

CITY OF GARDENA

1450 ARTESIA SPECIFIC PLAN



July 2024

Prepared for:



Prepared by: Kimley»Horn

1450 ARTESIA SPECIFIC PLAN

July 2024

City of Gardena

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Gardena, CA 90247

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1.0 SUMMARY STATEMENT

The 1450 Artesia Specific Plan (1450 ASP or Specific Plan or Plan) Project (Project) facilitates a redevelopment of underutilized uses into a revitalized building for warehouse, office/retail and self-storage mixed-use building and special events property.

The Specific Plan allows for the development of up to 268,000 square feet (SF) and an approximate height of 75 feet. The Project is designed to be compatible with adjacent and anticipated land uses and to redevelop parcels that are underutilized due to impacts from former releases of hazardous substances and waste. The Specific Plan regulates project buildout in a manner that is consistent with applicable State law.

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2.0 INTRODUCTION

2.1 AUTHORITY

The 1450 ASP provides for the orderly and efficient development and revitalization of the Plan area consistent with the City of Gardena General Plan policies and objectives. The 1450 ASP has been prepared pursuant to the provisions of California Government Code, Title 7, Division 1, Chapter 3, Article 8, Sections 65450 through 65457. The code grants local government agencies the authority to prepare specific plans for the systematic implementation of their General Plan for all or part of the area covered by the General Plan.

Government Code Sections 65450 through 65454 establish the authority to adopt a Specific Plan, identify the required contents of a Specific Plan, and mandate consistency with the General Plan.

Per Government Code Section 65451, a Specific Plan must include text and a diagram or diagrams which specify all of the following in detail:

- The distribution, location, and extent of the uses of land, including open space within the area covered by the plan.
- The proposed distribution, location, extent, and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy and other essential facilities proposed to be located within the land area covered by the plan and needed to support the land uses described in the plan.
- Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.
- A program of implementation measures including regulations, programs, public works projects and financing measures necessary to carry out the above items.
- A discussion of the relationship of the Specific Plan to the General Plan.

As a regulatory document, the Specific Plan implements the General Plan as the new zoning for the Specific Plan area. All future development plans and entitlements within the Specific Plan boundaries must be consistent with the applicable standards set forth in this document as described in Chapters 5 (Development Regulations and Requirements), 6 (Design Guidelines), and 8 (Implementation); the Gardena Municipal Code (GMC), where not modified by the Specific Plan; and the General Plan.

2.2 PURPOSE AND INTENT

The 1450 ASP provides newly constructed development of industrial warehouse, office, and self-storage options specifically to create a modern facility along Artesia Boulevard. The aim is to repurpose underutilized parcels to provide high quality industrial and commercial uses to the City of Gardena (City). See Chapter 4.1 for detailed project goals and objectives.

2.3 SITE LOCATION

The Project site is located at 1450, 1472, 1462, 1452, and 1440 West Artesia Boulevard in the City. The Project's regional vicinity is depicted in **Figure 1: Local Vicinity Map** and the Project's site location is depicted in **Figure 2: Project Location**.

REGIONAL SETTING

Regionally positioned within the County of Los Angeles, the City has developed as the 'City of Opportunity' since its incorporation in 1930 including development into 5.9-square-miles with a population of just over 61,000 based on 2020 Census data. The City is a transit-oriented city bound by the Century Freeway (I-105) to the north, San Diego Freeway (I-405) to the south and west, and the Harbor Freeway (I-110) to the east. The Artesia Freeway (SR-91) begins approximately 0.9 miles east of the Project site and runs east-west throughout the City. Artesia Boulevard, an east-west street forming the northern boundary of the Plan area, delivers direct access to the Specific Plan area. Local access to the Project site is also provided from Normandie Avenue, traveling north-south just east of the Project site and Western Avenue, traveling north-south within the vicinity to the west of the Project site. Additionally, the City is within close proximity to downtown Los Angeles (12 miles), and Los Angeles Ports (7 miles). The Project's regional setting is illustrated in **Figure 1: Local Vicinity Map**.

