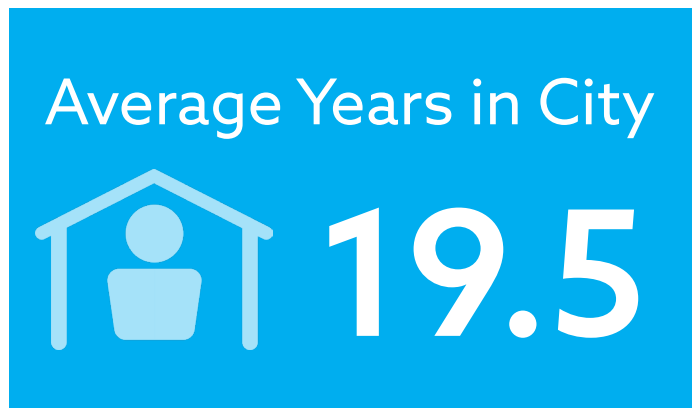
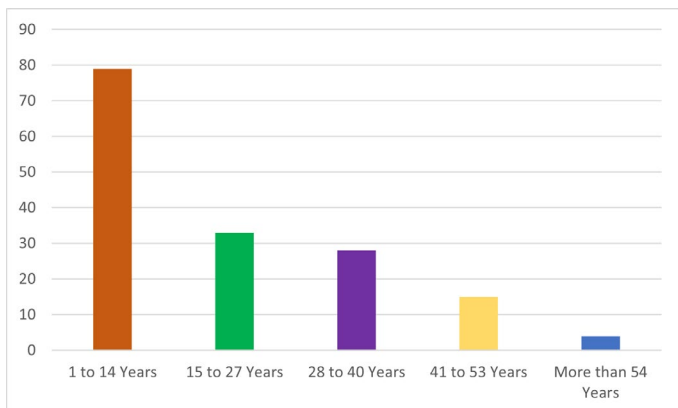
**Pre-Survey Question 1:
Where do you live?**

Survey participants were evenly distributed throughout the City of Gardena.

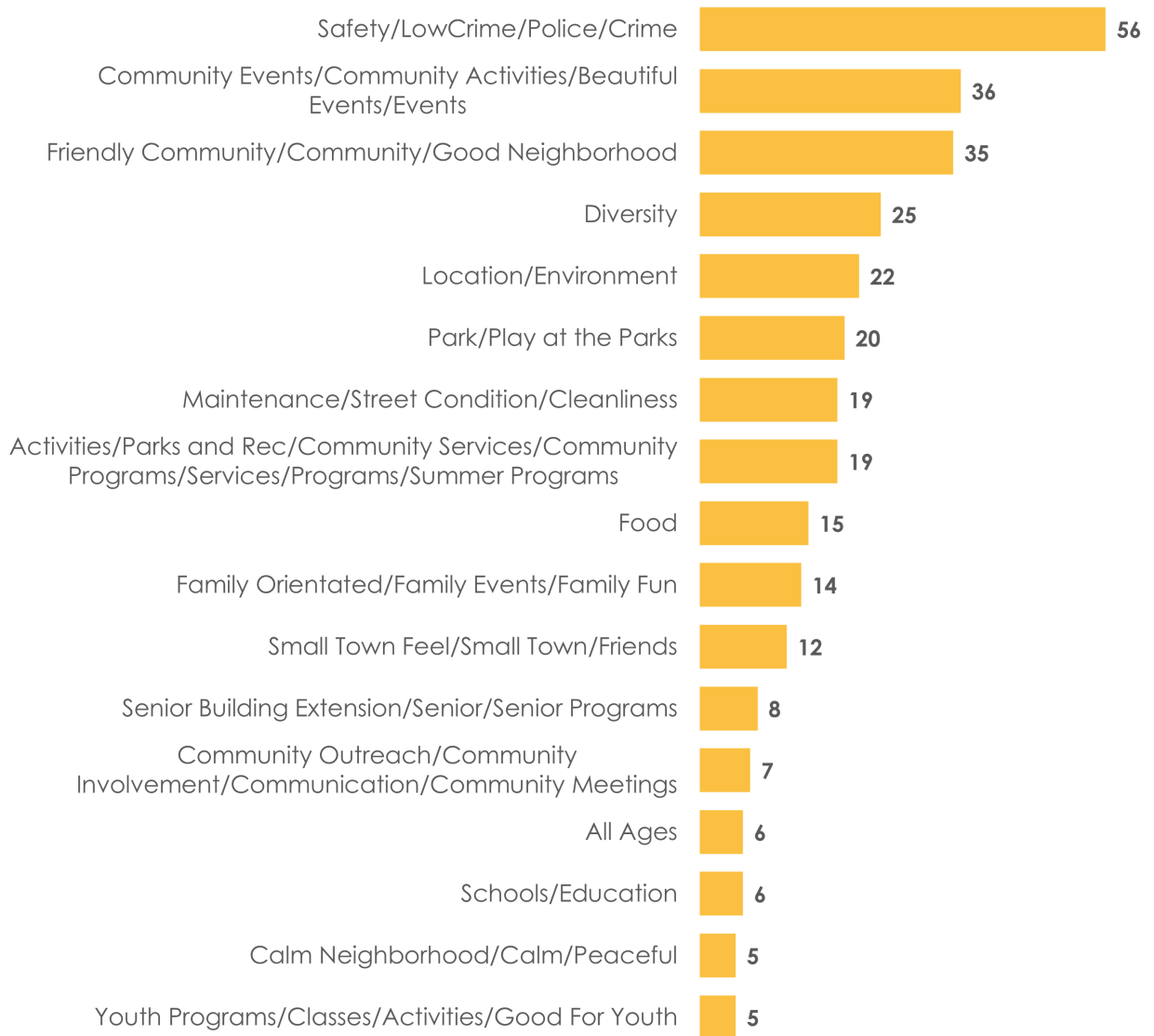


**Pre-Survey Question 2:
How long have you lived in the City of Gardena?**

The average number of years living in Gardena was 19.5 years.



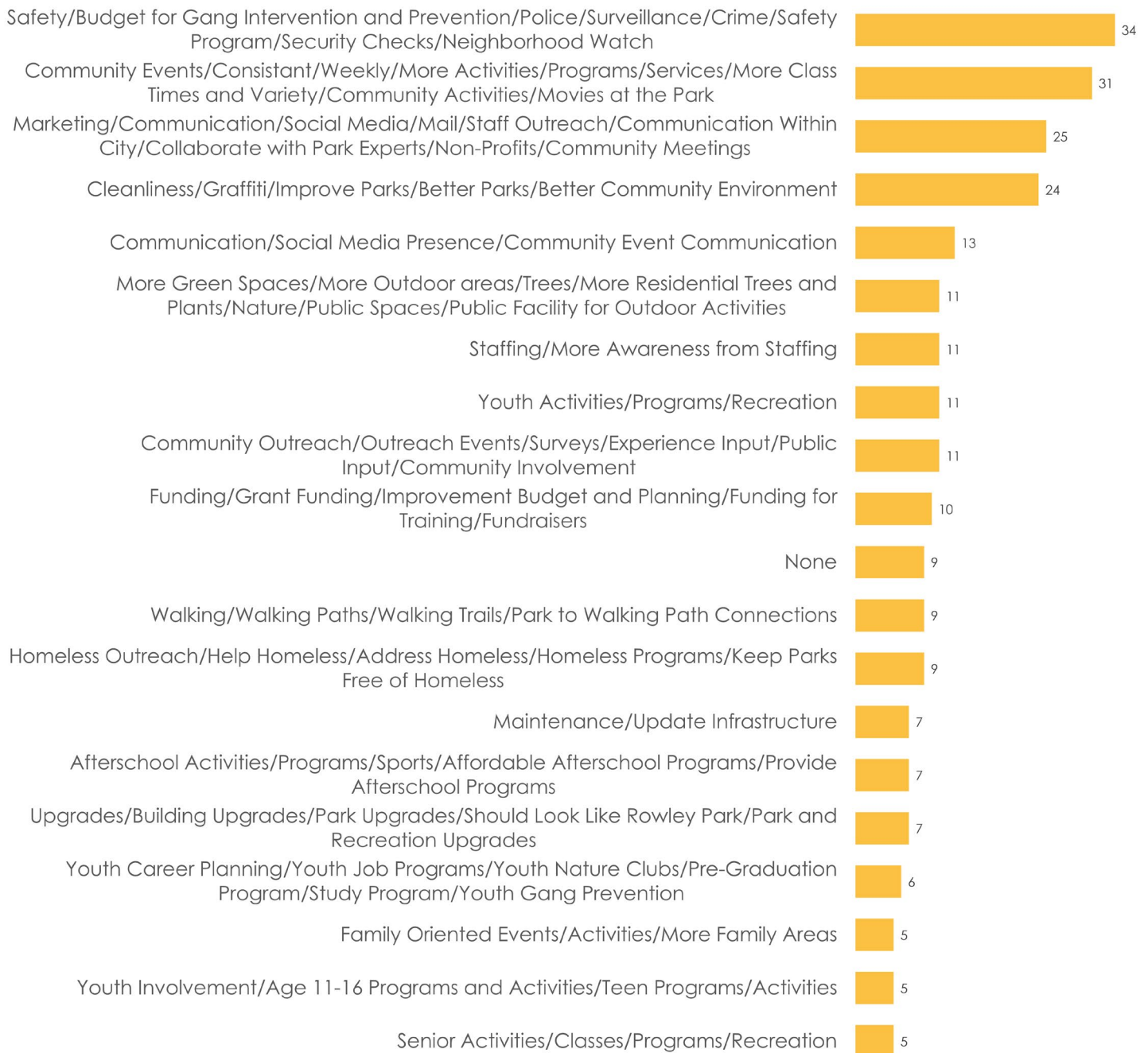
1. What are the most important community characteristics that make the City of Gardena a great place to live, work and play?



2. What are the issues or trends that may be negatively impacting those important community characteristics and should be considered in the Parks and Recreation Master Plan?



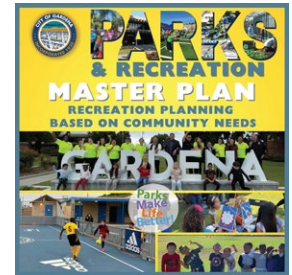
3. What role can the Recreation and Human Services Department play in addressing those issues and support the community characteristics that make the City of Gardena a great place to live, work and play?





WORKSHOP #2 SUMMARY

DATE: September 28, 2023
TO: CITY OF GARDENA
FROM: RJM Design Group, Inc.
SUBJECT: Parks and Recreation Master Plan



Residents of the City of Gardena were invited to the community workshop to learn about the Parks and Recreation Master Plan process, and to participate in the second Survey. Workshop #2 commenced on September 27, 2023, at 6:00pm to 8:00pm at the Nakaoka Community Center. The workshop was in person and available online for those who could not attend. Thirty-one (31) attendees participated in the evening workshop. RJM shared an overview of the Master Plan process, City demographics, and existing resources, followed by a brief outline of the evening's workshop agenda.



GROUP 1	Most Visited Park/Why 1. Thornburg Park - sports / martial arts / Filipino senior citizens 2. Nakaoka Community Center - city events 3. Rowley / Mas Fukai - senior citizens / recreation / close in proximity	Park Feature / Facility Added or Improved 1. Pickleball court 2. Bike and / or hike path 3. Dog park	Program / Class Activity Added or Improved 1. Martial arts / women's self defense classes 2. Pick up sports / organized sports 3. Culinary classes / zumba
GROUP 2	Most Visited Park/Why 1. Thornburg Park - martial arts 2. Mas Fukai - walking events 3. Willows Wetland - walking	Park Feature / Facility Added or Improved 1. Facility upgrades - Tornburg Park / Freeman Park 2. Improved walking paths - Fukai / Peary community garden 3. Dog friendly parks	Program / Class Activity Added or Improved 1. Classes - martial arts / ceramics / parent and child activities 2. Senior computer lab - at new senior center or Nakaoka Center 3. Organized sports / pickup games - soccer / football / basketball / pickleball
GROUP 3	Most Visited Park/Why 1. Nakaoka Community Center - many activities 2. Thornburg Park - martial arts 3. Rowley Park - close to home	Park Feature / Facility Added or Improved 1. Reinstate martial arts program at Thornburg Park 2. Community garden - restored / increased access 3. Facility / programs / drop-in site for disabled adults (chase bank site?) / increased parking / handicap / EV / better event communication	Program / Class Activity Added or Improved 1. We need martial arts program 2. Farmers markets with produce from community garden / pickleball / miniature golf 3. Classes for adult disabled community - gardening / walk path / art
GROUP 4	Most Visited Park/Why 1. Rowley Park (2) - proximity 2. Thornburg / Nakaoka / Johnson / Mas Fukai - event classes	Park Feature / Facility Added or Improved 1. Park building maintenance (repair/improve)- lighting / fix indoor heaters / playground equipment / native landscaping plants / wall murals 2. walking paths / exercise circuit equipment 3. Splash pool	Program / Class Activity Added or Improved 1. Yoga and other classes at the Willows 2. Exercise classes / dancing / aquatics / pickleball / martial arts 3. Farmers market
GROUP 5	Most Visited Park/Why 1. Thornburg Park - martial arts 2. Nakaoka Community Center - city events 3. Mas Fukai Park - walking grand kids The Willows Wetland Preserve - walking	Park Feature / Facility Added or Improved 1. Thornburg return of martial arts program to Gardena 2. More tables, benches, trees, etc. (more seating) 3. Improving aging facilities / Japanese garden would be nice	Program / Class Activity Added or Improved 1. Martial arts / yoga / hula 2. Open Willows 5 days a week 3. Swimming classes open year round

The Workshop #2 Survey was open for two weeks until October 12, 2023. The survey was available online and paper copies were available at all community centers and city pop-up events. The Workshop #2 Survey was also advertised on the City's social media and City website. Fourteen (14) online surveys were received and one hundred seventy-three (173) paper copies were collected, including the surveys collected at the workshop, for a total of one hundred eighty-seven (187) surveys. The survey summary results are as follows:

Residents: 151
 Non-Residents: 36

Surveys taken

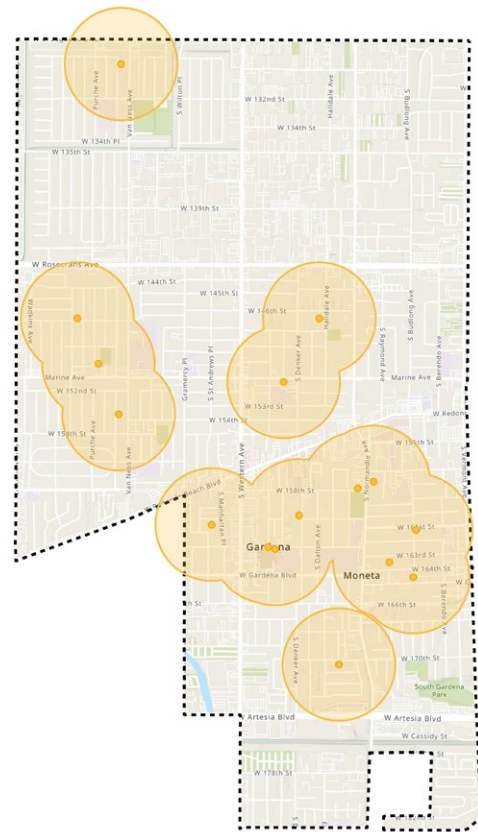


187



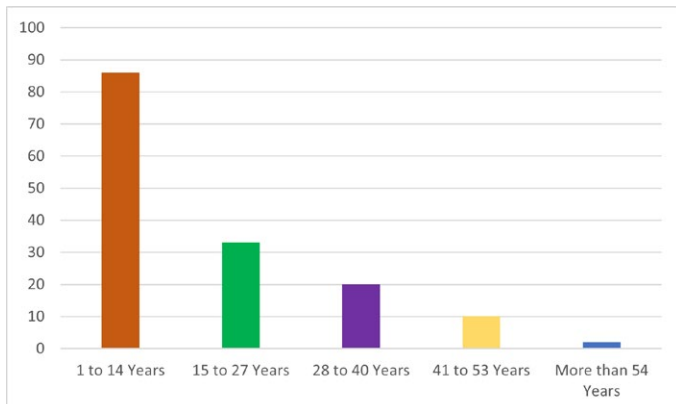
**Pre-survey question 1:
 Where do you live?**

Survey participants were evenly distributed throughout the City of Gardena.




Pre-survey question 2: How long have you lived in the City of Gardena?

The average number of years living in Gardena was 15.7 years.

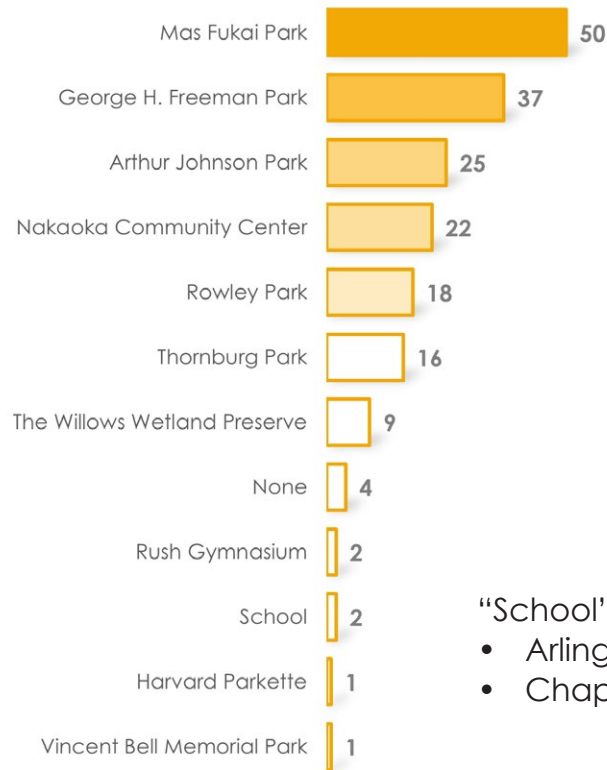


Average Years in City



15.7

1. What is the name of the park or recreation facility in Gardena that members of your household visit the most?



“School” mentions included:

- Arlington Elon School
- Chapman

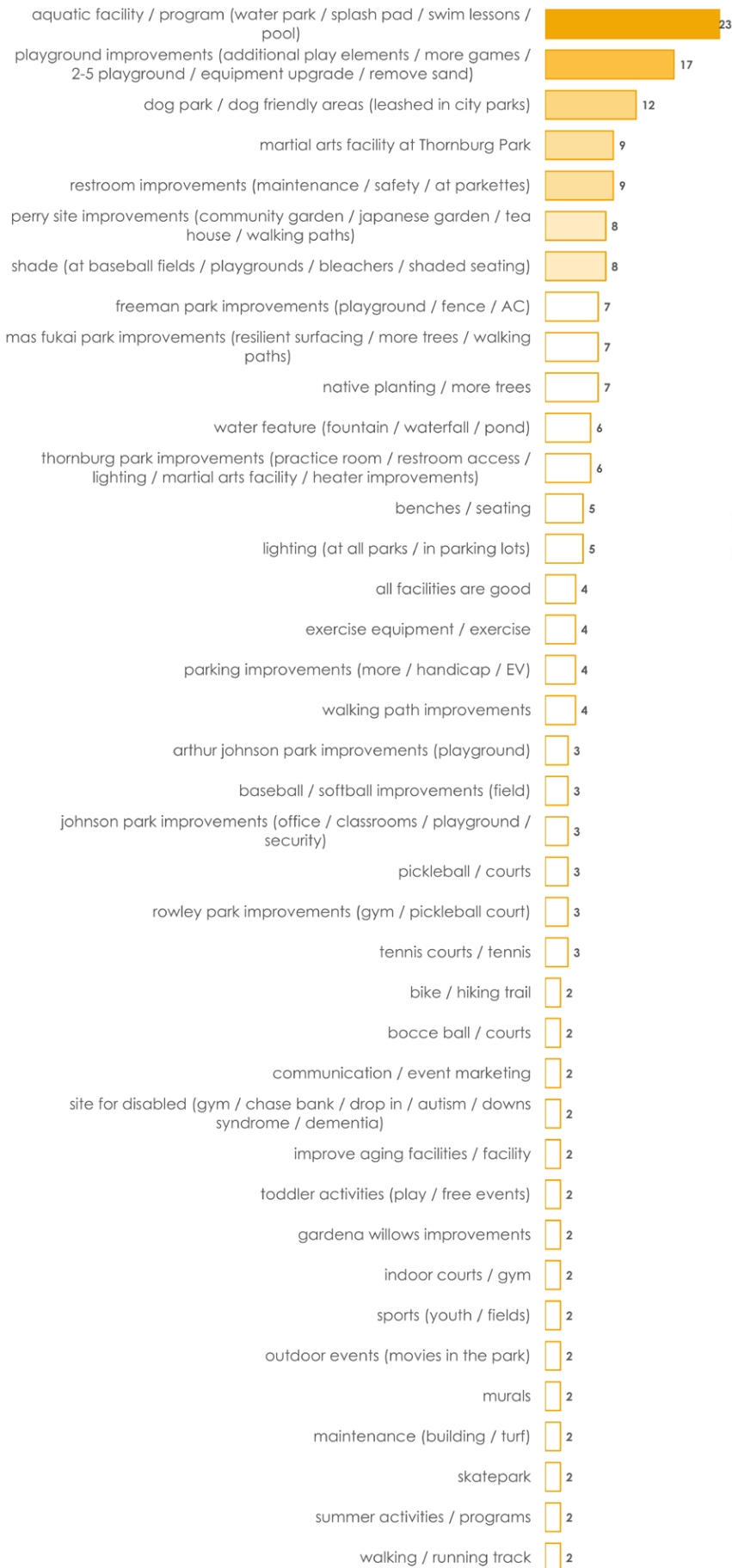
2. Why do you visit this park the most often?



“Other” answers included:

- Location
- Second time around club / senior citizens / recreation
- After school program
- Been coming here for over 45 years
- 1st time
- Just be outside
- Events

3. What is one park feature or recreation facility you would most like to see added or improved in the City of Gardena?



park features or recreation facilities mentioned once include:

- adult basketball
- adult entertainment
- cafes at the parks
- cooking class
- family activities
- fix heaters
- gates
- golf classes
- harvard parkette
- health and safety class
- improve auditorium
- instructor lead recreation activities
- kitchens at parks
- nakaoka community center improvements
- new/renovated recreation center
- no smoking in parks
- park hours open after dark
- picnic tables
- positive people
- programs
- reflexology stores
- teen programs
- tether ball
- more trash cans
- thornburg lighting
- volleyball
- walking clubs at parks
- widen sidewalks

4. What is one recreation program, class, or activity you would most like to see added or expanded in the City of Gardena?



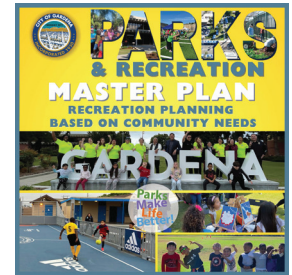
recreation programs, classes, or activities mentioned once include:

- food help program
- sickle cell trait awareness program
- wood working
- bocce ball
- dog park
- domestic violence support
- freeman park
- health and safety program
- hockey
- homeschool program
- kickboxing
- lower class fees
- pilates class
- reading program
- therapeutic recreation
- volleyball



WORKSHOP #3 SUMMARY

DATE: December 13, 2023
TO: CITY OF GARDENA
FROM: RJM Design Group, Inc.
SUBJECT: Parks and Recreation Master Plan



Residents of the City of Gardena were invited to the community workshop to learn about the Parks and Recreation Master Plan process, and to participate in the third Survey. Workshop #3 commenced on October 26, 2023, at 6:00pm to 8:00pm at Rowley Park. The workshop was in person and available online for those who could not attend. Fifty (50) attendees participated in the evening workshop. RJM shared an overview of the Master Plan process, City demographics, existing resources, and a summary of the community outreach results, followed by a brief outline of the evening's workshop agenda. The Workshop #3 Survey included two lists: one of program, class, and activity needs and one of park feature and facility needs identified from the community outreach efforts to date. The survey asked participants to select their top 5 choices.

The Workshop #3 Survey was open for over five weeks until December 3, 2023. The survey was available online and paper copies were available at all community centers and at City events. The Workshop #3 Survey was also advertised on the City's social media and the City's website. A total of Two hundred Sixty-Eight (268) surveys were completed.

At the in person workshop, participants filled out the survey individually and then discussed their answers to achieve a consensus among their group. All the group results were tallied and the results were as follows:



Please choose your top 5 park feature and/or recreation facility you would most like to see added or improved in Gardena to meet the needs of the community?

Renovate Community Buildings (energy efficient, fix up rooms, modernize, upgrade building)	18
Restroom Improvements (maintenance, safety)	17
Dog Park or Off Leash Dog Area	16
Aquatic Facilities (water park, splash pad, swimming pool)	15
Dance Studio	15
Martial Arts Facility	13
ADA Compliant/Accessible Facilities	12
Park Maintenance (clean up, remove trash, trash and recycle receptacles, remove graffiti)	12
Modernize/Upgrade Existing Park Amenities & Infrastructure	8
Walking Paths or Trails (reflexology barefoot walking path)	8
Gardens (community gardens)	7
Parking Lot Improvements (more parking, solar panels/shade structures at parking lots)	7
Willows Wetlands Improvements (access, hours open, add staff, add programs/activities there)	7
Playground Improvements (jungle gym, swings, remove sand)	6
Pickleball Court (add, use for Badminton too)	5
Ceramics/Pottery	5
Trees and Green Space (more)	5
Baseball & Softball Field Improvements	4
Benches/Seating	4
Exercise Equipment/Fitness Stations at Parks	4
Shade Structures (over playgrounds, over bleachers)	4
Computer Lab (access to wifi/internet)	3
Lighting in Parks & Parking Lots	3
Outdoor Gathering Spaces	3
Adjust Operating Hours for Pools, Fields, and Facilities	2
Basketball Court	2
Bike Paths or Trails	2
Pond	2
Kiosks/Readerboards/Electric Bulletin Boards at Parks	1
Tennis Court	1
Gym with Fitness Equipment	0
Running Track	0
Sidewalk Widening	0
Soccer Field	0

"Other" answers included:

- Japanese Garden(1)

Please choose your top 5 programs, classes, or activities you would most like to see added or improved in Gardena to meet the needs of the community?

Martial Arts/Self Defense/Safety Class	16
Teen Programs (auto repair, career development, gang prevention, job training, woodshop)	15
Dance Class	13
Security Guard/Park Ranger for Park Surveillance/Safety	13
Senior Programs (computer/technology class, exercise class)	12
Farmers Market	10
Staff (more staff, staff training)	10
Events & Activities (more/extracurricular/culturally diverse; family friendly)	9
Language Class	8
Affordable Programs	7
Aquatic Programs / Swimming Lessons	7
Movies in The Park	7
Partnerships/Collaborate (with non profits and small businesses)	7
Arts & Crafts Class	6
Homelessness Solutions (address, help, outreach)	6
Other: Sign Language Class	6
Yoga	6
Youth Program	6
Gardening Class	5
Pet Training/Obedience Class	5
Communications/Marketing to Public (including social media; mailers; meetings; app or hotline number)	4
Exercise/Zumba Class	4
Fundraiser Events (city needs funding/grants, funding for Willow Wetlands)	4
Music Class	4
Coding Class	2
Field Trips to The Willows Wetlands	2
Rooms/Facilities to Rent	2
Soccer Program	2
Tennis Lessons/League	2
Toddler/Baby Program	2
Volleyball Lessons/League	2
After school Programs	1
Cooking/Nutrition Class	1
Pickleball Program	1
Baseball & Softball Program	0
Robotics Class	0

"Other" answers included:

- Entrepreneur Class(2)


- Financial Literacy Class(1)

- TRP(3)

The survey summary results are as follows:

Residents: 222 | **Non-Residents: 46**


Surveys taken



268

1. Where do you live?
Survey participants were evenly distributed throughout the City of Gardena

Average Years in City



16.0

2. How long have you lived in the City of Gardena?
The average number of years living in Gardena was 16.0 years.

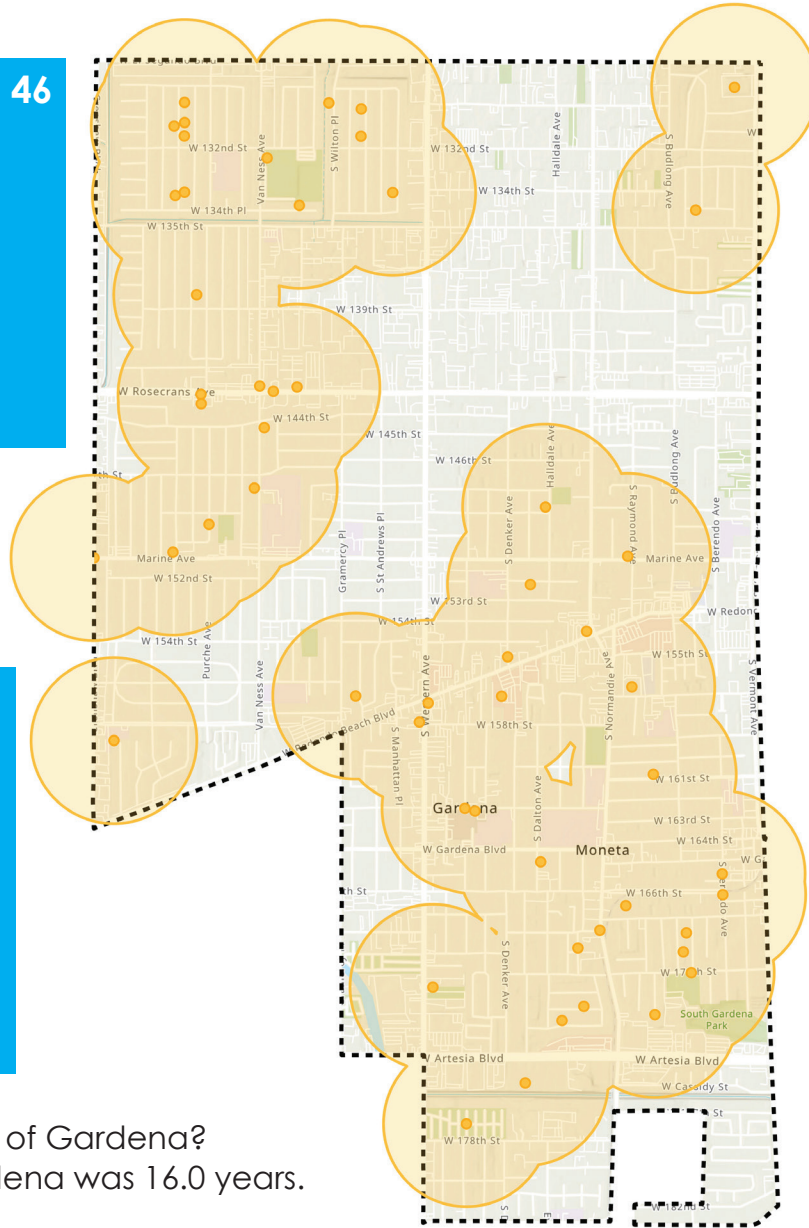
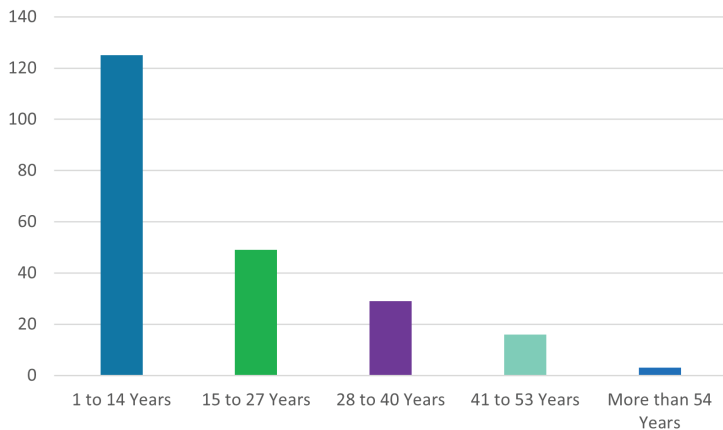
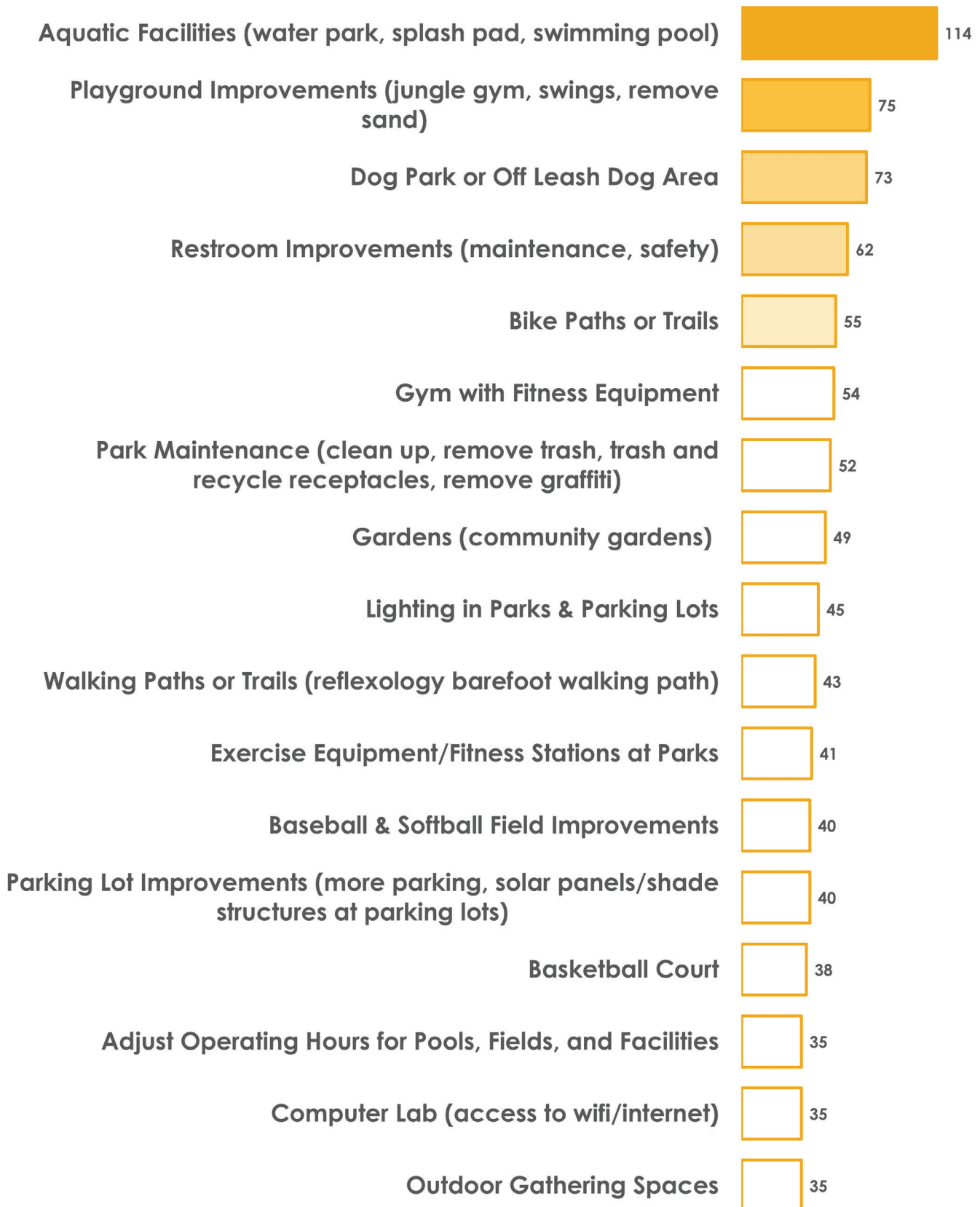


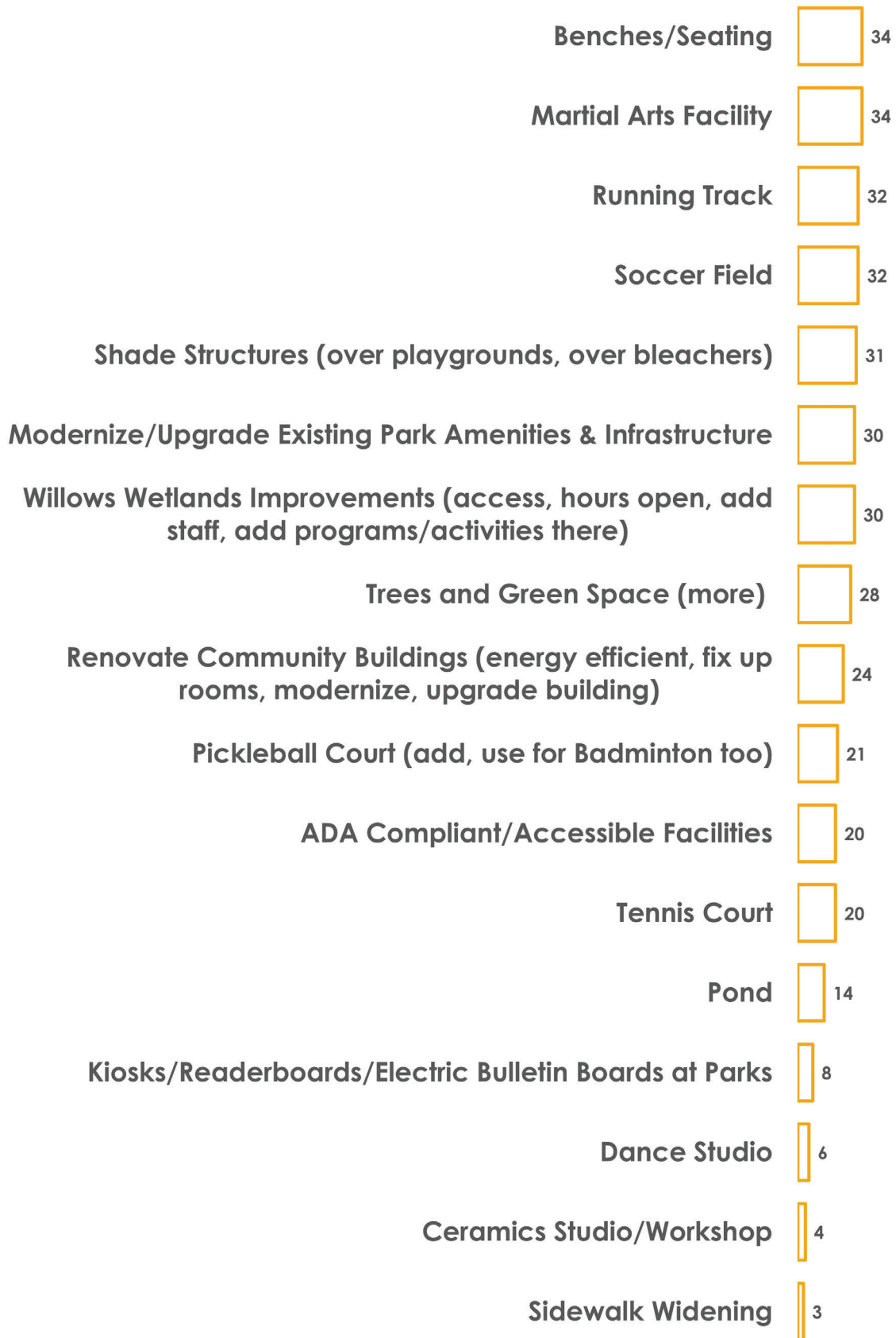
Photo from Workshop #3

3. The following list includes the park/facility needs identified with the highest number of common responses from the community outreach efforts to date. Please choose your top 5 park feature and/or recreation facility you would most like to see added or improved in Gardena to meet the needs of the community?



(Responses continued on next page).