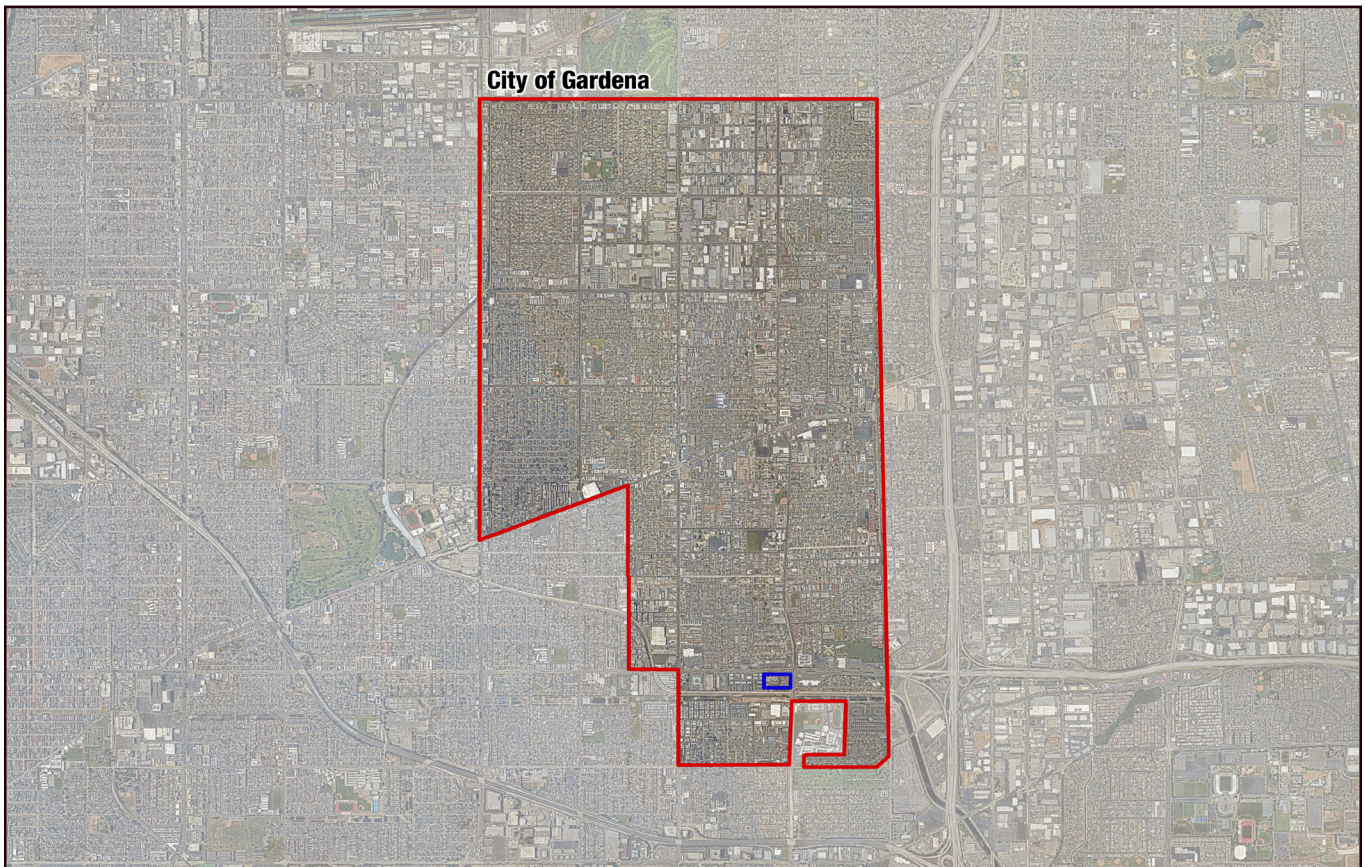



Figure 1, Local Vicinity Map

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LOCAL SETTING

The Project site is comprised of six parcels (APNs 6106-036-010, -012, -034, 035, -036, and -037) totaling approximately 6.33 acres located in the southern portion of the City. The City is bordered by the unincorporated West Athens community and the City of Hawthorne to the north, the cities of Los Angeles and Torrance to the south, the City of Los Angeles to the east, and the cities of Torrance and Hawthorne and Los Angeles County to the west.

The Specific Plan area is generally surrounded by commercial and residential land uses. Adjacent to the Specific Plan area are Artesia Boulevard and commercial uses to the north, residential and LA County Flood Control uses (Dominguez Channel) to the south, LA County Flood Control and railroad uses to the east, and live/work and multi-family residential uses directly to the west as depicted in **Figure 2: Project Location**.



⊕ N.T.S.

Figure 2, Project Location

2.4 PROJECT HISTORY AND BACKGROUND

The Plan area was initially developed as early as the 1920s at which time was leased by Moneta Brick Company. The property was utilized for industrial purposes, with multiple sumps on the property for clay mining operations. The sumps were filled with sludge consisting of disposal material through the 1950s, including refinery wastes, tank bottom sludges, and rinse water acids and are known as the Copper and Haack properties or Gardena Sumps. The Gardena Sumps include four areas defined as the Cooper North Sump, Cooper South Sump, Haack Sump and Haack Rework Area. **Figure 3: Gardena Sumps Locations**, details the approximate location of the collective Gardena Sumps.

Development continued over portions of the sump areas in the following years, including excavations, which changed the grade and elevation of the site, as well as construction of parking lots and buildings. Starting in the 1980's, the Department of Health Services (DHS) and Environmental Protection agency (EPA)'s Technical Assistance Team (TAT) confirmed the presence of hazardous materials and issued a Remedial Action Order on March 3, 1988.

By 1993, the eastern property was capped with a liner under the direction of the Department of Toxic Substance Control (DTSC). Presently, multiple monitoring wells and cap are located on this portion of the property which limits redevelopment options. Remediation and monitoring efforts have been under a Final Remedial Action Plan (RAP) for the site, dated June 30, 2022, which DTSC approved. The Final RAP details excavation of impacted soils on a portion of the site, known as the Haack Rework Area, relocation of those contaminated soils to another portion of the site, known as the Cooper Sumps area, and installation of soil vapor probes and an engineered cap with a specialized geosynthetic cover and clean soil cover over the Haack Sump and Cooper Sumps. The remediation will be completed by Atlantic Richfield Company which is the responsible party that will implement the RAP, prior to the start of Project construction. The Final RAP includes provisions for a legal land use covenant to limit future uses of the site to commercial and industrial uses, which are consistent with the Project's uses, as well as long-term operation, monitoring and maintenance of the cap and other remedy elements. The Project structure would only overlap with the remediated Haack Rework area. The portion of the Project site that overlaps the Haack and Cooper sumps areas would be paved and utilized exclusively as a parking lot which would be located atop the cap implemented as part of the DTSC-approved Final RAP.



⊕ N.T.S.

Figure 3, Gardena Sumps Location

2.5 PROJECT DESCRIPTION

In 2004 the City completed a citywide retail analysis which examined retail opportunities within and surrounding the City and summarized the opportunity for retail development at distinct locations within the City. The report found Artesia Boulevard offered a prime location for commercial development to attract quality commercial uses.

The City subsequently changed the General Plan land use designation for the majority of these properties from Industrial to General Commercial during the 2006 General Plan update. Additionally, in 2006 the City adopted the Artesia Corridor Specific Plan (referred to as the Artesia Corridor), to promote revitalization efforts. The Artesia Corridor Specific Plan provided for a mix of residential and commercial uses. Mixed use residential and commercial has been developed within parts of the Artesia Corridor.

On February 15, 2023, the City Council adopted the 6th Cycle Housing Element for 2021 – 2029. At the same time, it also adopted Resolution No. 6620 updating the Land Use Plan, including changes to the Land Use Map, Urgency Ordinance No. 1847 amending the Zoning Code and revising the Zoning Map, and Resolution No. 6621 adopting a color palette for buildings, fences, and walls. The Resolution and Ordinance also rescinded the Artesia Corridor Specific Plan, changed the land use designation for five of the six areas in the Specific Plan, and rezoned all six Specific Plan areas. The property that is the subject of this Specific Plan retained the land use designation of Specific Plan and the zoning was changed to 1450 Artesia Specific Plan with a notation that it would be developed for industrial and commercial uses once a specific plan was adopted.

The previous Artesia Corridor Specific Plan's land use was described as "375,000 square feet of General Commercial, 40,000 square feet of restaurant, and up to 300 residential units on 44-acre area".¹

The previous Artesia Corridor Specific Plan was comprised of six planning areas and three land use categories (Commercial (C), Mixed-Use (MU), and Public (P)). The Project site was in Planning Area 4 (eastern half, hereafter 4B) and Planning Area 5 and designated for Mixed Use (MU) and Commercial (C), respectively. The Artesia Corridor Specific Plan anticipated that Planning Area 4 would achieve a minimum of 70,000 SF of commercial development and up to 100 residential units, and Planning Area 5 would achieve a minimum of 80,000 SF of commercial development. The western half of Area 4 (Area 4A) has been developed with 60 residential units, including 30 live-work units, which include a total of 10,320 SF that can be attributable to commercial development. Planning Area 4B could have accommodated the remainder of the 70,000 SF of commercial development and residential development and Planning Area 5 could have been developed with the anticipated 80,000 SF of commercial development. See **Figure 4: Previously Existing and 1450 Specific Plan Areas**.

The 1450 ASP area includes former Artesia Corridor Specific Plan Areas 4B and 5.

The Project includes redevelopment of mixed-use property comprised of a 268,000 gross-square-foot (GSF) building with associated surface parking, and landscaping and circulation improvements. The proposed development would contain a self-storage use (four levels totaling 186,000 GSF with up to 1,480 storage units), an industrial warehousing use (one level totaling 72,000 GSF plus up to ten loading docks), and an office/retail use (a mezzanine totaling 10,000 GSF).

Additionally, the City is proposing to host various medium-size special events on an approximately 36,000-SF (0.8 acre) portion of the parking area. See Section 4.2 for a detailed list of the types of permitted events. The Project's building design will incorporate engineering controls set forth within the approved Final RAP and Remedial Design and Implementation Plan (RDIP) detailed in Section 3.3. As implemented, the Final RAP will protect human health and the environment and make the Project site safe for use and occupancy for its intended commercial and industrial uses.

¹City of Gardena. 2022. Land Use Plan. https://cityofgardena.org/wp-content/uploads/2021/07/2021_Updated_Land_Use_Plan_04_21.pdf (accessed October 2022), Table LU-1.

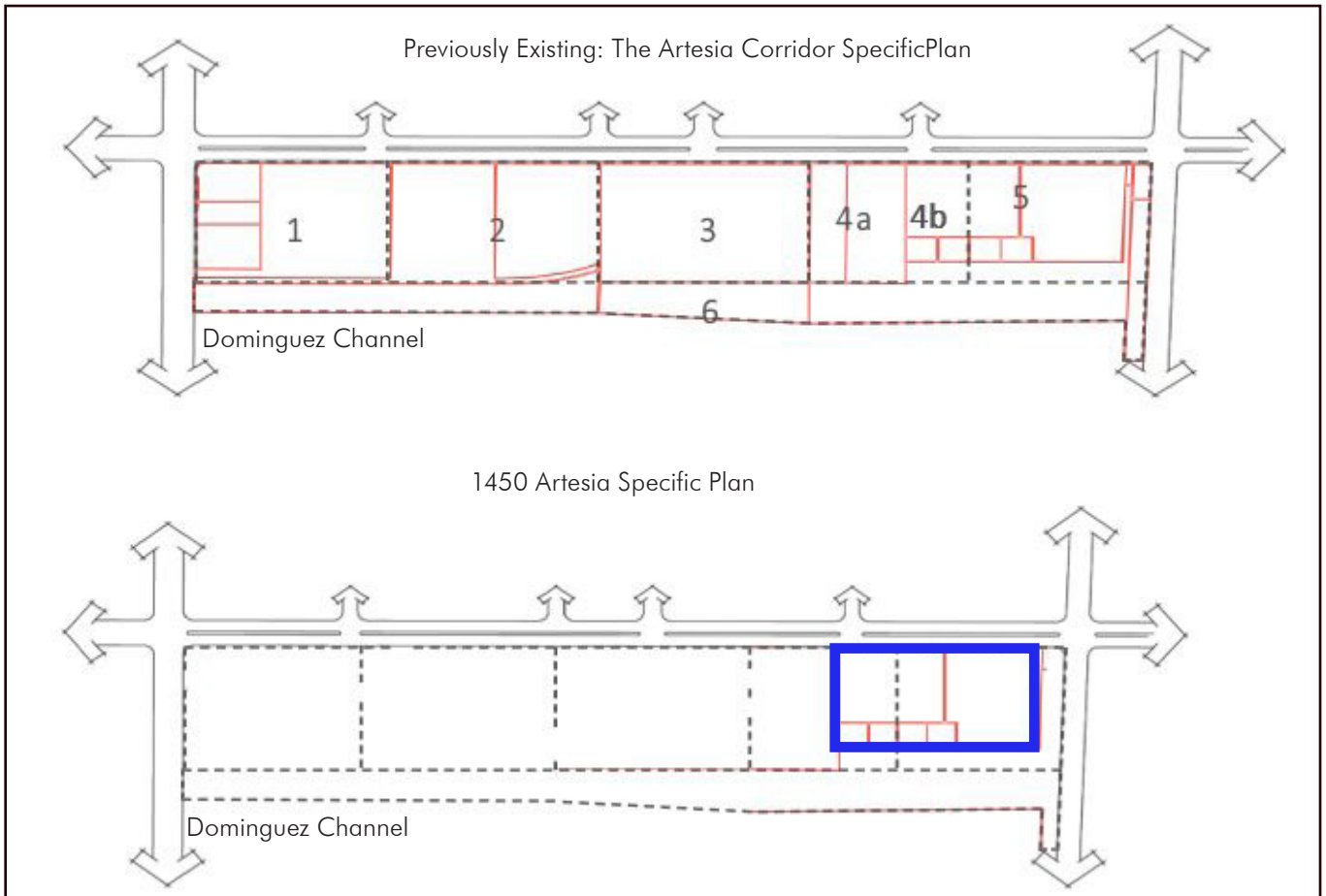


Figure 4, Previously Existing and 1450 Specific Plan Areas

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2.6 ENVIRONMENTAL ASSESSMENT

An Environmental Impact Report (EIR) has been prepared and certified in accordance with the provisions of the California Environmental Quality Act (CEQA) as defined by §15161 of the CEQA Guidelines to address the potential environmental effects of the 1450 ASP and greater area surrounding the Project site. In conjunction with the EIR, the Project will implement mitigation measures to reduce potential impacts resulting from Project implementation to a less-than-significant level [(SCH#2023060263)]. All mitigation measures identified in the EIR are incorporated in this Specific Plan by reference within **Appendix A: Mitigation Measures**.

2.7 RELATED APPLICATIONS AND DOCUMENTS

In addition to approval of this Specific Plan (SP #1-23), the following entitlements have also been approved by the City to develop the Project:

ZONE TEXT AMENDMENT (ZC #1-21/ ZTA #3-21)

Section 18.08.015 which provided that a specific plan was required prior to this area being developed was concurrently amended with the adoption of this Specific Plan.

DEVELOPMENT AGREEMENT (DA #1-21) Development Agreement (DA #1-21)

A development agreement between the City and developer that guarantees the right to build the development as set forth in this Specific Plan for a period of ten years in exchange for receiving a monetary contribution, space to hold community events and other public benefits.

Site Plan Review (SPR #5-21) Review of the physical design of the development.

LOT MERGER (LM #1-21)

A lot merger combining the 1450 ASP site's six legal lots into a single development site; the non-conforming residential use (APN 6106-036-010) will remain its own parcel.

ENVIRONMENTAL IMPACT REPORT (EIR)

An EIR pursuant to the California Environmental Quality Act (CEQA) and the CEQA Guidelines Section 15124.