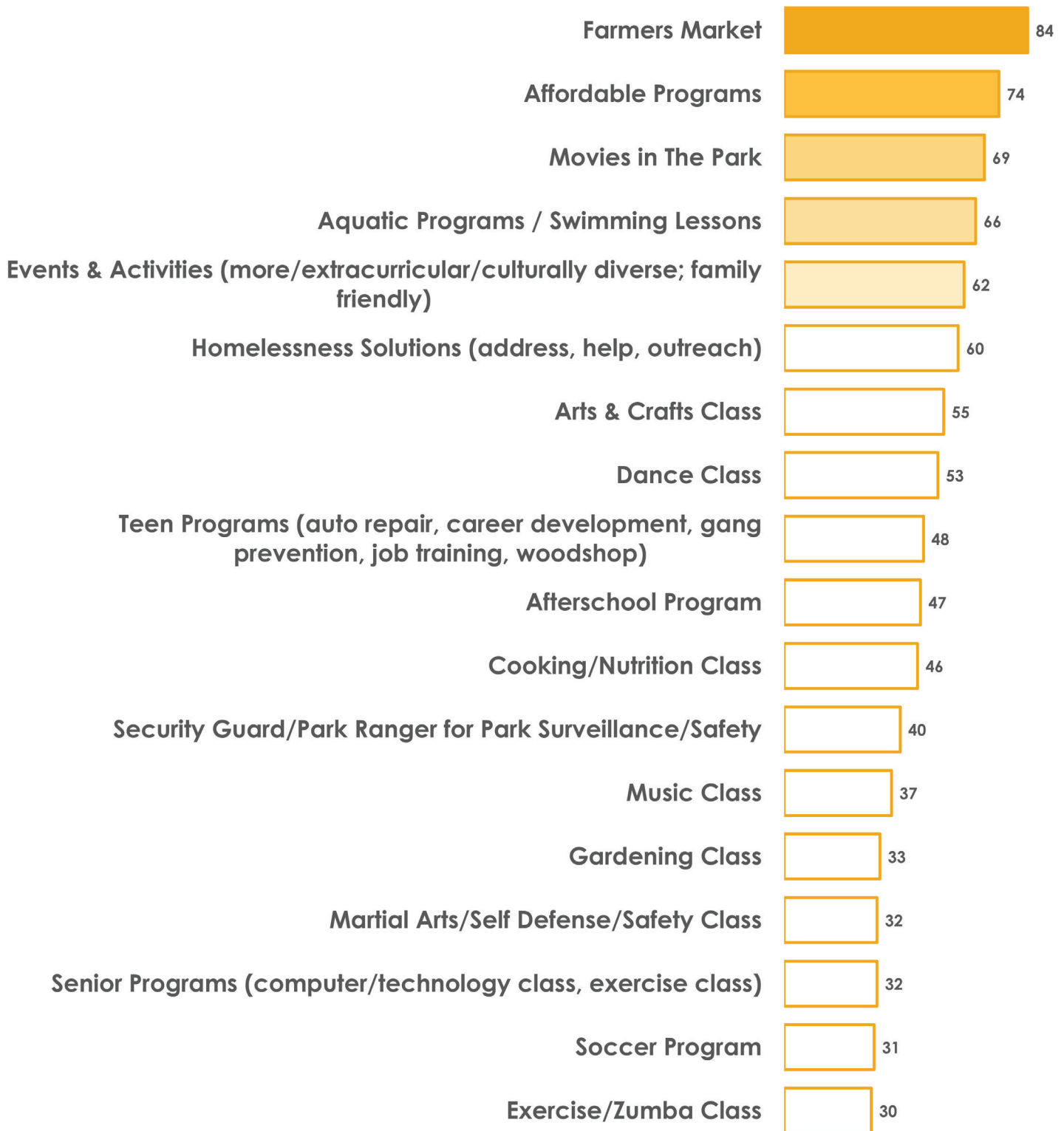
(Question 3 continued)



“Other” answers included:

- Affordable Housing (1)
- Bicycle Pump Track (1)
- Fishing Venues (1)
- Japanese Garden (1)
- Smaller Pocket Parks (1)

4. The following list includes the program needs identified with the highest number of common responses from the community outreach efforts to date. Please choose your top 5 programs, classes, or activities you would most like to see added or improved in Gardena to meet the needs of the community?



(Responses continued on next page).

(Question 4 continued)

Toddler/Baby Program	<input type="text" value="30"/>	30
Yoga	<input type="text" value="28"/>	28
Baseball & Softball Program	<input type="text" value="25"/>	25
Field Trips to The Willows Wetlands	<input type="text" value="24"/>	24
Robotics Class	<input type="text" value="24"/>	24
Coding Class	<input type="text" value="23"/>	23
Communications/Marketing to Public (including social media; mailers; meetings; app or hotline number)	<input type="text" value="23"/>	23
Language Class	<input type="text" value="20"/>	20
Pet Training/Obedience Class	<input type="text" value="19"/>	19
Staff (more staff, staff training)	<input type="text" value="18"/>	18
Fundraiser Events (city needs funding/grants, funding for Willow Wetlands)	<input type="text" value="17"/>	17
Tennis Lessons/League	<input type="text" value="17"/>	17
Rooms/Facilities to Rent	<input type="text" value="15"/>	15
Pickleball Program	<input type="text" value="14"/>	14
Volleyball Lessons/League	<input type="text" value="14"/>	14
Youth Program	<input type="text" value="12"/>	12
Partnerships/Collaborate (with non profits and small businesses)	<input type="text" value="9"/>	9
Sign Language Class	<input type="text" value="4"/>	4
Entrepreneur Program	<input type="text" value="2"/>	2

“Other” answers included:

- Developmental Disabled Adults Program (1)
- Family Programs (1)
- Financial Literacy Training (1)
- Night Clubs (1)
- Pilates (1)
- Rugby Program (1)

City of Gardena Community Survey Results Presentation

October 2023



**Opinion Research on
Elections and Public Policy**



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San Francisco
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(202) 559-0270

City of Gardena – Community Survey Survey Methodology*

	Survey Details
Mode	Phone (landline and mobile) Online (email and text to web)
Language	English and Spanish
Length	12 minutes
Target Respondents	City of Gardena residents
Survey Fielding	September 27 – October 4, 2023
Survey Participants	400
Margin of Error	+/-5%

Sample

The sample was compiled using consumer data. We matched the demographics of City of Gardena residents.

Data Collection Explained

Interviews were conducted by phone (34%) and online (66%) modes. Phone interviews were conducted via landline (34%) or mobile (66%). Online participants were invited by email (50%) and text message (50%).

Respondents in all modes chose their preferred language, English (90%) and Spanish (10%).

The online survey was accessible by computer, tablet, and smart phone.

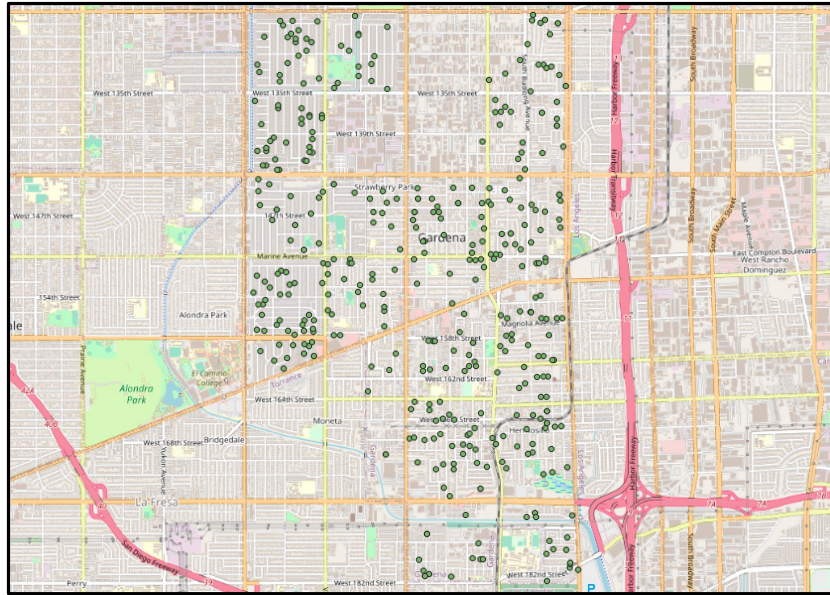
Security measures precluded individuals from completing the survey more than once.



Probolsky Research in a Latina- and woman-owned market and opinion research firm with corporate, election, government, and non-profit clients.

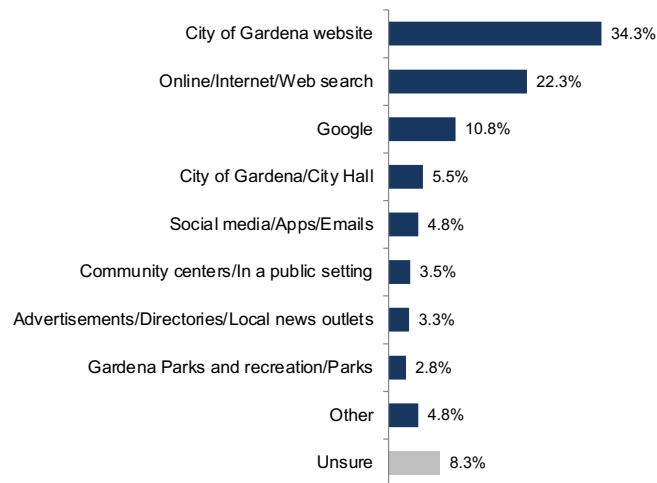
*Due to rounding, totals shown on charts may not add up to 100%

Geospatial mapping of survey respondents



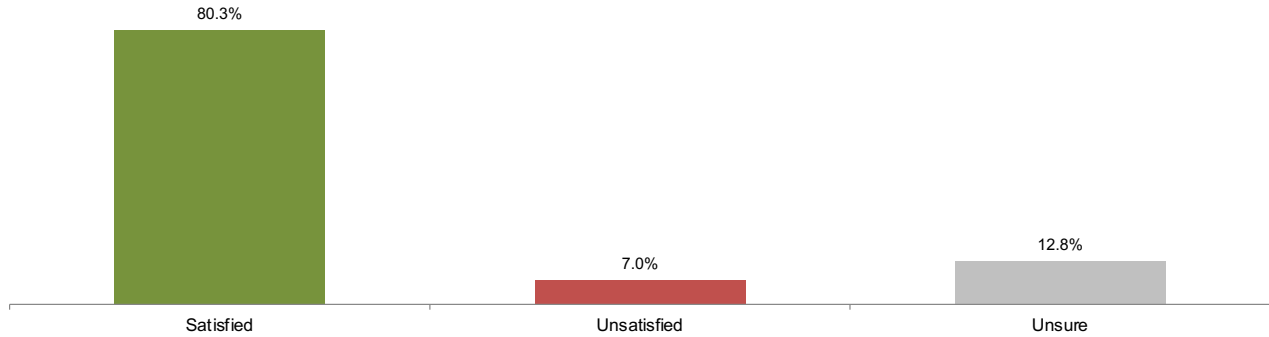
34% get their information about Gardena parks, recreation facilities, or programs from the City website

Question 1: If you wanted information about Gardena parks, recreation facilities, or programs, where would you look?
 [OPEN-ENDED RESPONSE]



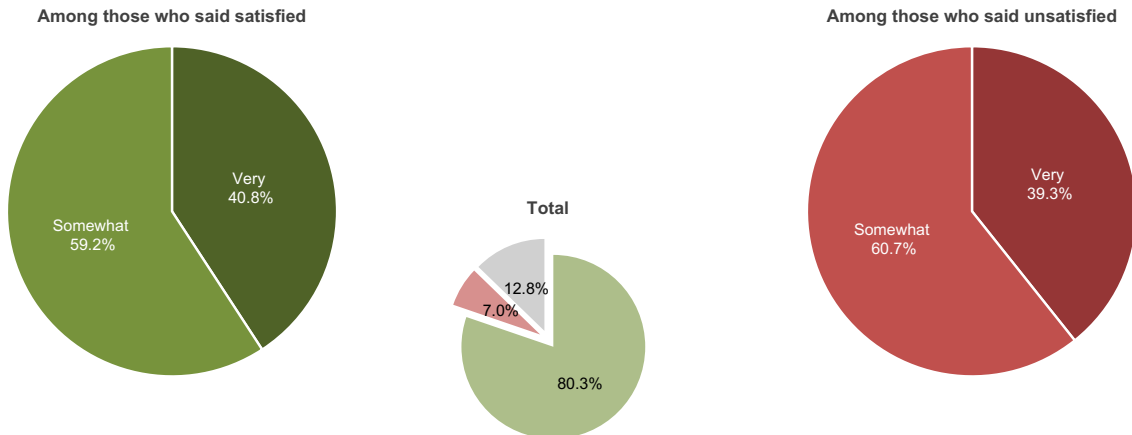
80% are satisfied with the job that the Public Works Department is doing

Question 2: The Public Works Department in Gardena is responsible for the care and maintenance of all City parks and recreational facilities. Are you satisfied or unsatisfied with the job that the Public Works Department is doing?



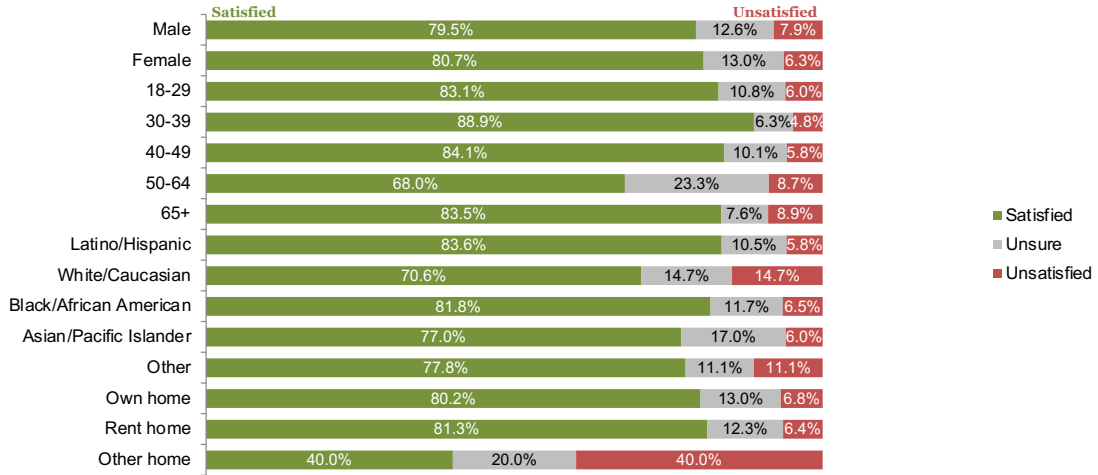
Among those who said satisfied, 59% said somewhat satisfied

Question 2: The Public Works Department in Gardena is responsible for the care and maintenance of all City parks and recreational facilities. Are you satisfied or unsatisfied with the job that the Public Works Department is doing?



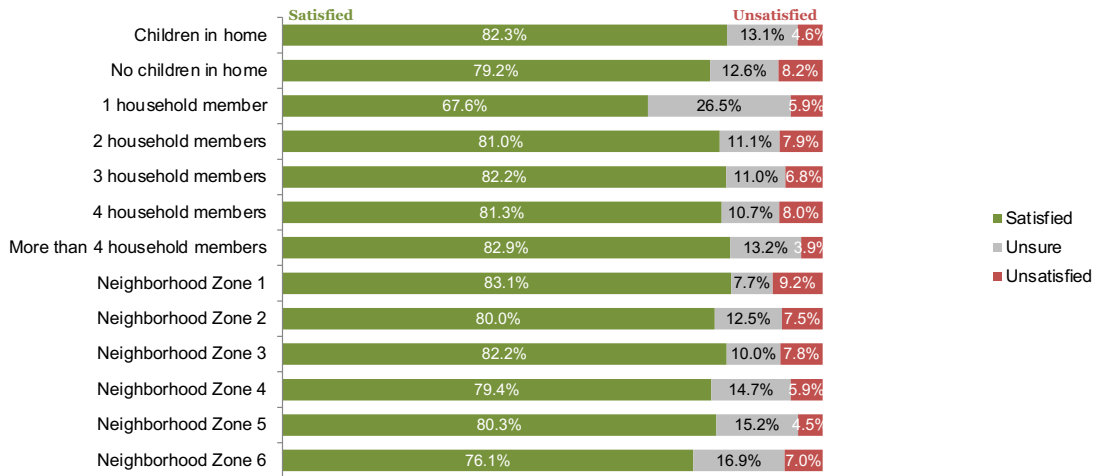
Results by gender, age group, ethnicity, and home type

Question 2: The Public Works Department in Gardena is responsible for the care and maintenance of all City parks and recreational facilities. Are you satisfied or unsatisfied with the job that the Public Works Department is doing?



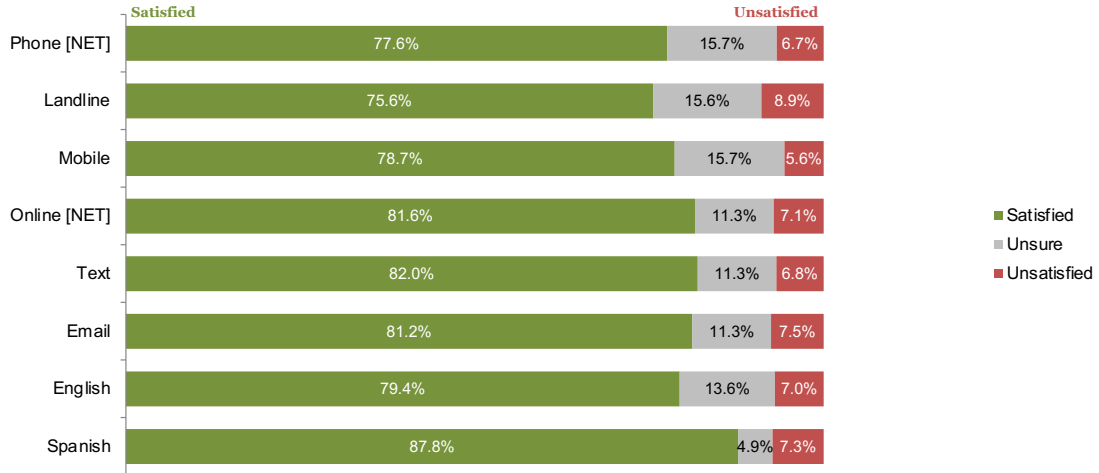
Results by children in home, household size, and neighborhood zone

Question 2: The Public Works Department in Gardena is responsible for the care and maintenance of all City parks and recreational facilities. Are you satisfied or unsatisfied with the job that the Public Works Department is doing?



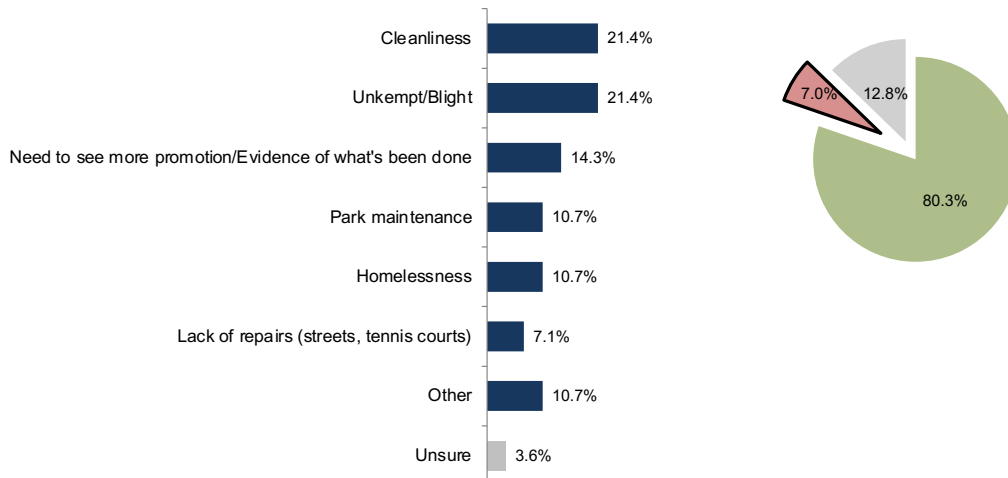
Results by survey mode and survey language

Question 2: The Public Works Department in Gardena is responsible for the care and maintenance of all City parks and recreational facilities. Are you satisfied or unsatisfied with the job that the Public Works Department is doing?



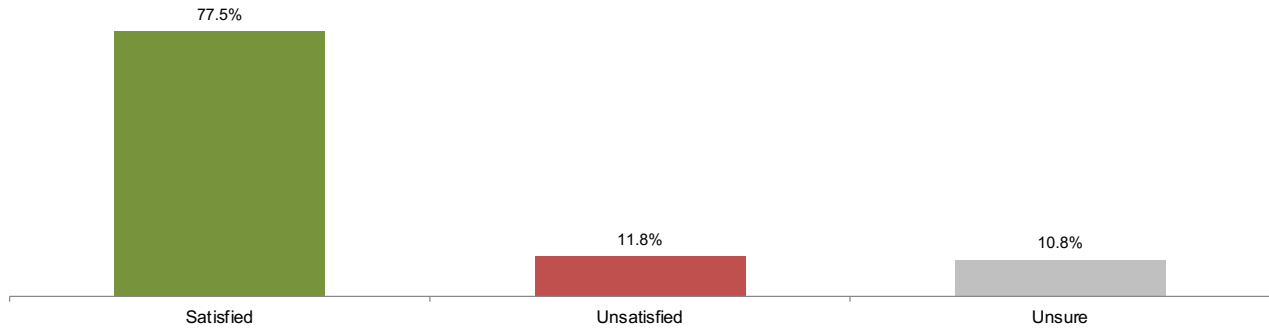
Among those unsatisfied with Public Works, many cite cleanliness/unkemptness/blight

Question 3: Why are you unsatisfied with the job the Gardena Public Works Department is doing? [IF ANSWERED 'UNSATISFIED' TO Q2] [OPEN-ENDED RESPONSE]



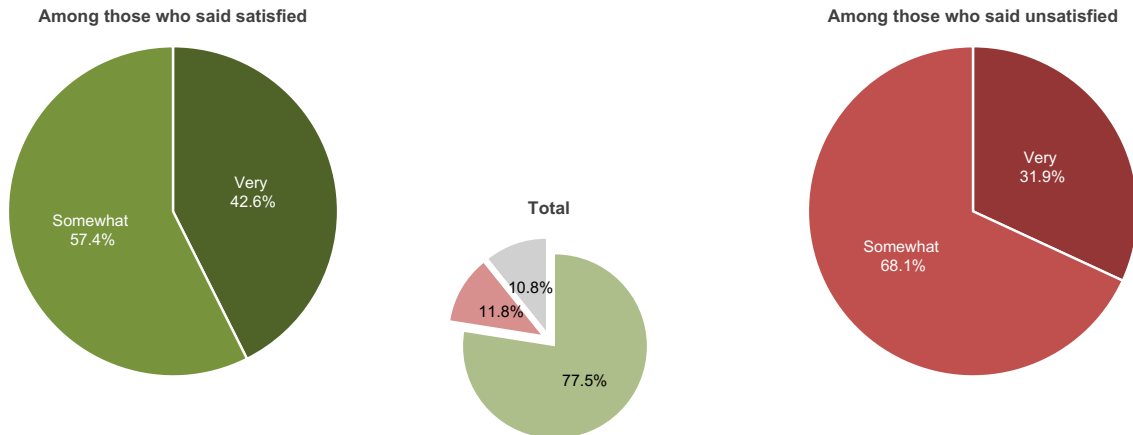
78% are satisfied with the existing parks, recreational facilities, and programs they have utilized in Gardena

Question 4: Are you satisfied or unsatisfied with the existing parks, recreation facilities, and programs in Gardena that you or other members of your household have utilized?



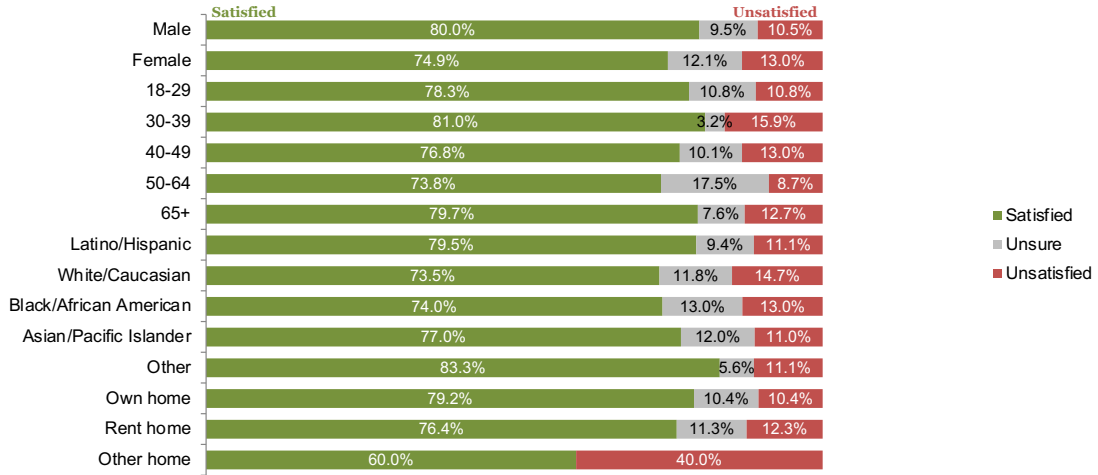
Among those who said satisfied, 57% said somewhat satisfied

Question 4: Are you satisfied or unsatisfied with the existing parks, recreation facilities, and programs in Gardena that you or other members of your household have utilized?



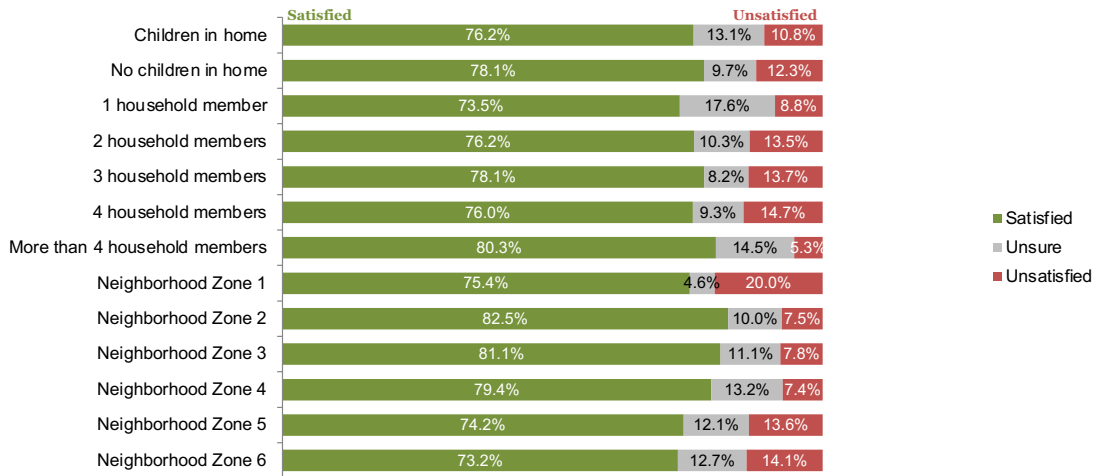
Results by gender, age group, ethnicity, and home type

Question 4: Are you satisfied or unsatisfied with the existing parks, recreation facilities, and programs in Gardena that you or other members of your household have utilized?



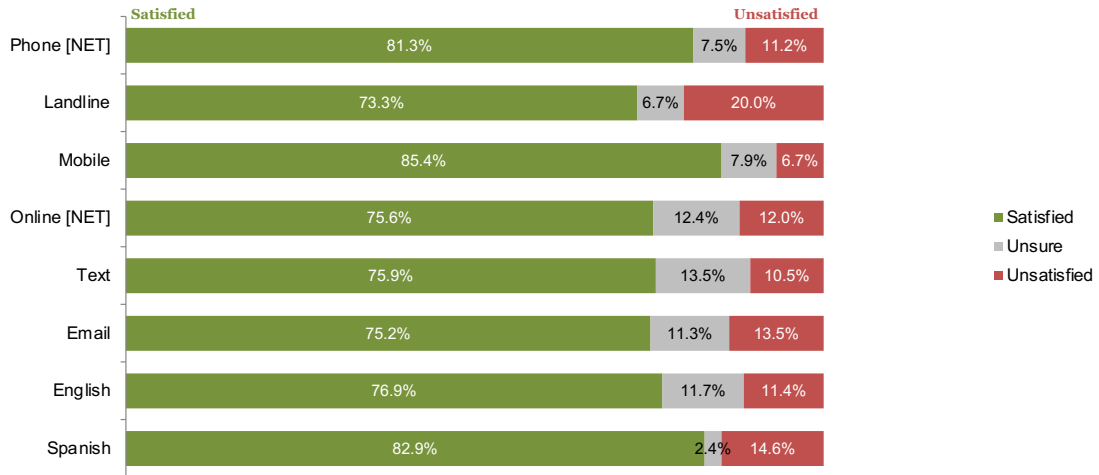
Results by children in home, household size, and neighborhood zone

Question 4: Are you satisfied or unsatisfied with the existing parks, recreation facilities, and programs in Gardena that you or other members of your household have utilized?



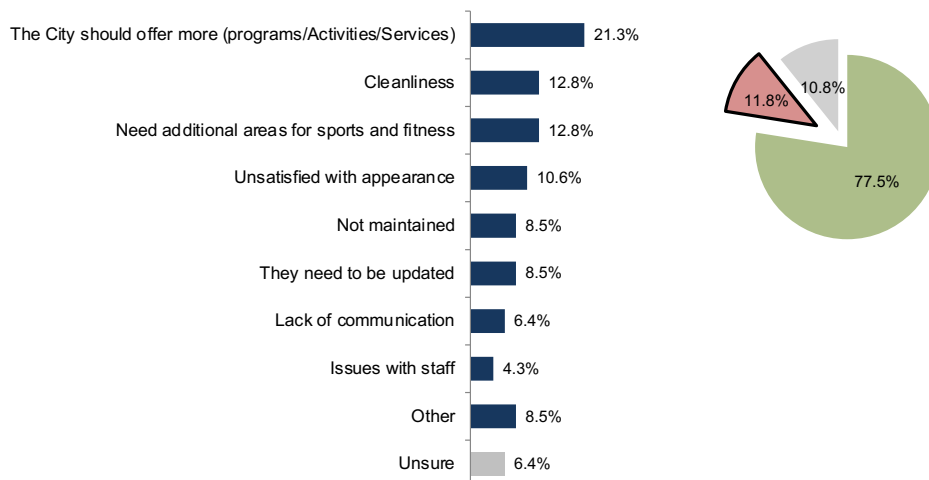
Results by survey mode and survey language

Question 4: Are you satisfied or unsatisfied with the existing parks, recreation facilities, and programs in Gardena that you or other members of your household have utilized?



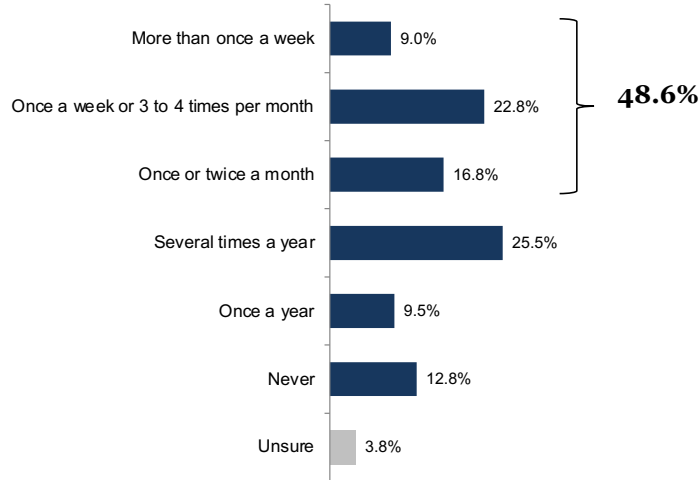
Among those unsatisfied with recreational facilities and programs in Gardena, some cite lack of offerings

Question 5: Why are you unsatisfied with the existing parks, recreation facilities, and programs in Gardena that you or other members of your household have utilized? [IF ANSWERED 'UNSATISFIED' TO Q4] [OPEN-ENDED RESPONSE]



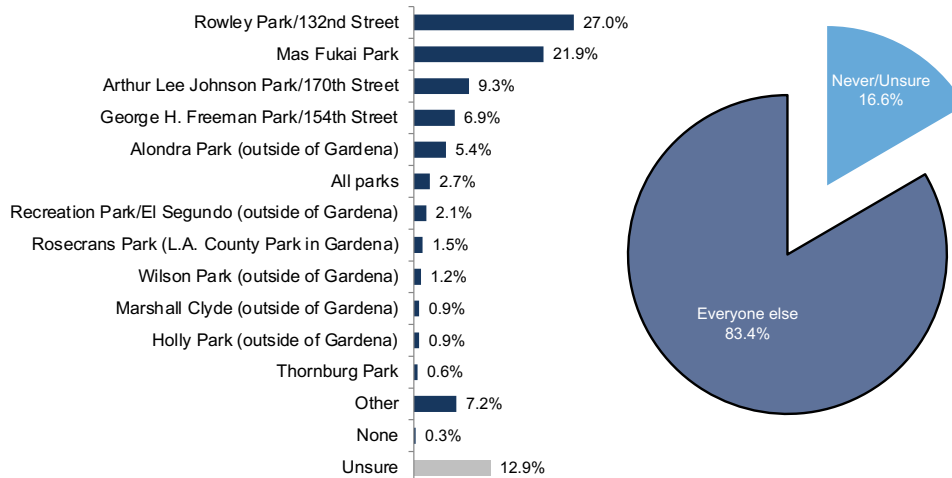
49% utilize parks or recreational facilities in Gardena at least once a month

Question 6: In a typical year, how often have you or other members of your household utilized parks or recreational facilities in Gardena?



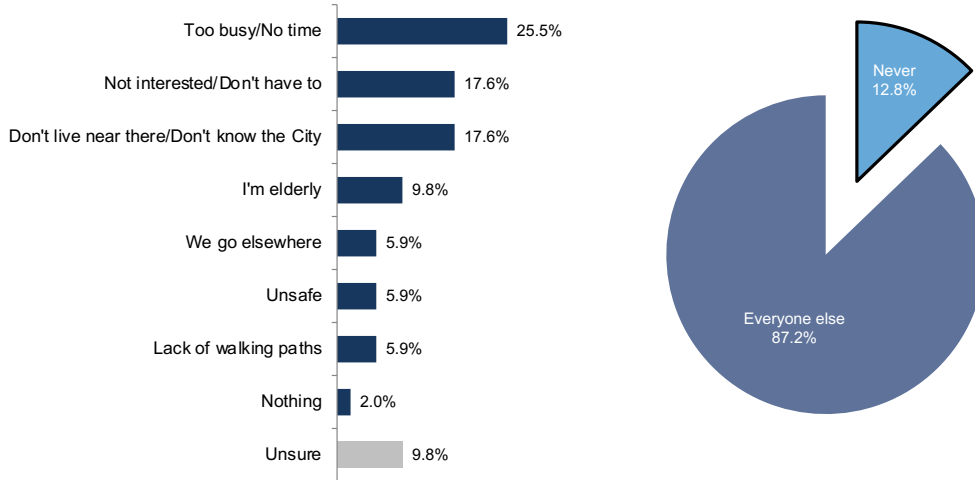
27% use Rowley Park/132nd Street the most

Question 7: What is the name of the park or recreation facility in Gardena you use the most?
 [IF ANSWERED ANYTHING OTHER THAN 'NEVER' AND 'UNSURE' TO Q6]
 [OPEN-ENDED RESPONSE]



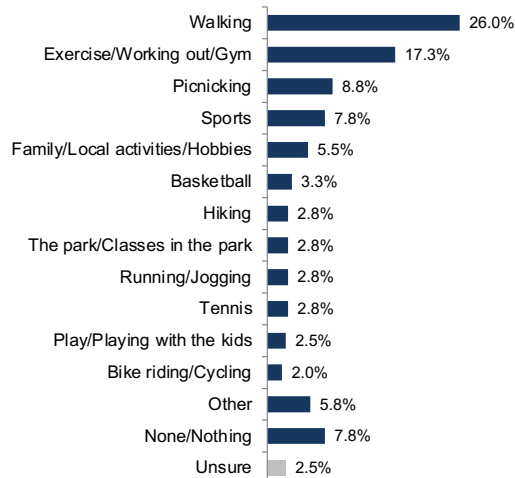
Among the few who never utilize parks or recreational facilities, many say too busy/no time

Question 8: Why have you or other members of your household never utilized parks or recreational facilities in Gardena?
 [IF ANSWERED 'NEVER' TO Q6]
 [OPEN-ENDED RESPONSE]



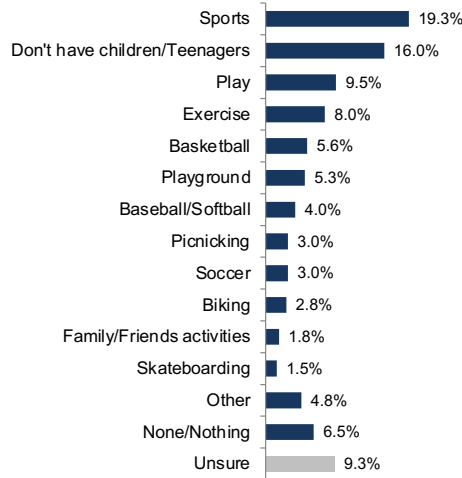
26% say the adult members in their household engage in walking the most

Question 9: Thinking of the **adult members** of your household, what recreation activities (i.e., play, exercise, sports, passive activities, hobbies, picnicking, etc.) do the adults in your household engage in most often?
 [OPEN-ENDED RESPONSE]



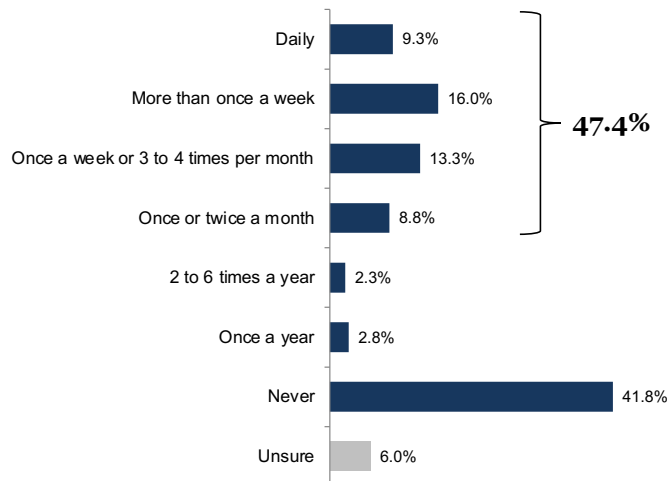
19% say the children and/or teenagers in their household engage in sports the most

Question 10: Thinking of the **children and/or teenagers** in your household, what recreation activities (i.e., play, exercise, sports, passive activities, hobbies, picnicking, etc.) do they engage in most often?
 [OPEN-ENDED RESPONSE]



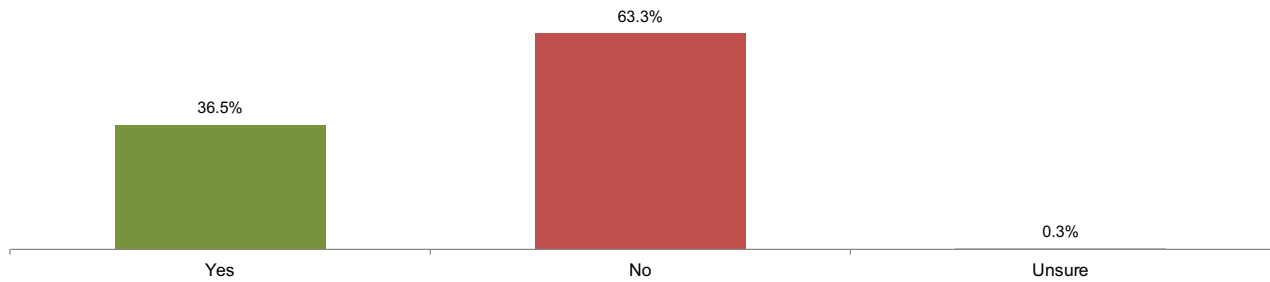
47% say they would visit a City dog park at least once a month

Question 11: If the City had a dog park, how often would you visit?



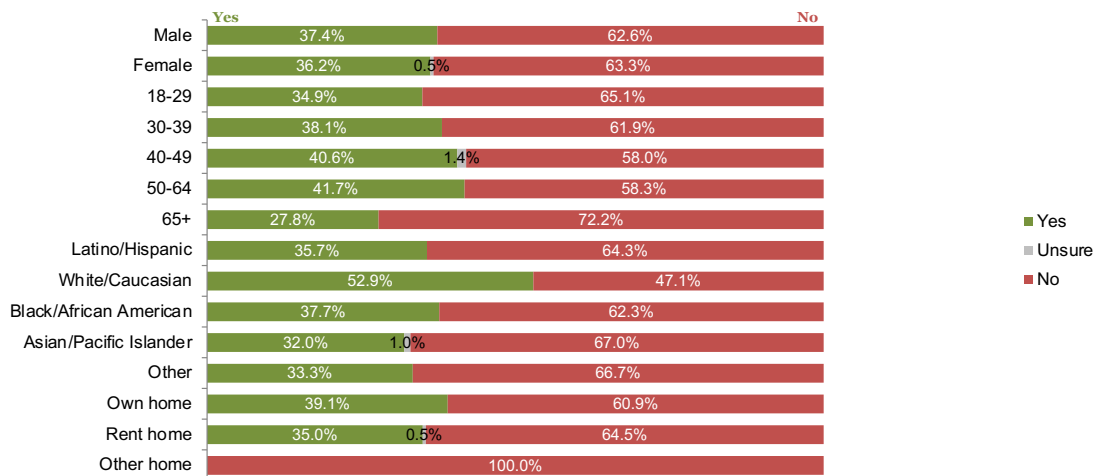
37% own a dog

Question 12: Do you or anyone else in your household own a dog?