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3.0 CONTEXT AND EXISTING CONDITIONS

3.1 PROJECT SITE AND LAND USES

The 1450 ASP area consists of six parcels (APNs 6106-036-010, -012, -034, 035, -036, and -037) totaling approximately 6.33 acres in size, situated between Artesia Boulevard and the Dominguez Flood Control Channel. Existing land uses in the 1450 ASP area included a light manufacturing parcel with current U-Haul and metal works facility, one vacant parcel with a Department of Toxic Substance Control (DTSC) cap for contaminated sumps, and four residential parcels behind the industrial properties adjacent to the Dominguez Channel (1450, 1452, 1462 and 1472 West Artesia Boulevard) at the time the Plan was initiated. The Project proposes to remove all onsite uses except one dwelling unit (DU) at 1472 W. Artesia Blvd. (APN 6106-036-010).

A map of the existing parcels and uses is provided in **Figure 5: Existing Uses**.

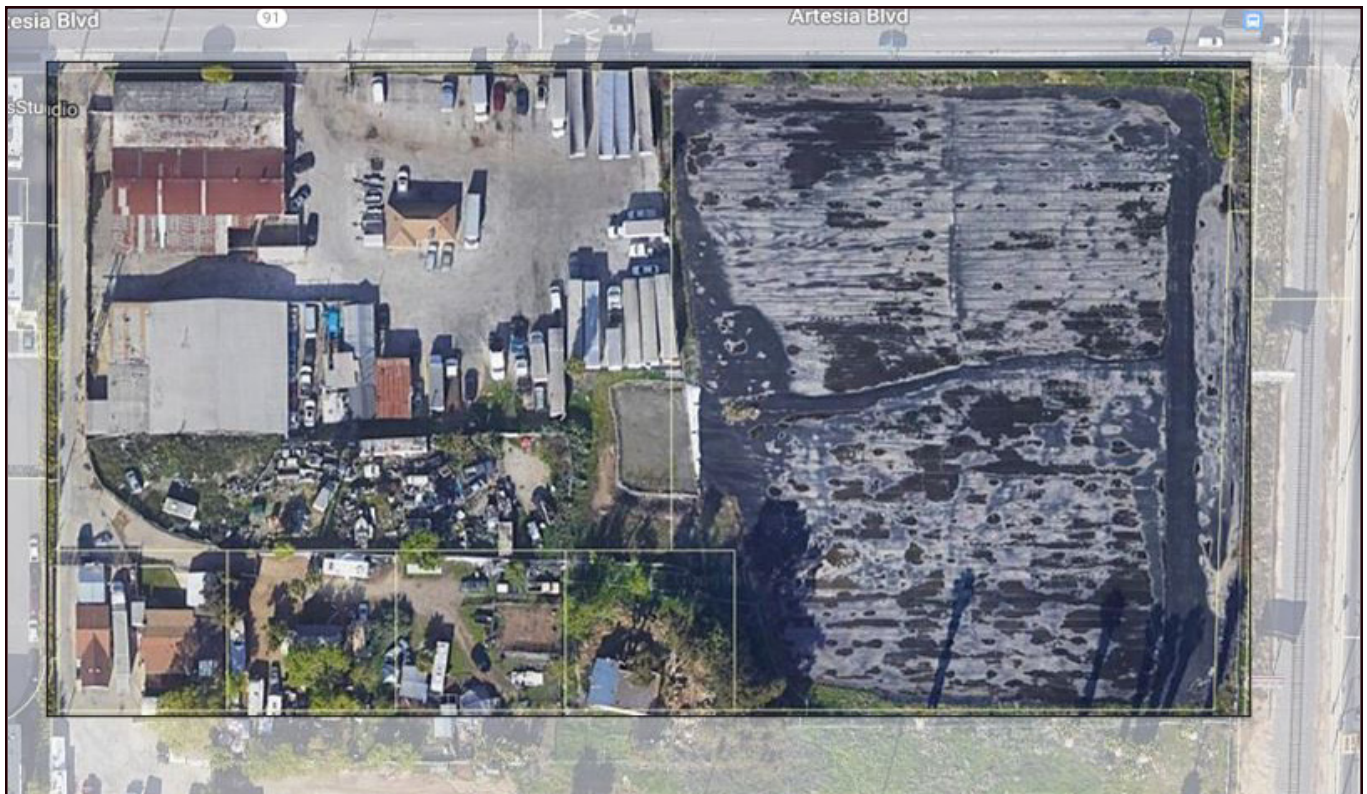


Figure 5, Existing Uses

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3.2 TOPOGRAPHY

The Project site's topography is generally level, with areas that are gently to moderately sloping. Artificial fill soils cover most of the site and are thickest near the center of the site where the Dominguez Creek was infilled, and at the eastern end of the site where a sump was excavated and filled.

An existing unpaved maintenance roadway owned by the Los Angeles County Flood Control District lies along the Dominguez Channel to the south of the site.

The Project site's topographical survey is provided in **Figure 6: Topographic Survey**.