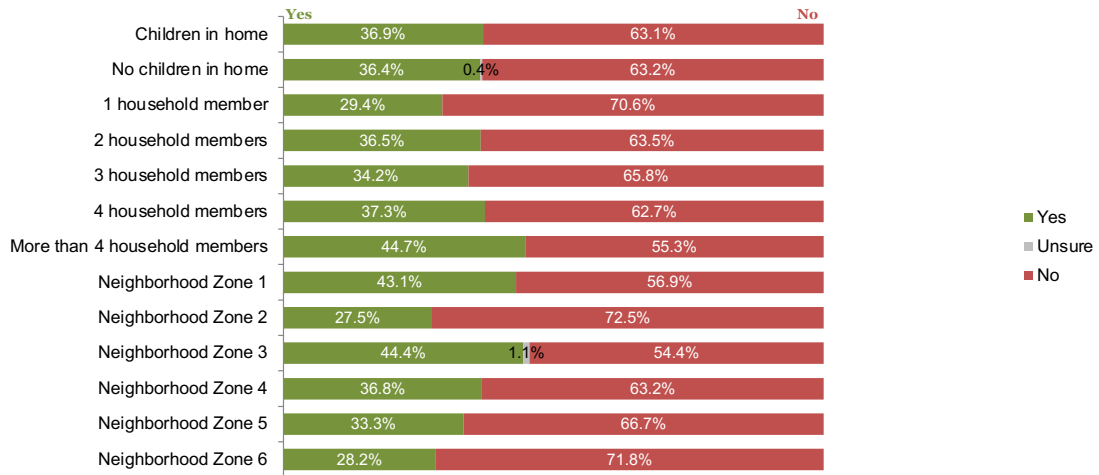
Results by gender, age group, ethnicity, and home type

Question 12: Do you or anyone else in your household own a dog?



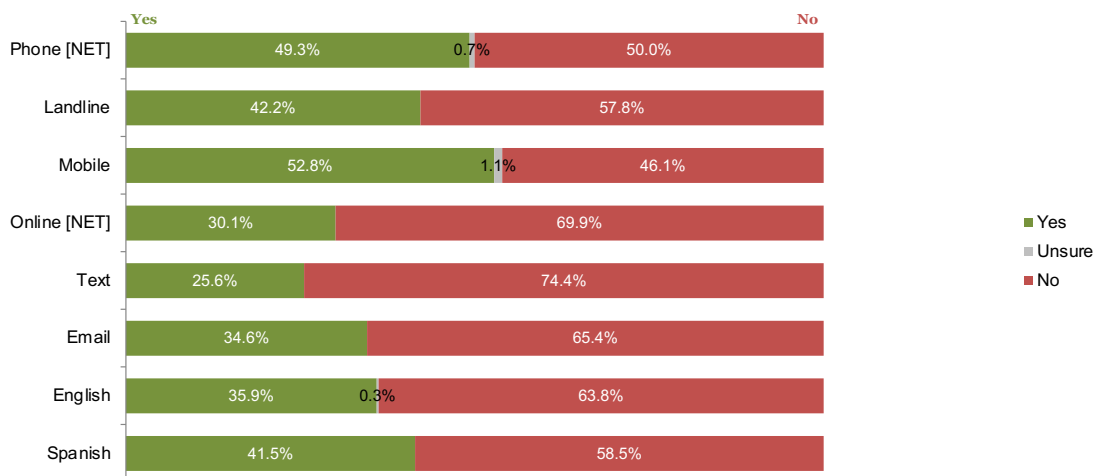
Results by children in home, household size, and neighborhood zone

Question 12: Do you or anyone else in your household own a dog?



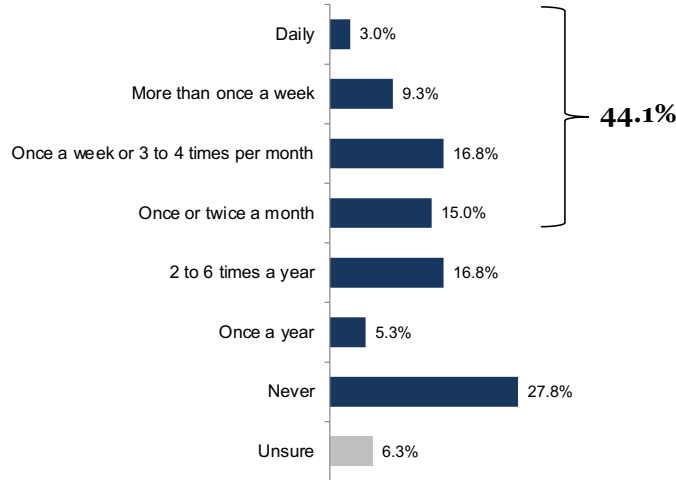
Results by survey mode and survey language

Question 12: Do you or anyone else in your household own a dog?



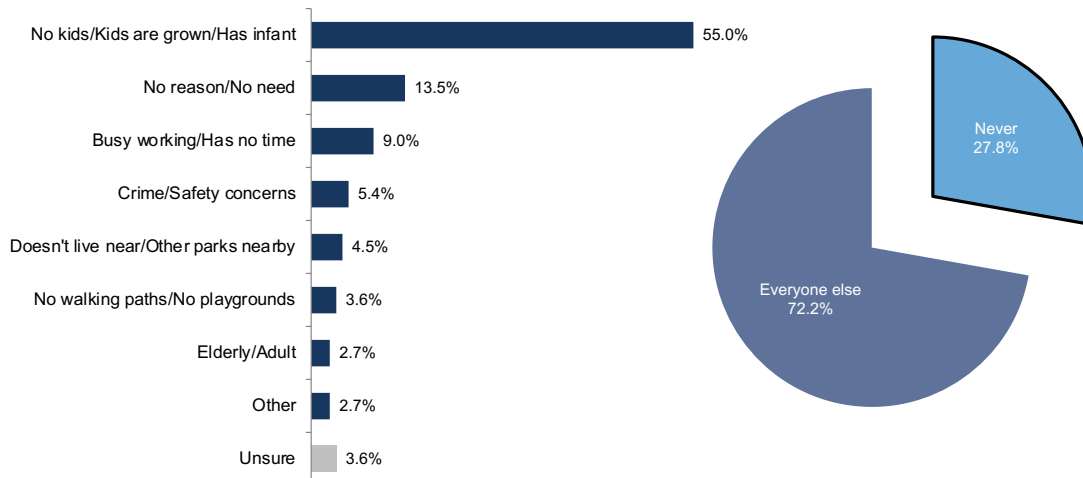
44% visit playgrounds in Gardena at least once a month

Question 13: In a typical year, how often have you or members of your household visited playgrounds at City of Gardena parks?



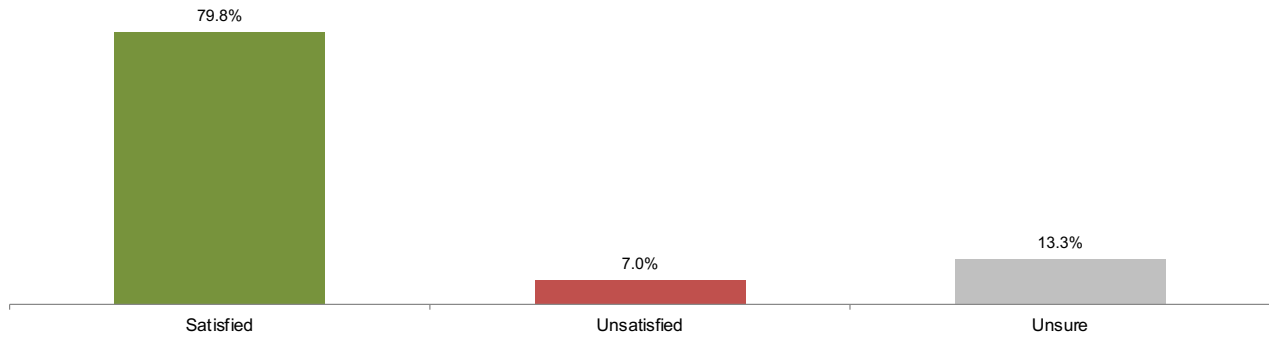
Among those who never visit playgrounds in Gardena, most cite no children/need

Question 14: Why have you or members of your household never visited playgrounds at City of Gardena parks?
 [IF ANSWERED 'NEVER' TO Q13]
 [OPEN-ENDED RESPONSE]



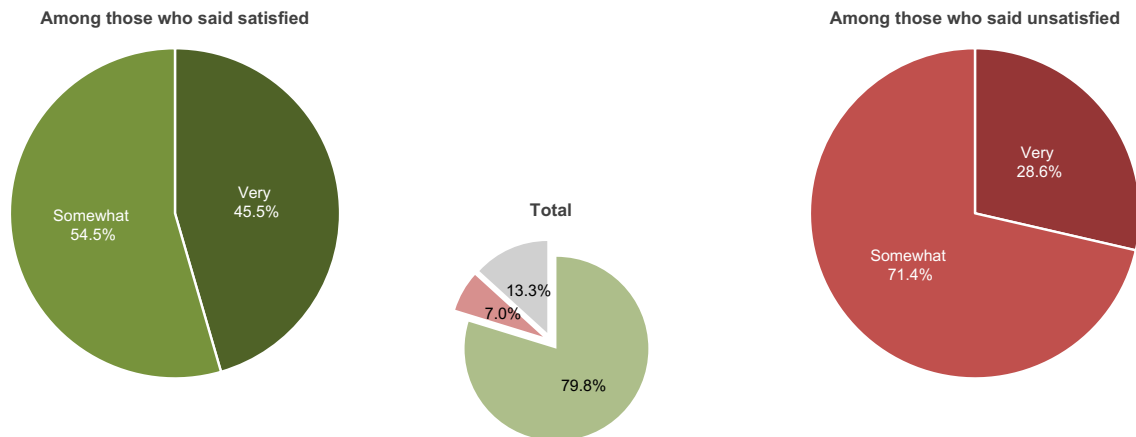
80% are satisfied with the accessibility of playgrounds at Gardena parks

Question 15: Are you satisfied or unsatisfied with the accessibility of the playgrounds at City parks?



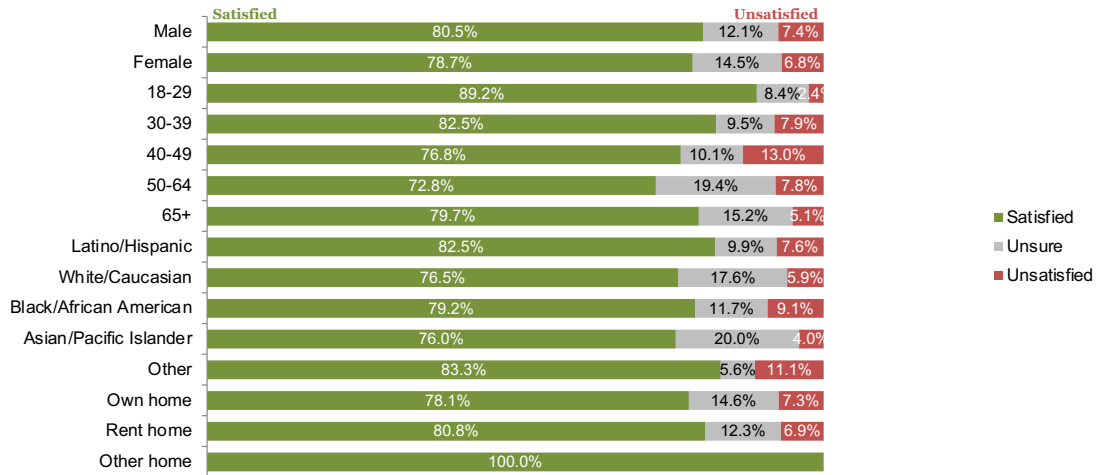
Among those who said satisfied, 55% said somewhat satisfied

Question 15: Are you satisfied or unsatisfied with the accessibility of the playgrounds at City parks?



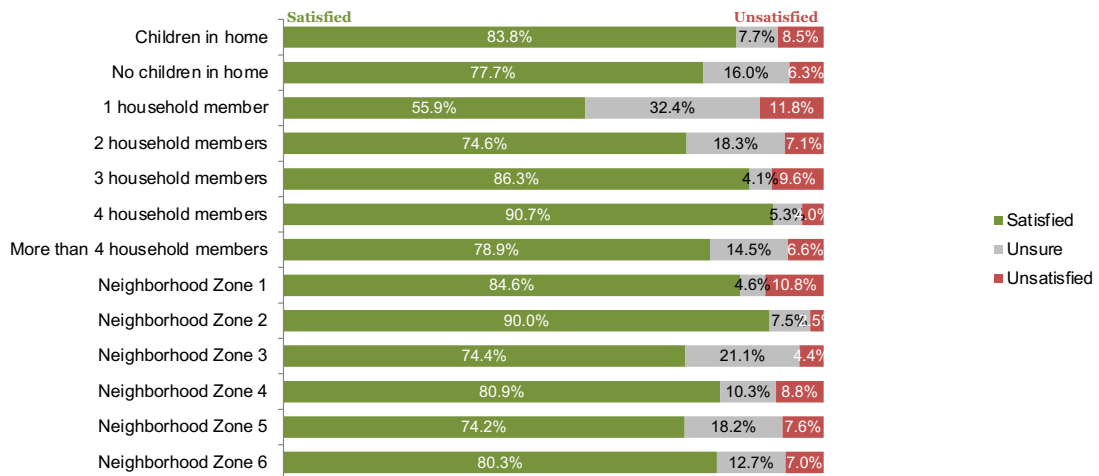
Results by gender, age group, ethnicity, and home type

Question 15: Are you satisfied or unsatisfied with the accessibility of the playgrounds at City parks?



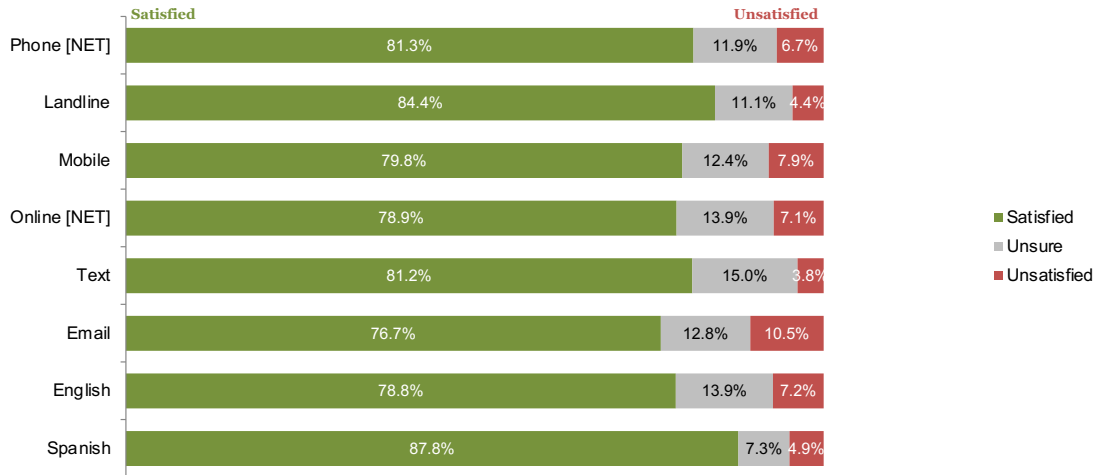
Results by children in home, household size, and neighborhood zone

Question 15: Are you satisfied or unsatisfied with the accessibility of the playgrounds at City parks?



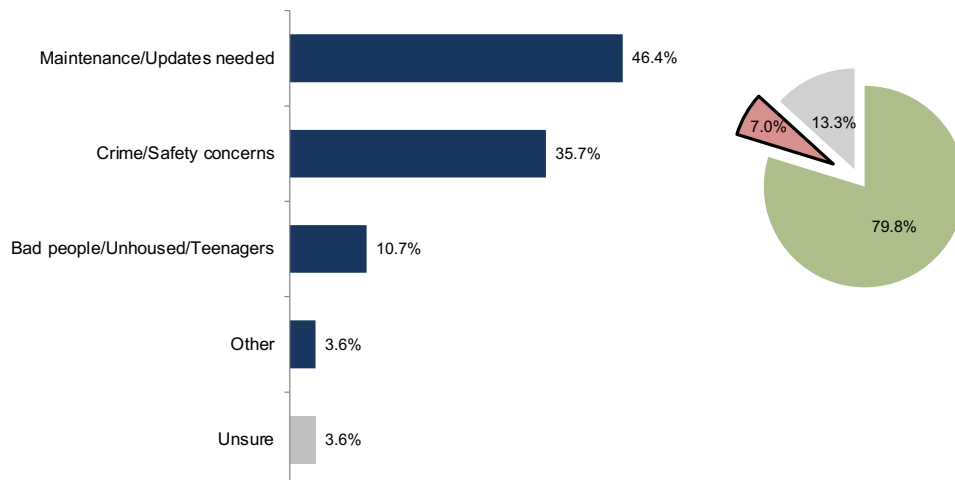
Results by survey mode and survey language

Question 15: Are you satisfied or unsatisfied with the accessibility of the playgrounds at City parks?



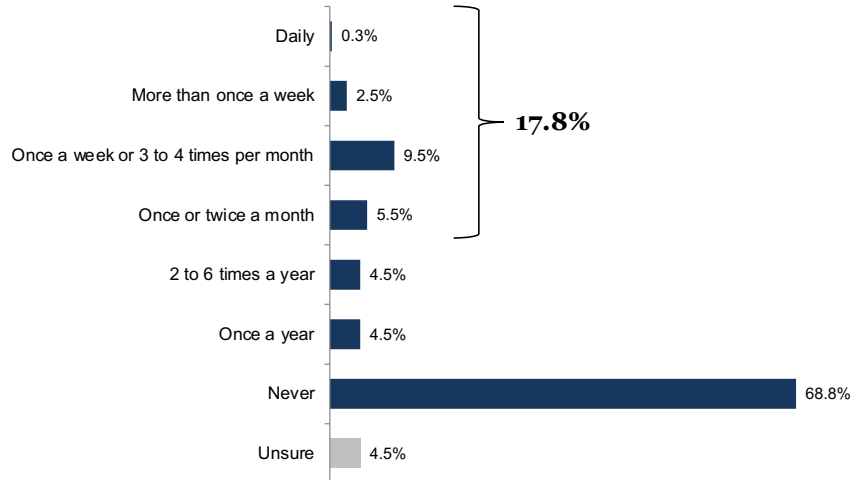
Among those unsatisfied with the accessibility of Gardena parks, many cite the need for maintenance/updates

Question 16: Why are you unsatisfied with the accessibility of the playgrounds at City parks?
 [IF ANSWERED 'UNSATISFIED' TO Q15]
 [OPEN-ENDED RESPONSE]



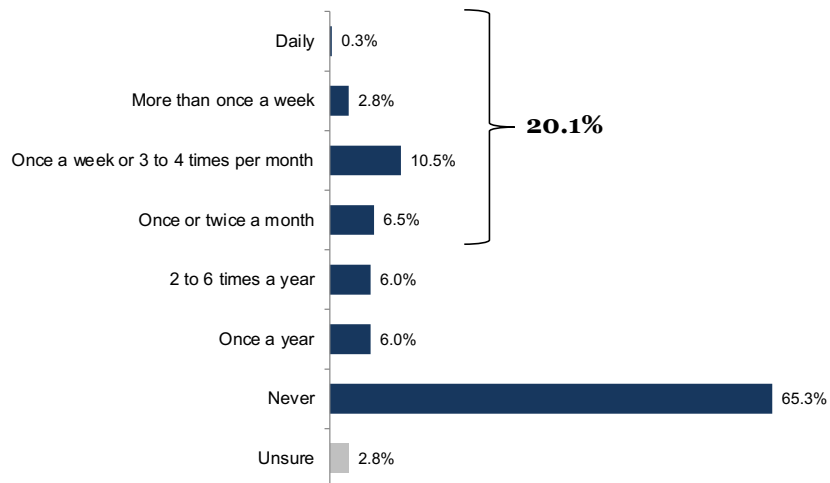
18% participate in pickleball at City of Gardena courts at least once a month

Question 17: In a typical year, how often have you or members of your household participated in non-school or non-home owner association, non-team/league pickleball play at City of Gardena courts?



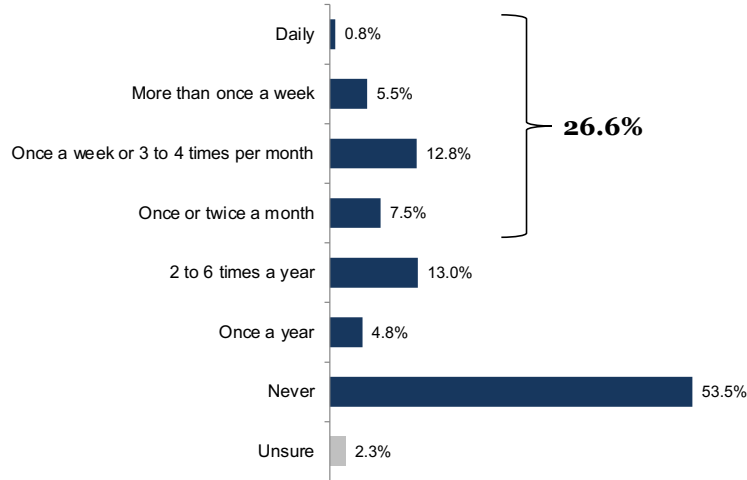
20% participate in tennis at a City of Gardena facility at least once a month

Question 18: In a typical year, how often have you or members of your household participated in non-school or non-home owner association, non-team/league tennis play at a City of Gardena facility?



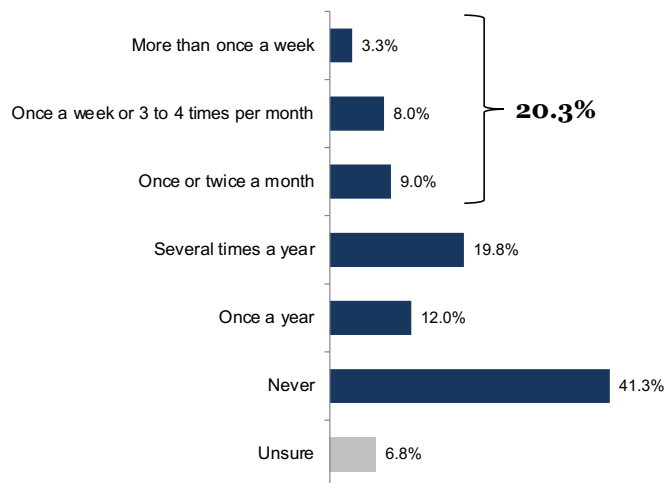
27% participate in basketball at City of Gardena outdoor courts at least once a month

Question 19: In a typical year, how often have you or members of your household participated in non-school or non-home owner association, non-team/league outdoor basketball play at the outdoor basketball courts in Gardena?



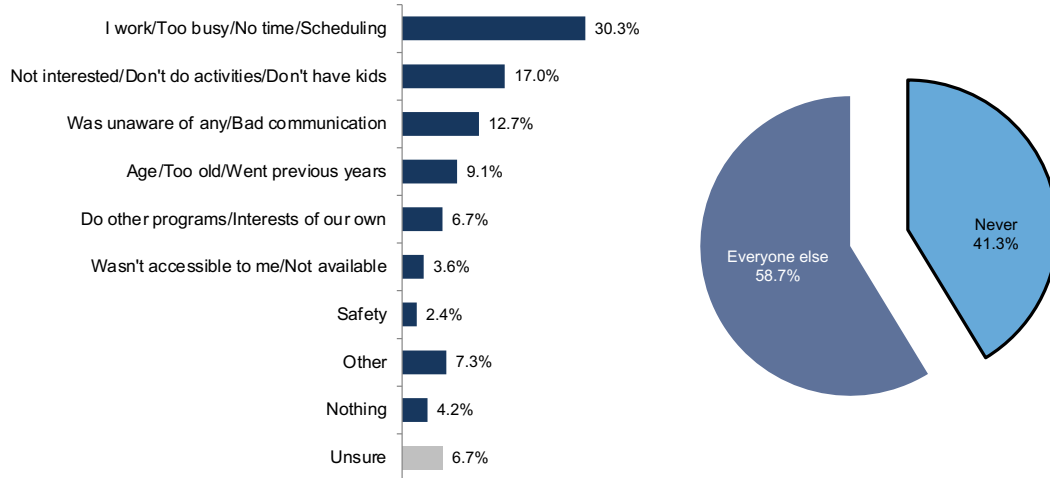
20% participate in recreational programs in Gardena at least once a month

Question 20: In a typical year, how often have you or members of your household participated in recreational programs in Gardena?



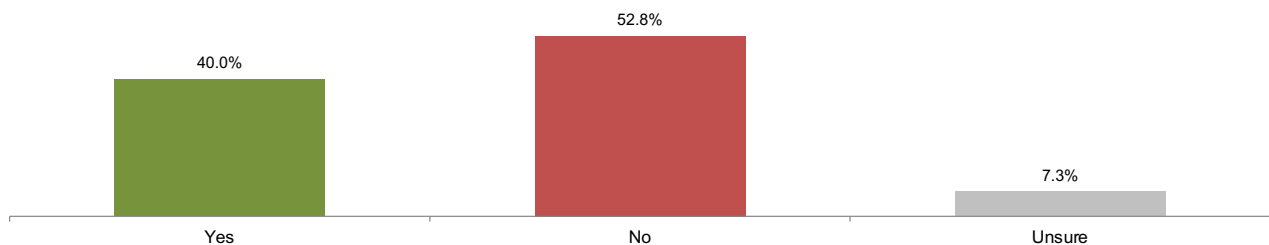
Among those who never participate in recreational programs in Gardena, many cite no time/too busy

Question 21: Why have you or other members of your household never participated in recreational programs in Gardena?
 [IF ANSWERED 'NEVER' TO Q20]
 [OPEN-ENDED RESPONSE]



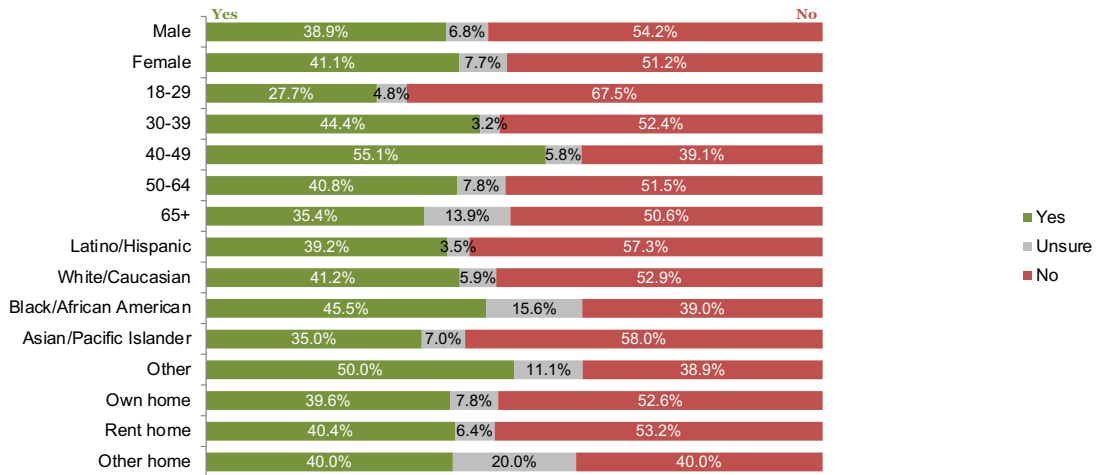
40% say there is a park feature or recreation facility they would like to see added or improved in the City

Question 22: Is there a park feature or recreation facility you would like to see added or improved in the City of Gardena to meet the needs of your household?



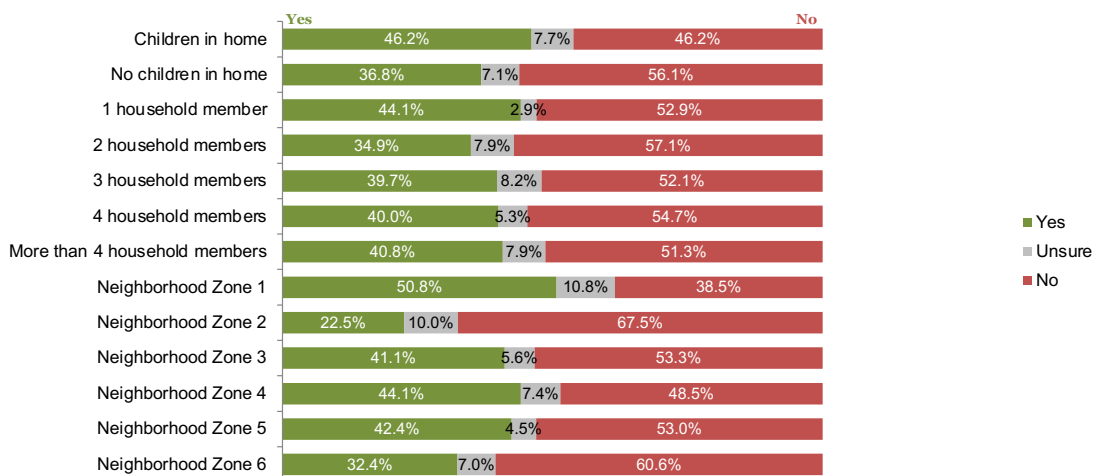
Results by gender, age group, ethnicity, and home type

Question 22: Is there a park feature or recreation facility you would like to see added or improved in the City of Gardena to meet the needs of your household?



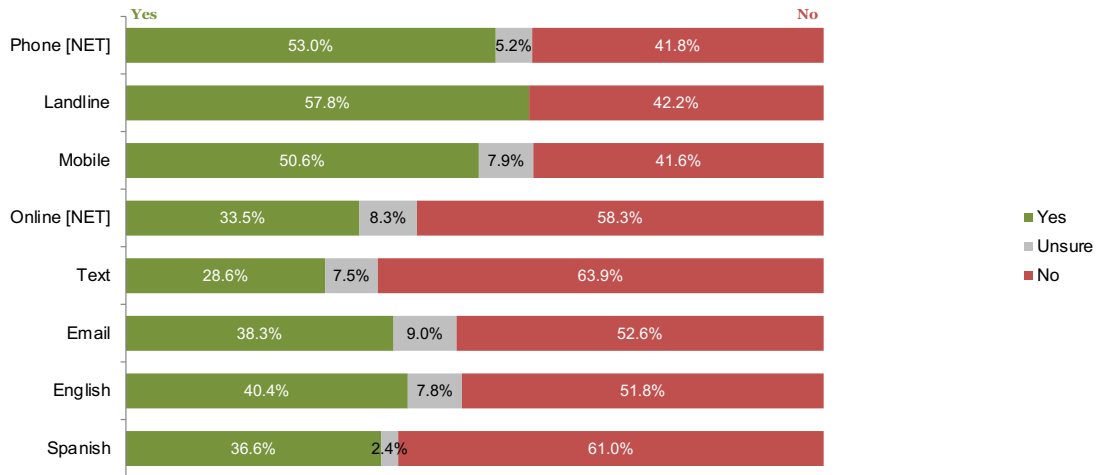
Results by children in home, household size, and neighborhood zone

Question 22: Is there a park feature or recreation facility you would like to see added or improved in the City of Gardena to meet the needs of your household?



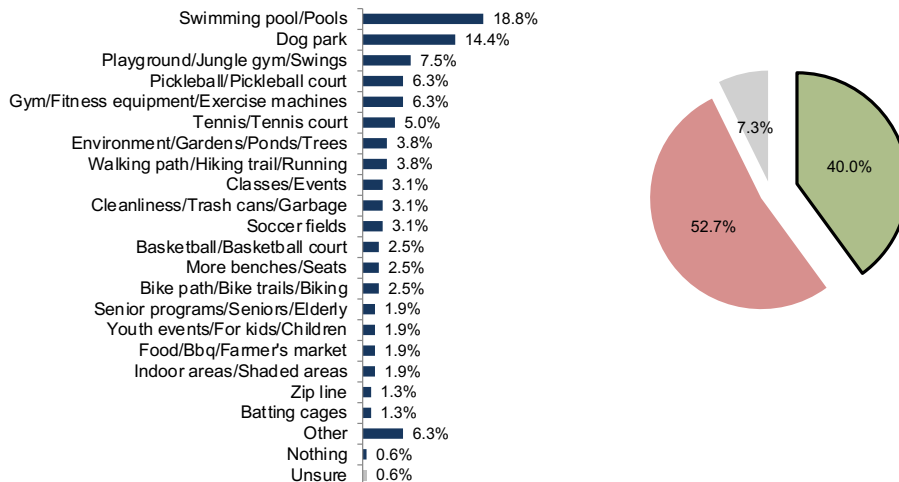
Results by survey mode and survey language

Question 22: Is there a park feature or recreation facility you would like to see added or improved in the City of Gardena to meet the needs of your household?



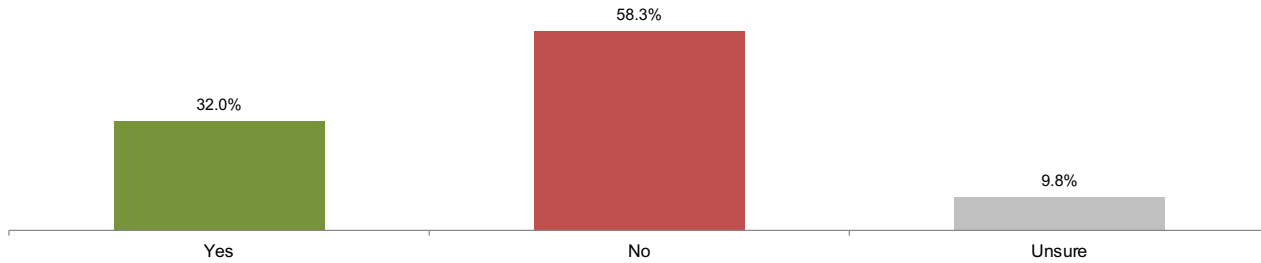
Among those who say there's a park feature or recreational facility they'd like to see added or improved in the City, some cite swimming pools

Question 23: Please briefly describe the one park feature or recreation facility you would most like to see added or improved in the City of Gardena.
 [IF ANSWERED 'YES' TO Q22]
 [OPEN-ENDED RESPONSE]



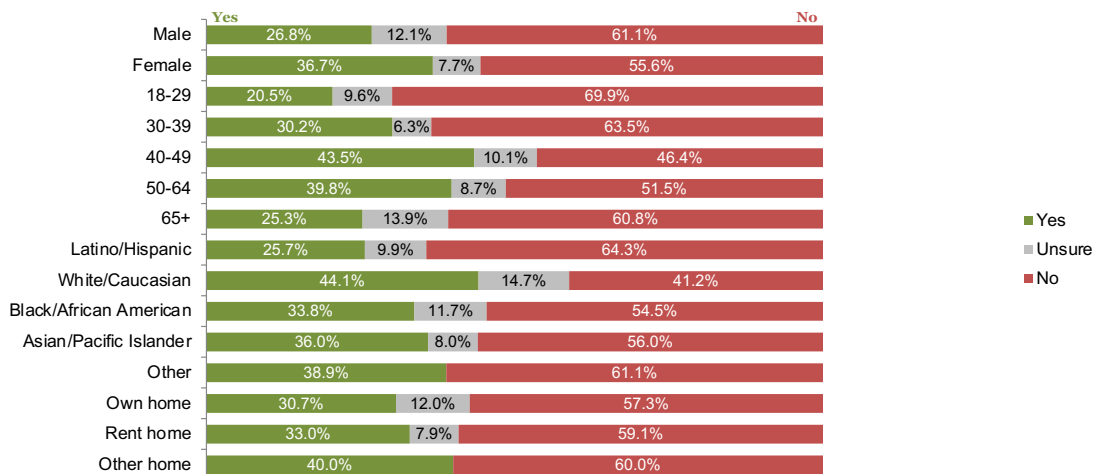
32% say there is a recreation program, class, or activity they would like to see added or improved in the City

Question 24: Is there a recreation program, class, or activity that you would like to see added or improved in the City of Gardena to meet the needs of your household?



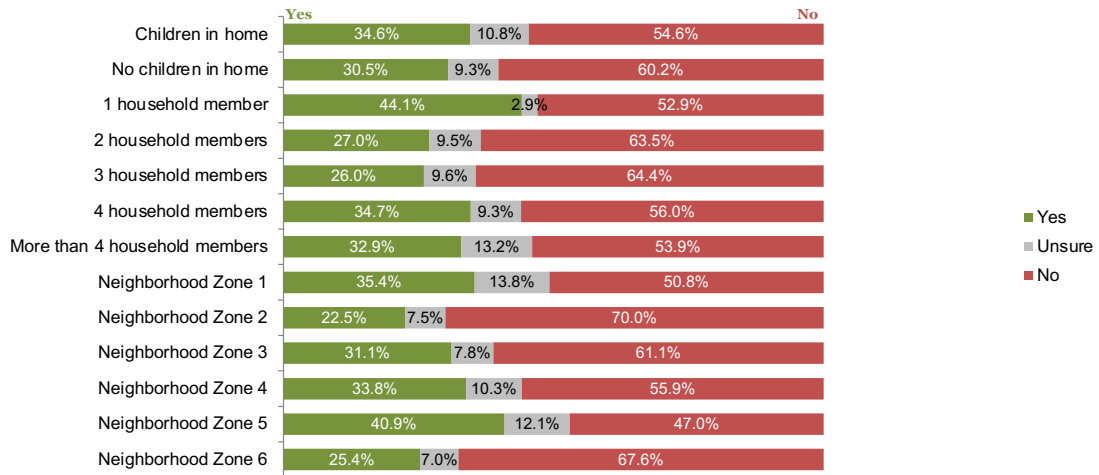
Results by gender, age group, ethnicity, and home type

Question 24: Is there a recreation program, class, or activity that you would like to see added or improved in the City of Gardena to meet the needs of your household?



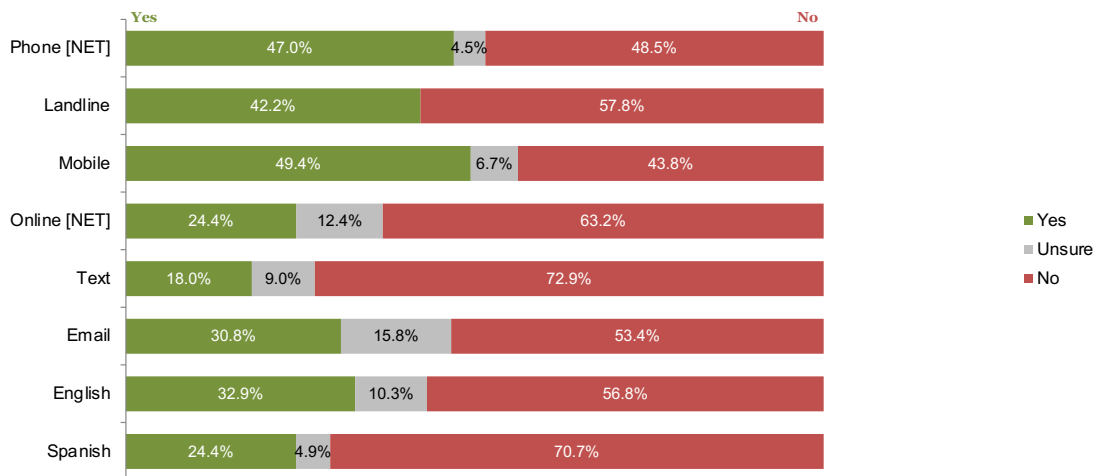
Results by children in home, household size, and neighborhood zone

Question 24: Is there a recreation program, class, or activity that you would like to see added or improved in the City of Gardena to meet the needs of your household?



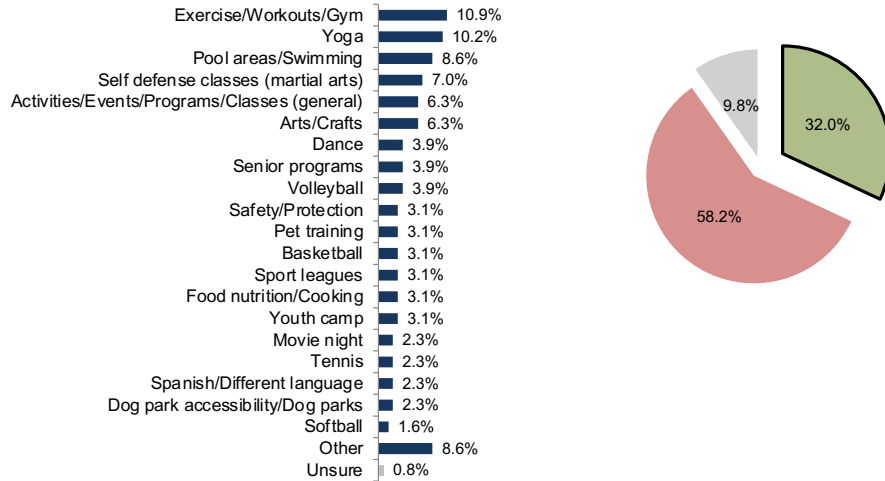
Results by survey mode and survey language

Question 24: Is there a recreation program, class, or activity that you would like to see added or improved in the City of Gardena to meet the needs of your household?



Among those who say there’s a recreational program they’d like to see added or improved in the City, some cite exercise/workouts

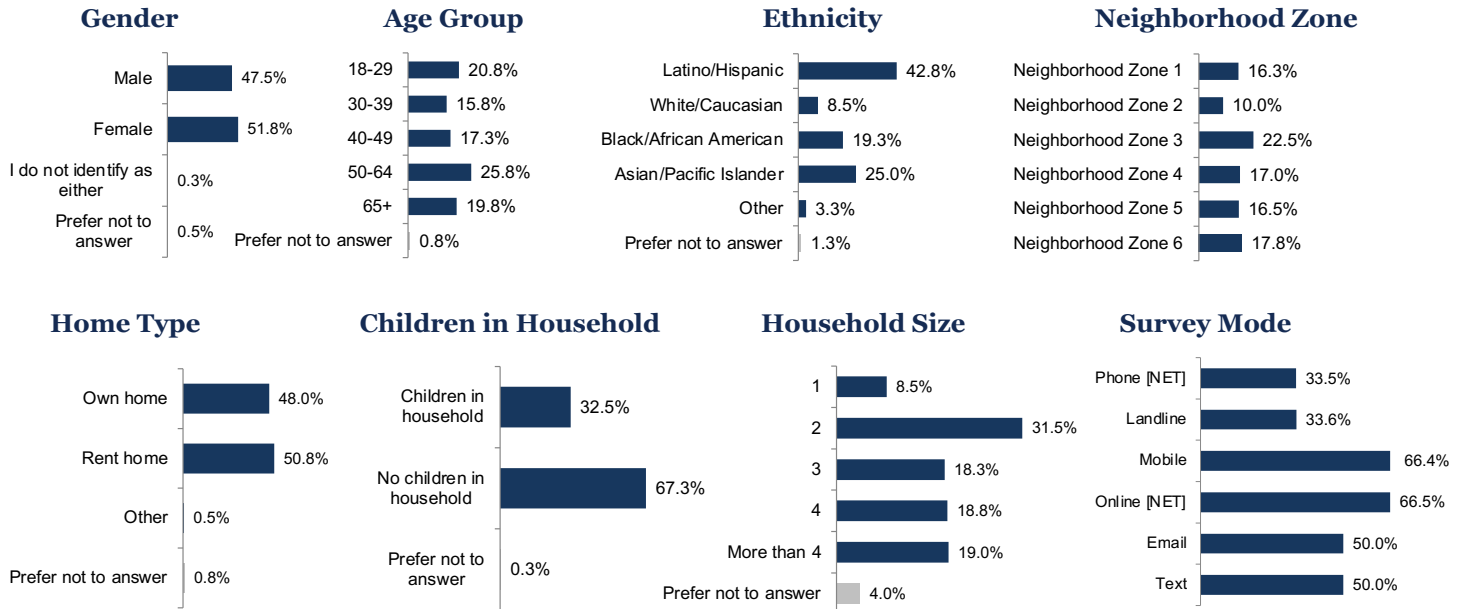
Question 25: Please briefly describe the one recreation program, class, or activity that you would most like to see added or improved in the City of Gardena.
 [IF ANSWERED 'YES' TO Q24]
 [OPEN-ENDED RESPONSE]



Demographics



Respondent demographics by gender, age group, ethnicity, neighborhood zone, home type, children in household, household size, and survey mode



Questions?

Adam Probolsky, President
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 E: adamp@probolskyresearch.com

Michael McLaughlin, Research Director
 O: 202-559-0270



**Opinion Research on
 Elections and Public Policy**



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PARK/FACILITY NEEDS

PARK/FACILITY NEEDS	Small Group		Public/Community					Direct Survey		
	STAKEHOLDER INTERVIEWS	TOTAL (SMALL GROUPS ONLY)	WORKSHOP #1	WORKSHOP #2	WORKSHOP #3	FEEDBACK COMMENTS	TOTAL (PUBLIC / COMMUNITY ONLY)	CPSC'S	MULTIMODAL SURVEY	TOTAL (SURVEYS ONLY)
ADA Compliant/Accessible Facilities	•	1					0			0
Adjust Operating Hours for Pools, Fields, and Facilities		0				•	1			0
Aquatic Facilities (water park, splash pad, swimming pool)		0		•	•		2		•	1
Baseball & Softball Field Improvements		0		•			1			0
Benches/Seating		0		•			1			0
Bike Paths or Trails		0			•		1			0
Computer Lab (access to wifi/internet)	•	1					0			0
Dance Studio (at new Mas Fukai community building)	•	1					0			0
Dog Park or Off Leash Dog Area	•	1	•	•	•	•	4		•	1
Exercise Equipment/Fitness Stations at Parks	•	1		•		•	2			0
Football		0					0	•		1
Futsal		0					0	•		1
Gardens (community gardens)		0		•	•		2		•	1
Gym with Fitness Equipment		0			•		1		•	1
Kiosks/Readerboards/Electric Bulletin Boards at Parks	•	1					0			0
Lighting in Parks & Parking Lots		0		•	•	•	3			0
Modernize/Upgrade Existing Park Amenities	•	1		•			1			0
Outdoor Gathering Spaces		0	•				1			0
Park Maintenance (clean up, remove trash, trash and recycle receptacles, remove graffiti)		0	•		•	•	3		•	1
Parking Lot Improvements (more parking, solar panels/shade structures at parking lots)	•	1	•	•			2			0
Pickleball Court (add, restripe tennis, use for Badminton too)	•	1		•		•	2	•	•	2
Picnic Area Improvements	•	1					0			0
Playground Improvements (jungle gym, swings, remove sand, better equipment)	•	1		•	•	•	3		•	1
Renovate Community Buildings (energy efficient, fix up rooms, larger rooms, more meeting spaces, modernize, upgrade building)	•	1	•	•		•	3			0
Restroom Improvements (clean, renovate, maintenance, safety)	•	1		•	•		2			0
Security Cameras	•	1					0			0
Shade Structures (over playgrounds, over bleachers)	•	1		•		•	2			0
Soccer Field		0					0		•	1
Tennis Court	•	1		•			1		•	1
Trees and Green Space (more)		0	•	•		•	3		•	1
Walking Paths or Trails (reflexology barefoot walking path)	•	1	•	•	•	•	4		•	1
Willows Wetlands Preserve (access, hours open, add staff, add programs/activities there, fundraising events)	•	1		•		•	2			0

Legend:
 Frequent (3 Outreach Modes)
 Apparent (2 Outreach Modes)
 Identified (1 Outreach Mode)

PROGRAM NEEDS	Small Group		Public/Community					Direct Survey	
	STAKEHOLDER INTERVIEWS	TOTAL (SMALL GROUP ONLY)	WORKSHOP #1	WORKSHOP #2	WORKSHOP #3	FEEDBACK COMMENTS	TOTAL (PUBLIC/COMMUNITY ONLY)	MULTIMODAL SURVEY	TOTAL (SURVEYS ONLY)
Affordable Programs/Affordable Rental Facilities	●	1			●	●	2		0
After School Program	●	1	●	●	●	●	4		0
Aquatic Programs / Swimming Lessons	●	1		●	●		2	●	1
Arts & Crafts Class		0			●		1	●	1
Basketball		0					0	●	1
Coding / Robotics Class	●	1					0		0
Communications/Marketing to Public (promote programs, social media and not social media; mailers; meetings; app or hotline number)	●	1	●				1		0
Cooking/Nutrition Class		0	●				1	●	1
Dance Program (expand to include performing arts, dance classes)	●	1		●	●		2	●	1
Events (field trips to the Willows Wetlands, more/extracurricular/culturally diverse events, family friendly, art fairs, street fair)	●	1	●	●	●	●	4	●	1
Exercise (zumba, boot camp, workouts)	●	1		●			1	●	1
Family Programs (baby classes, tiny tots, mommy and me, parenting)		0		●			1		0
Farmers Market		0		●	●		2		0
Gardening Class		0		●			1		0
Homelessness Solutions (address, help, outreach)	●	1	●		●		2		0
Marital Arts/Self Defense Class (boxing, karate)	●	1		●		●	2	●	1
Movies in The Park		0			●		1		0
Music Class	●	1					0		0
Nature Education/Conservation Class		0				●	1		0
Partnerships/Collaborate with Others	●	1					0		0
Pet Training/Obedience Class		0					0	●	1
Pickleball Classes/Program	●	1		●			1		0
Security Guard/Park Ranger for Park Surveillance/Safety	●	1	●			●	2	●	1
Senior Programs (computer/technology class, senior exercise class)	●	1		●		●	2	●	1
Soccer Program		0		●			1		0
Sports Leagues / Youth Sports	●	1					0	●	1
Staff (more staff, staff training)	●	1	●				1		0
Technology/Computer Training	●	1					0		0
Teen Programs (auto repair, career development, gang prevention, job training, woodshop)		0		●	●	●	3		0
Tennis Lessons/League	●	1		●			1		0
Volleyball Lessons/League		0					0	●	1
Yoga (classes, outdoor, meditation)		0		●			1	●	1
Youth Activities and Programs		0	●				1		0
Youth Camp		0					0	●	1

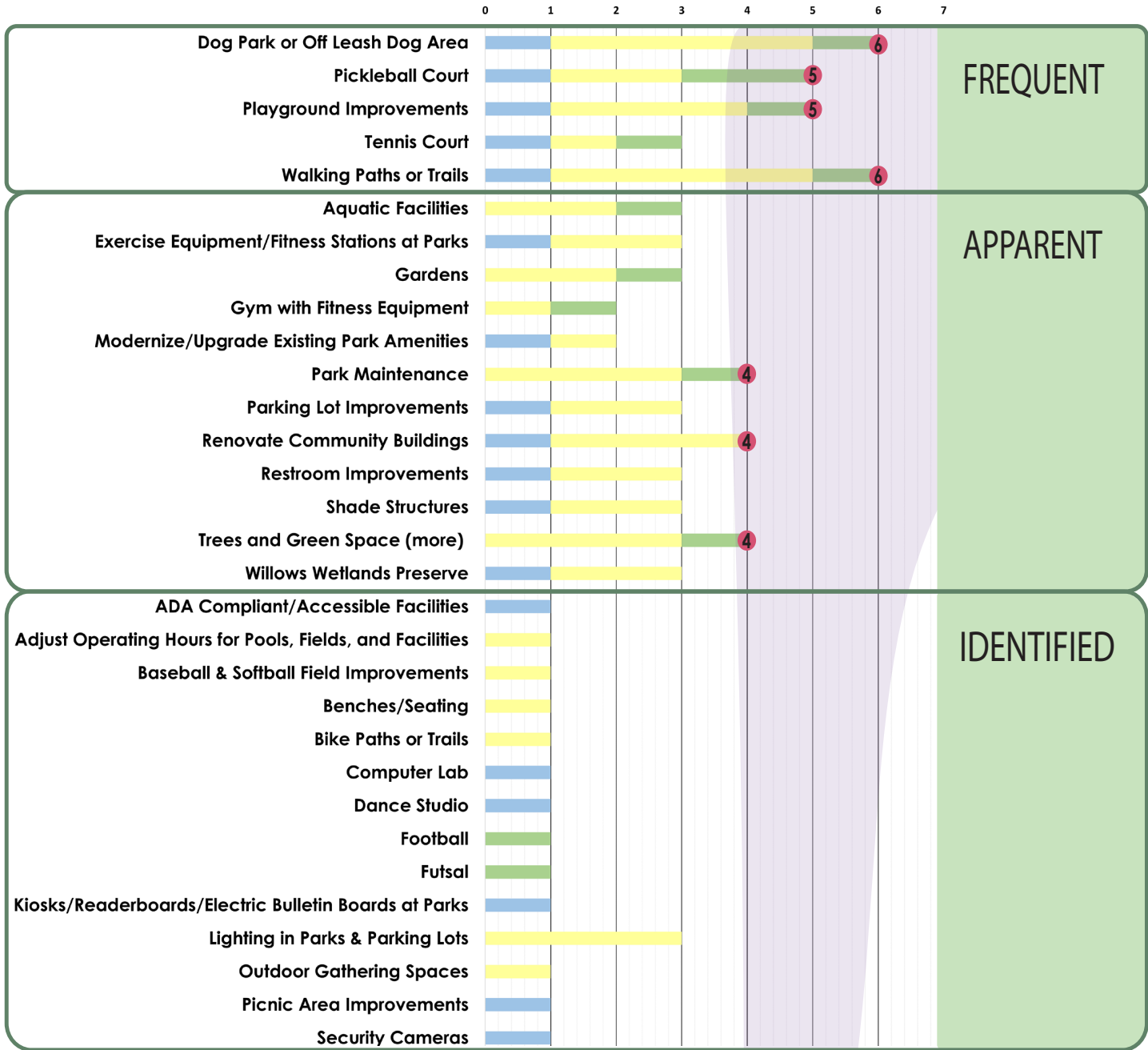
Legend:

Frequent (3 Outreach Modes)

Apparent (2 Outreach Modes)

Identified (1 Outreach Mode)

GARDENA PARKS AND RECREATION MASTER PLAN
Facility Needs Prioritization Summary



Small Group
Stakeholder Interviews

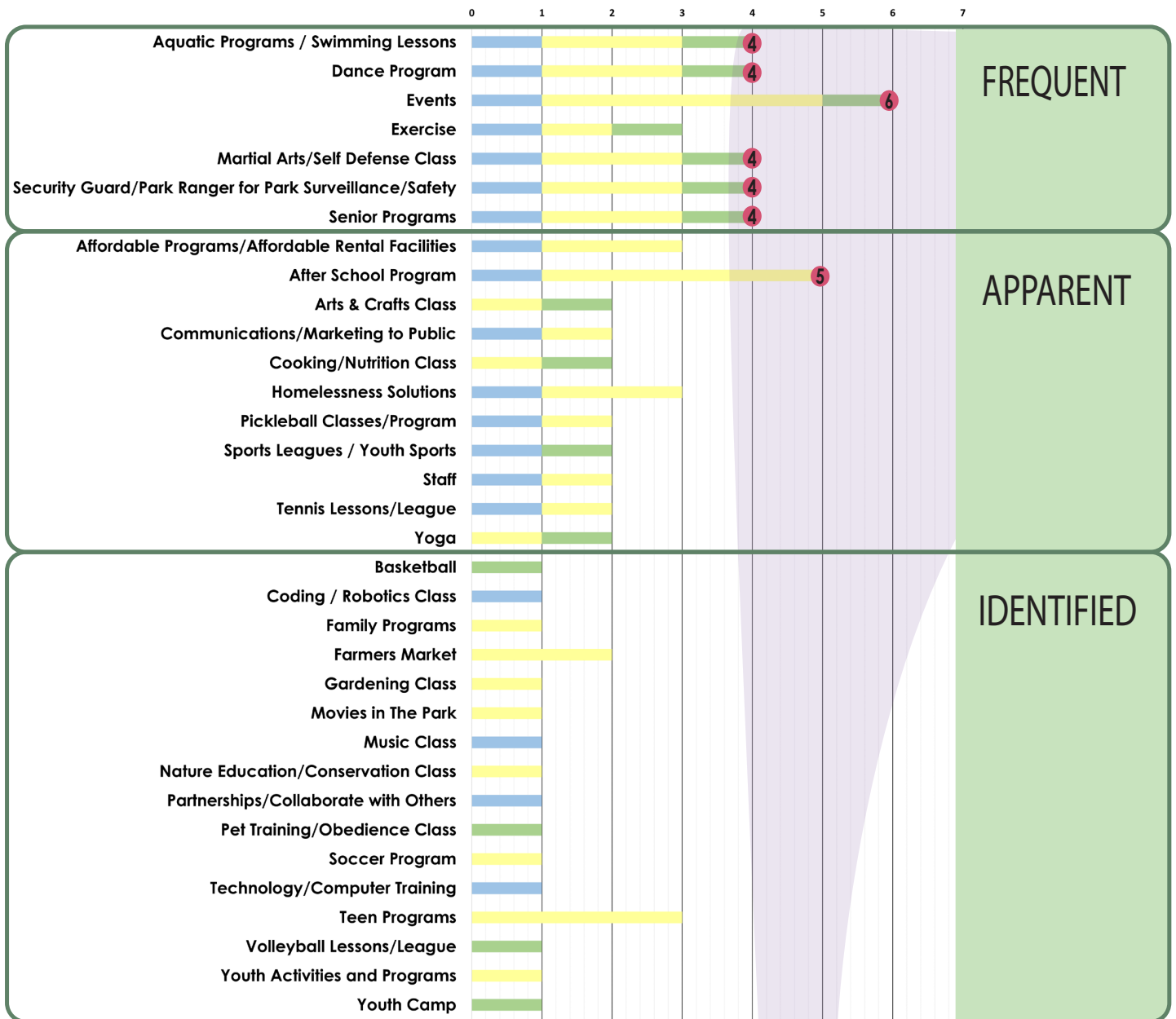
Public/Community
Workshop 1 / Workshop 2 /
Workshop 3 / Feedback Comments

Surveys
Multimodal Community Survey /
CPSC's

Area of maximum community impact

*Facilities are encompassing of multiple "similar" community comments. Individual comments are identified in the recommendations and appendix.

GARDENA PARKS AND RECREATION MASTER PLAN
Program Needs Prioritization Summary



<p style="text-align: center;">Small Group</p> <p style="text-align: center;">Stakeholder Interviews</p>	<p style="text-align: center;">Public/Community</p> <p style="text-align: center;">Workshop 1 / Workshop 2 / Workshop 3 / Feedback Comments</p>	<p style="text-align: center;">Surveys</p> <p style="text-align: center;">Multimodal Community Survey</p>	<p style="text-align: center;">Area of maximum community impact</p>
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*Programs are encompassing of multiple “similar” community comments. Individual comments are identified in the recommendations and appendix.

Acreege Analysis

The City of Gardena currently has nine (9) parks and two (2) recreation buildings which encompasses 49.4 acres of developed parkland and open space. Based on the park acreage identified above and the City’s 2022 population of 38,134, the City currently has:

Park Acres by Park Type Summary

Parkette	0.2 Acres
Harvard Parkette	0.2 Acres
Neighborhood	4.4 Acres
Thornburg Park	2.5 Acres
Vincent Bell Memorial Park	1.9 Acres
Community	33.4 Acres
Arthur Johnson Park	6.8 Acres
George H. Freeman Park	3.0 Acres
Mas Fukai Park	4.9 Acres
Rowley Park & Gymnasium	18.7 Acres
Special Use	8.7 Acres
Aquatic Center & Senior Center	0.7 Acres
The Willows Wetland Preserve	8.0 Acres
Recreation Facility	2.7 Acres
Nakaoka Community Center	1.8 Acres
Rush Gymnasium	0.9 Acres
Total Park Acreage	49.4 Acres

NOTE: The Nakaoka Community Center acreage includes the lawn area and parking lot. The Rush Gymnasium also includes the parking lot.

Based on the park acreage identified above and the City’s 2022 population of 61,543 the city currently has:

Acres per 1000 Residents

Developed Parks	0.80 Acres
-----------------	-------------------

The Gardena General Plan has a goal of 3 acres per 1,000 persons. The city needs approximately 135.6 acres (185 acres of parkland total) of additional parkland to reach the 3 acres per 1,000 parkland acreage goal.

The City has recently acquired two (2) properties that will increase the City’s Park acreage. These two opportunity sites are:

- Chase Bank Building Site (approximately 1 acre)
- Thornburg Park Expansion (approximately 0.1 acre)

Rosecrans Park and Recreation Center (10.3 acres), a County of Los Angeles park that is on the city border of Gardena and West Rancho Dominguez, is not included in the city-owned parkland acreage.

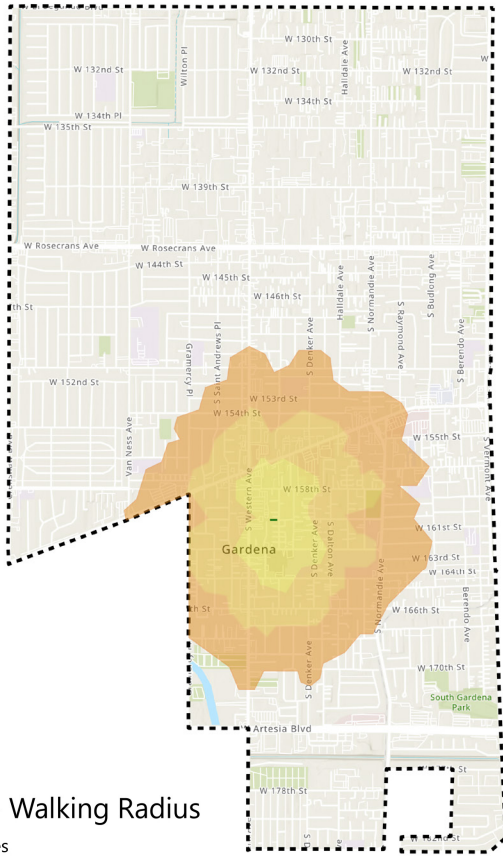
Opportunities to increase the City’s Park acreage could also be accomplished through joint use of public-school athletic fields. The City does not currently have a joint use agreement with the school district.

Creating new parks in the City of Gardena faces challenges due to the densely developed urban landscape and the expensive real estate market. Despite these limitations, community members can still benefit from adding smaller green spaces and improving existing recreational areas.



Photo by RJM Design Group

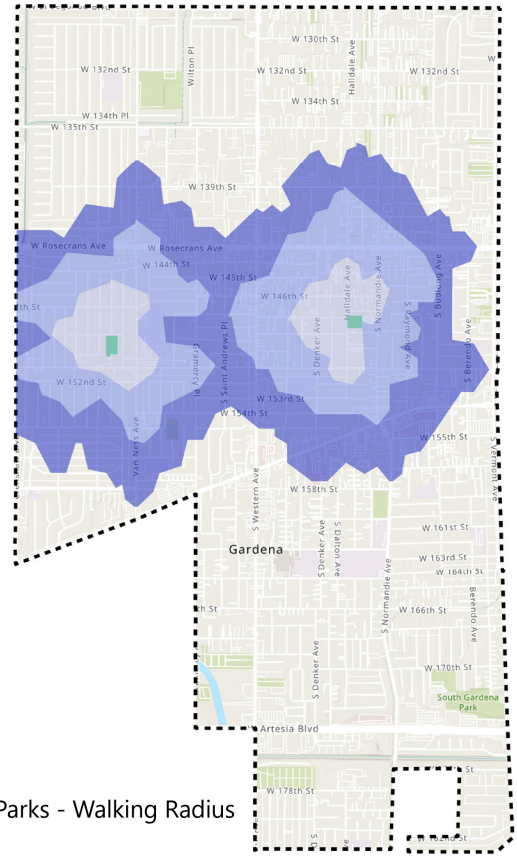
Willows Wetland Preserve



Parkette - Walking Radius

- 5 Minutes
- 10 Minutes
- 15 Minutes

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Neighborhood Parks - Walking Radius

- 5 Minutes
- 10 Minutes
- 15 Minutes

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Service Area Gap Analysis for Parkettes

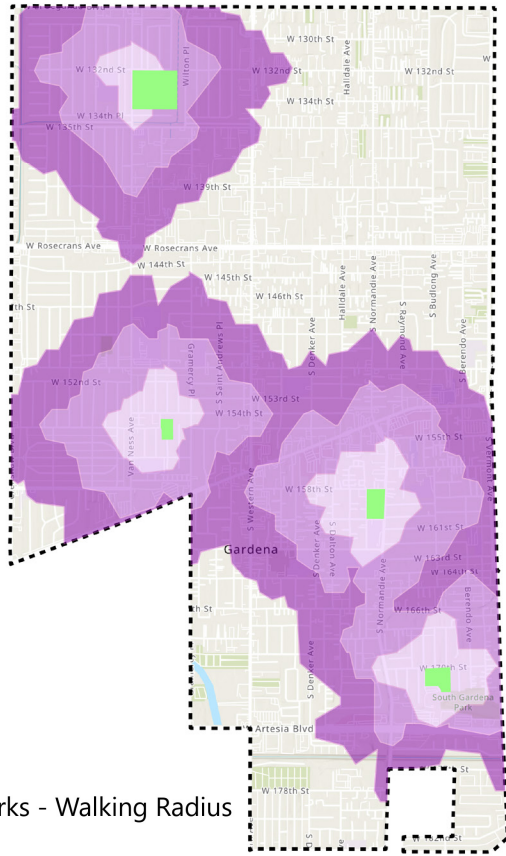
Parkettes

	5 Min Walk	1.9% of population	1,158 pop / .2 sq. miles
	10 Min Walk	8.9% of population	5,505 pop / .77 sq. miles
	15 Min Walk	19.8% of population	12,163 pop / 1.63 sq. miles

Service Area Gap Analysis for Neighborhood Parks

Neighborhood Parks

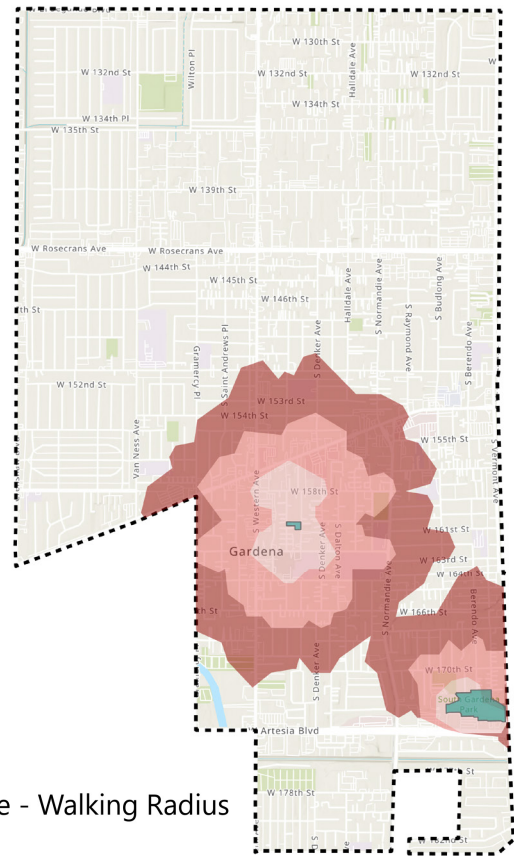
	5 Min Walk	7.4% of population	4,551 pop / .35 sq. miles
	10 Min Walk	21.3% of population	13,124 pop / 1.41 sq. miles
	15 Min Walk	38.2% of population	23,521 pop / 2.91 sq. miles



Community Parks - Walking Radius

- 5 Minutes
- 10 Minutes
- 15 Minutes

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Special Use - Walking Radius

- 5 Minutes
- 10 Minutes
- 15 Minutes

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Service Area Gap Analysis for Community Parks

Community Parks



5 Min Walk 8.5% of population / 5,213 pop / .66 sq. miles



10 Min Walk 28.6% of population / 17,616 pop / 2.46 sq. miles



15 Min Walk 53.3% of population / 32,794 pop / 4.74 sq. miles

Service Area Gap Analysis for Special Use Parks

Special Use Parks



5 Min Walk 3.2% of population / 1,968 pop / .24 sq. miles



10 Min Walk 11.6% of population / 7,111 pop / .91 sq. miles



15 Min Walk 22.7% of population / 13,953 pop / 2 sq. miles

Base Land Use Designations

- Single Family Residential
- Low Residential
- Med. Residential
- High Residential
- Very High Residential
- Home Business
- General Commercial
- Industrial
- Neighborhood Commercial
- Public/Institutional
- Specific Plan
- Commercial Residential
- Artesia Mixed Use

Park Types

- Parkette
- Neighborhood Park
- Community Park
- Special Use Park

Parkette - Walking Radius

- 5 Minutes
- 10 Minutes
- 15 Minutes

Neighborhood Parks - Walking Radius

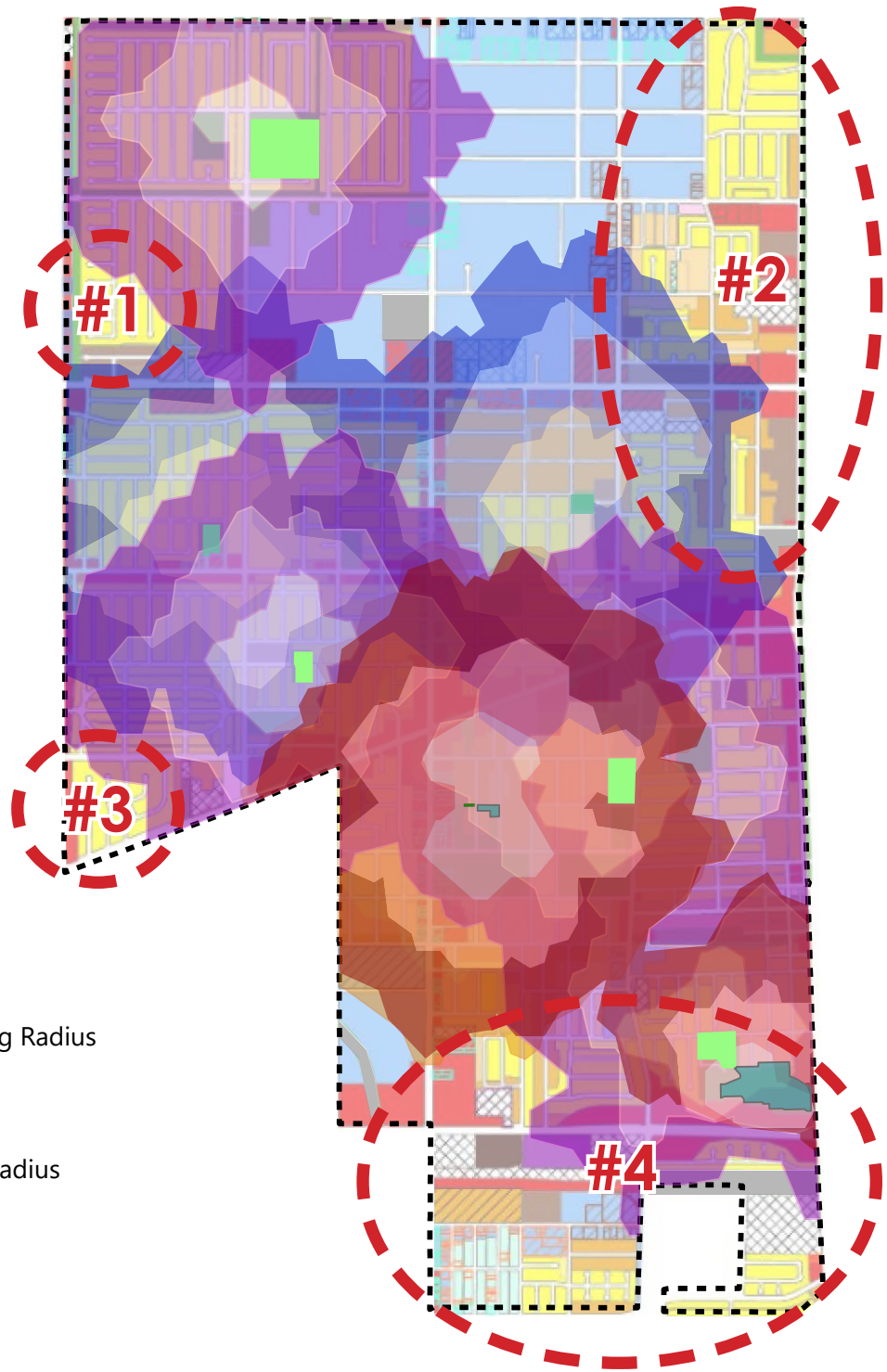
- 5 Minutes
- 10 Minutes
- 15 Minutes

Community Parks - Walking Radius

- 5 Minutes
- 10 Minutes
- 15 Minutes

Special Use - Walking Radius

- 5 Minutes
- 10 Minutes
- 15 Minutes



Service Area Gap Analysis Map

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This is the city's first Parks and Recreation Master Plan and will serve as a guide and implementation tool for the management and development of parks and recreation facilities throughout the city. This document represents a summary of the community outreach, research, and professional analysis conducted. The culminating result is a community inspired plan for the future of parks and recreation in the City of Gardena.

The process began with a review of pertinent planning documents, existing park resources, and recreation opportunities. Following the initial inventory, a community outreach campaign was developed. In-person workshops, online video presentations, one-on-one stakeholder interviews, a statistically-valid multimodal survey, public online surveys, and direct website feedback were conducted to analyze the community recreation demand in the city. Throughout the process, project updates and summary results were posted to the project website. This website enabled community members to review updates and provide immediate feedback at any point during the project. This resource allowed anyone in the community to have a voice in the process regardless of when and where meetings were held.

The Master Plan includes capital improvements of \$39,759,250 (\$30,299,250 in planned projects and \$9,460,000 in unplanned projects). Based on the findings, this Master Plan outlines key park and facility improvements as well as maintenance recommendations identified in Section Four, detailed reports of these analysis are available in the appendix. The following are key strategies developed to balance the available inventory with the community's recreational desires.

Each of the following recommended key strategies are designed to balance the equation of where existing recreation resources exist and how they relate to the needs of the community. Through this analysis recreation development can flourish and continue to support a thriving outdoor community.

Key Strategy #1: Preserve the city's most cherished resources through enhanced maintenance support and park improvements.

Goal 1.1: Increase funding and staffing for park and facility maintenance to address aging infrastructure and upkeep challenges.

Goal 1.2: Develop a lifecycle replacement schedule for playgrounds, focusing on redesigning older playgrounds and incorporating universal design standards.

Goal 1.3: Implement renovations suggested in the CASP Study report, including upgrades to older community buildings to maintain current codes and standards.

Key Strategy #2: Strengthen the bond between community and the natural environment.

Goal 2.1: Develop strategic park facilities and green spaces to align with community desires and improve overall parkland quality.

Goal 2.2: Enhance neighborhood park trail loops and promote local nature preserves to meet community needs for walking and hiking paths.

Key Strategy #3: Develop new park facilities to support growing demands.

Goal 3.1: Add three new pickleball courts to meet the growing local and visiting player demand.

Goal 3.2: Develop a new dog park within the city and amend municipal codes to allow leashed dogs in some parks.

Key Strategy #4: Enhancing community togetherness and small town feel through events.

Goal 4.1: Expand staffing and collaboration for community events to enhance economic benefits and cultural offerings.

Goal 4.2: Incorporate Crime Prevention Through Environmental Design (CPTED) features in park improvement projects and consider testing a park ranger program.

Key Strategy #5: Refine program development to meeting the needs of the community.

Goal 5.1: Expand after-school offerings through partnerships and ensure adequate resources and facilities are available.

Goal 5.2: Partner with local facilities to meet aquatic needs during the construction of a new pool and consider developing specific aquatic programming.

Goal 5.3: Develop and market diverse fitness and lifelong learning programs targeted at older adults.

Goal 5.4: Enhance the marketing of dance programs and expand facilities as needed to support the programs.

Goal 5.5: Increase awareness and participation in martial arts programs through targeted marketing and community partnerships.

PROJECTS	Estimated Costs	FY 2023-2024	FY 2024-2025	FY 2025-2026	FY 2026-2027	FY 2027-2028
Current CIP Projects						
Nakaoka Community Center	\$645,000	-	-	-	-	-
Mas Fukai Park	\$7,032,000	-	-	-	-	-
Rosecrans Site	\$1,136,000	-	-	-	-	-
Primm Pool (Community Aquatics and Senior Center)	\$19,408,250	-	-	-	-	-
Paul A. Rowley Park and Gymnasium	\$935,000	-	-	-	-	-
Civic Center Lighting Improvements	\$293,000	-	-	-	-	-
Park Electronic Signage	\$600,000	-	-	-	-	-
Multi-Park Improvements	\$250,000	-	-	-	-	-
Future Projects						
Nakaoka Community Center	\$120,000	-	-	-	-	-
Rush Gymnasium / Human Services Building	\$100,000	-	-	-	-	-
Paul A. Rowley Recreation Center	\$50,000	-	-	-	-	-
Arthur Johnson Park	\$820,000	-	-	-	-	-
Vincent Bell Park	\$880,000	-	-	-	-	-
George H. Freeman Park	\$1,270,000	-	-	-	-	-
Gardena City Hall	\$50,000	-	-	-	-	-
Sister City Harvard Parkette	\$747,000	-	-	-	-	-
Paul A. Rowley Park and Gymnasium	\$3,328,000	-	-	-	-	-
Edward L. Thornburg Park	\$950,000	-	-	-	-	-
Willows Wetland Preserve	\$1,145,000	-	-	-	-	-
Total Costs	\$39,759,250	-	-	-	-	-



City of Gardena Public Works Department Maintenance and Operation Management Plan

Purpose of the Plan

Public Works and Recreation/Human Services are tied closely together. This means any new infrastructure developed in the recreation system will increase the maintenance components (staffing, funding, or contract labor increases). Furthermore, this is also true with the development of new programs and large community events. Several functions of the Public Works Department are not easily categorized within standard funding matrices. Many aspects of their workload are difficult to accurately quantify and predict, including non-prescriptive or unscheduled tasks such as vandalism repair, special event coverage, resident, and City Council requests. These elements are done in addition to the standard maintenance schedules.

Balancing the scales of recreation programming and facilities with public works maintenance support is critical for the continued growth of the city. The purpose of the Maintenance and Operation Management Plan is to define recommended maintenance practices for the City of Gardena's Public Works Department ("Department") for maintaining modern high-quality parks, open spaces, recreation sites and assets. Some of these maintenance practices are currently being provided, while others are recommendations for the Department as staff and funding becomes available.

The Maintenance and Operation Management Plan is a living document, and will assist the Department to improve the identification, justification, and prioritization of maintenance requirements for park and recreation sites and assets. This is achieved by establishing a clear quantification of resources necessary to maintain the current system as high-quality, accounting for aging facilities that continually deteriorate from use, as well as incorporating sites and assets being considered for addition to the City of Gardena through the master planning process. This includes consideration of sustainability factors, existing conditions of the current inventory, as well as additional sites and assets that are being considered.

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Recommended Efficiency & Maintenance Standards

Accessibility

- All City parks are places of public use and accommodation, and as such, shall meet the requirement of the Americans with Disabilities Act of 1990.

Turf

- Mowing to be performed, as weather allows one time per week during active growing seasons of March through October, and once every other week from November through February.
- Work should be performed on the same day each week. All mowing missed due to inclement weather or ground conditions shall be rescheduled and completed within 3 working days.
- All glass, leaves, paper, and other debris should be removed and disposed of off-site prior to mowing.
- All portable obstructions such as picnic tables and trash containers shall be moved to mow all portions of turf.
- All turf areas shall be reseeded annually. Ballfields and soccer fields shall be reseeded annually or on an as-needed basis.
- All bare, worn, or sparse areas in the turf shall be reseeded to re-establish turf to an acceptable condition annually between February 15 and March 15 in sports and athletic fields and after April 1st in other areas. Sportfield renovations shall include:
 - filling in or regarding low spots, divots, sink holes or other unevenness of the turf area
 - aerate turf areas
 - dethatch turf as needed
 - seed
 - fertilize and top dress with compost (humus or mushroom compost)
 - add other soil amendments as required by soils test analysis
- During the peak growing season, mowing of sports/athletic fields should occur twice a week. Mowing heights for baseball and softball fields is to be 1 ½ inches. Mowing height for all other turf areas is generally 2 ½ inches but may vary according to species:
 - Bluegrass, ryegrass, and fescue—3 inches May thru September
 - Bluegrass, ryegrass, and fescue—2 inches October thru April
 - St. Augustine—2 ¼ inches year round
 - Bermuda—1 inch year round

Thatch Removal

- Thatch shall be removed, as needed, with a vertical mower once a year.
- Removal shall be coordinated with soil aeration and fertilization.

Fertilization

- Fertilizing of turf to be completed a minimum of three times per year and maximum of once per month, during the playing season, for sports/athletic fields. The amount of fertilizing is to be determined by the type of fertilizer, soil conditions, and turf type. A general schedule to follow is:
 - Bluegrass—16-6-8 with trace elements April through November.
 - Bluegrass—21-0-0 with ammonia nitrate December through March.
 - Fescue—16-6-8 with trace elements.
 - St. Augustine—33-0-0 with ammonia nitrate.
- Lawn areas shall be watered immediately after fertilization.
- Test soil for nutrient levels and recommendations for improvement one time per year.

Aeration

- Aerating to be completed three times per year and overdressed with grass seed and soil amendment as needed (humus or mushroom compost). Safety checks are to be done monthly with holes or divots filled with soil as needed.
- Aeration shall be accomplished by removing 1" diameter by 2" deep cores at a maximum spacing of 6" by use of a mechanical aeration machine.
- All walkways, roadways, trails, landscaped areas, or other areas dirtied by aeration operations shall be cleaned and all debris disposed of off-site.