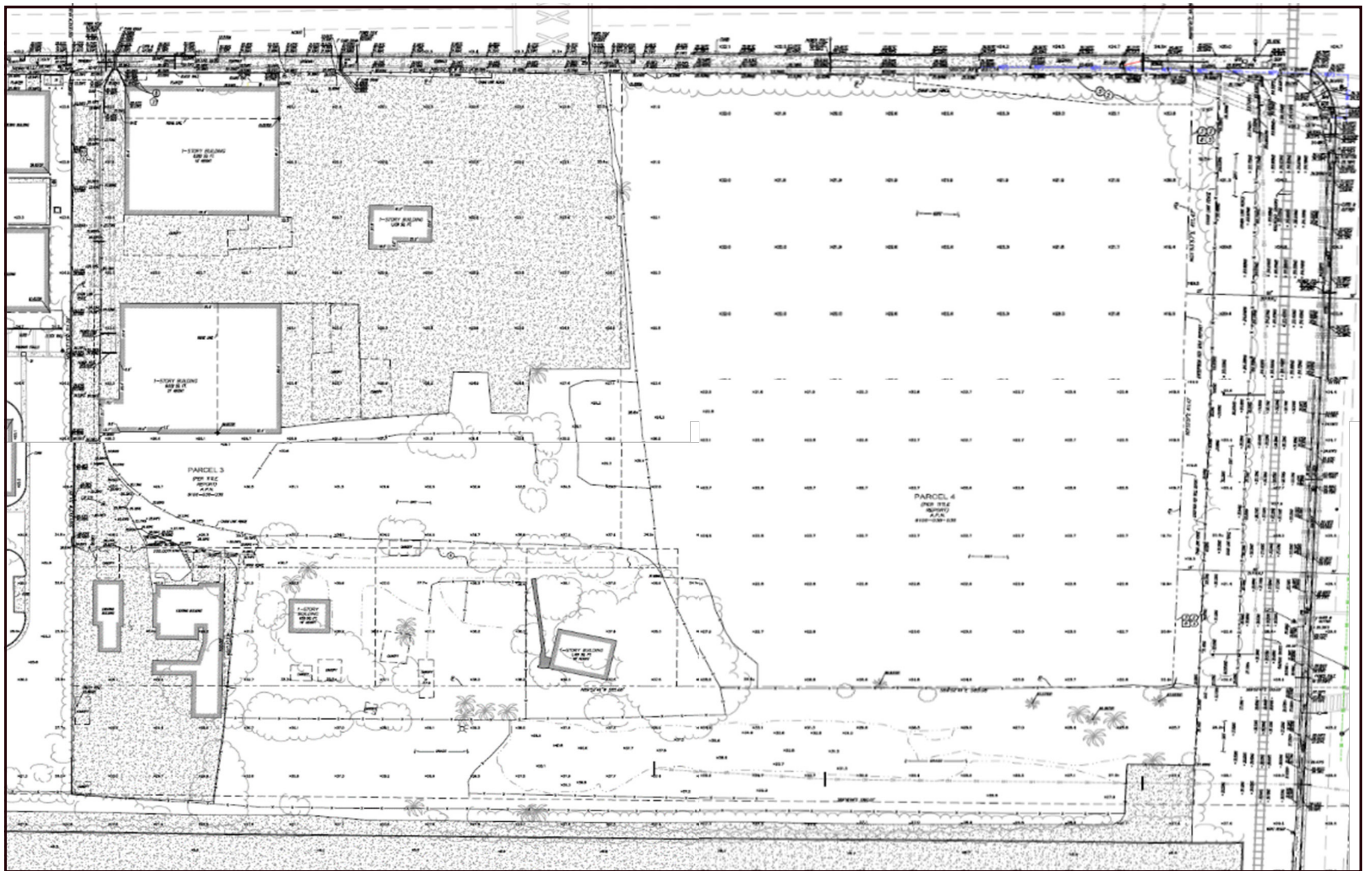


Figure 6, Topographic Survey

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3.3 GEOLOGY AND SOILS

A geotechnical study of the 1450 ASP area was prepared by Carl Kim Geotechnical Inc. on February 4, 2022. Existing geology and soils conditions are taken from the geotechnical study.

Based on review of available geologic maps, the site is not located within an Alquist-Priolo Earthquake Fault Zone. The City is located within a seismically active region that includes numerous active, potentially active, and inactive fault traces and, consequently, is subject to the risks and hazards associated with potentially destructive earthquakes. The area located along Artesia Boulevard and the Dominguez Flood Control Channel in the southern portion of the City is located within a liquefaction zone.

The primary geologic hazard at the site is moderate to strong ground motion (acceleration) caused by an earthquake on any of the local or regional faults. The potential for other earthquake-induced hazards was also evaluated including surface rupture, liquefaction, dynamic settlement, inundation and land sliding.

Groundwater was encountered at depths ranging from 4 to 12 feet below the existing grade. Based on available groundwater data, the historically shallowest groundwater level for the site was approximately 10 feet below the ground surface and it is recommended by the geotechnical consultant that a groundwater level of 10 feet below ground surface be assumed for design and construction.

Much of the site is underlain by sump materials. Due to the contaminants of concern remaining in the subsurface soil, engineering controls including an engineered cap over impacted soils, soil vapor probes and related features, and soil vapor barrier design with ventilation systems will be required for future construction as part of the building foundation designed to prevent indoor soil vapor intrusion.

3.4 HYDROLOGY

A hydrology study of the 1450 ASP area was prepared by Kimley-Horn & Associates on August 3, 2022, which concluded approximately 14,000 cu-ft must be detained onsite to attenuate the runoff and mitigate impacts to the surrounding area.

The grading pattern for the proposed development will largely be consistent with that of the existing condition and surface flow towards Artesia Boulevard and stormwater cisterns to be installed along the western boundary of the property. The site is currently approximately 74 percent impervious. The Project will increase the pervious area of the site by approximately 14 percent.

3.5 GENERAL PLAN AND ZONING DESIGNATIONS

As discussed in the Project History above, the Project site is designated Specific Plan² and is consistently zoned as 1450 Artesia Specific Plan.

3.6 CIRCULATION

Three major freeways provide regional access to the Project site: I-405 to the south, I-110 and SR-91 to the east. These freeways connect to the Project via Artesia Boulevard which runs along the northern boundary of the 1450 ASP area. Artesia Boulevard provides local access to the site, and is classified as a major divided arterial, with a total of six lanes. Local access to the Plan area is also provided from Normandie Avenue, traveling north-south just east of the Specific Plan area. The 405 freeway is also accessible from Western Avenue to the south of the Project site. A sidewalk along the south side of Artesia Boulevard provides pedestrian access to the site.

See Section 4.3 for local vehicular access to the Project site.

²City of Gardena. 2022. Land Use Plan. <https://cityofgardena.org/wp-content/uploads/2021/07/2021-Updated-Land-Use-Plan-04-21.pdf> (accessed October 2022).

3.7 UTILITIES AND SERVICES

Ensuring the 1450 ASP area is served by adequate infrastructure is critical to successful 1450 ASP implementation and future development of the area. See **Table 4-1, Public Services & Utilities** within Chapter 4.5 for a list of public services and utilities that will serve the Plan area.

Utilities

Stormwater Drainage

- Stormwater from the 1450 ASP area will be collected in a cistern along the western boundary of the property.
- Further discussion on stormwater and drainage best management practices are included in Chapter 4.5.

Sewer

- The City Public Works Department is responsible for maintaining the existing sewer lines that provide wastewater collection, conveyance, and management surrounding the property.
- City as-built plans show a 21-inch vitrified clay pipe (VCP) with a proposed 8-inch line to be connected within the Plan area.

Water

- Water and fire services are provided to the property by a 21-inch cast iron line owned and maintained by the Golden State Water Company.
- An 8-inch fire water line and 3-inch domestic water line are proposed water laterals serving the site.

Electrical Power

- The site is currently served by overhead power lines on the south side of Artesia Boulevard owned and maintained by Southern California Edison (SCE).

Natural Gas

- It does not appear that the site is currently served by natural gas.

Services Characteristics

Solid Waste

- Waste Resources of Gardena provides solid waste pickup services for the City.

Fire Protection Services

- The Los Angeles County Fire Department provides fire protection services and emergency medical service to the City.
- The closest facility to the Project site is Fire Station 158 at 1650 W. 162nd Street in Gardena, California, located approximately 1.4 miles to the north of the project site and a 3-minute driving distance.
- The provision of water for fire suppression is available from existing water lines via adjacent hydrants.

Police Protection Services

- The Gardena Police Department (Gardena PD) provides police protection services to the City.
- The Specific Plan area is approximately 1.4 miles from the police station located at 1718 W 162nd Street.
- The Gardena PD divides the City into three districts, each with its own District Policing Team. The Project site is located within District 3.

Library Services

- The Los Angeles County Library provides library services to the City.
- There is one library within City limits which is the Gardena Mayme Dear Library at 1731 W Gardena Boulevard located 1.3 miles to the north and a two-minute driving distance. There are other public libraries located just outside of the City limits.

Schools

- The Los Angeles Unified School District provides educational services and facilities for students from kindergarten through twelfth grade.
- The Project site is within the service district of LAUSD and is served by three schools: 186th Street Elementary School, Peary Middle School, and Gardena Senior High School.

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4.0 SPECIFIC PLAN CONCEPTS

4.1 PROJECT GOALS AND OBJECTIVES

The 1450 ASP's overall purpose is to improve the major development corridor of Artesia Boulevard transforming an underutilized area with newly constructed self-storage, industrial warehousing, and office solutions to the City. The 1450 ASP permits commercial and industrial land uses and establishes building and site design, transportation, infrastructure, and streetscape strategies to achieve this vision. The Project is guided by the following major objectives:

- Redevelop an underutilized, blighted and environmentally impacted property with economically vibrant industrial and commercial uses along a major development corridor within the City;
- Develop appropriate uses in an area with a legacy of contamination in a manner that protects human health and the environment and allows for continued monitoring of remediated areas;
- Produce short- and long-term jobs during the Project's construction and operations phases;
- Generate property and sales tax revenues for the City to enhance its services to the community and infrastructural improvements;
- Provide the City a substantial monetary public benefit to the City's General Fund; and
- Provide the City with an outdoor venue to hold community events.

The Land Use designation for the Specific Plan area is Specific Plan while the zoning is 1450 Artesia SP. A copy of the Site Plan, including renderings, is attached as **Appendix B: Site Plans**. Development within the Specific Plan area must be substantially in conformance with this Appendix.

Additionally, special events are a permitted use planned for approximately 36,000-SF portion (0.8 acre) of the proposed industrial use’s parking area (over approximately 63 parking spaces). A 200 square foot storage building will be constructed for the City’s use and placed along the eastern edge of the truck area

See **Figure 7a: Site Plan and Land Use Plan - Special Events Area with Circulation Buffer**.

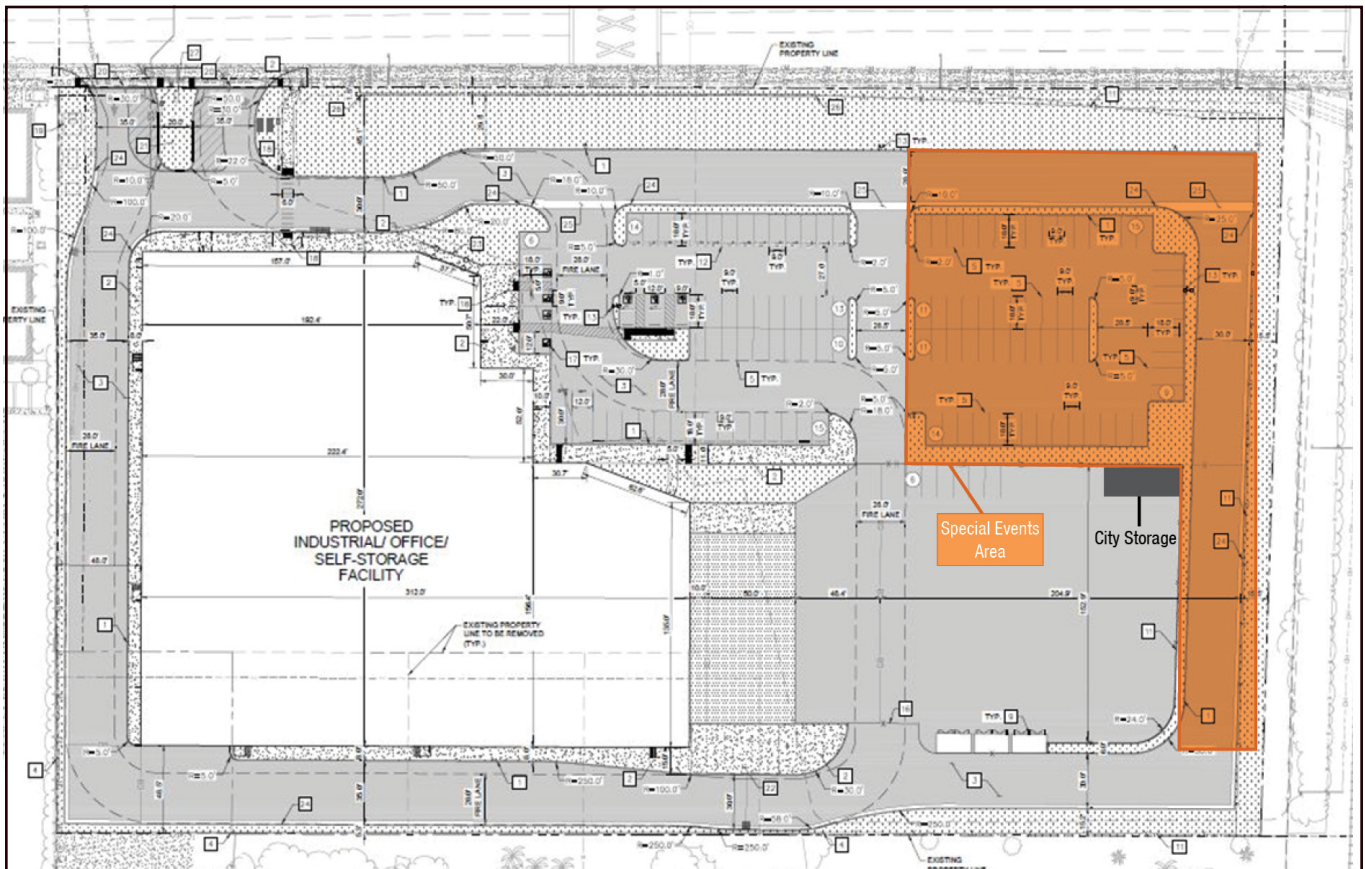


Figure 7a, Site Plan and Land Use Plan - Special Events with Circulation Buffer

4.3 TRANSPORTATION AND CIRCULATION PLAN

The circulation plan for the 1450 ASP is provided in **Figure 8: Proposed Circulation Plan - Vehicular Access**.

ON-SITE CIRCULATION AND ACCESS

The Project replaces a single family residence along with a U-Haul, sandblasting and painting facility, metal fabricating shop, and an auto body repair shop with supporting surface lots that contain perpendicular parking areas totaling two curb cuts that interrupt the sidewalk. The Project will include two curb cut driveways along Artesia Boulevard located approximately at the northwest corner of the Project site.

VEHICULAR ACCESS

An existing raised median along Artesia Boulevard limits access to northbound right-turn entry/right-turn exit site access only, which is further refined by the individual entrance and exits travel lanes. Local vehicular access to the Project site would be provided via one 35-foot driveway from Artesia Boulevard. A separate 35-foot exit driveway travel lane will be adjacent to the entrance divided by a 20-foot landscape divide. The Project driveway will only service the Project. See **Figure 8: Proposed Circulation Plan - Vehicular Access**.