Edging

- Edged one time per week during the active growing season of March through October, and once per month from November through February.
- Chemical edging shall be used only where mechanical methods are impossible.
- The turf shall be trimmed from sprinkler heads and 18 inches from all tree trunks.
- All walkways, roadways, trails, or other areas dirtied by edging operations shall be cleaned and all debris disposed of off-site.

Weed Control

- Weed control to be completed for the control of warm and cool season weeds in turf by a regular program of pre-emergent chemical application. Spraying to be completed in spring and fall per a written recommendation of a Pest Control Advisor to control weeds in turf to a satisfactory level of less than 5% per area.
- Weeds and grass shall be removed from all planted areas within seven days of the time that they are first visible. Methods for removal shall be hand removal or cultivation dependent upon planting concentration.
- Pest control to be completed as needed to control/prevent all pests in turf. Any damage done by pests is to be fixed immediately upon discovery of damage.
- Remove or control invasive exotic species.

Rodents

- All turf and landscape areas shall be maintained free of rodents and pests.
- Inspection and treatment shall take place no less than 1 time per month or per labeling of chemicals used.
- Control shall be done by either chemical, mechanical, Co2 gas injector, or manual methods. The preferred method is the utilization of a Co2 gas injector.
- All mounds shall be raked level a minimum of 24 hours prior to treatment.
- All treated areas shall be inspected after treatment for dying animals which shall be properly disposed of off-site.

Shrub Beds/Ground Covers

- Pruning of shrubs shall be trimmed, shaped, and thinned as needed to keep a neatly maintained appearance and size.
- In addition, all shrubs shall be trimmed to maintain 12-inch horizontal clearance along all walkways, trails, buildings, and walls to prevent encroachment onto private property and to remove dead, damaged, or diseased limbs as necessary.
- Weeds to be removed or prevented as needed by means of chemical, manual, or biological control. Shrub beds to be kept weed free (weeds not to be allowed to grow above two inches in height or to be more than 10% of the shrub bed).
- Mulch shall be applied to all bare soil areas.
- Pest control to be done as needed to control/prevent all pests on or around the shrubs. Any damage to plants or soil should be addressed immediately upon discovery.
- Fertilization with an analysis of 20-6-0 shall be applied during the months of March and October, at the rate of ¼ pound per shrub, or as necessary to maintain a healthy condition.
- Shrubs and ground cover areas shall be free of moisture at the time of fertilizer application. Application of the fertilizer shall be done in sections, determined by the areas covered by each irrigation system. All areas fertilized shall be thoroughly soaked immediately after the fertilizer is broadcast.
- Control of rodents, snails, slugs, and sow bugs, by use of traps.
- All trimmings and debris shall be removed and disposed of off-site.
- All dead or severely damaged plant material shall be removed and replaced within 30 days of notice.

Tree Care

- Trees less than 5 years old and/or 25 feet are to be structurally pruned as needed for proper health and shape of the tree. Pruning branches shall be kept at 10 feet for parks and 13 feet for medians.
- Trees 5 years and older and or larger than 25 feet are to be pruned a minimum of once every 5 years or as needed for structural health and safety; pruning is to be or include removal of dead and damaged branches, thinning of canopy or required aesthetics. Rising of lowest branches are to be done as needed to maintain an 8-foot clearance over sidewalks and 14 feet clearance over bicycle lanes and streets. No more than ¼ of the foliage may be removed at any single pruning.

Tree Care (continued)

- Pruning of trees shall occur from October 1st through January 31st, except for emergency pruning.
- Newly planted trees shall be properly staked utilizing 3-inch stakes. Trees shall be supported by double-staking with cinch ties applied at the lower and upper portions of the trunk and inspected on a regular basis to prevent rubbing and girdling. Cinch ties or VIT braces shall be used to prevent bruising.
- Special emphasis shall be placed upon public safety during pruning operations, particularly when adjacent to roadways.
- Pruning criteria:
 - The initial step is the removal of all deadwood and weak, diseased, insect infected, and damaged limbs.
 - All trees shall be pruned for vertical and horizontal clearance.
 - All crossed or rubbing limbs shall be removed unless removal will result in large gaps in the general outline.
 - All trees shall be thinned of smaller limbs to distribute the foliage evenly.
 - All trees shall be trimmed and shaped to provide a symmetrical appearance typical of the species.
 - All suckers and sprouts shall be cut flush with the trunk or limb.
- All trees to be inspected and thinned as required to prevent damage from winds.
- Tree wells to be kept weed free. Preventive or removal of weeds is to be done by manual, chemical, or biological control methods. (Weeds should not be allowed to grow above two inches in height.)
- Pest control to be done completed as needed for prevention or control of pests in the trees per pest control advisor's recommendation and recommendation of an ISA certified arborist. Control of aphids and other seasonal pests to be done in a timely manner to prevent health or aesthetic problems with neighboring residence.
- Fertilize a minimum of two times per year and maximum of one time per month for proper health of shrubs areas. The amount of fertilizing is to be determined by type of fertilizer, soil conditions, and tree needs but generally at a rate of ½ pound per tree. All fertilizer shall be applied within the drip line of the tree.
- Develop and maintain a tree inventory that includes the trees and variety in all public areas. The inventory should utilize GPS and GIS technologies to ensure precision and accuracy of tree records including maintenance levels.

Infection, Disease, and Pest Control

- Control of rodents, snails, slugs, and sow bugs, by use of traps is permissible.
- All landscaped areas are to be treated for rodents or other pests as needed to keep the site pest free or to control the infestation of said pests.
- Inspection and treatment shall take place no less than 1 time per month or per labeling of chemicals used.
- Control shall be done by either chemical, mechanical, or manual methods.

Mulch

- Planters shall be mulched to a depth of 3 inches and replenished as needed.
- Mulch is to be maintained around all trees and bare areas within shrub/ground cover beds.

Irrigation

- All scheduled irrigation shall be accomplished within the timeframe of 10 p.m. to 6 a.m. Signs should be posted whenever the irrigation system is being operated, repaired, or testing during daylight hours.
- All irrigation systems are to be inspected visually on a weekly basis. Inspection to be based on observations of new wet or dry areas in turf and/or landscaping.
- All irrigation systems shall be inspected monthly during the growing season by testing the operation of each zone. Repairs, if necessary, shall be performed immediately.
- All systems will comply with State and local laws regarding backflow prevention and protection of the public water system.
- Controllers are to be programmed according to specific site conditions as needed for the proper health of the plants. Irrigation will deliver water, when possible, during non-use hours.
- Broken heads are to be repaired within 48 hours after the work is approved. All broken lateral lines must be repaired within 48 hours after the work is approved. All mainline breaks are to be secured as soon as they are discovered. Repairs of mainline breaks are to be completed within 72 hours after the work is approved.
- Valves to be repaired or replaced within 96 hours after work is approved. Any holes dug to inspect or repair irrigation lines are to be covered with plywood and marked with a cone or barricade and cautioned off with caution tape when applicable. No holes are to be left longer than 96 hours unless approved.

Restrooms

- Restrooms are to be opened and closed per Department requirements. Restrooms are to be inspected, cleaned, and stocked with supplies at a minimum of 1 time per day. Inspection of facilities should take place no less than 2 times per day.
- Restrooms will be graffiti-free, and graffiti shall be removed within one day of discovery.
- Restrooms will comply with State and local Health Department standards.
- Any safety issues should be addressed immediately.
- Trash cans should be emptied no less than 1 time per day.

Fences

- Fences shall be installed where needed to protect park property, restrict access to hazardous areas, augment user safety or protect adjoining properties.
- Repair and replace fences, gates, and locking devices immediately which are required for equipment protection.
- All fences will be free from litter and graffiti. Graffiti shall be removed within one day of discovery.
- Wooden fences will be plumb, sturdy, have no missing boards and, where needed, will be painted, or stained on a regular schedule.
- Metal or wire fabric fencing poles will be straight and fabric taut with no hole or gaps. If fencing contains slats, they should be in good repair and missing slats should be replaced.
- Where painted, metal fencing should not be faded or chipped and should be painted on a regular basis.

Signage

- All signage will be clean and graffiti-free. Graffiti shall be removed within one day of discovery.
- All signage shall be readable, not faded, and shall not be covered by trees or other plant material,
- All signage shall be securely mounted and appropriately located at key points for visitor information and safety.

Drinking Fountains and Park Furniture

- To be inspected no less than 1 time per week for proper working order, graffiti, and removal of debris.
- Drinking fountains should be cleaned and sanitized a minimum of 1 time per week.
- Leaks will be repaired immediately.
- Stickers and other graffiti removed no less than 1 time per week or with 24 hours of discovery.
- Barbeques are to be emptied of coals, ash, and litter weekly.
- Picnic tables and benches shall be pressure washed annually, at a minimum.

Playground Inspections

- Playgrounds are to be inspected visually every day.
- Fibar shall be kept free of weeds, litter, and debris. Fibar shall be kept in a reasonably leveled condition to prevent the development of large holes or the exposure of equipment footings or foundations.
- Fibar shall be replenished twice a year.
- Complete playground inspection at least bi-monthly. All inspections are to be completed under the supervision of a Certified Playground Safety Inspector by an employee who has completed Playground Safety Inspector training. Complete safety-related repairs immediately and initiate other repairs within 24 hours of discovery.
- Safety surface materials shall be maintained at recommended depth. Areas under swings and slide landing areas shall need raking on a regular basis to maintain depth.
- All graffiti is to be removed or reported within 24 hours of first discovery.

Trash/Debris

- All sites are to be formally inspected a minimum of 1 time per day for any loose debris or litter.
- All debris or litter, after the initial inspection shall be removed upon discovery of their presence.
- All concrete "V" drains shall be kept free of vegetation, debris, and algae to allow unrestricted water flow.

Hard Surfaces, Decomposed Granite, Wood Chip Walk Path, Trails

- All hardscape areas and decomposed granite of a park are to be inspected no less than 1 time per week for safety and graffiti. All hazards are to be reported within 24 hours of first discovering them.
- Median islands, curbs, sidewalks, and trails shall be maintained in a weed free condition.
- All hard surfaces and decomposed granite shall be cleaned of loose debris a minimum of one time per week by use of blower, vacuum, broom, street sweeper, or other mechanical means that removes debris from the surface. Surfaces shall include and not limited to sports courts (basketball or tennis courts), walkways, multi-use concrete pads, picnic areas, parking lots, baseball dugouts, or maintenance areas.
- Erosion control designs and devices such as sloped surfaces, drainage dips, and water bars will be installed and maintained to protect the integrity of the trail and to prolong its useful life on trails. Pruning of encroaching vegetation will be performed in a natural manner on an as needed basis.
- All surfaces shall be free of cracks, potholes, and tripping hazards.
- Graffiti is to be removed within 24 hours of first discovery.

Preventative and Safety Checks

- Sites are to be formally inspected for the general safety of users no less than 1 time per month for all aspects of the site.
- The Department is to be notified of all problems within 24 hours of discovery.
- Request for immediate repair shall be immediately generated for all health and safety issues.

Security and Ballfield Lighting Maintenance

- Park staff shall monthly inspect the working condition of all park lights. Request for repair shall be initiated within 24 hours and repair completed within 48 hours.
- All park restrooms should be on timers to lock doors in the evening and unlock in the morning.

Tennis, and Basketball Courts

- Nets will be set at the correct playing height and will be free of tears or holes.
- Backboards, rims, and nets will be in good repair.
- Court surfaces will be free of leaves, grit, and other debris, so at no time it detracts from the look or safety of the area.
- Court surface markings will be well defined.
- All tennis, basketball, or other courts are to be cleaned monthly with the use of a water broom.
- All light times shall be in working order and scheduled according to use.

Picnic Shelters, Group Areas, Gazebos, and Reservation Areas

- All structures shall be structurally sound.
- The structure will be free of debris and litter, so at no time it detracts from the look or safety of the area.
- Structure shall be graffiti-free, and graffiti shall be removed within one day of discovery.
- Picnic tables, benches, and outdoor cooking receptacles will be clean including sweeping and/or washing down, graffiti-free, in good repair and ready for use. Grills shall be brushed, and coals removed, if needed to maintain cleanliness of site.
- Picnic Shelters, Group Areas, and Reservation Areas shall be pressure washed annually, at a minimum.
- All reservation areas will be inspected before each reservation used to ensure the site is customer ready.

Community Centers and Buildings

- Overall maintenance of physical facilities shall be inspected daily.
- Floors shall be free of dirt, litter, and debris.
- All buildings will be graffiti-free, and graffiti shall be removed within one day of discovery.
- Food handling areas will always comply with State and local Health Department Standards.
- Stored items shall be stored safely and not block access or egress, fire extinguishers, pull stations or light switches.
- Roofs, and roof vents shall not leak and shall be free of limbs, litter, and debris.
- Exterior surfaces shall be free of holes, gaps, and peeling paint.
- Lighting fixtures and electrical outlets shall be in proper working order and timers set per the timer schedule or activated by photocell.
- Public Works is to be notified of all problems within 24 hours of discovery.

Estimated Labor Hours and Cost for Maintenance

An initial important first step is the evaluation of standardized and regular maintenance (productive tasks) requirements of the Department to quantify workload. This initial step measures regular on-going programmed and planned maintenance activities such as regular mowing, landscaping, pruning, structure and infrastructure maintenance and trail work. There will remain many aspects of the workload that is difficult to accurately quantify, including non-productive tasks such as vandalism repair, special event coverage, and travel time.

The spreadsheet shown in Appendix B, based primarily on industry standards, is designed to provide the estimated total hours required in productive tasks for each individual park and the system, based on the actual park inventory. Additionally, recommended standards on the spreadsheet (For the purpose of this report a working separate excel spreadsheet is attached.)

Currently, the City maintains the parks and landscaped areas primarily with staff from Public Works including buildings, medians, and parking lots. Additionally, City staff maintain several City owned facilities including City Hall, Nakaoka Community Center, James Rush Gymnasium and offices, and Rowley Gymnasium. Further there are several small community buildings within parks, although some are not in use. Community Buildings are found in George Freeman Park, Edward Thornberg Park, Vincent Bell Park, and Rowley Park. Willow Wetlands is maintained by a volunteer organization.

Preventative Maintenance

The objective of a preventative maintenance program is to extend the life of equipment, infrastructure, and facilities and to improve the efficiency of park maintenance operations by reducing the number of trouble calls required. Preventative maintenance standards support maintaining the level of predicted lifecycle of capital improvements and in most cases extends the asset life beyond the expected time period. Preventative maintenance helps to provide a safe and quality experience for visitors and users of park facilities and helps to decrease the liability exposure of the Department.

There are 4 major types of preventive maintenance with park and recreation systems. Each type of preventative maintenance is built around the concept of planned maintenance, although they are all organized and scheduled differently, to suit different operational purposes. The four types are:

1. **Usage-based preventive maintenance** is triggered by the use of park buildings, features, or fixtures. This type of maintenance considers the average daily usage or exposure to environmental conditions of a park asset and uses it to forecast a due date for a future inspection or a required maintenance task.
2. **Calendar/time-based preventive maintenance** occurs at a scheduled time, based on a calendar interval. The maintenance action is triggered when the due date approaches and necessary work orders have been created.
3. **Predictive maintenance** is designed to schedule corrective maintenance actions before a failure occurs. Staff need to first determine the condition of the park building, feature, or fixture, to estimate when maintenance should be performed. Then maintenance tasks are scheduled to prevent unexpected failures.
4. **Prescriptive maintenance** doesn't just show that failure is going to happen and when, but also why it's happening. This type of maintenance helps analyze and determine different options and potential outcomes, to mitigate any risk to continue use of the park building, feature, or fixture.

The Department can improve its overall operations by implementing some of the following work activities. These include:

- Prepare weekly work plans and scheduling based on established maintenance standards.
- Adopt maintenance standards as displayed within.
- Benchmark and measure based on the adopted maintenance standards to provide data for evaluation and analysis.
- Provide new park maintenance staff or contracted labor and resources in proportion to additional park acreage that may be developed in the future based upon the maintenance labor model estimation sheet.
- Identify the appropriate duties that can be performed by volunteers and develop a training program for volunteers.

Guidelines for Life Cycle Care

Lifecycle planning for park features and buildings involves the early and on-going planning, development, implementation, and management of a comprehensive strategy. The goal is to ensure sustainment considerations are integrated into all planning, implementation, management, and oversight activities associated with the acquisition, development, and maintenance across the park features life cycle.

Objectives of lifecycle planning are to:

- Determine the total cost of ownership and operation of an asset to ensure service continuity.
- Establish a sound basis on which decisions are made by evaluating the total cost of any investment decision, rather than just looking at the short-term impact or the initial capital costs.
- Identify the impact of refurbishment and maintenance decisions on asset disposal plans.

Benefits of lifecycle planning include:

- Undertaking lifecycle planning for park features and building assets will help ensure that these features continue to support departmental priorities.
- Ability to plan and forecast capital costs over the life of a park feature while minimizing on-going maintenance expenses.
- There is a sound basis for making investment, maintenance, and disposal decisions. For example, the estimated economic life of the building asset should be considered when determining if refurbishment or disposal is the most appropriate course of action.

Possible consequences of not undertaking lifecycle planning include:

- Failure to consider the optimal balance of operating and maintenance costs that are attributable to the use of the building relative to capital works investment costs.
- Capital costs are minimized but without the knowledge of the consequential impact on lifecycle costs deficiencies. Often this results in assets that are inefficient to operate and maintain.
- Difficulty in determining whether refurbishment/renovation or an addition to a building will deliver better value for money than continuing to maintain a building which is no longer suited to its function or purpose.
- Inappropriate strategies for asset utilization over the expected remaining life of the building.

Agencies should have an adequate lifecycle plan for each park feature and building that supports departmental objectives. At a minimum, the following information should be included in a lifecycle plan:

- The initial capital cost (including directly associated costs, such as fees and installation) and the asset replacement value.
- The expected total life (in years) before full replacement will become necessary. If this figure cannot be confidently assessed, the design life of the facility can be used.

- The estimated annual maintenance and operating cost of the park feature or building.
- Estimated timing and costs of major repairs, overhauls, or refurbishments, scheduled on an annual basis.

Long-term maintenance planning and expenditure should be guided by whether it is more economical to upgrade, replace, or refurbish park features and buildings rather than continuing to make ongoing repairs. Lifecycle costing should be used to assess the merits of these proposals and to test alternatives in terms of scope and timing.

The City of Gardena should consider categorizing capital projects into the following groups:

- Priority 1 items (those requiring more immediate attention within years 1 through 3)
- Priority 2 items (years 4 through 6)
- Priority 3 items (years 7 through 10)
- Priority 4 items. These represent sensible improvements to existing conditions but are not considered necessary and may also include reasonable alternatives to identified priority 1, 2, or 3 projects.

Project Priority Classification

Priority One	Currently or Potentially Critical: Conditions that require immediate action to restore the facility's normal operations, stop accelerated deterioration, or correct a cited safety hazard; or that require remediation within years 1 through 3 to prevent them from becoming critical and impacting the normal operation of the facility. Intermittent interruptions are currently possible, along with rapid deterioration and potential safety hazards.
Priority Two	Necessary, Not Yet Critical: Conditions that require attention within 4-6 years to preclude predictable deterioration, potential downtime, or damage to associated assets.
Priority Three	Long-Range Predicted Requirements: Items that are predicted to require remediation or replacement in years 7-10 based on their current age and condition. These items do not currently require attention but should be planned for within the reserve budgets for outlying years.
Priority Four	Recommended: Items that represent a sensible improvement to the existing conditions. These items are not required for the most basic function of the facility; however, these projects may improve overall usability and/or provide long-term reductions in maintenance expense.

An important component of lifecycle planning is to estimate the average useful life of park features and buildings. Great variation can occur depending on construction techniques, material, and quality of construction, weather conditions, and maintenance over the life of the item. The following identify general estimated useful life of a sampling of park features and buildings.

BIKE/JOGGING PATHS

- Gravel –15 years
- Asphalt—20 years
- Concrete—30 years

PARK FEATURES, BUILDINGS, AND BUILDING COMPONENTS

- Carpeting –5 years
- Ceiling Finish—10 years
- Interior Renovation –10 years
- Roof Cover—10 to 20 years
- Electrical—20 years
- HVAC –20 years
- Plumbing—20 years
- Foundation, Frame, and Floor Structure—30 to 50 years
- Picnic Shelter—20 years
- Landscaping—7 to 10 years
- Athletic Fields—10 to 15 years
- Soccer Fields—10 to 15 years
- Synthetic Fields—10 years
- Bleachers –20 years
- Fencing/Gates—20 years
- Fountains—20 years
- Outdoor Lighting—20 years
- Tennis Courts—20 years
- Basketball Court—10 years
- Irrigation Sprinklers/Controller—20 years (Technology will shorten the useful life)
- Signs 30 years
- Tables/Benches/Barbeque/Trash Cans—15 years
- Fountains—15 years
- Play Area—15 years
- Pedestrian Bridges—25 years wood/30 years steel/concrete
- Asphalt Parking Lots—20-30 years. Chip sealed every 10 years at a minimum.

SAMPLE
FREEMAN PARK
PARK RENOVATION SCHEDULE
PART A

Feature	Max Life	Replacement Costs	Inventory	Total Replacement Cost	Scheduled Replacement
Drinking fountains	15	\$4,000	2	\$8,000	2024
Garbage cans	15	\$750	15	\$11,250	2025
Irrigation - controller	20	\$8,000	1	\$8,000	2025
Irrigation - valves, sprinklers	20				
Signs	30				
Path--Asphalt	15				
Picnic tables	15				
Benches	15				
Barbeque	15				
Planter	10				
Trees	30				
Turf grass	15				
Basketball Court	10				
Parking Lot--Asphalt	20				
Play Area	15				
Picnic Shelter	20				
Concession	30				
Maintenance Building	30				
Lighted Fields	20				

SAMPLE
FREEMAN PARK
MAJOR MAINTENANCE AND RENOVATION SCHEDULE
PART B

Feature	2023/24	2024/25	2025/26	2026/27	2027/28	2028/29
Drinking fountains	\$8,000					
Garbage cans	\$11,250					
Irrigation - controller					\$8,000	
Irrigation - valves, sprinklers						\$50,000
Signs						
Path--Asphalt						
Picnic tables						
Benches						
Barbeque						
Planter				\$8,000		
Trees						
Turf grass						
Basketball Court Resurface			\$6,500			
Parking Lot-- Asphalt Chip Seal					\$5,000	
Play Area						
Picnic Shelter						
Concession						
Upgrade Electrical	\$18,000					
Building New Roof		\$10,000				
Lighted Fields						
Total	\$37,250	\$10,000	\$6,500	\$8,000	\$13,000	\$50,000

Safety Inspections

A park safety inspection program is a comprehensive, outcome-based performance measurement system that generates frequent, sometimes random, and detailed inspections of Department parks, facilities, and playgrounds. This program would provide the City of Gardena management, elected officials, and the public with a broad indicator of the condition of the City's facilities, safety, and needed capital upgrades.

Currently the City has not developed an on-going inspection report program for parks or buildings. A developed program would include a regular program of inspections to identify work task to be completed and required date of completion. The inspection report would also include the identification of specific items to be inspected.

Recommended safety inspection reports for Parks and Skateparks are found in this section. The Park and Skateboard Inspection report should be adopted and utilized by the City to inspect all Parks and Skateboards on a minimum bi-weekly basis. These forms are designed to include identification of issues and corrective actions taken. While the Park Inspection report includes components for building, a similar detailed report should be developed for all city indoor facilities.

Playgrounds within California should be inspected on a regular basis. These playground areas and equipment must be inspected for excessive wear, deterioration, and potential hazards. Some manufacturers supply playground checklists for general or detailed inspections with maintenance guidelines. A sample form is included that can be utilized by City employees who are not Certified Playground Safety Inspectors.

The City of Gardena should have trained employees who are certified as Certified Playground Safety Inspectors to periodically inspect all City playgrounds. The State of California requires all public playgrounds meet the Consumer Product Safety Commission (CPSC) guidelines and the American Society for Testing and Materials (ASTM) standards. Training as a Playground Safety Inspector can be achieved virtually as this course is offered by the California Park & Recreation Society (CPRS) in conjunction with the National Recreation and Park Association (NRPA). For certified safety inspections of playgrounds a sample detailed form is available at: [VS.2 PLAYGROUND AUDIT-INSPECTION CHECKLIST.docx \(live.com\)](#). Forms are available that are specific to age specific playgrounds.

Sample Playground Safety Inspection Form

Location: _____
 Inspection Date: _____ Time: _____
 Inspected by: _____ Age Appropriate: _ _____

Priority Rating Scale (1-4)

1. Permanent disability, loss of life or body part – correct immediately.
2. Serious injury resulting in temporary disability – correct as soon as possible.
3. Minor (Non-Disabling) Injury – correct when time permits.
4. Potential for injury Minimal – check to see if worsens.

SAFETY SURFACINGS

	Compliant	Hazard
1. Transition from the path to surfacing is less than .5".	_____	_____
2. Surfacing material is adequate and proper depth.	_____	_____
3. Loose fill is at correct height at Transfer Platform.	_____	_____
4. Loose fill is at correct depth at Slide exits & Swings.	_____	_____
5. Surfacing material is free from weeds and trash.	_____	_____
6. No roots, rocks or objects are a tripping hazard.	_____	_____
7. Unitary surface retains adequate absorbing abilities.	_____	_____
8. _____	_____	_____

EQUIPMENT

9. Warning/information sign and/or labels are in place.	_____	_____
10. Equipment and site furnishings are free of debris.	_____	_____
11. No footings are exposed, cracked or loose.	_____	_____
12. Clamps and rivets are in place and secure.	_____	_____
13. All barriers and guardrails are in place and secure.	_____	_____
14. Decks are level, secure and coated with no metal.	_____	_____
15. No rust, corrosion, or peeling paint.	_____	_____
16. Plastic is smooth, no cracks or cuts.	_____	_____
17. Tree limbs are greater than 84" from equipment.	_____	_____
18. Border around playground is adequate and secure.	_____	_____
19. All hardware is in place and secure.	_____	_____
20. Upright and pipe caps are in place and secure.	_____	_____
21. No excessive wear, broken or missing parts.	_____	_____
22. _____	_____	_____

Required Repairs / Corrective Actions Taken

Sample City of Gardena Skatepark Inspection Report Recommended Minimum Bi-Weekly

Park Name: _____

Date: _____

Inspector: _____

ITEM TO BE INSPECTED		OK	DEFICIENT	DATE
Sidewalk				
1	Large cracks			
2	Water puddles			
Drinking fountains				
1	Damaged			
2	Vandalized			
3	Functioning			
Lighting				
1	Damaged standard			
2	Lights burned out			
Cement areas - bowls, ramps, etc.				
1	Cracks			
2	Graffiti			
3	Foreign material or objects			
4	Puddles			
Fencing				
1	Damaged gates			
2	Damaged or missing panels			

ITEM TO BE INSPECTED		OK	DEFICIENT	DATE
Signs				
1	Damaged			
2	Missing			
3	Graffiti			
Metal coping				
1	Cracks			
2	Looseness			
3	Burrs			
Drains				
1	Free of debris or objects			
2	Functioning			
Hand safety and grind railing				
1	Damaged			
2	Cracked welds			

Request for Work Generated
Use Additional Sheets if Necessary

Item # 1 _____

Item # 2 _____

Item # 3 _____

Item # 4 _____

Item # 5 _____

City of Gardena Parks Inspection Report Recommended Minimum Bi-Weekly

Park Name _____

Inspector _____

Date _____

Rating Definitions

Limited Problem - This is one or two problems in an area that would normally be apparent during business.

Widespread Problem - This indicates numerous occurrences of problems in the same area or on similar sites.

Hazard - A problem that is potentially dangerous to health and safety.

If a problem is noted, please describe it on this form and request repair immediately through the work order system.

	No Problem	Limited Problem	Widespread Problem	Hazard	Not Applicable
General Site Survey					
Entrance Sign					
Overall Appearance					
Vandalism					
Graffiti					
Turf					
Shrub beds					
Trees					
Roads					
Parking Lots					

	No Problem	Limited Problem	Widespread Problem	Hazard	Not Applicable
Fencing					
Lighting					
Walkways					
Trails					
Restrooms					
Playgrounds					
Sports/Athletic Fields					
Tennis Courts					
Basketball Courts					
Other Courts					
Picnic Shelters/Tables					
Benches					
Splash Pads					
Volleyball					
Skate Park					
Concession Stand					
Swimming Pools					
Pool					
Wading Pool					
Pool Fencing					
Pool Restrooms					

	No Problem	Limited Problem	Widespread Problem	Hazard	Not Applicable
Pool Public Areas					
Community Centers					
Entrance Area					
Restrooms					
Meeting Rooms					
Athletic Courts					
Miscellaneous Area					

Identified Issues
Request for Work Generated
 Use Additional Sheets if Necessary

Item # 1 _____

Item # 2 _____

Item # 3 _____

Item # 4 _____

Item # 5 _____

Item # 6 _____

Item # 7 _____

Item # 8 _____

City of Gardena

Park Maintenance - Annual Work Plan by Month

January

Daily Tasks

- Pick up litter and empty containers at least once daily or during and after special events.
- Inspect for vandalism and graffiti. Initiate repairs immediately upon discovery. Document and photograph damage/graffiti for potential use by law enforcement.
- Playground safety inspection for hazards, needed repairs, and quality of safety surface. Any needed repairs to be made immediately.
- Inspect Park turf, shrubs and trees for insects, disease, and stress and respond to outbreak within 48 hours. Remove hazardous limbs and plants immediately upon discovery.
- Inspect hard surfaces for debris, glass, sand, and other organic debris and remove them immediately.
- Replace basketball nets, tennis nets and soccer goals when frayed, broken, or removed.
- Repair/replace bulbs to maintain lighting levels to design specifications.
- Picnic shelters and reserved areas are cleaned, and litter removed prior to and after each reservation.

Weekly Tasks

- Mow turf once per week and remove grass clippings if visible from grass and adjacent hard surfaces. Winter mowing height 2 ½ inches.
- Edge all turf perimeters.
 - Achieve minimum of 95% coverage/less than 3% weed infestation/less than 2% bare.
 - No wet/dry areas.
- Inspect invasive plants and remove or treat them within one week of discovery.
- Inspect hard surface trails for sand, dirt, and organic debris and remove them immediately.
- Clean and remove ashes from non-reserved picnic areas and barbeque pits.
- Baseball/softball field maintenance--watering, dragging, filling in sunken areas, raking all sand areas for debris, and other tasks necessary for the diamond to be suitable for play.

January (continued)

Bi-Weekly Tasks

- Inspect drain covers twice monthly and/or before rain and immediately after flooding.
- Remove debris and organic materials from drain covers.
- Complete playground inspection at least bi-monthly. All inspections are to be completed under the direction of a Certified Playground Safety Inspector. Complete safety-related repairs immediately and initiate other repairs within 24 hours of discovery.
- Inspect and maintain to original design specifications:
 - Basketball goal posts, backboards, and rims.
 - Tennis/pickleball nets post and fencing.
 - Softball/baseball backstops, fencing, and dugouts.
 - Soccer goals.

Monthly Tasks

- Inspect irrigation systems or computer monitors as necessary. Initiate repairs to non-functioning systems within 24 hours.
- Remove dead trees and plant material and replant unless located within an environmental area and the plant material may or could serve as habitat.
- Check ground drains and "V" ditches for debris blockage. Clear as needed.
- Remove silt that has run across sidewalks, parking lots, and other hardscape features.
- Inspect tennis, basketball, and other courts and initiate repairs within 72 hours.
- Wash down all tennis courts and basketball courts and the Skate Park at Arthur Lee Johnson Memorial Park.
- Inspect hard and soft surface trails for erosion and other safety hazards. Initiate repairs within 48 hours.
- Check for pocket gopher/rodent activity and abate.
- Remove grass and other plants growing within cracks of hard surfaces.
- Inspect hard surfaces for trip hazards and initiate repair by ramping or sanding within 24 hours.
- Inspect all park signs, benches, tables, grills, drinking fountains, trash containers, and other site amenities at least and complete repairs within 7 days.
- Inspect and immediately make necessary repairs to all lighting systems.
- Remove trees and branches that pose a hazard to the users of open space areas and adjacent to trails.
- Remove and clean dump sites within 48 hours of identification within parks, open space areas, and adjacent to trails.
- Sweep/blow parking areas and roads. Patch newly formed cracks with tar.

Three/Four Times Annual Tasks

- None.

January (continued)

Semi-Annual Tasks

- Inspect fences, gates, and bollards at least twice annually. Complete safety-related repairs immediately and other repairs within 7 days.
- After spraying weeds around trees as needed, Place 3" of organic mulch around each tree within a minimum 18" ring to control weed growth.
- After spraying for weeds in shrub beds as needed, Place 3" of organic mulch within shrub bed to minimize weed growth.

Annual Tasks

- Audit each playground to ensure compliance with the current version of ASTM Performance Standard F1487 and the Consumer Product Safety Commission "Handbook for Public Playground Safety."

February

Daily Tasks

- Pick up litter and empty containers at least once daily or during and after special events.
- Inspect for vandalism and graffiti. Initiate repairs immediately upon discovery. Document and photograph damage/graffiti for potential use by law enforcement.
- Playground safety inspection for hazards, needed repairs, and quality of safety surface. Any needed repairs to be made immediately.
- Inspect park turf, shrubs and trees for insects, disease, and stress and respond to outbreak within 48 hours. Remove hazardous limbs and plants immediately upon discovery.
- Inspect hard surfaces for debris, glass, sand, and other organic debris and remove them immediately.
- Replace basketball nets, tennis nets and soccer goals when frayed, broken, or removed.
- Repair/replace bulbs to maintain lighting levels to design specifications.
- Picnic shelters and reserved areas are cleaned, and litter removed prior to and after each reservation.
- Baseball/softball field maintenance--watering, dragging, filling in sunken areas, raking all sand areas for debris, and other tasks necessary for the diamond to be suitable for play.

Weekly Tasks

- Mow turf once per week and remove grass clippings if visible from grass and adjacent hard surfaces. Winter mowing height 2 ½ inches.
- Edge all turf perimeters.
 - Achieve minimum of 95% coverage/less than 3% weed infestation/less than 2% bare.
 - No wet/dry areas.
- Inspect invasive plants and remove or treat them within one week of discovery.
- Inspect hard surface trails for sand, dirt, and organic debris and remove them immediately.
- Clean and remove ashes from non-reserved picnic areas and barbeque pits.

February (continued)

Bi-Weekly Tasks

- Inspect drain covers twice monthly and/or before rain and immediately after flooding.
- Remove debris and organic materials from drain covers.
- Complete playground inspection at least bi-monthly. All inspections are to be completed under the direction of a Certified Playground Safety Inspector. Complete safety-related repairs immediately and initiate other repairs within 24 hours of discovery.
- Inspect and maintain to original design specifications:
 - Basketball goal posts, backboards, and rims.
 - Tennis/pickleball nets posts and fencing.
 - Softball/baseball backstops, fencing, and dugouts.
 - Soccer goals.

Monthly Tasks

- Inspect irrigation systems or computer monitors as necessary. Initiate repairs to non-functioning systems within 24 hours.
- Mow ground covers as needed.
- Remove dead trees and plant material and replant unless located within an environmental area and the plant material may or could serve as habitat.
- Inspect tennis, basketball, and other courts and initiate repairs within 72 hours.
- Wash down all tennis courts and basketball courts and the Skate Park at Arthur Lee Johnson Memorial Park.
- Inspect hard and soft surface trails for erosion and other safety hazards. Initiate repairs within 48 hours.
- Check ground drains and "V" ditches for debris blockage. Clear as needed.
- Remove silt that has run across sidewalks, parking lots, and other hardscape features.
- Inspect hard and soft surface trails for erosion and other safety hazards. Initiate repairs within 48 hours.
- Check for pocket gopher/rodent activity and abate.
- Remove grass and other plants growing within cracks of hard surfaces.
- Inspect hard surfaces for trip hazards and initiate repair by ramping or sanding within 24 hours.
- Inspect all park signs, benches, tables, grills, drinking fountains, trash containers, and other site amenities at least and complete repairs within 7 days.
- Inspect and immediately make necessary repairs to all lighting systems.
- Remove trees and branches that pose a hazard to the users of open space areas and adjacent to trails.
- Remove and clean dump sites within 48 hours of identification within parks, open space areas, and adjacent to trails.
- Sweep/blow parking areas and roads. Patch newly formed cracks with tar.

February (continued)

Three/Four Times Annual Tasks

- None.

Semi-Annual Tasks

- Spring sports field renovation to address filling in or regarding of low spots, divots, sink holes, or other unevenness of the turf area.
- Spring fertilization of all trees.
- Cleaning/power wash of park amenities such as drinking fountains, restrooms, and walkways.

Annual Tasks

- Concession facilities cleaned prior to opening including:
 - Facilities cleaned, wiped down, and sanitized.
 - Electrical appliances checked for compliance.
 - Lights checked and repaired.
 - Operating permits secured before opening.
 - Cleaning and sanitization of supplies.

March

Daily Tasks

- Pick up litter and empty containers at least once daily or during and after special events.
- Inspect for vandalism and graffiti. Initiate repairs immediately upon discovery. Document and photograph damage/graffiti for potential use by law enforcement.
- Playground safety inspection for hazards, needed repairs, and quality of safety surface. Any needed repairs to be made immediately.
- Inspect park turf, shrubs and trees for insects, disease, and stress and respond to outbreak within 48 hours. Remove hazardous limbs and plants immediately upon discovery.
- Inspect hard surfaces for debris, glass, sand, and other organic debris and remove them immediately.
- Replace basketball nets, tennis nets and soccer goals when frayed, broken, or removed.
- Repair/replace bulbs to maintain lighting levels to design specifications.
- Picnic shelters and reserved areas are cleaned, and litter removed prior to and after each reservation.
- Baseball/softball field maintenance--watering, dragging, filling in sunken areas, raking all sand areas for debris, and other tasks necessary for the diamond to be suitable for play.

Weekly Tasks

- Mow turf once per week and remove grass clippings if visible from grass and adjacent hard surfaces. Mowing height 2 ½ inches/Sports fields mowed at 1 ½ inches.
- Edge all turf perimeters.
 - Achieve minimum of 95% coverage/less than 3% weed infestation/less than 2% bare.
 - No wet/dry areas.
- Inspect for invasive plants and remove or treat them within one week of discovery.
- Inspect hard surface trails for sand, dirt, and organic debris and remove them immediately.
- Clean and remove ashes from non-reserved picnic areas and barbeque pits.

March (continued)

Bi-Weekly Tasks

- Inspect drain covers twice monthly and/or before rain and immediately after flooding.
- Remove debris and organic materials from drain covers.
- Complete playground inspection at least bi-monthly. All inspections are to be completed under the direction of a Certified Playground Safety Inspector. Complete safety-related repairs immediately and initiate other repairs within 24 hours of discovery.
- Inspect and maintain to original design specifications:
 - Basketball goal posts, backboards, and rims.
 - Tennis/pickleball nets posts and fencing.
 - Softball/baseball backstops, fencing, and dugouts.
 - Soccer goals.

Monthly Tasks

- Inspect irrigation systems or computer monitors as necessary. Initiate repairs to non-functioning systems within 24 hours.
- Remove dead trees and plant material and replant unless located within an environmental area and the plant material may or could serve as habitat.
- Complete replanting of ground covers in damaged areas.
- Inspect tennis, basketball, and other courts and initiate repairs within 72 hours.
- Wash down all tennis courts and basketball courts and the Skate Park at Arthur Lee Johnson Memorial Park.
- Inspect hard and soft surface trails for erosion and other safety hazards. Initiate repairs within 48 hours.
- Check ground drains and "V" ditches for debris blockage. Clear as needed.
- Remove silt that has run across sidewalks, parking lots, and other hardscape features.
- Inspect hard and soft surface trails for erosion and other safety hazards. Initiate repairs within 48 hours.
- Check for pocket gopher/rodent activity and abate.
- Remove grass and other plants growing within cracks of hard surfaces.
- Inspect hard surfaces for trip hazards and initiate repair by ramping or sanding within 24 hours.
- Inspect all park signs, benches, tables, grills, drinking fountains, trash containers, and other site amenities at least and complete repairs within 7 days.
- Inspect and immediately make necessary repairs to all lighting systems.
- Remove trees and branches that pose a hazard to the users of open space areas and adjacent to trails.
- Remove and clean dump sites within 48 hours of identification within parks, open space areas, and adjacent to trails.
- Sweep/blow parking areas and roads. Patch newly formed cracks with tar.

March (continued)

Three/Four Times Annual Tasks

- Fertilize all shrub beds and trees. Application of a complete fertilizer 16-16-16 at a minimum rate of six pounds per 1,000 sq. ft.
- Aerate all turf areas and overdressed with grass seed and soil amendment in areas needed. Utilize humus or mushroom compost.
- Within the same week of aeration, apply a balanced fertilizer such as a sulfur coated, urea based 16-6-8 at a rate of one-pound actual nitrogen per 1,000 sq. ft.
- Perform trail maintenance by removing organic debris from soft surfaces and repairing any new erosion.
- Quarterly inspection of all lights. Initiate repairs within 48 hours.

Semi-Annual Tasks

- Overseed all turf areas.
- Weed control to be done for control of warm and cool season weeds in turf. Spraying to be done in spring and fall per a written recommendation of a Pest Control Advisor to Control weeds in turf to a satisfactory level of less than 5% per area.
- Spring pruning/trimming of trees less than five years old for structure and proper health. Remove all suckers.
- Remove overhanging branches within 84" of trail surface.
- Replenish wood chips throughout the entire Greenbelt pathway.

Annual Tasks

- If necessary, increase trash containers at all park sites due to increased usage.
- Regrading or renovation of turf in athletic fields as needed. Work to be scheduled and completed prior to the season starting dates for each user group.
- Mechanically or chemically control growth of weeds and invasive plants within 24" on either side of trails.
- Spring mowing of weeds for fire protection.

April

Daily Tasks

- Pick up litter and empty containers at least once daily or during and after special events.
- Inspect for vandalism and graffiti. Initiate repairs immediately upon discovery. Document and photograph damage/graffiti for potential use by law enforcement.
- Playground safety inspection for hazards, needed repairs, and quality of safety surface. Any needed repairs to be made immediately.
- Inspect park turf, shrubs and trees for insects, disease, and stress and respond to outbreak within 48 hours. Remove hazardous limbs and plants immediately upon discovery.
- Inspect hard surfaces for debris, glass, sand, and other organic debris and remove them immediately.
- Replace basketball nets, tennis nets and soccer goals when frayed, broken, or removed.
- Repair/replace bulbs to maintain lighting levels to design specifications.
- Picnic shelters and reserved areas are cleaned, and litter removed prior to and after each reservation.
- Baseball/softball field maintenance--watering, dragging, filling in sunken areas, raking all sand areas for debris, and other tasks necessary for the diamond to be suitable for play.

Weekly Tasks

- Mow turf once per week and athletic fields twice per week. Remove grass clippings if visible from grass and adjacent hard surfaces. Mowing height 2 ½ inches/sports fields mowed at 1 ½ inches.
- Edge all turf perimeters.
 - Achieve minimum of 95% coverage/less than 3% weed infestation/less than 2% bare.
 - No wet/dry areas.
- Edge all turf perimeters.
- Inspect invasive plants and remove or treat them within one week of discovery.
- Inspect hard surface trails for sand, dirt, and organic debris and remove them immediately.
- Clean and remove ashes from non-reserved picnic areas and barbeque pits.

April (continued)

Bi-Weekly Tasks

- Inspect drain covers twice monthly and/or before rain and immediately after flooding.
- Remove debris and organic materials from drain covers.
- Complete playground inspection at least bi-monthly. All inspections are to be completed under the direction of a Certified Playground Safety Inspector. Complete safety-related repairs immediately and initiate other repairs within 24 hours of discovery.
- Inspect and maintain to original design specifications:
 - Basketball goal posts, backboards, and rims.
 - Tennis/pickleball nets posts, fencing.
 - Softball/baseball backstops, fencing, and dugouts.
 - Soccer goals.

Monthly Tasks

- Inspect irrigation systems or computer monitors as necessary. Initiate repairs to non-functioning systems within 24 hours.
- Remove dead trees and plant material and replant unless located within an environmental area and the plant material may or could serve as habitat.
- Rebuild basins around young trees and shrubs.
- Remove stakes and ties from maturing trees where they are no longer needed.
- Inspect tennis, basketball, and other courts and initiate repairs within 72 hours.
- Wash down all tennis courts and basketball courts and the Skate Park at Arthur Lee Johnson Memorial Park.
- Inspect hard and soft surface trails for erosion and other safety hazards. Initiate repairs within 48 hours.
- Check ground drains and "V" ditches for debris blockage. Clear as needed.
- Remove silt that has run across sidewalks, parking lots, and other hardscape features.
- Inspect hard and soft surface trails for erosion and other safety hazards. Initiate repairs within 48 hours.
- Check for pocket gopher/rodent activity and abate.
- Remove grass and other plants growing within cracks of hard surfaces.
- Inspect hard surfaces for trip hazards and initiate repair by ramping or sanding within 24 hours.
- Inspect all park signs, benches, tables, grills, drinking fountains, trash containers, and other site amenities at least and complete repairs within 7 days.
- Inspect and immediately make necessary repairs to all lighting systems.
- Remove trees and branches that pose a hazard to the users of open space areas and adjacent to trails.
- Remove and clean dump sites within 48 hours of identification within parks, open space areas, and adjacent to trails.
- Sweep/blow parking areas and roads. Patch newly formed cracks with tar.

April (continued)

Three/Four Times Annual Tasks

- Pruning of shrubs to be done four times per year to keep a neatly maintained appearance and size.
- Perform trail maintenance by removing organic debris from soft surfaces and repairing any new erosion.

Semi-Annual Tasks

- Fertilize all turf areas.
- Application of a broad spectrum pre-emergent to all ground cover and shrub beds.

Annual Tasks

- Public Works staff, on or before May 1st of each year, shall inspect and evaluate each soccer field to determine the necessary maintenance repair work to be completed prior to the opening of the soccer season.

May

Daily Tasks

- Pick up litter and empty containers at least once daily or during and after special events.
- Inspect for vandalism and graffiti. Initiate repairs immediately upon discovery. Document and photograph damage/graffiti for potential use by law enforcement.
- Playground safety inspection for hazards, needed repairs, and quality of safety surface. Any needed repairs to be made immediately.
- Inspect park turf, shrubs and trees for insects, disease, and stress and respond to outbreak within 48 hours. Remove hazardous limbs and plants immediately upon discovery.
- Inspect hard surfaces for debris, glass, sand, and other organic debris and remove them immediately.
- Replace basketball nets, tennis nets and soccer goals when frayed, broken, or removed.
- Repair/replace bulbs to maintain lighting levels to design specifications.
- Picnic shelters and reserved areas are cleaned, and litter removed prior to and after each reservation.
- Baseball/softball field maintenance--watering, dragging, filling in sunken areas, raking all sand areas for debris, and other tasks necessary for the diamond to be suitable for play.

Weekly Tasks

- Mow turf once per week and athletic fields twice per week. Remove grass clippings if visible from grass and adjacent hard surfaces. Mowing height 2 ½ inches/Sports fields mowed at 1 ½ inches.
- Edge all turf perimeters.
 - Achieve minimum of 95% coverage/less than 3% weed infestation/less than 2% bare.
 - No wet/dry areas.
- Edge all turf perimeters.
- Inspect invasive plants and remove or treat them within one week of discovery.
- Inspect hard surface trails for sand, dirt, and organic debris and remove them immediately.
- Clean and remove ashes from non-reserved picnic areas and barbeque pits.

May (continued)

Bi-Weekly Tasks

- Inspect drain covers twice monthly and/or before rain and immediately after flooding.
- Remove debris and organic materials from drain covers.
- Complete playground inspection at least bi-monthly. All inspections are to be completed under the direction of a Certified Playground Safety Inspector. Complete safety-related repairs immediately and initiate other repairs within 24 hours of discovery.
- Inspect and maintain to original design specifications:
 - Basketball goal posts, backboards, and rims.
 - Tennis/pickleball nets posts and fencing.
 - Softball/baseball backstops, fencing, and dugouts.
 - Soccer goals.

Monthly Tasks

- Inspect irrigation systems or computer monitors as necessary. Initiate repairs to non-functioning systems within 24 hours.
- Fertilize athletic fields.
- Trim and replant ground cover as needed.
- Remove dead trees and plant material and replant unless located within an environmental area and the plant material may or could serve as habitat.
- Inspect tennis, basketball, and other courts and initiate repairs within 72 hours.
- Wash down all tennis courts and basketball courts and the Skate Park at Arthur Lee Johnson Memorial Park.
- Inspect hard and soft surface trails for erosion and other safety hazards. Initiate repairs within 48 hours.
- Check ground drains and "V" ditches for debris blockage. Clear as needed.
- Remove silt that has run across sidewalks, parking lots, and other hardscape features.
- Inspect hard and soft surface trails for erosion and other safety hazards. Initiate repairs within 48 hours.
- Check for pocket gopher/rodent activity and abate.
- Remove grass and other plants growing within cracks of hard surfaces.
- Clear grass away from sprinkler heads in lawns where they are needed.
- Inspect hard surfaces for trip hazards and initiate repair by ramping or sanding within 24 hours.
- Inspect all park signs, benches, tables, grills, drinking fountains, trash containers, and other site amenities at least and complete repairs within 7 days.
- Inspect and immediately make necessary repairs to all lighting systems.
- Remove trees and branches that pose a hazard to the users and adjacent to trails.
- Remove and clean dump sites within 48 hours of identification within parks, open space areas, and adjacent to trails.
- Sweep/blow parking areas and roads. Patch newly formed cracks with tar.

May (continued)

Three/Four Times Annual Tasks

- Fertilize all shrub beds and trees. Application of a complete fertilizer 16-16-16 at a minimum rate of six pounds per 1,000 sq. ft.
- Pruning of shrubs to be done four times per year to keep a neatly maintained appearance and size.

Semi-Annual Tasks

- Replace sand or wood fibers in all play areas as needed.

Annual Tasks

- All horseshoe pits will be repaired, repainted, and sand added as needed.

June

Daily Tasks

- Pick up litter and empty containers at least once daily or during and after special events.
- Inspect for vandalism and graffiti. Initiate repairs immediately upon discovery. Document and photograph damage/graffiti for potential use by law enforcement.
- Playground safety inspection for hazards, needed repairs, and quality of safety surface. Any needed repairs to be made immediately.
- Inspect park turf, shrubs and trees for insects, disease, and stress and respond to outbreak within 48 hours. Remove hazardous limbs and plants immediately upon discovery.
- Inspect hard surfaces for debris, glass, sand, and other organic debris and remove them immediately.
- Replace basketball nets, tennis nets and soccer goals when frayed, broken, or removed.
- Repair/replace bulbs to maintain lighting levels to design specifications.
- Picnic shelters and reserved areas are cleaned, and litter removed prior to and after each reservation.
- Baseball/softball field maintenance--watering, dragging, filling in sunken areas, raking all sand areas for debris, and other tasks necessary for the diamond to be suitable for play.

Weekly Tasks

- Mow turf once per week and athletic fields twice per week. Remove grass clippings if visible from grass and adjacent hard surfaces. Mowing height 2 ½ inches/Sports fields mowed at 1 ½ inches.
- Edge all turf perimeters.
 - Achieve minimum of 95% coverage/less than 3% weed infestation/less than 2% bare.
 - No wet/dry areas.
- Edge all turf perimeters.
- Inspect for invasive plants and remove or treat them within one week of discovery.
- Inspect hard surface trails for sand, dirt, and organic debris and remove them immediately.
- Clean and remove ashes from non-reserved picnic areas and barbeque pits.

June (continued)

Bi-Weekly Tasks

- Inspect drain covers twice monthly and/or before rain and immediately after flooding.
- Remove debris and organic materials from drain covers.
- Complete playground inspection at least bi-monthly. All inspections are to be completed under the direction of a Certified Playground Safety Inspector. Complete safety-related repairs immediately and initiate other repairs within 24 hours of discovery.
- Inspect and maintain to original design specifications:
 - Basketball goal posts, backboards, and rims.
 - Tennis/pickleball nets post and fencing.
 - Softball/baseball backstops, fencing, and dugouts.
 - Soccer goals.

Monthly Tasks

- Inspect irrigation systems or computer monitors as necessary. Initiate repairs to non-functioning systems within 24 hours.
- Fertilize athletic fields.
- Clean and adjust irrigation heads on a regular basis throughout summer.
- Remove dead trees and plant material and replant unless located within an environmental area and the plant material may or could serve as habitat.
- Inspect tennis, basketball, and other courts and initiate repairs within 72 hours.
- Wash down all tennis courts and basketball courts and the Skate Park at Arthur Lee Johnson Memorial Park.
- Inspect hard and soft surface trails for erosion and other safety hazards. Initiate repairs within 48 hours.
- Check ground drains and "V" ditches for debris blockage. Clear as needed.
- Remove silt that has run across sidewalks, parking lots, and other hardscape features.
- Inspect hard and soft surface trails for erosion and other safety hazards. Initiate repairs within 48 hours.
- Check for pocket gopher/rodent activity and abate.
- Remove grass and other plants growing within cracks of hard surfaces.
- Inspect hard surfaces for trip hazards and initiate repair by ramping or sanding within 24 hours.
- Inspect all park signs, benches, tables, grills, drinking fountains, trash containers, and other site amenities at least and complete repairs within 7 days.
- Inspect and immediately make necessary repairs to all lighting systems.
- Remove trees and branches that pose a hazard to the users of open space areas and adjacent to trails.
- Remove and clean dump sites within 48 hours of identification within parks, open space areas, and adjacent to trails.
- Sweep/blow parking areas and roads. Patch newly formed cracks with tar.

June (continued)

Three/Four Times Annual Tasks

- Quarterly inspection of all lights. Initiate repairs within 48 hours.
- Aerate all turf areas and overdressed with grass seed and soil amendment in areas needed. Utilize humus or mushroom compost.
- Within the same week of aeration, apply a measured fertilizer such as a 26-4-8 at a rate of one-pound actual nitrogen per 1,000 sq. ft.

Semi-Annual Tasks

- Replenish wood chips throughout the entire Greenbelt pathway.

Annual Tasks

- None

July

Daily Tasks

- Pick up litter and empty containers at least once daily or during and after special events.
- Inspect for vandalism and graffiti. Initiate repairs immediately upon discovery. Document and photograph damage/graffiti for potential use by law enforcement.
- Playground safety inspection for hazards, needed repairs, and quality of safety surface. Any needed repairs to be made immediately.
- Inspect park turf, shrubs and trees for insects, disease, and stress and respond to outbreak within 48 hours. Remove hazardous limbs and plants immediately upon discovery.
- Inspect hard surfaces for debris, glass, sand, and other organic debris and remove them immediately.
- Replace basketball nets, tennis nets and soccer goals when frayed, broken, or removed.
- Repair/replace bulbs to maintain lighting levels to design specifications.
- Picnic shelters and reserved areas are cleaned, and litter removed prior to and after each reservation.
- Baseball/softball field maintenance--watering, dragging, filling in sunken areas, raking all sand areas for debris, and other tasks necessary for the diamond to be suitable for play.

Weekly Tasks

- Mow turf once per week and athletic fields twice per week. Remove grass clippings if visible from grass and adjacent hard surfaces. Mowing height 2 ½ inches/Sports fields mowed at 1 ½ inches.
- Edge all turf perimeters.
 - Achieve minimum of 95% coverage/less than 3% weed infestation/less than 2% bare.
 - No wet/dry areas.
- Edge all turf perimeters.
- Inspect for invasive plants and remove or treat them within one week of discovery.
- Inspect hard surface trails for sand, dirt, and organic debris and remove them immediately.
- Clean and remove ashes from non-reserved picnic areas and barbeque pits.

July (continued)

Bi-Weekly Tasks

- Inspect drain covers twice monthly and/or before rain and immediately after flooding.
- Remove debris and organic materials from drain covers.
- Complete playground inspection at least bi-monthly. All inspections are to be completed under the direction of a Certified Playground Safety Inspector. Complete safety-related repairs immediately and initiate other repairs within 24 hours of discovery.
- Inspect and maintain to original design specifications:
 - Basketball goal posts, backboards, and rims.
 - Tennis/pickleball nets posts and fencing.
 - Softball/baseball backstops, fencing, and dugouts.
 - Soccer goals.

Monthly Tasks

- Inspect irrigation systems or computer monitors as necessary. Initiate repairs to non-functioning systems within 24 hours.
- Remove dead trees and plant material and replant unless located within an environmental area and the plant material may or could serve as habitat.
- Inspect tennis, basketball, and other courts and initiate repairs within 72 hours.
- Wash down all tennis courts and basketball courts and the Skate Park at Arthur Lee Johnson Memorial Park.
- Inspect hard and soft surface trails for erosion and other safety hazards. Initiate repairs within 48 hours.
- Check ground drains and "V" ditches for debris blockage. Clear as needed.
- Remove silt that has run across sidewalks, parking lots, and other hardscape features.
- Inspect hard and soft surface trails for erosion and other safety hazards. Initiate repairs within 48 hours.
- Check for pocket gopher/rodent activity and abate.
- Remove grass and other plants growing within cracks of hard surfaces.
- Inspect hard surfaces for trip hazards and initiate repair by ramping or sanding within 24 hours.
- Inspect all park signs, benches, tables, grills, drinking fountains, trash containers, and other site amenities at least and complete repairs within 7 days.
- Inspect and immediately make necessary repairs to all lighting systems.
- Remove trees and branches that pose a hazard to the users of open space areas and adjacent to trails.
- Remove and clean dump sites within 48 hours of identification within parks, open space areas, and adjacent to trails.
- Sweep/blow parking areas and roads. Patch newly formed cracks with tar.

July (continued)

Three/Four Times Annual Tasks

- Pruning of shrubs to be done four times per year to keep a neatly maintained appearance and size.
- Perform trail maintenance by removing organic debris from soft surfaces and repairing any new erosion.

Semi-Annual Tasks

- None.

Annual Tasks

- None.

August

Daily Tasks

- Pick up litter and empty containers at least once daily or during and after special events.
- Inspect for vandalism and graffiti. Initiate repairs immediately upon discovery. Document and photograph damage/graffiti for potential use by law enforcement.
- Playground safety inspection for hazards, needed repairs, and quality of safety surface. Any needed repairs to be made immediately.
- Inspect park turf, shrubs and trees for insects, disease, and stress and respond to outbreak within 48 hours. Remove hazardous limbs and plants immediately upon discovery.
- Inspect hard surfaces for debris, glass, sand, and other organic debris and remove them immediately.
- Replace basketball nets, tennis nets and soccer goals when frayed, broken, or removed.
- Repair/replace bulbs to maintain lighting levels to design specifications.
- Picnic shelters and reserved areas are cleaned, and litter removed prior to and after each reservation.

Weekly Tasks

- Mow turf once per week and athletic fields twice per week. Remove grass clippings if visible from grass and adjacent hard surfaces. Mowing height 2 ½ inches/Sports fields mowed at 1 ½ inches.
- Edge all turf perimeters.
 - Achieve minimum of 95% coverage/less than 3% weed infestation/less than 2% bare.
 - No wet/dry areas.
- Edge all turf perimeters.
- Inspect invasive plants and remove or treat them within one week of discovery.
- Inspect hard surface trails for sand, dirt, and organic debris and remove them immediately.
- Clean and remove ashes from non-reserved picnic areas and barbeque pits.
- Baseball/softball field maintenance--watering, dragging, filling in sunken areas, raking all sand areas for debris, and other tasks necessary for the diamond to be suitable for play. Tasks shall be completed several days a week and coordinated with softball/baseball schedules.

August (continued)

Bi-Weekly Tasks

- Inspect drain covers twice monthly and/or before rain and immediately after flooding.
- Remove debris and organic materials from drain covers.
- Complete playground inspection at least bi-monthly. All inspections are to be completed under the direction of a Certified Playground Safety Inspector. Complete safety-related repairs immediately and initiate other repairs within 24 hours of discovery.
- Inspect and maintain to original design specifications:
 - Basketball goal posts, backboards, and rims.
 - Tennis/pickleball nets posts and fencing.
 - Softball/baseball backstops, fencing, and dugouts.
 - Soccer goals.

Monthly Tasks

- Inspect irrigation systems or computer monitors as necessary. Initiate repairs to non-functioning systems within 24 hours.
- Fertilize athletic fields.
- Prune vegetation for line-of-sight obstruction at street intersections and park entrances.
- Remove dead trees and plant material and replant unless located within an environmental area and the plant material may or could serve as habitat.
- Cut out spent blossom spikes on all shrubs.
- Inspect tennis, basketball, and other courts and initiate repairs within 72 hours.
- Wash down all tennis courts and basketball courts and the Skate Park at Arthur Lee Johnson Memorial Park.
- Inspect hard and soft surface trails for erosion and other safety hazards. Initiate repairs within 48 hours.
- Check ground drains and "V" ditches for debris blockage. Clear as needed.
- Remove silt that has run across sidewalks, parking lots, and other hardscape features.
- Inspect hard and soft surface trails for erosion and other safety hazards. Initiate repairs within 48 hours.
- Check for pocket gopher/rodent activity and abate.
- Remove grass and other plants growing within cracks of hard surfaces.
- Inspect hard surfaces for trip hazards and initiate repair by ramping or sanding within 24 hours.
- Inspect all park signs, benches, tables, grills, drinking fountains, trash containers, and other site amenities at least and complete repairs within 7 days.
- Inspect and immediately make necessary repairs to all lighting systems.
- Remove trees and branches that pose a hazard to the users of open space areas and adjacent to trails.
- Remove and clean dump sites within 48 hours of identification within parks, open space areas, and adjacent to trails.
- Sweep/blow parking areas and roads. Patch newly formed cracks with tar.

August (continued)

Three/Four Times Annual Tasks

- None.

Semi-Annual Tasks

- Overseed all turf areas.
- Replace sand or wood fibers in all play areas.

Annual Tasks

- None.

September

Daily Tasks

- Pick up litter and empty containers at least once daily or during and after special events.
- Inspect for vandalism and graffiti. Initiate repairs immediately upon discovery. Document and photograph damage/graffiti for potential use by law enforcement.
- Playground safety inspection for hazards, needed repairs, and quality of safety surface. Any needed repairs to be made immediately.
- Inspect park turf, shrubs and trees for insects, disease, and stress and respond to outbreak within 48 hours. Remove hazardous limbs and plants immediately upon discovery.
- Inspect hard surfaces for debris, glass, sand, and other organic debris and remove them immediately.
- Replace basketball nets, tennis nets and soccer goals when frayed, broken, or removed.
- Repair/replace bulbs to maintain lighting levels to design specifications.
- Picnic shelters and reserved areas are cleaned, and litter removed prior to and after each reservation.

Weekly Tasks

- Mow turf once per week and athletic fields twice per week. Remove grass clippings if visible from grass and adjacent hard surfaces. Mowing height 2 ½ inches/Sports fields mowed at 1 ½ inches.
- Edge all turf perimeters.
 - Achieve minimum of 95% coverage/less than 3% weed infestation/less than 2% bare.
 - No wet/dry areas.
- Edge all turf perimeters.
- Inspect invasive plants and remove or treat them within one week of discovery.
- Inspect hard surface trails for sand, dirt, and organic debris and remove them immediately.
- Clean and remove ashes from non-reserved picnic areas and barbeque pits.
- Baseball/softball field maintenance--watering, dragging, filling in sunken areas, raking all sand areas for debris, and other tasks necessary for the diamond to be suitable for play. Tasks shall be completed several days a week and coordinated with softball/baseball schedules.

September (continued)

Bi-Weekly Tasks

- Inspect drain covers twice monthly and/or before rain and immediately after flooding.
- Remove debris and organic materials from drain covers.
- Complete playground inspection at least bi-monthly. All inspections are to be completed under the direction of a Certified Playground Safety Inspector. Complete safety-related repairs immediately and initiate other repairs within 24 hours of discovery.
- Inspect and maintain to original design specifications:
 - Basketball goal posts, backboards, and rims.
 - Tennis/pickleball nets post and fencing.
 - Softball/baseball backstops, fencing, and dugouts.
 - Soccer goals.

Monthly Tasks

- Inspect irrigation systems or computer monitors as necessary. Initiate repairs to non-functioning systems within 24 hours.
- Remove dead trees and plant material and replant unless located within an environmental area and the plant material may or could serve as habitat.
- Trim “suckers” and “water shoots” off trees.
- Inspect tennis, basketball, and other courts and initiate repairs within 72 hours.
- Wash down all tennis courts and basketball courts and the Skate Park at Arthur Lee Johnson Memorial Park.
- Inspect hard and soft surface trails for erosion and other safety hazards. Initiate repairs within 48 hours.
- Check ground drains and “V” ditches for debris blockage. Clear as needed.
- Remove silt that has run across sidewalks, parking lots, and other hardscape features.
- Inspect hard and soft surface trails for erosion and other safety hazards. Initiate repairs within 48 hours.
- Check for pocket gopher/rodent activity and abate.
- Remove grass and other plants growing within cracks of hard surfaces.
- Inspect hard surfaces for trip hazards and initiate repair by ramping or sanding within 24 hours.
- Inspect all park signs, benches, tables, grills, drinking fountains, trash containers, and other site amenities at least and complete repairs within 7 days.
- Inspect and immediately make necessary repairs to all lighting systems.
- Remove trees and branches that pose a hazard to the users of open space areas and adjacent to trails.
- Remove and clean dump sites within 48 hours of identification within parks, open space areas, and adjacent to trails.
- Sweep/blow parking areas and roads. Patch newly formed cracks with tar.

September (continued)

Three/Four Times Annual Tasks

- Fertilize all shrub beds and trees. Application of a complete fertilizer 16-16-16 at a minimum rate of six pounds per 1,000 sq. ft.
- Aerate all turf areas and overdressed with grass seed and soil amendment in areas needed. Utilize humus or mushroom compost.
- Within the same week of aeration, apply a measured fertilizer such as a 26-4-8 at a rate of one-pound actual nitrogen per 1,000 sq. ft.
- Pruning of shrubs to be done four times per year to keep a neatly maintained appearance and size.
- Perform trail maintenance by removing organic debris from soft surfaces and repairing any new erosion.
- Quarterly inspection of all lights. Initiate repairs within 48 hours.

Semi-Annual Tasks

- Hand weed control to be done for control of warm and cool season weeds in turf. Spraying to be done in spring and fall per a written recommendation of a Pest Control Advisor to control weeds in turf to a satisfactory level of less than 5% per area.
- Application of a broad spectrum pre-emergent to all ground cover and shrub beds.
- Cleaning/power wash of park amenities such as drinking fountains, restrooms, and walkways.

Annual Tasks

- None.

October

Daily Tasks

- Pick up litter and empty containers at least once daily or during and after special events.
- Inspect for vandalism and graffiti. Initiate repairs immediately upon discovery. Document and photograph damage/graffiti for potential use by law enforcement.
- Playground safety inspection for hazards, needed repairs, and quality of safety surface. Any needed repairs to be made immediately.
- Inspect park turf, shrubs and trees for insects, disease, and stress and respond to outbreak within 48 hours. Remove hazardous limbs and plants immediately upon discovery.
- Inspect hard surfaces for debris, glass, sand, and other organic debris and remove them immediately.
- Replace basketball nets, tennis nets and soccer goals when frayed, broken, or removed.
- Repair/replace bulbs to maintain lighting levels to design specifications.
- Picnic shelters and reserved areas are cleaned, and litter removed prior to and after each reservation.

Weekly Tasks

- Mow turf once per week and remove grass clippings if visible from grass and adjacent hard surfaces. Mowing height 2 ½ inches/Sports fields mowed at 1 ½ inches.
- Edge all turf perimeters.
 - Achieve minimum of 95% coverage/less than 3% weed infestation/less than 2% bare.
 - No wet/dry areas.
- Inspect invasive plants and remove or treat them within one week of discovery.
- Inspect hard surface trails for sand, dirt, and organic debris and remove them immediately.
- Clean and remove ashes from non-reserved picnic areas and barbeque pits.
- Baseball/softball field maintenance--watering, dragging, filling in sunken areas, raking all sand areas for debris, and other tasks necessary for the diamond to be suitable for play. Tasks shall be completed several days a week and coordinated with softball/baseball schedules.

October (continued)

Bi-Weekly Tasks

- Inspect drain covers twice monthly and/or before rain and immediately after flooding.
- Remove debris and organic materials from drain covers.
- Complete playground inspection at least bi-monthly. All inspections are to be completed under the direction of a Certified Playground Safety Inspector. Complete safety-related repairs immediately and initiate other repairs within 24 hours of discovery.
- Inspect and maintain to original design specifications:
 - Basketball goal posts, backboards, and rims.
 - Tennis/pickleball nets posts and fencing.
 - Softball/baseball backstops, fencing, and dugouts.
 - Soccer goals.

Monthly Tasks

- Inspect irrigation systems or computer monitors as necessary. Initiate repairs to non-functioning systems within 24 hours.
- Remove dead trees and plant material and replant unless located within a natural area and the plant material may or could serve as habitat.
- Check to be sure all appropriate shrubs and ground covers have been trimmed and edged and sprayed to maintain desired shape through winter months.
- Inspect tennis, basketball, and other courts and initiate repairs within 72 hours.
- Wash down all tennis courts and basketball courts and the Skate Park at Arthur Lee Johnson Memorial Park.
- Inspect hard and soft surface trails for erosion and other safety hazards. Initiate repairs within 48 hours.
- Check ground drains and "V" ditches for debris blockage. Clear as needed.
- Remove silt that has run across sidewalks, parking lots, and other hardscape features.
- Inspect hard and soft surface trails for erosion and other safety hazards. Initiate repairs within 48 hours.
- Check for pocket gopher/rodent activity and abate.
- Remove grass and other plants growing within cracks of hard surfaces.
- Inspect hard surfaces for trip hazards and initiate repair by ramping or sanding within 24 hours.
- Inspect all park signs, benches, tables, grills, drinking fountains, trash containers, and other site amenities at least and complete repairs within 7 days.
- Inspect and immediately make necessary repairs to all lighting systems.
- Remove trees and branches that pose a hazard to the users of open space areas and adjacent to trails.
- Remove and clean dump sites within 48 hours of identification within parks, open space areas, and adjacent to trails.
- Sweep/blow parking areas and roads. Patch newly formed cracks with tar.

October (continued)

Three/Four Times Annual Tasks

- None.

Semi-Annual Tasks

- Fall sports field renovation to address filling in or regarding of low spots, divots, sink holes, or other unevenness of the turf area.
- Fall pruning/trimming of trees less than five years old for structure and proper health. Remove all suckers.
- Remove overhanging branches within 84" of trail surface.

Annual Tasks

- If appropriate reduce the number of trash containers within park sites due to lower usage.
- Inspection and thinning of all trees as needed to prevent damage from wind.
- Regrading or renovation of turf areas as needed. Work to be scheduled and completed based on specific season ending dates for each user group.
- Inspect turf areas for thatch build up and dethatch as needed.
- Inspect storm drains removing debris as required from interior piping.

November

Daily Tasks

- Pick up litter and empty containers at least once daily or during and after special events.
- Inspect for vandalism and graffiti. Initiate repairs immediately upon discovery. Document and photograph damage/graffiti for potential use by law enforcement.
- Playground safety inspection for hazards, needed repairs, and quality of safety surface. Any needed repairs to be made immediately.
- Inspect park turf, shrubs and trees for insects, disease, and stress and respond to outbreak within 48 hours. Remove hazardous limbs and plants immediately upon discovery.
- Inspect hard surfaces for debris, glass, sand, and other organic debris and remove them immediately.
- Replace basketball nets, tennis nets and soccer goals when frayed, broken, or removed.
- Repair/replace bulbs to maintain lighting levels to design specifications.
- Picnic shelters and reserved areas are cleaned, and litter removed prior to and after each reservation.

Weekly Tasks

- Mow turf once per week and remove grass clippings if visible from grass and adjacent hard surfaces. Winter mowing height 2 ½ inches.
- Edge all turf perimeters.
 - Achieve minimum of 95% coverage/less than 3% weed infestation/less than 2% bare.
 - No wet/dry areas.
- Inspect invasive plants and remove or treat them within one week of discovery.
- Inspect hard surface trails for sand, dirt, and organic debris and remove them immediately.
- Clean and remove ashes from non-reserved picnic areas and barbeque pits.
- Baseball/softball field maintenance--watering, dragging, filling in sunken areas, raking all sand areas for debris, and other tasks necessary for the diamond to be suitable for play. Tasks shall be completed several days a week and coordinated with softball/baseball schedules.

November (continued)

Bi-Weekly Tasks

- Inspect drain covers twice monthly and/or before rain and immediately after flooding.
- Remove debris and organic materials from drain covers.
- Complete playground inspection at least bi-monthly. All inspections are to be completed under the direction of a Certified Playground Safety Inspector. Complete safety-related repairs immediately and initiate other repairs within 24 hours of discovery.
- Inspect and maintain to original design specifications:
 - Basketball goal posts, backboards, and rims.
 - Tennis/pickleball nets posts and fencing.
 - Softball/baseball backstops, fencing, and dugouts.
 - Soccer goals.

Monthly Tasks

- Inspect irrigation systems or computer monitors as necessary. Initiate repairs to non-functioning systems within 24 hours.
- Start pruning deciduous trees, shrubs, and vines as required.
- Remove dead trees and plant material and replant unless located within an environmental area and the plant material may or could serve as habitat.
- Inspect tennis, basketball, and other courts and initiate repairs within 72 hours.
- Wash down all tennis courts and basketball courts and the Skate Park at Arthur Lee Johnson Memorial Park.
- Inspect hard and soft surface trails for erosion and other safety hazards. Initiate repairs within 48 hours.
- Check edges of culverts, drainage v-ditches, and catch basins for erosion of soil.
- Check for damage to drain structures.
- Remove silt that has run across sidewalks, parking lots, and other hardscape features.
- Inspect hard and soft surface trails for erosion and other safety hazards. Initiate repairs within 48 hours.
- Check for pocket gopher/rodent activity and abate.
- Remove grass and other plants growing within cracks of hard surfaces.
- Inspect hard surfaces for trip hazards and initiate repair by ramping or sanding within 24 hours.
- Inspect all park signs, benches, tables, grills, drinking fountains, trash containers, and other site amenities at least and complete repairs within 7 days.
- Inspect and immediately make necessary repairs to all lighting systems.
- Remove trees and branches that pose a hazard to the users of open space areas and adjacent to trails.
- Remove and clean dump sites within 48 hours of identification within parks, open space areas, and adjacent to trails.
- Sweep/blow parking areas and roads. Patch newly formed cracks with tar.

November (continued)

Three/Four Times Annual Tasks

- Quarterly inspection of all lights. Initiate repairs within 48 hours.

Semi-Annual Tasks

- None.

Annual Tasks

- Test soil to ensure application of appropriate nutrients as needed. Testing to occur in three parks, turf, and shrub bed locations.
- Repaint all outdoor court lines as needed.
- Annually free fences of dead woody plant debris.
- Paint park benches and picnic tables, as needed.
- Public Works staff shall inspect and evaluate each ball diamond and determine necessary repair maintenance work to be completed on or before December 1st.

December

Daily Tasks

- Pick up litter and empty containers at least once daily or during and after special events.
- Inspect for vandalism and graffiti. Initiate repairs immediately upon discovery. Document and photograph damage/graffiti for potential use by law enforcement.
- Playground safety inspection for hazards, needed repairs, and quality of safety surface. Any needed repairs to be made immediately.
- Inspect park turf, shrubs and trees for insects, disease, and stress and respond to outbreak within 48 hours. Remove hazardous limbs and plants immediately upon discovery.
- Inspect hard surfaces for debris, glass, sand, and other organic debris and remove them immediately.
- Replace basketball nets, tennis nets and soccer goals when frayed, broken, or removed.
- Repair/replace bulbs to maintain lighting levels to design specifications.
- Picnic shelters and reserved areas are cleaned, and litter removed prior to and after each reservation.

Weekly Tasks

- Mow turf once per week and remove grass clippings if visible from grass and adjacent hard surfaces. Winter mowing height 2 ½ inches.
- Edge all turf perimeters.
 - Achieve minimum of 95% coverage/less than 3% weed infestation/less than 2% bare.
 - No wet/dry areas.
- Inspect invasive plants and remove or treat them within one week of discovery.
- Inspect hard surface trails for sand, dirt, and organic debris and remove them immediately.
- Clean and remove ashes from non-reserved picnic areas and barbeque pits.
- Baseball/softball field maintenance--watering, dragging, filling in sunken areas, raking all sand areas for debris, and other tasks necessary for the diamond to be suitable for play. Tasks shall be completed several days a week and coordinated with softball/baseball schedules.

December (continued)

Bi-Weekly Tasks

- Inspect drain covers twice monthly and/or before rain and immediately after flooding.
- Remove debris and organic materials from drain covers.
- Complete playground inspection at least bi-monthly. All inspections are to be completed under the direction of a Certified Playground Safety Inspector. Complete safety-related repairs immediately and initiate other repairs within 24 hours of discovery.
- Inspect and maintain to original design specifications:
 - Basketball goal posts, backboards, and rims.
 - Tennis/pickleball nets posts and fencing.
 - Softball/baseball backstops, fencing, and dugouts.
 - Soccer goals.

Monthly Tasks

- Inspect irrigation systems or computer monitors as necessary. Initiate repairs to non-functioning systems within 24 hours.
- Continue dormant pruning as needed.
- Remove dead trees and plant material and replant unless located within an environmental area and the plant material may or could serve as habitat.
- Inspect tennis, basketball, and other courts and initiate repairs within 72 hours.
- Wash down all tennis courts and basketball courts and the Skate Park at Arthur Lee Johnson Memorial Park.
- Inspect hard and soft surface trails for erosion and other safety hazards. Initiate repairs within 48 hours.
- Check ground drains and "V" ditches for debris blockage. Clear as needed.
- Remove silt that has run across sidewalks, parking lots, and other hardscape features.
- Inspect hard and soft surface trails for erosion and other safety hazards. Initiate repairs within 48 hours.
- Check for pocket gopher/rodent activity and abate.
- Remove grass and other plants growing within cracks of hard surfaces.
- Inspect hard surfaces for trip hazards and initiate repair by ramping or sanding within 24 hours.
- Inspect all park signs, benches, tables, grills, drinking fountains, trash containers, and other site amenities at least and complete repairs within 7 days.
- Inspect and immediately make necessary repairs to all lighting systems.
- Remove trees and branches that pose a hazard to the users of open space areas and adjacent to trails.
- Remove and clean dump sites within 48 hours of identification within parks, open space areas, and adjacent to trails.
- Sweep/blow parking areas and roads. Patch newly formed cracks with tar.

December (continued)

Three/Four Times Annual Tasks

- None.

Semi-Annual Tasks

- None.

Annual Tasks

- Paint fading or indistinct park, directional, or instructional signs as needed.
- Paint parking lot curbs—red no parking/handicapped/yellow loading zone.
- Restripe parking lots every three years.