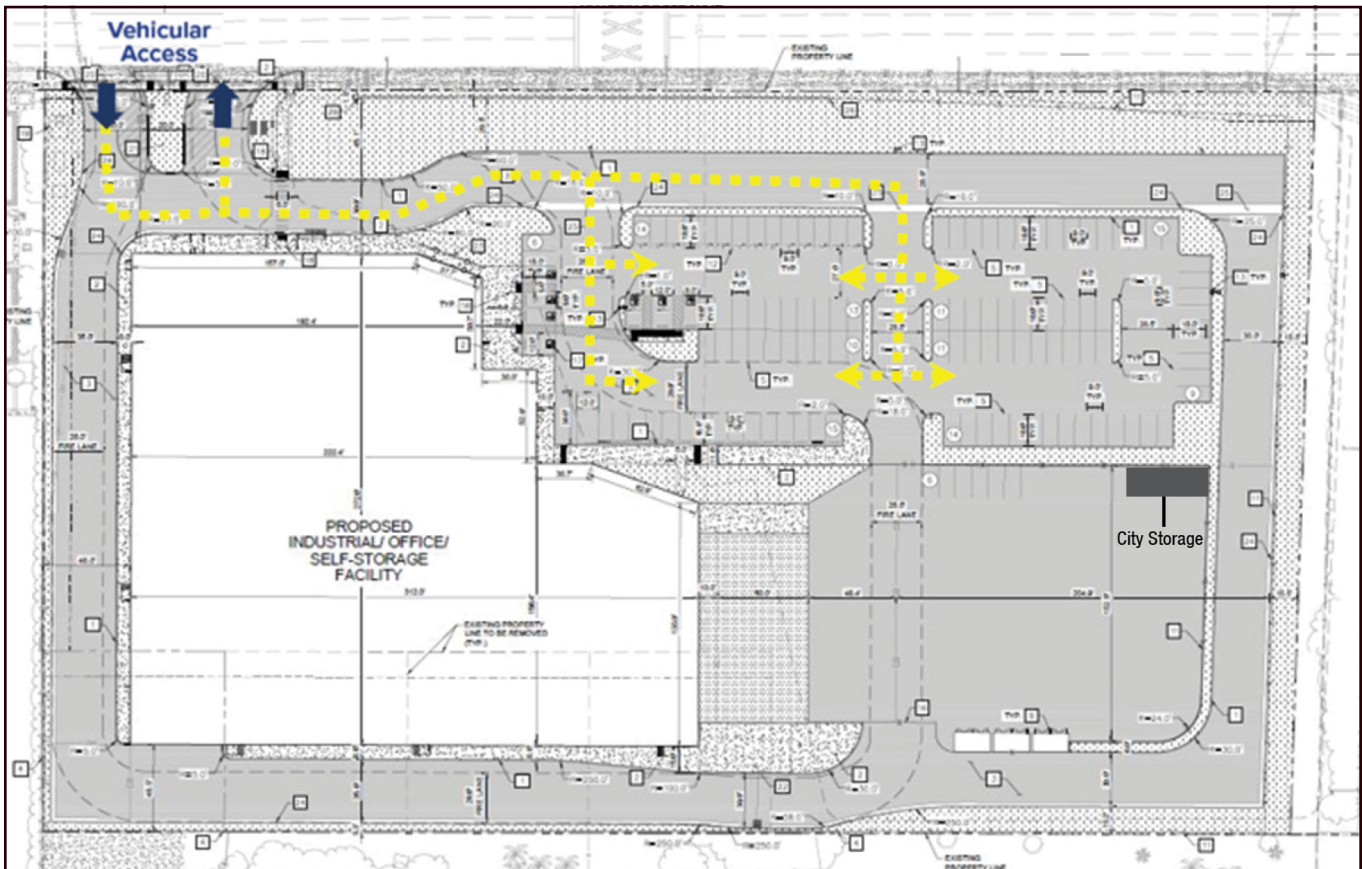


Figure 8. Proposed Circulation Plan - Vehicular Access

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Parking would be located along the Project site’s northeastern portion. The Project proposes 124 automobile parking stalls and 10 dock doors.

TRUCK ACCESS

The dock doors would be oriented to face east. Trucks will access the Project similar to vehicular access with ingress within the northwest portion of the Project with circulation continuing along the western to southern edge of the property and into the loading docks. Trucks will exit the loading dock area heading north within the parking lot with egress back through the Northwest of Project. The truck circulation will be a loop around the proposed building with an aim to ease flow of onsite traffic. See **Figure 9: Proposed Circulation Plan - Truck Access**.