APPENDIX A

City of Gardena Public Works Department Estimated Hours Spreadsheet Sample

STANDARDS						ESTIMATED HOURS PARK FACILITIES		PARK SUMMARY			DISTRICT	CONTRACT
TASK	UNITS	SIZE	TIME IN HOURS	FREQUENCY PER YEAR	SOURCE	INVENTORY	SIZE	TOTAL TIME EACH TASK	FREQUENCY PER YEAR	HOURS PER YEAR	LABOR	LABOR
MOW-TRACTOR-20" WALKING	1	ACRE	2.8	52	1		ACRE	0.00		-		
MOW-TRACTOR-24" WALKING	1	ACRE	2.2	52	1		ACRE	0.00		-		
MOW-TRACTOR-30" RIDING	1	ACRE	2	52	1		ACRE	0.00		-		
MOW-TRACTOR-72" RIDING	1	ACRE	0.95	52	1	7.50	ACRE	2.69	52	136.50		
MOW-HAND	1000	SQ FT	0.11	52	3		SQ FT	0.00		-		
AERATE-TRACTOR	1	ACRE	0.70	3	1		ACRE	0.00		-		
AERATE-WALK BEHIND	1000	SQ FT	0.10	3	1		SQ FT	0.00		-		
FERTILIZE-24" SPREADER	1000	SQ FT	0.16	3	1		SQ FT	0.00		-		
FERTILIZE-TRACTOR TOWED	1	ACRE	0.43	3	1		ACRE	0.00		-		
FERTILIZE-PUSH	1	ACRE	2.96	3	1		ACRE	0.00		-		
FERTILIZE-SHRUBS	1000	SQ FT	0.05	3	1		SQ FT	0.00		-		
CUT AND PLANT SOD	1000	SQ FT	1.00	1	1		SQ FT	0.00		-		
OVERSEEDING	1	ACRE	0.80	1	1		ACRE	0.00		-		
CLEAN RESTROOM	1	RESTROOM	0.75	365	2	10.00	RESTROOM	0.75	365	273.75		
CLEAN RESTROO/SHOWERS	1	RESTROOM	1.25	365	2		RESTROOM	0.00		-		
EDGE/TRIM	1000	LINEAR FT	1.01	26	2		LINEAR FT	0.00		-		
LITTER PICK-UP	0.5	ACRE	1.00	104	2		ACRE	0.00		-		
SHRUB BED MAINTENANCE	1000	SQ FT	1.00	26	2		SQ FT	0.00		-		
PESTICIDE APP-TRUCK	1000	SQ FT	0.45	3	3		SQ FT	0.00		-		
PESTICIDE APP-HAND	1000	SQ FT	0.68	3	3		SQ FT	0.00		-		
INSECT/RODENT CONTROL	1	ACRE	0.80	2	2		ACRE	0.00		-		
BLOW WALKS	1000	SQ FT	0.10	156	2		SQ FT	0.00		-		
LEAF DISPOSAL-30" VACUUM	1000	SQ FT	0.08	6	1		ACRE	0.00		-		
LEAF DISPOSAL-RAKE	1000	SQ FT	0.42	6	1		SQ FT	0.00		-		
WEED MOWING-TRACTOR	1	ACRE	1.21	3	3		ACRE	0.00		-		
EQUIPMENT MAINTENANCE	1	UNIT	1.20	52	2		UNIT	0.00		-		
FLOWER BED PREP	100	SQ FT	0.90	2	2		SQ FT	0.00		-		
HAND WATERING-TREES	1	TREE	0.17	3	2		TREE	0.00		-		
HAND WATERING-SHRUBS	100	SQ FT	0.22	26	3		SQ FT	0.00		-		
IRRIGATION SYSTEM INSPECTION	1	ACRE	1.00	4	4		ACRE	0.00		-		
IRRIGATION-MANUAL	1	ACRE	0.41	100	3		ACRE	0.00		-		
PLANTING-SHRUBS	1	SHRUB	0.75	1	2		SHRUB	0.00		-		
PLANTING-TREES	1	TREE	0.70	1	2		TREE	0.00		-		
PRUNING SHRUBS	1	SHRUB	0.50	1	2		SHRUB	0.00		-		
PRUNING-6' TREES	1	TREE	0.50	1	2		TREE	0.00		-		
PRUNING-12' TREES+	1	TREE	1.10	1	2		TREE	0.00		-		
SAETY INSPECTIONS	1	REVIEW	2.00	12	2		REVIEW	0.00		-		
TRASH REMOVAL	1	CAN	0.08	156	2		CAN	0.00		-		
BUILDING MAINTENANCE	1	BUILDING	1.25	52	4		BUILDING	0.00		-		
PARK PATROL	1	PARK	1.00	365	4		PARK	0.00		-		
GROUP AREA PREP	1	AREA	1.00	210	4		AREA	0.00		-		
BALLFIELD LINING	1	BALLFIELD	1.50	168	4		SAURFACE	0.00		-		
BATTING CAGE MAINTENANCE	1	BAT CAGE	0.50	365	4		B CAGE	0.00		-		
SPRAY PARK MAINTENANCE	1	SPRAY PARK	3.00	210	4		SPRAY PARK	0.00		-		
SPRAY PARK RESURFACING	1	SPRAY PARK	35	1	4		SPRAY PARK	0.00		-		
PAINT BENCHES/TABLES	1	BEN/TABLE	1	1	4		BEN/TABLE	0.00		-		
TOTAL HOURS RECOMMENDED										410.25	-	-

1-Municipal Benchmarks: Assessing Local Performance and Establishing Community Standards, David N. Ammons
 2-Park Maintenance Standards-National Recreation and Park Association
 3-Turf Maintenance Performance Standards-Parks Maintenance Magazine
 4-Recommended Local Standards

City of Gardena
Parks and Recreation Master Plan
Recreation and Human Services/Public Works Departments
Fiscal Summary and CIP Study

The cornerstone of the success of the Parks and Recreation Master Plan is Gardena's ability to secure adequate and stable funding for the development and operation of parks, recreation facilities, and programs. Two major cost centers require funding to implement the Master Plan. One is capital costs which includes potential acquisition and development of new required parklands and facilities and renovation of existing parks. The second major cost center is to develop long-term sustainable resources for operations and maintenance of existing and new facilities.

With difficult financial constraints and diminishing resources, it will be challenging to find the resources needed to build or renovate parks and facilities as well as maintain existing parks and infrastructure. Another vexing task will be sustaining the affordability of recreation fee supported programs to meet needs and demands for residents.

This section of the Master Plan provides information on funding options for park development, maintenance, and operations to assist Gardena in preparing for plan implementation. It discusses current funding mechanisms and identifies future possibilities and identifies key resources to meet future goals or strategic directions and guides the city staff in accomplishing the vision and goals of the Master Plan. Meeting these challenges will require equal amounts of vision, resourcefulness, partnership, and hard work.

Fiscal Summary

In addition to providing parks and open spaces, the City of Gardena through the Recreation and Human Services Department provides a range of services and programs geared towards meeting the recreation needs and interests of the community. Recreation and Human Services identifies several programming areas as:

- Aquatics
- Classes
- Human Services
- Recreation Programming
- Seniors
- Special Events
- Sports

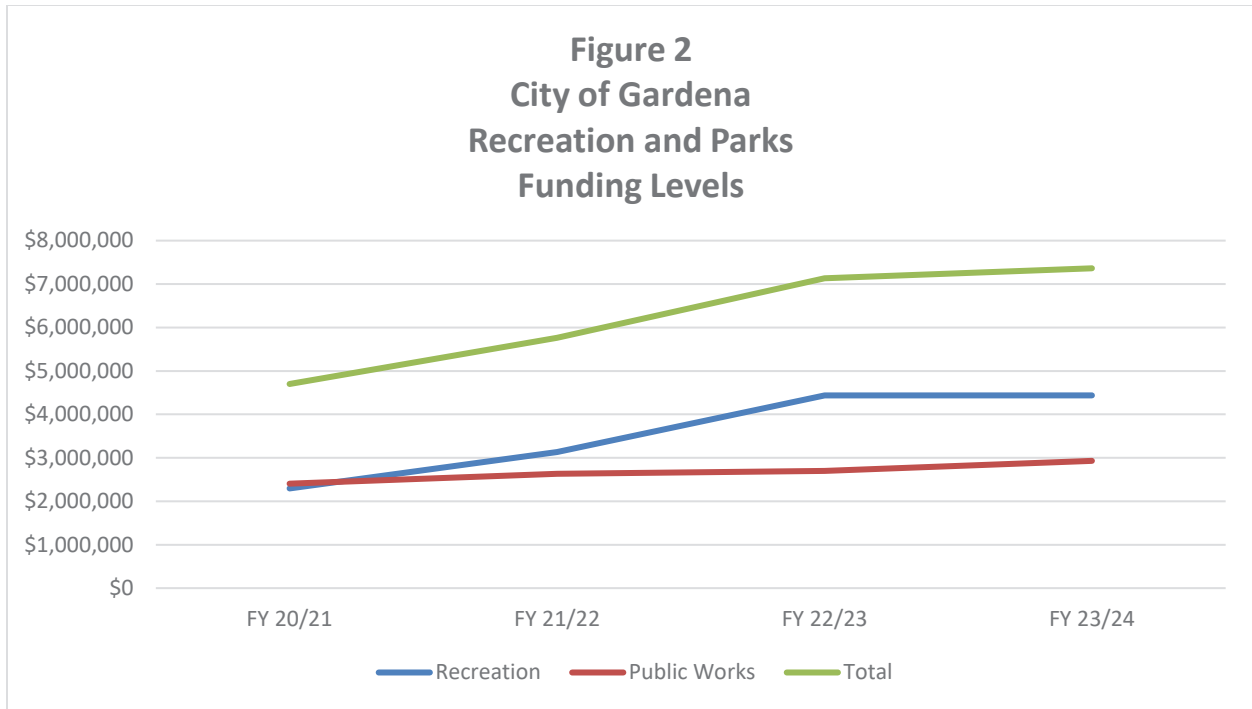
Park and building maintenance activities fall under the leadership of the Public Works Department within the divisions of Park Maintenance and Building Maintenance. Tree trimming, another Public Works function, is budgeted as a separate unit.

Budget

Figure 1 displays the overall general fund totals for both the Recreation and Human Services Department and Public Works Divisions of Parks Maintenance and Building Maintenance. It is important to note that since Fiscal Year 20/21 the overall budgets have risen for both departments, although Recreation and Human Services Department has outpaced Public Works. Figure 2 displays these numbers in table format.

Figure 1
City of Gardena
Budget Comparisons

Budget Unit	Audited FY 20/21	Audited FY 21/22	Adopted FY 22/23	Adopted FY 23/34
Recreation & Human Services				
Custodian Maintenance	\$751,788	\$982,613	\$1,241,894	\$1,316,346
Youth/Family Services	\$138,185	\$238,974	\$434,353	--
Aquatics	--	--	--	\$301,407
Leisure Services	\$1,404,931	\$1,908,210	\$2,760,206	\$2,815,559
Total Recreation & Human Services	\$2,294,904	\$3,129,797	\$4,436,453	\$4,433,312
Public Works				
Park Maintenance	\$1,334,705	\$1,707,413	\$1,677,509	\$1,882,725
Building Maintenance	\$831,984	\$693,615	\$740,500	\$753,351
Tree Trimming	\$238,109	\$231,046	\$281,850	\$293,630
Total Public Works	\$2,404,798	\$2,632,074	\$2,699,859	\$2,929,706
Recreation & Public Works Total	\$4,699,702	\$5,761,871	\$7,136,312	\$7,363,018



Revenue

In the periodic budget process that every municipality goes through, there are negotiations for the level of general fund support. The general fund pays for usual and on-going municipal expenses that are generally not supported by a stream of revenue. Tracking revenue is an important component for all municipal functions and comparing that to the cost-of-service delivery, or revenue rate, can present a clear picture of the success of departmental operations.

Revenue rate describes the percentage of income that is produced from fees and charges contrasted with total direct expenditures for the program. Direct expenditure does not include general overhead and City administration.

Figure 2 displays a historical summary of the Recreation and Human Services Department revenue and revenue rate. Tracking these two areas is important to understand a clear picture and trends within the department as it relates to expenditures and revenue. As Figure 3 indicates, Gardena has an exceptionally low revenue rate. Since the end of COVID restrictions the revenue rate has reached its highest point at 08.5% in FY 21/22. As a comparison, a recent study for the nearby City of Hermosa Beach found a revenue rate of 77.88% for the same fiscal year.

**Figure 3
City of Gardena
Revenue Comparisons**

Revenue	Audited FY 20/21	Audited FY 21/22	Adopted FY 22/23	Adopted FY 23/234
Recreation Revenue	\$81,006	\$268,103	\$326,500	\$341,500
Revenue Rate	03.5%	08.5%	07.3%	06.9%

While industry standards vary greatly depending on facilities, size, scope, and age, and types of programming offered, revenue rate or cost-recovery for all recreation programs should be fully monitored. Further, the City should develop a formalized marketing plan covering all recreation programming. This marketing plan should consider and evaluate what price to charge for programming and core services.

Park and recreation programs generally fall within a range of benefits from individual based benefits to community wide benefits. An example of a program with individual based benefit would be a public golf course while programs with community wide benefits might focus on areas such as teen programming, after-school childcare, or first aid classes. Commonly individual based benefit programming is priced such that the user pays the cost to deliver the program while community wide benefit programming is priced such that tax dollars often partially or fully support the program.

Factors to consider when determining what price to charge for a service:

- **Cost Pricing/Individual Benefit.** In this method of pricing first determine the cost of providing a service. Cost should include direct costs, indirect costs, and fixed costs. Indirect costs should include administrative costs and other general overhead costs such as utilities. With individual-based benefit pricing the user pays all or a high percentage of the true cost to provide the service.
- **Competitors' Pricing.** You need to be aware of what other cities or competitors are charging for similar services in the marketplace. Factors to consider are the value of the service being offered and the ability to develop long-term relationships in the marketplace.
- **Value to the Community.** Clearly there is subjectivity in determining the benefits to the community from park and recreation programming and when setting a price for a service. Community based programming is generally priced such that cost recovery includes only direct costs for services.

Special Revenue Accounts

These accounts are used to account for the proceeds of special revenue sources that are restricted by law (or administrative action) to expenditures for specific purposes and provide a complete picture of department resources and functions. Examples include funds set aside from the Older Americans Act to provide grant funding for programs which benefit seniors. This includes nutrition programs in the community and for those who are homebound, health promotion, and disease prevention activities. Other Special Revenue Funds are earmarked for capital projects such as the new Rosecrans Community Center and the new Primm Aquatic Center and Senior Center, partially funded from California recreation grants. Figure 4 displays a 4-year history of Special Revenue Funds for Recreation and Human Services. Note Family Childcare was discontinued during the time of this report and reflected in the calculation below.

Figure 4
City of Gardena
Special Revenue Funds
Historical Comparisons

Budget Unit	Audited FY 20/21	Audited FY 21/22	Adopted FY 22/23	Adopted FY 23/34
Recreation & Human Services				
Senior Program	\$1,128,391	\$1,054,050	\$706,414	\$718,626
Family Childcare	\$2,635,094	\$2,954,445	\$3,603,662	---
Community Development Block Grants	\$77,849	\$58,592	\$94,801	---
Digital Divide	---	---	---	\$4,000,000
Maxine Waters Federal Earmark	---	---	\$1,400,000	\$1,400,000
CPF Rosecrans Community Center	---	---	---	\$1,000,000
Recreation Grants	\$1,527,918	\$1,328,952	\$12,229,833	\$13,784,883
Total Recreation & Human Services Special Revenue Funds	\$5,369,252	\$5,396,039	\$18,034,710	\$20,903,509

Staffing

Overall, the staffing level for Recreation and Human Services has remained relatively stable even during the past few years despite the on-going pandemic which closed many facilities. Public Works has declined from 12.5 positions to 11.5 full-time positions. This is the result of a frozen Parks Superintendent position which was frozen as the result of a COVID related budget shortfall.

Figures 5 summarize staffing levels for the Community Resources and Public Works Departments for FY 20/21 through the adopted FY 23/24.

Figure 5
Gardena Authorized Positions
Recreation and Human Services & Parks Maintenance

Budget Unit	Audited FY 20/21	Audited FY 21/22	Adopted FY 22/23	Adopted FY 23/34
Recreation and Human Services				
Director of Recreation & Human Services	1.00	1.00	1.00	1.00
Recreation Program Administrator	1.00	1.00	1.00	1.00
Administrative Aide	--	--	--	1.00
Administrative Analyst I	1.00	1.00	1.00	1.00
Recreation Service Manager	--	--	--	1.00
Recreation Supervisor	--	1.00	2.00	2.00
Intern	0.19	0.19	0.60	0.60
Community Services Counselor	1.00	1.00	2.00	2.00
Community Center Coordinator	1.00	1.00	1.00	2.00
Recreation Coordinator	4.00	3.00	3.00	3.00
Lifeguard Instructor	--	--	--	7.50
Recreation Leader II	1.07	1.07	3.80	3.80
Recreation Leader I	10.74	10.74	15.46	15.46

Activity Coordinator	--	1.00	2.00	2.00
Total Recreation	21.00	22.00	32.86	43.36
Facilities				
Custodian Lead	1.00	1.75	1.59	1.59
Custodian II	8.00	8.00	8.00	8.00
Custodian I	--	--	3.50	3.50
Total Facilities	9.00	9.75	13.09	13.09
Human Services				
Family Child Care Manager	1.00	1.00	1.00	---
Family Child Cre Education Coordinator	1.00	1.00	1.00	---
Family Child Care Education Assistant III	1.00	1.00	1.00	---
Family Child Care Education Assistant II	1.56	1.56	1.63	---
Family Child Care Program Assistant II	1.51	1.51	1.85	---
Family Child Care Program Assistant I	0.29	0.29	0.45	---
Administrative Aide	1.00	1.00	1.00	1.00
Administrative Coordinator	--	--	1.00	1.00
Human Services Aide	--	--	1.18	1.18
Community Aide II	1.00	1.00	1.00	1.00
Certified Nursing Assistant	1.44	1.44	1.44	1.44
Nutrition Services Coordinator	3.00	3.00	3.00	3.00
Homeless Coordinator	--	--	1.00	1.00
Recreation Leader I	1.21	1.21	--	--
Assistant Site Manager II	0.45	0.45	--	--
Meal Services Coordinator	--	--	2.41	2.41
Geriatric Aide	0.58	0.58	0.40	0.40
Assistant Site Manager I	0.52	0.52	--	--
Total Human Services	15.56	15.56	19.36	12.88
Total Recreation and Human Services				
	45.56	47.31	65.31	69.33
Public Works—Parks				
Parks Superintendent	1.00	1.00	*	*
Park Maintenance Lead	2.00	2.00	2.00	2.00
Tree Trimmer II	2.00	2.00	2.00	2.00
Park Maintenance Worker II	3.00	3.00	3.00	3.00
Park Maintenance Worker I	3.00	4.50	4.50	4.50
Total Parks	11.00	12.50	11.50	11.50

* Vacant positions (frozen) due to COVID related budget shortfalls

Improve Daily Maintenance Levels

Park maintenance is important to ensure the safety of public facilities, protect investments, and position parks as a source of pride for the local community. Often cities are forced to juggle preventative work with other concerns, including emergencies, staffing, and other resource shortages. Improving parks and other facilities often takes a community effort. In some cases, it may take the development of a volunteer program including donated labor and materials. In others, it may take an initiative that presses the community to act often resulting in a public vote to financially support park and recreational operations.

The first step for any park maintenance organization is to develop basic maintenance standards and practices, including the identification of a minimal level of park maintenance standards, routine and preventative maintenance schedules/programs, work management, asset lifecycle management, and performance measurements. Many of these items are laid out in the *Maintenance and Operations Plan* as developed within this Master Plan.

Several steps should be taken by Gardena to improve daily maintenance levels outside of increased daily maintenance funding. These include:

- Conduct an evaluation and analysis of current management and operations practices giving specific attention to parks maintenance and staffing (consideration should be given to contract maintenance vs. in-house staffing) with recommendations pertinent to future growth of parklands, buildings and facilities, and related services. This review should further include an evaluation of current staffing levels and organizational structure based upon the existing Public Works Department and potential growth with the development of Parks Master Plan.
- Develop a volunteer park adoption/maintenance program such that it includes training for the volunteers as Park Stewards. The program could include regular fix up/clean-up days and enlist the help of community organizations such as scouts, park users, sports clubs, etc. to maintain and enhance various elements of the park system.
- Conduct an analysis of the best possible providers of community and recreation facilities. This should include an analysis of possible competition or duplication of services through other public and private service and facility providers, and recommendations for minimizing duplication and/or enhancing possibilities for collaborative partnerships where appropriate.
- Identify entities that should be created or utilized to assist with the implementation of the Parks and Facilities Master Plan. This could include a Non-Profit Foundation - such as a 501(c) (3). Foundations are generally organizations that work with and would support the City and potentially other community organizations to develop educational, environmental, recreation, and community service programs for the community. This could provide a vehicle for a capital fund drive and a means to build community support.

Current Deficiencies Evaluation

Identified Shortfalls—Park and Building Maintenance

Benchmarking Gardena with the results of the NRPA study indicates that Gardena is underfunded for park maintenance activities both in the per capita spending and cost per acre to maintain a park. The basic funding level a city should provide for park maintenance should be sufficient to keep parks and other public recreation spaces clean, safe, and functional. This includes activities like mowing, planting, and pruning, as well as cleaning and general repair of park infrastructures such as roads, buildings, and playgrounds.

Per capita spending on park maintenance is a common comparison utilized between park agencies. According to the 2023 NRPA report, agencies serving a jurisdiction with a population of 50,000 to less than 99,999, the range Gardena falls into, the median figure for per capita expenditure is \$120.70 with an upper quartile of \$197.47. The NRPA report also stated that the typical park and recreation agency has annual operating expenses of \$94.77 on a per capita basis.

The denser the population served by an agency, the higher the per capita operating expenses. A typical agency serving a jurisdiction with less than 500 people per square mile has per capita operating expenses of \$60.73, while one serving an area with more than 2,500 people per square mile has a median of \$116.01 per resident. The City of Gardena had an estimated population of 61,543, an incorporation area of 5.9 square mile, and a density of 10,431 per square mile.

A benchmark analysis was completed as a portion of this Master Plan. The Benchmark identified per capita spending on park maintenance (Figure 1 Total Public Works FY 23/24) for Gardena at \$47.60. This figure is in line with the benchmark average of \$46.07 but falls far short of the highest figure within the benchmark, the City of Carson, at \$77.96. The NRPA report found a median level of \$120.70, lowest quartile at \$73.64, and the highest quartile at \$197.47.

Table 6 shows shortage in the lowest quartile of \$73.64 representing a need for an additional 1.6M for Gardena park maintenance based on per capita spending comparisons.

Table 6
Public Works/Parks Operational Per Capita Funding Needed

Funding Level	Per Capita Spending	Shortage from Current Level	Additional Funds Needed
Gardena Current	\$47.60	-----	-----
NRPA Lowest Quartile	\$73.64	\$26.04	\$1,602,579
NRPA Median Quartile	\$120.79	\$73.19	\$4,504,332
NRPA Upper Quartile	\$197.47	\$149.87	\$9,223,449

Another evaluation format is to compare cost per acre of developed parkland. For costs per acre, NRPA found the median costs to be \$9,108 with an upper quartile cost of \$20,564, for those jurisdictions with a population of 50,000 to 99,999.

The National Park and Recreation Administration 2023 *NRPA Agency Performance Review*, found that nationwide, the median level operating expenditures for operations and maintenance was \$7,388 per acre of parkland, up from \$7,556 per acre of parkland in 2019 and \$6,589 in 2018. Agencies serving a jurisdiction with a population range of 50,000 to 99,999 the range Gardena falls into; the median figure is \$9,108 with the lower quartile at \$5,434 and the upper \$20,564.

The typical operating expenditure per acre of parkland increases with population density. The typical agency serving a jurisdiction of fewer than 500 people per square mile spends \$4,359 per acre. The median rises to \$13,048 per acre at agencies serving a jurisdiction with a population density greater than 2,500 residents per square mile. With a population density of 10,431 per square mile and only 49.4 acres of developed parkland, it would be expected that park maintenance cost for Gardena would be in the higher quartile. Indeed, Table 7 shows that Gardena’s expenditure per acre of \$59,305 is higher than figures found by the NRPA research.

A comparison was made with the nearby City of Manhattan Beach. With a population of 34,668 and proposed park maintenance budget of \$3,834,527, Manhattan Beach has a cost per acre of \$55,572, slightly lower than the amount funded by Gardena. Additionally, the city area of Manhattan Beach is 3.88 miles and a population density of 8,940, lower than the 10,431 for Gardena.

Table 7
Gardena - Public Works/Parks Cost Per Acre

Funding Level	Cities Less Than 99,999 Population	Shortage from Gardena Current Level	Additional Funds Needed
Median	\$9,108	\$0	\$0
Lower Quartile	\$5,434	\$0	\$0
Higher Quartile	\$20,564	\$0	\$0
Manhattan Beach	\$55,572	\$0	\$0
Gardena Current	\$59,305	\$0	\$0

The current funding level for park and building maintenance at Gardena is insufficient to properly maintain facilities on a long-term basis. While the Department is able to deliver quality public facilities, there is a current shortfall in staffing and budget to complete other mandatory tasks including:

- A fully operational preventative maintenance program and schedule. Currently only limited time is available for preventative maintenance activities.
- No current staff trained in playground safety inspection through the Certified Playground Safety Inspector (CPSI) program, offered by the National Recreation and Park Association.
- Limited ability to perform regular and formal safety inspections of park and building facilities by City staff.
- Backlog of deferred maintenance projects within the City buildings and the park system.
- Limited ability to perform proactive basic equipment maintenance, including playgrounds, fields, nets, showers, fountains, and other public amenities.
- Aging infrastructure of City buildings results in increased level of maintenance, repair, and special projects.
- Little to no time is available to develop new sustainability programs and policies.

Future Operation and Maintenance Costs

To complete this Master Plan, the City will need to develop new revenue sources beyond those currently in use and/or increase funding levels for park maintenance and capital expenditures. Funding needs can be satisfied for the recommended improvements and increased maintenance levels through a variety of potential sources as indicated in the review of *Potential Funding Opportunities* and those recommendations contained in this report. Proposals must include cost-effective administrative funding at a level necessary to adequately sustain quality, safe, and cost-effective maintenance operations and practices and sustain recommended levels of maintenance and service.

Local “levels of maintenance standards” should be developed to help define recommendations. Most importantly, that funding must include not just capital costs but more importantly, ongoing operations and maintenance.

Capital Needs and Upgrades

Proposed Capital Costs for Existing Facilities

Exhibit 8 identifies recommended projects by park sites for the City of Gardena. Project estimates are general in nature and developed to show a potential cost and/or range of costs. Costs should be considered as approximations of individual facilities listed only. Actual costs will depend on design, size of facility, additional support facilities, utilities, infrastructure, environmental conditions, as well as site specific conditions which require additional study and have not been evaluated in the Master Plan. Based on these general project estimates, the City of Gardena is facing \$39,759,250 park specific renovations to developed parkland.

**Exhibit 8
Capital Costs for Existing Facilities**

RECOMMENDATIONS	Estimated Costs	FUNDING KEY (see below)
Facilities		
<p><u>Nakaoka Community Center –</u> CIP Improvements 522 (c)</p> <ul style="list-style-type: none"> • Install two new specialized condenser coils on 40-ton existing condenser. <p>CASp Improvements –</p> <ul style="list-style-type: none"> • Accessible Parking Improvements (3.3) • Building Entries Improvements (3.4) • Restrooms and Drinking Fountain Improvements (3.6) • Interior Vertical Circulation Improvements (3.7) • Classrooms and Meeting Rooms Improvements (3.8) • Auditorium Improvements (3.9) 	<p>\$645,000</p> <p>\$30,000</p> <p>\$10,000</p> <p>\$25,000</p> <p>\$20,000</p> <p>\$10,000</p> <p>\$25,000</p>	<p>C</p>

<p>Rush Gymnasium / Human Services Building – CASp Improvements –</p> <ul style="list-style-type: none"> • Accessible Parking Improvements (4.3) \$30,000 • Building Entries Improvements (4.4) \$40,000 • Restrooms and Drinking Fountains Improvements (4.6) \$30,000 		
<p>Paul A. Rowley Recreation Center – CASp Improvements –</p> <ul style="list-style-type: none"> • General Accessibility and Lobby Improvements (13.2) \$20,000 • Restrooms Improvements (13.3) \$30,000 		
Parks		
<p>Arthur Johnson Park – -New Parking Area and ADA Parking Improvements \$70,000 -New Playground \$600,000 -Basketball Court Resurfacing \$20,000 -Turf Renovations \$20,000 -Restroom Renovations \$70,000 CASp Improvements –</p> <ul style="list-style-type: none"> • General Site Accessibility (5.2) \$10,000 • Picnic Area (5.5) \$10,000 • Other Facilities (Building/Accessibility) (5.8) \$20,000 		
<p>Vincent Bell Memorial Park – -New Park Signage \$20,000 -New Parking Area and ADA Parking Improvements \$45,000 -New Playground (including remove/replace sand) \$685,000 CASp Improvements –</p> <ul style="list-style-type: none"> • Pathways Improvements (9.3) \$20,000 • Picnic Areas Improvements (9.5) \$30,000 • Sports Areas Improvements (9.6) \$70,000 • Drinking Fountain Improvements (9.8) \$10,000 		
<p>George H. Freeman Park – -New Playground (including remove/replace sand) \$775,000 CASp Improvements –</p> <ul style="list-style-type: none"> • Accessible Parking Improvements (7.2) \$70,000 • Pathway Improvements (7.3) \$70,000 • Picnic Area Improvements (7.5) \$30,000 • Sports Areas Improvements (7.6) \$15,000 • Buildings Improvements (7.7) \$300,000 • Drinking Fountain Improvements (7.8) \$10,000 		
<p>Gardena City Hall – CASp Improvements –</p> <ul style="list-style-type: none"> • Accessible Parking Improvements (2.3) \$30,000 • Building Entries Improvements (2.4) \$10,000 • Restrooms and Drinking Fountains Improvements (2.6) \$10,000 		
<p>Sister City Harvard Parkette – -New Playground (including remove/replace sand) \$707,000</p>		

<p>CASp Improvements –</p> <ul style="list-style-type: none"> • Pathways Improvements (10.3) • Picnic Area Improvements (10.5) 	<p>\$10,000 \$30,000</p>	
<p>Mas Fukai Park –</p> <p>CIP Improvements 820 (c)</p> <ul style="list-style-type: none"> • Reconstruction of community center, restroom facilities and enhance the overall park to maximize its use, improve energy efficiency while reducing maintenance costs, and provide a variety of additional features that can accommodate the needs of residents of all ages in an all-inclusive park. 	<p>\$7,032,000</p>	<p>P, C, U</p>
<p>Rosecrans Site –</p> <p>CIP Improvements 505 (c)</p> <ul style="list-style-type: none"> • Demo existing facility and develop a conceptual plan for new recreation element. 	<p>\$1,136,000</p>	<p>C, S, U</p>
<p>Primm Pool (Community Aquatic and Senior Center) –</p> <p>CIP Improvements 978 (c)</p> <ul style="list-style-type: none"> • Reconstruction of pool and facility building to accommodate a new 25-yard (8) lane pool, diving bay, fitness pool with ADA ramp, new bleachers & shade structures, exercise equipment and a 12,000 square foot building that will house locker rooms for the pool as well as senior activities. 	<p>\$19,408,250</p>	<p>R, C, S, U</p>
<p>Paul A. Rowley Park and Gymnasium –</p> <p>-New Park Loop Walking Paths</p> <p>-New Parking Area and ADA Parking Improvements</p> <p>-New Playground (including remove/replace sand)</p> <p>CIP Improvements 520 (c)</p> <ul style="list-style-type: none"> • Replace three (3) existing Carrier/BDP gas electric package units. <p>CIP Improvements 530 (c)</p> <ul style="list-style-type: none"> • Renovate/repair the existing basketball court and its drainage. <p>CASp Improvements –</p> <ul style="list-style-type: none"> • Picnic Area Improvements (11.5) • Sports Facilities Improvements (11.6) • Restroom Buildings Improvements (11.7) • General Accessibility and Lobby Improvements (12.2) • Restrooms Improvements (12.3) 	<p>\$150,000 \$500,000 \$778,000 \$468,000 \$467,000 \$30,000 \$1,800,000 \$30,000 \$10,000 \$30,000</p>	<p>Q Q, R</p>
<p>Edward Thornburg Park –</p> <p>-New Parking Area and ADA Parking Improvements</p> <p>-New Playground (including remove/replace sand)</p> <p>CASP Improvements –</p> <ul style="list-style-type: none"> • Pathways Improvements (8.3) • Picnic Area Improvements (8.5) • Sports Area Improvements (8.6) • Drinking Fountain Improvements (8.8) 	<p>\$100,000 \$730,000 \$20,000 \$30,000 \$60,000 \$10,000</p>	
<p>The Willows Wetland Preserve –</p> <p>-Accessible Parking and Accessible Path of Travel</p> <p>-New Amphitheater</p> <p>-New Outdoor Education Center</p>	<p>\$50,000 \$100,000 \$800,000</p>	

CASp Improvements – <ul style="list-style-type: none"> • Entry Bridge Improvements (6.3) • General Trail Accessibility (6.4) • Overlook Improvements (6.5) • Zigzag Bridge Improvements (6.6) 	\$20,000 \$130,000 \$20,000 \$25,000	
Other CIP Projects Civic Center Lighting Improvements 528 (c) <ul style="list-style-type: none"> • Installation of new lighting and landscape improvements. 	\$293,000	Q, T
Park Electronic Signage 529 (c) <ul style="list-style-type: none"> • Installation of new electronic signs for several parks. 	\$600,000	Q
Multi-Park Improvements 535 (c) <ul style="list-style-type: none"> • Renovate/repair and upgrade the existing park facilities and amenities. 	\$250,000	P, Q
Park Specific Recommendations Total	\$6,220,000	
CASp Improvements Total	\$3,240,000	
CIP Improvements Total	\$30,299,250	
IMPROVEMENTS TOTAL	\$39,759,250	

FUNDING KEY (Potential Funding Sources)	
A. Developer Impact Fees	K. Sales Tax
B. Developer Special Agreement	L. Sale/Lease of Surplus Land
C. General Fund/CFD's/LMD's	M. User Group Contributions
D. Non-profit Organization	N. School District Joint-use Contributions
E. Public/Private Partnerships, Concessions	O. Other Dedicated Taxes
F. Grants-CDBG	P. Park Land in Lieu
G. Grants-Public Agencies & Private Foundations	Q. Measure A
H. Corporate Sponsorships	R. Prop 68
I. Certificates of Participation	S. Federal Earmarks
J. Bonds	T. Deferred Maintenance Fund
	U. Measure G

Multi-Year Capital Plan

Development of a multi-year Capital Budget is integral to sound financial planning, debt management, and reserve development. This Master Plan identifies development of master planned facilities, capital replacement, and capital outlay requirement over a five-year period to assist with planned cash and debt management.

Exhibit 9 displays the recommended five-year needs for the City of Gardena, including renovation of existing facilities, redesign/modification of existing, potential acquisition site costs, and development of these new sites. It should be noted that existing resources are limited and will not be able to fully fund the recommendations within this plan without new tax dollars.

Future Capital Projects

Gardena’s Capital Improvement Program for future years identifies several future capital projects. Most of these projects are not scheduled for this time frame but shown as future and potential projects. Projects that do have funding proposed for FY 22/23. These include:

**Exhibit 9
City of Gardena - Five-Year Capital Requirements**

Project	Estimated Costs	Fiscal Year 23/24	Fiscal Year Proposed 24/25	Fiscal Year Proposed 25/26	Fiscal Year Proposed 26/27	Fiscal Year Proposed 27/28
Current Projects						
Nakaoka Community Center HVAC Upgrade	\$645,000			\$645,000		
Mas Fukai Park Improvements	\$7,032,000			\$7,032,000		
Rosecrans Site (Previous Chase Building)	\$1,136,000		\$1,136,000			
Gardena Community Aquatic and Senior Center	\$19,408,250	\$19,408,250				
Paul A. Rowley Park Gym HVAC Upgrade	\$468,000		\$468,000			
Rowley Park Basketball Court Rehab	\$467,000		\$467,000			
Civic Center Lighting Improvements	\$293,000		\$293,000			
Park Electronic Signage	\$600,000	\$600,000				
Multi Park Improvements	\$250,000		\$250,000			
Future Projects						
Nakaoka Community Center	\$120,000	\$120,000				
Rush Gymnasium / Human Services Building	\$100,000		\$100,000			
Paul A. Rowley Recreation Center	\$50,000	\$50,000				
Arthur Johnson Park	\$820,000			\$820,000		
Vincent Bell Park	\$880,000			\$880,000		
George H. Freeman Park	\$1,270,000				\$1,270,000	
Gardena City Hall	\$50,000	\$50,000				
Harvard Parkette	\$747,000					\$747,000
Paul A. Rowley Park and Gymnasium	\$3,328,000				\$3,328,000	
Edward L. Thornburg Park	\$950,000					\$950,000
Willows Wetland Preserve	\$1,145,000			\$1,145,000		

Alternative Funding Recommendations

To complete this Master Plan, the City will also need to develop new revenue sources beyond those currently in use and/or increase funding levels for park maintenance and capital expenditures. Funding needs can be satisfied for the recommended improvements and increased maintenance levels through a variety of potential sources as indicated in the review of *Potential Funding Opportunities* and those recommendations contained at the end of this report. Proposals must include cost-effective administrative funding at a level necessary to adequately sustain quality, safe, and cost-effective maintenance operations and practices and sustain recommended levels of maintenance and service.

According to *Travel California*, travel and tourism are one of California's most vital engines for economic growth. In 2022, the state's tourism economy continued to grow, infusing \$134.4 billion into California's economy. Resulting from the multiplier effect, this spending generated \$11.9 billion in local and state tax revenue and supported 1.1 million jobs for Californians.

Travel spending in 2022 increased to \$134.4 billion across California, a 31.7% increase over 2021 that brought spending 93% of the way to pre-pandemic levels. California's travel sector added 157,000 jobs in 2022 to 1.1 million – 94% of the way back to 2019 levels after devastating losses during the pandemic.

Visitor-generated tax revenue for state and local government increased by 21.6% to \$11.9 billion. Projections from Tourism Economics show California this year will surpass the record \$144.9 billion in visitor spending achieved in 2019, a year sooner than projected in 2021. These facts are important considerations when the City evaluates park and recreation needs and the potential resources to pay for those needs as identified in this Master Plan.

The specific funding source to be considered will depend partly on the timing of the development and the funding sources which may be available, or which are more easily pursued at that time. For major improvements which include such facilities as community centers, tennis complexes, gymnasiums, ball field complexes, etc., the use of a fund-raising effort to be conducted on behalf of a City's non-profit foundation could be beneficial. Sponsorships/naming rights for major corporate or other private donors can be offered. In some cases, the use of a professional fund-raising firm should be considered once a facility or project for which the funding will be used is identified. Other sources of funding for such projects could include public/private partnerships, partnerships with private sector through website advertising, user group contributions, joint use with the School District and public or private grants.

Use of bonds, sales tax increase, or special districts require a vote by the residents and have been used successfully in many California communities. The City of Pico Rivera recently passed a sales tax increase to implement their Park and Recreation Master Plan. In 2017 the City of Stockton passed a quarter cent sales tax increase to fund ongoing operations and maintenance needs for parks, recreation, and library services.

Specific recommendations for the City of Gardena include:

Improve Park Maintenance Practices and Procedures

As stated above, the City should fund a review and analysis of park maintenance organizational options, develop basic maintenance standards and practices, which would include the identification of a minimal level of park maintenance standards, routine and preventative maintenance schedules/programs, work

management, asset lifecycle management, and performance measurements. These recommendations are included within this Master Plan.

Develop a Fee Policy

Fees and charges are necessary to provide financial support to Gardena's Recreation and Human Services and parks for the operation and maintenance of programs and facilities. The revenue generated by these fees constitutes only a portion of funds required for operating and maintaining a park and recreation system. Development of a fee policy would provide a framework and guidance to staff as they develop ideas and proposals for fees and charges. This policy and procedure could also be used by decision-makers to help ensure fees and charges are developed and implemented in a consistent and equitable manner and to not unduly limit access to City's programs and facilities.

The City should compare fee policies of other jurisdictions with the City's and establish a policy that supports established revenue generation goals for each program taking into consideration equity, cost recovery, and consistency.

Naming Rights

Actively search for contributions from corporations and businesses to acquire naming or licensing rights from the City to advertise their name/product, considering the proposed improvement and/or development of new public facilities. This practice has several different levels and can include the naming of buildings, advertising on public property or license rights to the agency's name and other intellectual property.

Prioritize Support Foundations

Prioritize support and development of a Gardena Parks Foundation "501c3" organization to a fully functioning organization. The primary mission of a Foundation should be based on:

- To aid, sponsor, promote, advance, and assist in the provision of public parks, recreation, and Community Resources in the Gardena area.
- To receive, invest, and manage funds acquired through dues, donations, grants, gifts, bequests, and solicitations in furtherance of the purposes and goals of the City.

Currently, the primary foundation supporting the City of Gardena and the Recreation and Human Services Department is the non-profit organization Give Gardena. This organization provides supplemental resources directly to City of Gardena programs and community organizations to enhance the lives of individuals facing adversity.

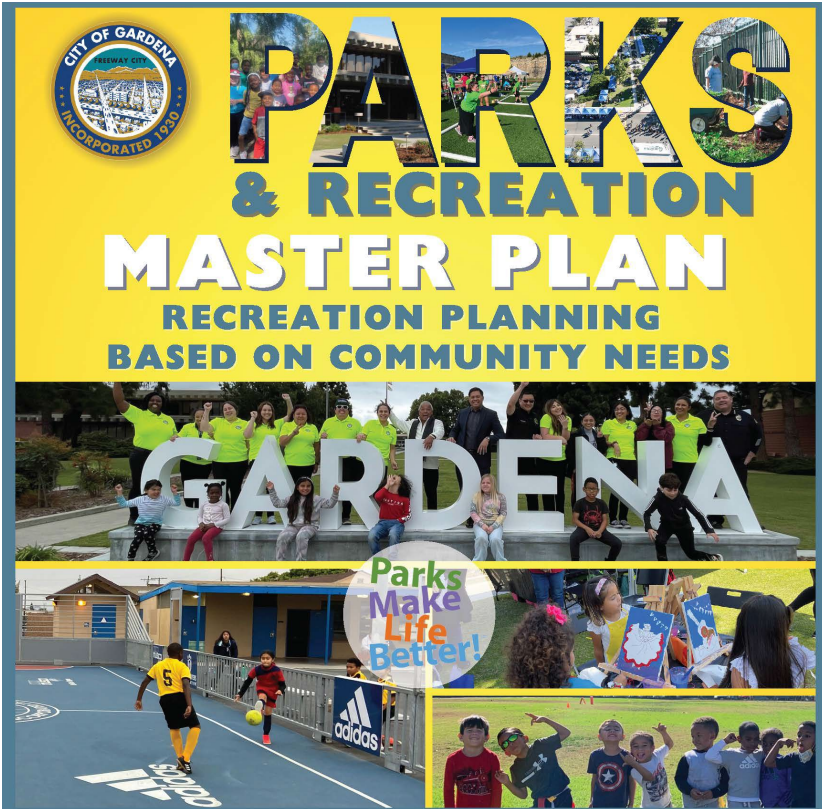
The specific programs, facilities, and improvements to be supported and/or paid for are identified within this Master Plan and a public relations effort is required to enlist the support of the citizens. The greater the demand and recognition of the need by the public, the greater will be the chance of success.

TOT Increase

The City could consider an increase in the Transient Occupancy Tax (TOT) to provide long-term funding for capital upgrades to the City's park and recreation system. The TOT tax rate for Gardena is 11%, increased from 7% in 2002 when the increase was approved by voters. The current tax rate for Hermosa Beach is 9%, Inglewood at 14%, and Riverside, Long Beach, and Hawthorne which are at 12%. Other cities at that level include Los Angeles, Inglewood, Culver City, and Diamond Bar at 14% with Riverside, Long Beach, and Hawthorne at 12%. Malibu and Anaheim have a 15% rate. For each 1% increase in the TOT would bring approximately \$750,000/- in new revenue annually.

Sales Tax Increase

Called a transaction and use tax, this is essentially a sales tax increase that can be imposed by a city or county for local purposes including parks and recreation. Often the vote is for a designated period of time, 10-20 years, requiring a new vote to extend the sales tax increase. Currently Gardena has a rate of 10.25%. Overall, California law caps the City's sales tax rate at a maximum of 10.25%. Overall, California law caps the City's sales tax rate at a maximum of 10.25%, therefore an increase to support parks and recreation programs and facilities is not available.



City of Gardena Parks & Recreation Master Plan

Recreation and Parks
Commission Meeting
Nakaoka Community Center
May 13, 2024 at 7:30 PM

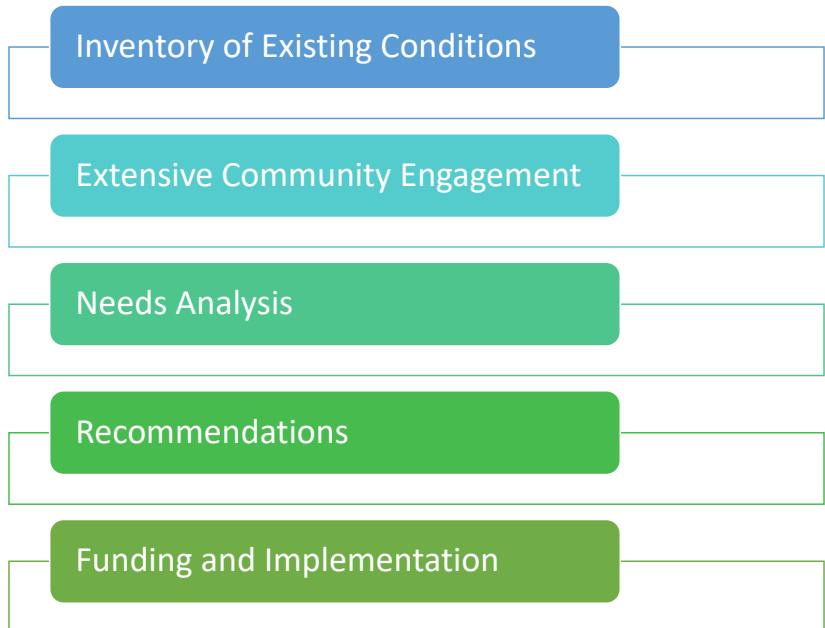
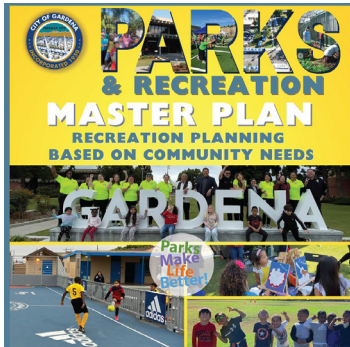
PURPOSE:

Parks and Recreation Master Plan

- **Guide and implementation tool** for the **management** and **development** of parks, recreation facilities, and programs.
- Identifies **local** community needs
- Offers **recommendations** to support the **Local Gardena Community**

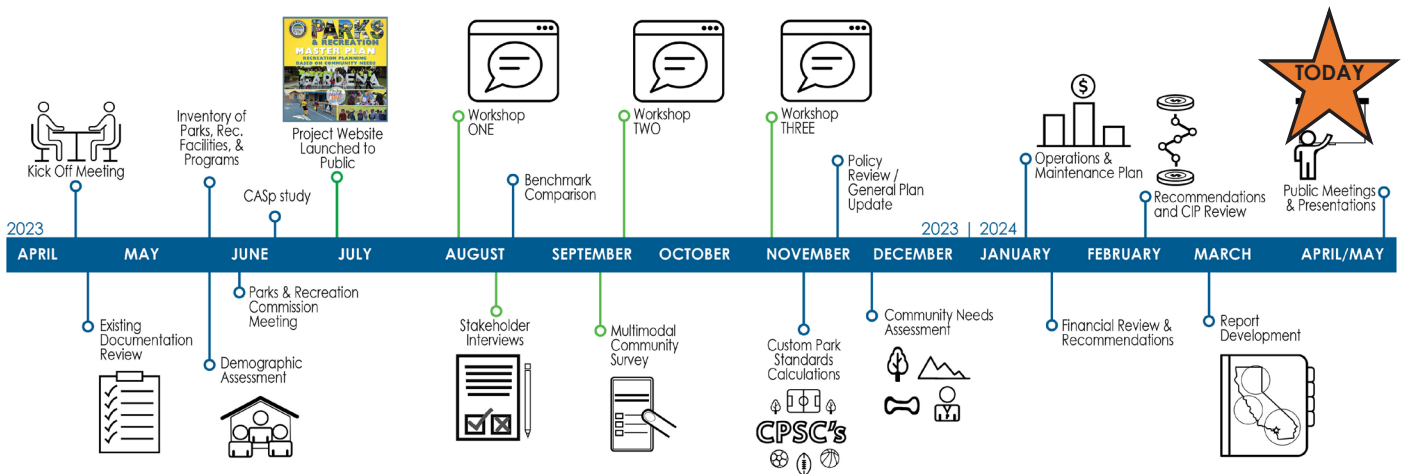


PROCESS: Parks & Recreation Master Plan



Timeline:

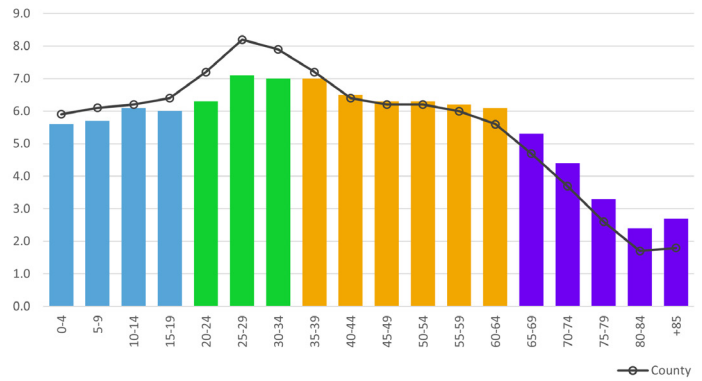
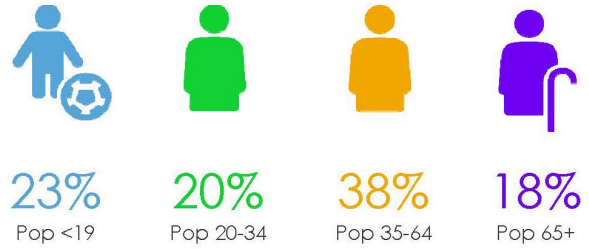
- 12 Month Timeline
April 2023 – April 2024
- Parks, Facilities, and Program Inventory & Assessment
- Extensive Community Outreach
- Reporting
- Final Presentations



Demographics

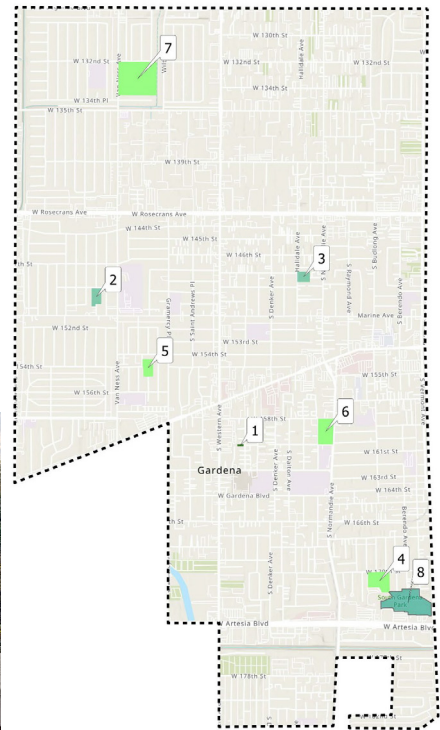
**2022 TOTAL
POPULATION:
61,543**

Source: ESRI forecast data set 2022/2027






Inventory of Parks & Facilities

- Parkette**
- 1 - Harvard Parkette
- Neighborhood Park**
- 2 - Edward L. Thornburg Park
 - 3 - Vincent Bell Memorial Park
- Community Park**
- 4 - Arthur Johnson Park
 - 5 - George H. Freeman Park
 - 6 - Mas Fukai Park
 - 7 - Paul A. Rowley Park
- Special Use Park**
- 8 - The Willows Wetland Preserve



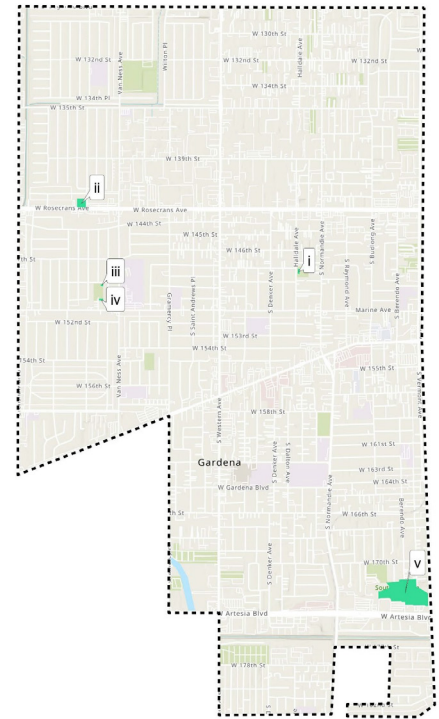
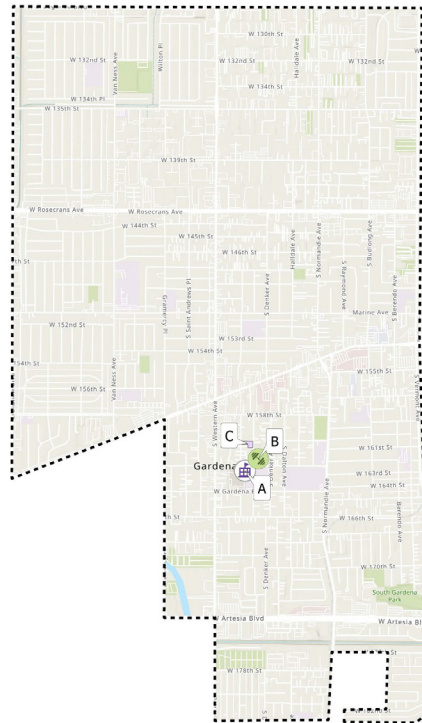
Inventory of Parks & Facilities

City Recreational Facilities

-  A - Nakaoka Community Center
-  B - Rush Gymnasium / Human Services Building
-  C - Community Senior / Aquatic Center

Opportunity Sites

-  i - Bell Park Building
-  ii - Rosecrans Site
-  iii - Thornburg Park building
-  iv - Thornburg Park Expansion Site
-  v - Willows Wetland Preserve



Inventory of Programs

- Afterschool Programs
- Adult & Youth Sports
- Aquatics
- Classes (dance, gymnastics)
- Day Camps
- Rental of Facilities
- Senior Programs & Services
- Special Events
- Teen Programs
- Therapeutic Recreation Program (TRP)





Extensive Community Engagement

- Project Website Feedback Comments
- Stakeholder Interviews
- Community Workshops
- Statistically Valid Multimodal Survey

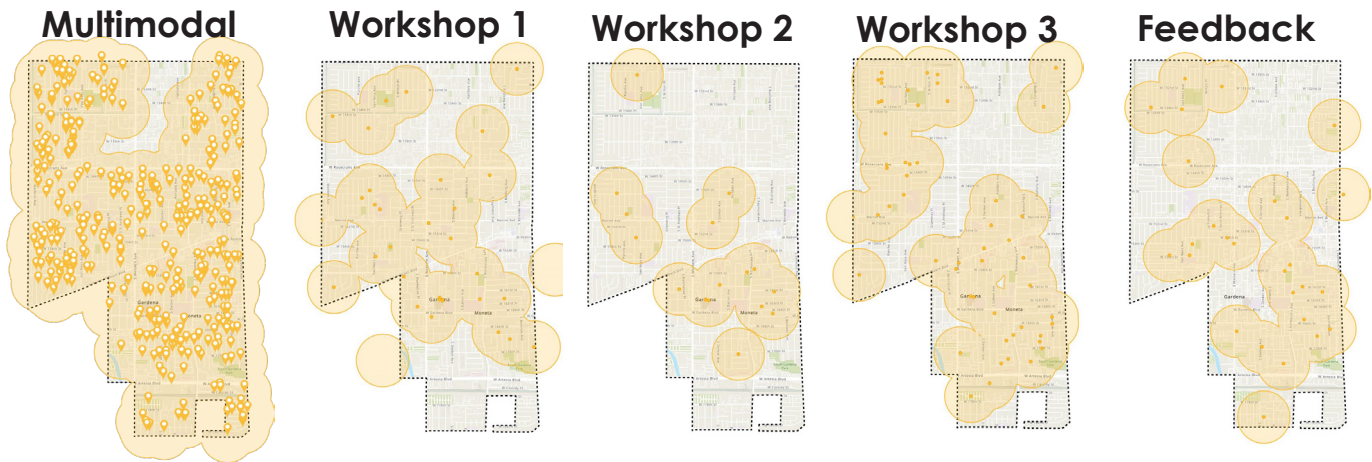


Extensive Community Engagement

- Website Total Views: **1,961**
- Feedback Submittals: **52**
- Workshop 1 Survey: **183**
- Workshop 2 Survey: **187**
- Workshop 3 Survey: **268**
- Multi-Modal Survey: **1,120**
(400 Households)

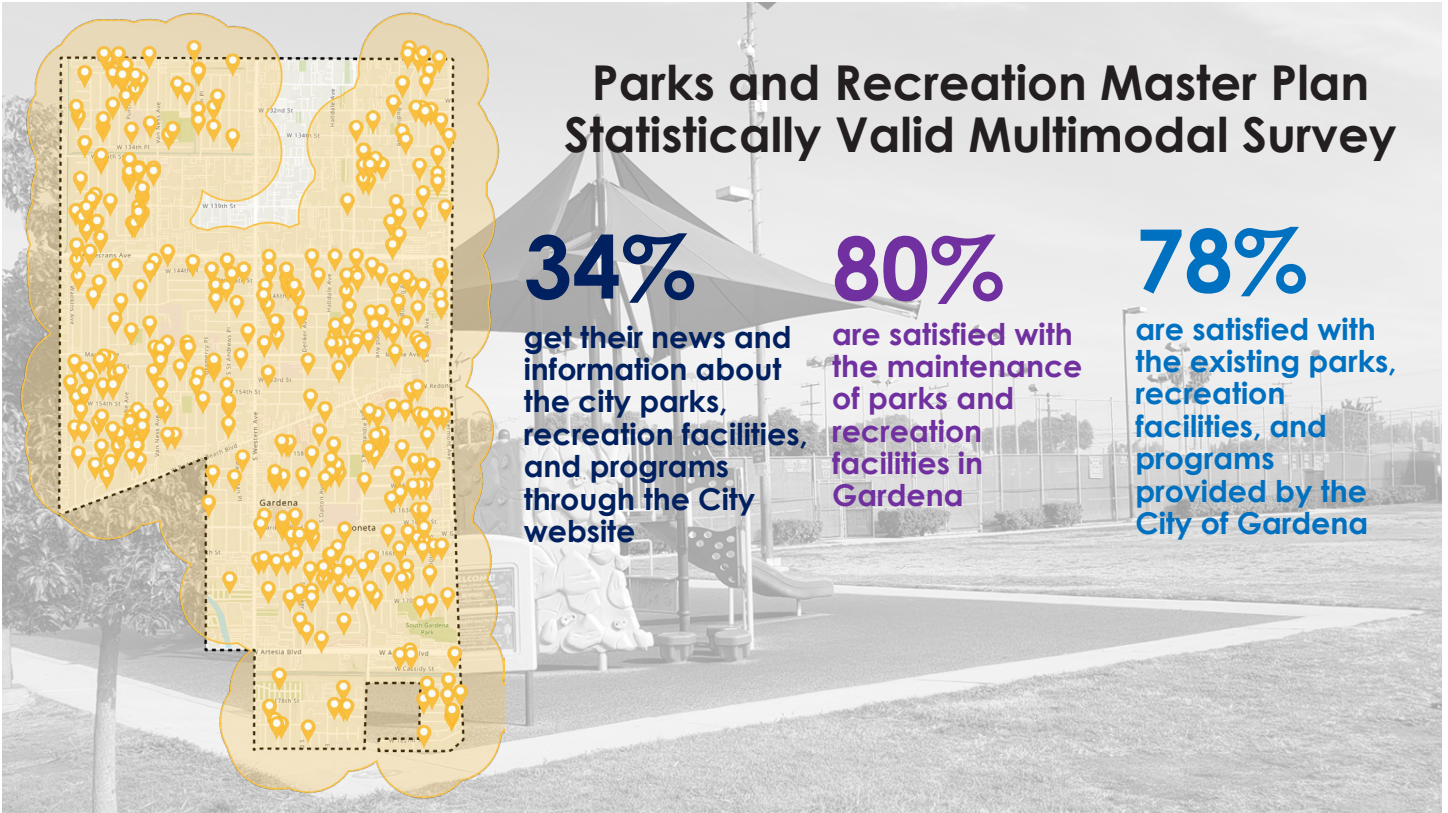
Outreach numbers as of 04/09/24

Participation Distribution



Stakeholder Interviews

PROGRAM NEEDS	PARK / FACILITY NEEDS
<ul style="list-style-type: none"> • Aquatic Programs /Swimming Lessons • Coding • Dance Program • Events • Partnerships w/Others • Pickleball Classes • Martial Arts/Self Defense • Robotics • Senior Programs • Technology / Computer Training • Tennis Lessons/League 	<ul style="list-style-type: none"> • Pickleball Courts • Walking Paths/Trails • Computer Lab • Dance Studio • Dog Park • Picnic Areas • Playgrounds • Renovate Community Buildings • Security Cameras • Tennis Court • Willows Wetland Preserve



Parks and Recreation Master Plan Statistically Valid Multimodal Survey

34%

get their news and information about the city parks, recreation facilities, and programs through the City website

80%

are satisfied with the maintenance of parks and recreation facilities in Gardena

78%

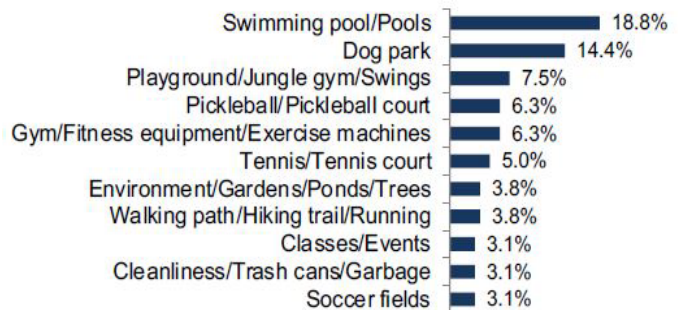
are satisfied with the existing parks, recreation facilities, and programs provided by the City of Gardena

Parks & Recreation Master Plan Statistically Valid Multimodal Survey

What is **one recreation program, class, or activity** you would like added or improved in Gardena?



What is **one park feature or recreation facility** you would like added or improved in Gardena?



Parks & Recreation Master Plan Workshop #1 Summary

Q1

What are the most important community characteristics?

- Safety
- Events
- Friendly Community/
Good Neighborhoods

Q2

What are issues or trends that may be negatively impacting characteristics?

- Homeless Solutions
- Modernize &
Upgrade Existing
Park Amenities
- Park Maintenance

Q3

What role can Recreation & Human Services Dept. play to address these issues?

- Security Guard/Park
Ranger
- Events
- Communication/
Marketing to the Public

Parks & Recreation Master Plan Workshop #2 Summary

Q1

What is one park feature or recreation facility you would most like to see added or improved in the City of Gardena?

- Aquatic Facilities
- Baseball & Softball Field
Improvements
- Benches/Seating
- Dog Park or Off Leash Dog
Area
- Exercise Equipment/Fitness
Stations
- Lighting in Parks & Parking
Lots
- Modernize/Upgrade Existing
Park Amenities
- Parking Lot Improvements
- Pickleball Court
- Playground Improvements
- Renovate Community
Buildings
- Restroom Improvements
- Shade Structures
- Tennis Court
- Trees and Green Space
- Walking Paths or Trails
- Willows Wetlands Preserve

Parks & Recreation Master Plan Workshop #2 Summary

Q2

What is **one recreation program, class, or activity** you would most like to see added or expanded in the City of Gardena?

- After-School Program
- Aquatic Programs / Swimming Lessons
- Dance Program
- Events
- Exercise
- Family Programs
- Farmers Market
- Gardening Class
- Martial Arts/Self Defense Class
- Pickleball Classes/Program
- Senior Programs
- Soccer Program
- Teen Programs
- Tennis Lessons/League
- Yoga

Parks & Recreation Master Plan Workshop #3 Summary

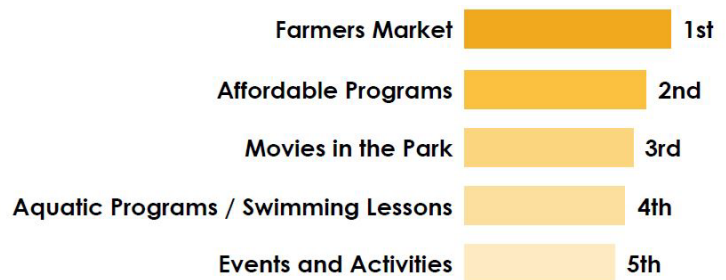
Q1

From the list of all community needs, please choose your **top 5 park feature or recreation facility** you would most like to see added or improved in the City of Gardena?



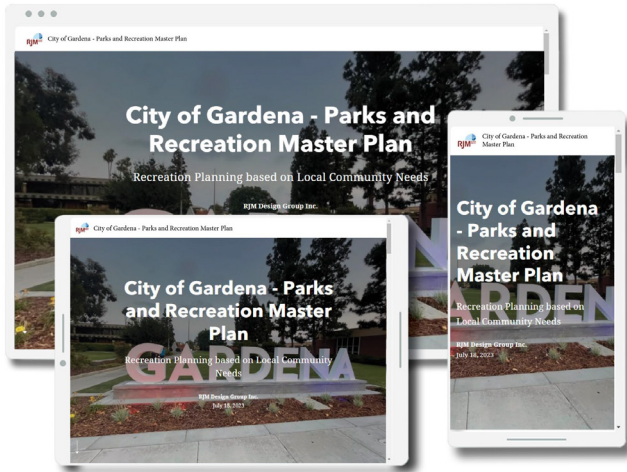
Q2

From the list of all community needs, please choose your **top 5 one recreation program, class, or activity** you would most like to see added or expanded in the City of Gardena?



www.cityofgardena.org/masterplan


Project Website (over 1,900 views) and **Feedback Comments** (52)




Community Voice

Critical to the development of any project is close coordination through information sharing with the community. Throughout the process City Staff and RJM will be collecting data through multiple surveys and online meetings.

As this project progresses so will the information presented on this website. If you miss a survey don't worry. At any point in time you can provide direct feedback to the design team via the "feedback" button below. This feedback will be reviewed and considered by the team on a regular basis.



Share your voice with us by hitting the feedback button below.



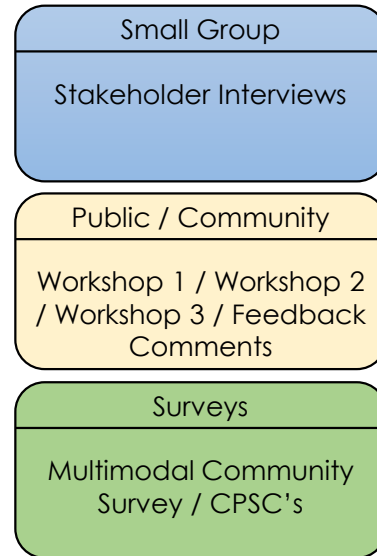
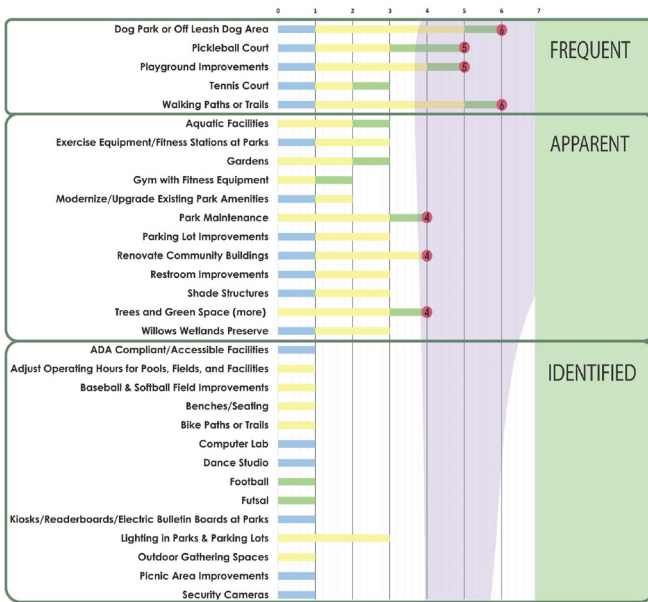



Feedback Comments

- PROGRAM NEEDS
- Affordable Rental Facilities
 - After-School Programs
 - Community Events (street fairs, farmers markets, cultural heritage celebrations, art fairs)
 - Martial Arts/Self Defense Classes
 - Nature Education/Conservation Class
 - Security Guard/Park Ranger for Park Surveillance/Safety
 - Senior Center and Activities
 - Teen Programs

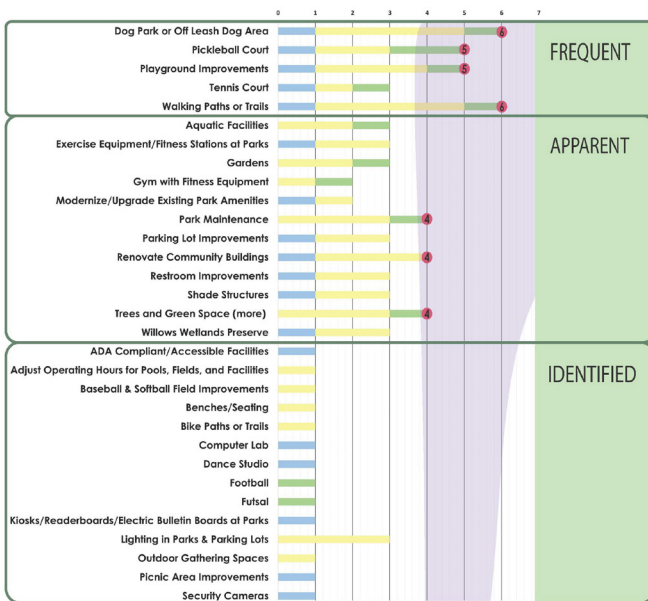
- PARK / FACILITY NEEDS
- Adjusting Operating Hours for Pools, Fields and Facilities
 - Clean/Maintenance
 - Dog Park
 - Exercise Stations/Equipment
 - Increased Trees and Planting
 - Lighting
 - Playground Improvements
 - Pickleball Court
 - Renovate Community Buildings
 - Shade
 - Walking Path
 - Willows Wetlands

Community Facility Needs - Prioritization



 Area of maximum community impact

Community Facility Needs - Prioritization



Frequent:

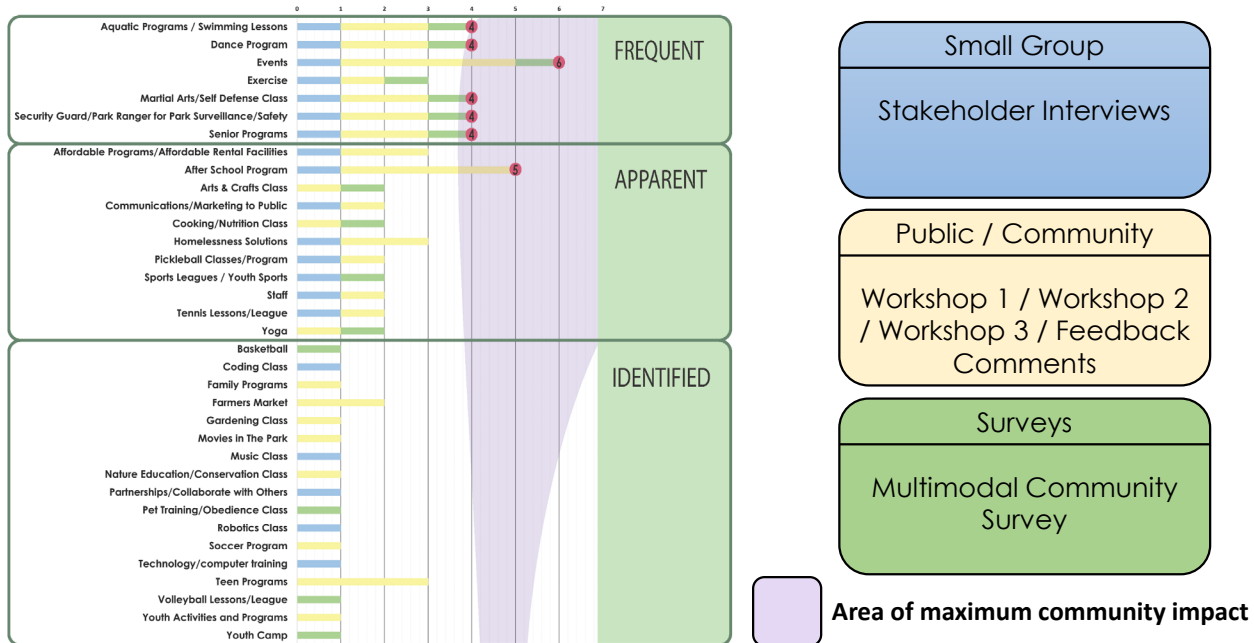
- Dog Park or Off Leash Dog Area
- Pickleball Court
- Playground Improvements
- Walking Paths or Trails

Apparent:

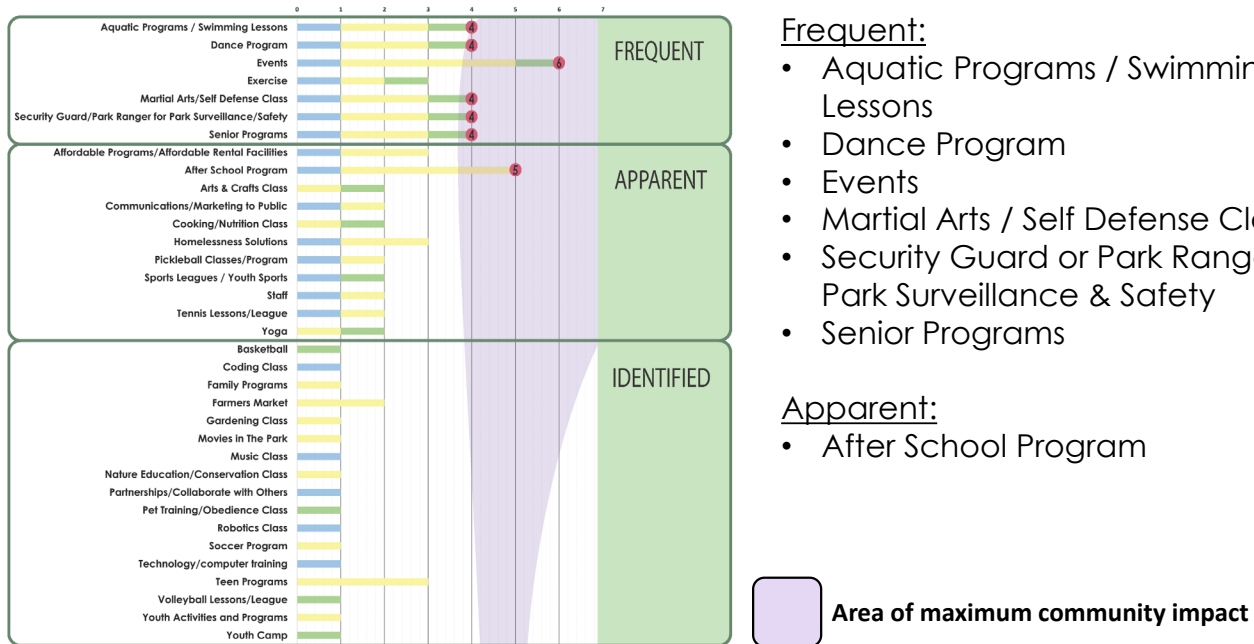
- Park Maintenance
- Renovate Community Buildings
- Trees and Green Spaces (more)

 Area of maximum community impact

Community Program Needs - Prioritization



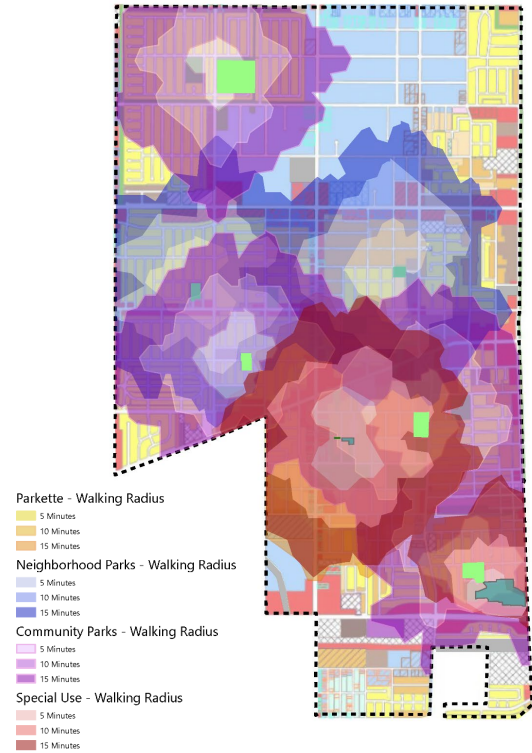
Community Program Needs - Prioritization



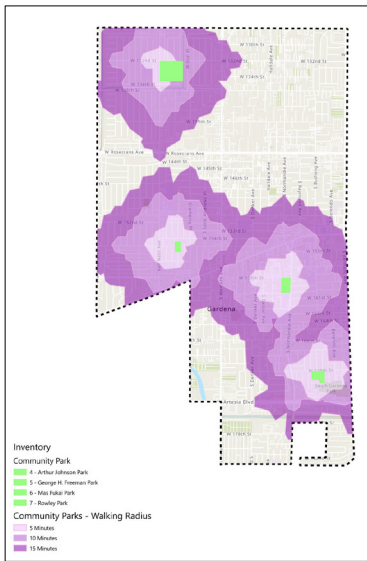
Acres and Service Area Gap Analysis

49.4 Acres of City Parkland
 = 0.80 acres per 1,000 residents

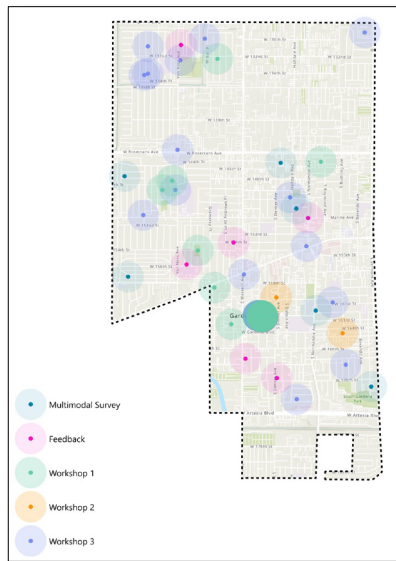
77% of residents live within a 15-minute walk to a city park.



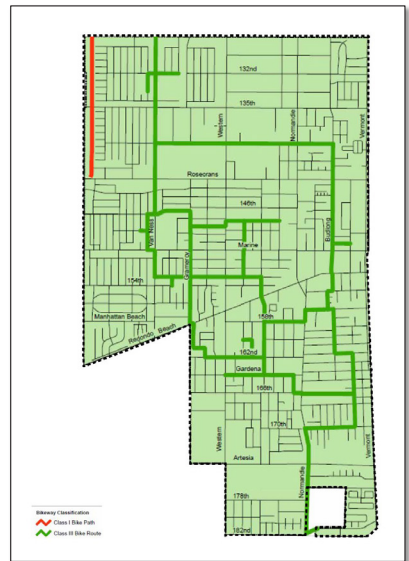
GIS Mapping Analysis



Community Parks Walking Radius



Walking Paths or Trails Desires



Existing Bike Circulation



Key Strategies & Recommendations

Five Key Strategies



Key Strategy #1:

Preserve the city's most cherished resources through enhanced maintenance support and park improvements.



Key Strategy #2:

Strengthen the bond between community and the natural environment.



Key Strategy #3:

Develop new park facilities to support growing demands.



Key Strategy #4:

Enhancing community togetherness and small town feel through events.



Key Strategy #5:

Refine program development to meeting the needs of the community.

Key Strategy #1:

Preserve the city's most cherished resources through enhanced maintenance support and park improvements

Park Maintenance

Playground Improvements

Renovate Community Buildings

Key Strategy #2:

Strengthen the bond between community and the natural environment

Trees and Green Space

Walking Paths and Trails

Key Strategy #3:

Develop new park facilities to support growing demands

Pickleball Court

Dog Park or Off Leash Dog Area

Key Strategy #4:

Enhancing community togetherness and small town feel through events

Events

Security and Park Safety

Key Strategy #5:

Refine program development to meeting the needs of the community

After-School Programs

Aquatic Programs / Swimming Lessons

Senior Programs

Dance Program

Martial Arts / Self Defense Class

Maintenance Recommendations

Turf Maintenance

Shrub and Groundcover Maintenance

Rodent / Pest Control

Tree Care

Signage & Fencing

Irrigation System Maintenance

General Park Maintenance

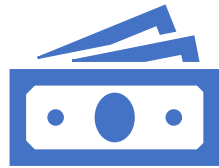
Playground Inspections

Sports Field / Court Light Maintenance

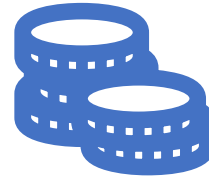
Tennis, Basketball, and Sports Courts

Community Centers and Buildings

Funding and Implementation



Funding Sources for Parks and Recreation



Current and Projected Capital Project Costs

Funding Sources

- Community Development Block Grants (CDBG)
- California HCD's Housing-Related Parks Program
- Office of Grants and Local Services (OGALS)
- California Land Water and Conservation Fund (LWCF)
 - Per Capita Grants
 - Recreation Trails Program
 - Outdoor Equity Grants
- MLB-MLBPA Baseball Tomorrow Fund
- United States Tennis Association (USTA) Facility Services Program
- U.S.A. Swimming Foundation Grants

General Fund for Parks, Recreation, and Maintenance

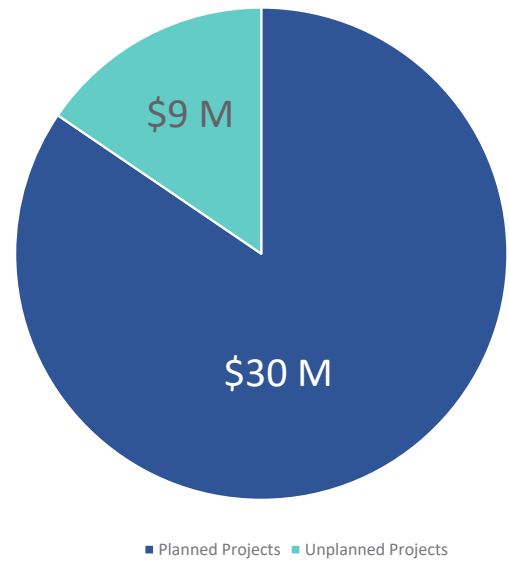
Measure G

Adequate Staff / Personnel

Developer Agreements/Park in Lieu Fees

Current and Projected Capital Project Costs

- \$30 million in current planned park and facility improvements
- \$9 million in projected unplanned Parks & Recreation Master Plan park and facility recommendations



GARDENA



Photo by the City of Gardena