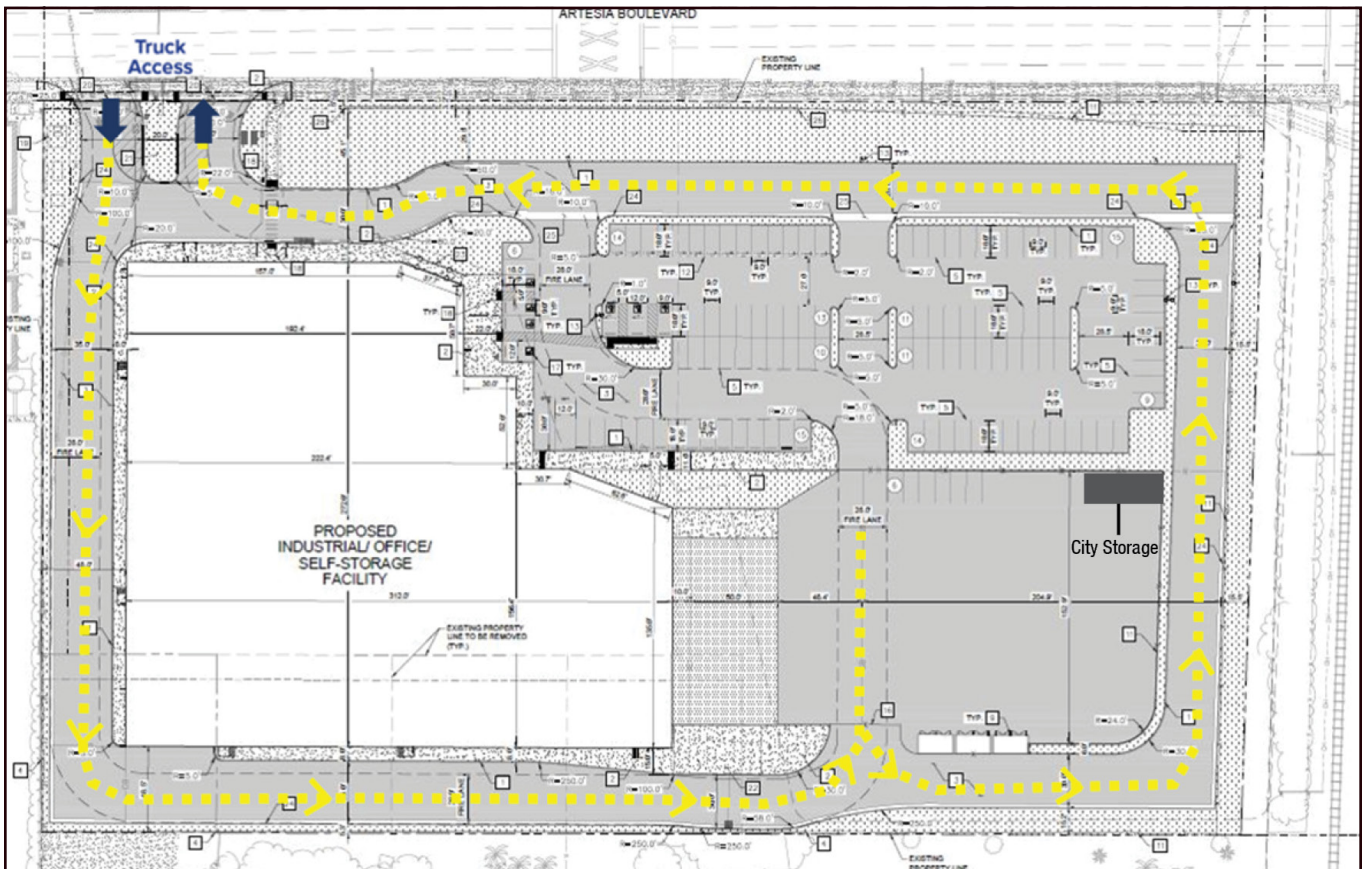


Figure 9. Proposed Circulation Plan - Truck Access

SPECIAL EVENTS TRUCK ACCESS

During the time of City special events, trucks will be required to exit the loading area in the same direction they entered and will not be allowed to circulate along the eastern and northeastern sides of the property. The City will be required to provide a temporary physical barrier to prevent circulation along the eastern and northern boundaries. Additionally, the City will be allowed to install temporary physical barriers to prevent vehicles from entering drive aisles near the event, provided that access is still provided to the parking areas for the self-storage uses. During the special events, the parking area for these events shall occur only in the Special Event Area as depicted in **Figure 7a: Site Plan and Land Use Plan - Special Events Area with Circulation Buffer** and in **Figure 9a: Proposed Circulation Plan - Truck Access Special Events Area**.

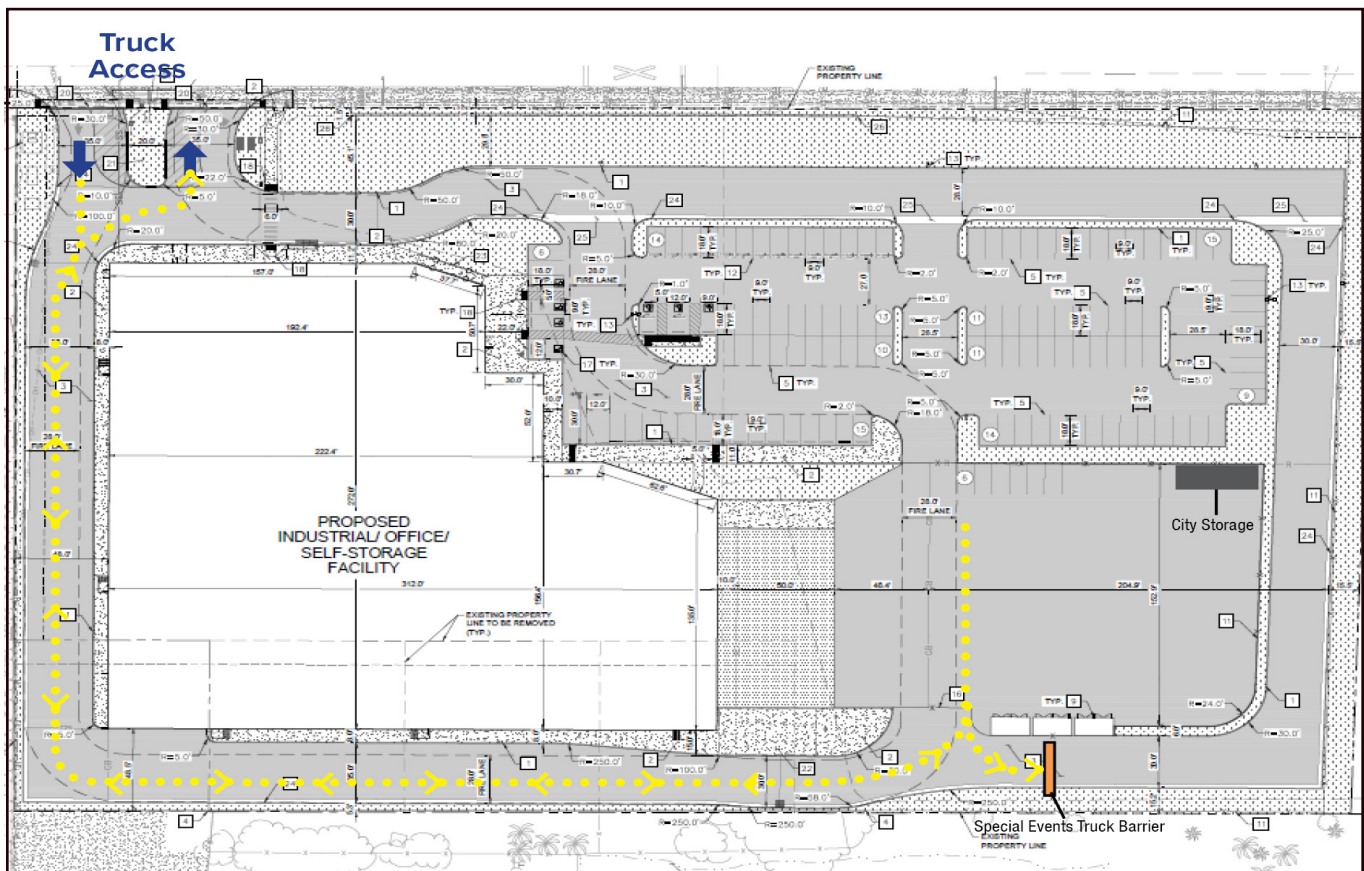


Figure 9a. Proposed Circulation Plan - Truck Access Special Events Area

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FIRE ACCESS

Per the Los Angeles County Fire Department, a 26-foot-wide fire access lane is required and provided surrounding the property structure with direct access to Artesia Boulevard. See **Figure 10: Proposed Fire Access**.

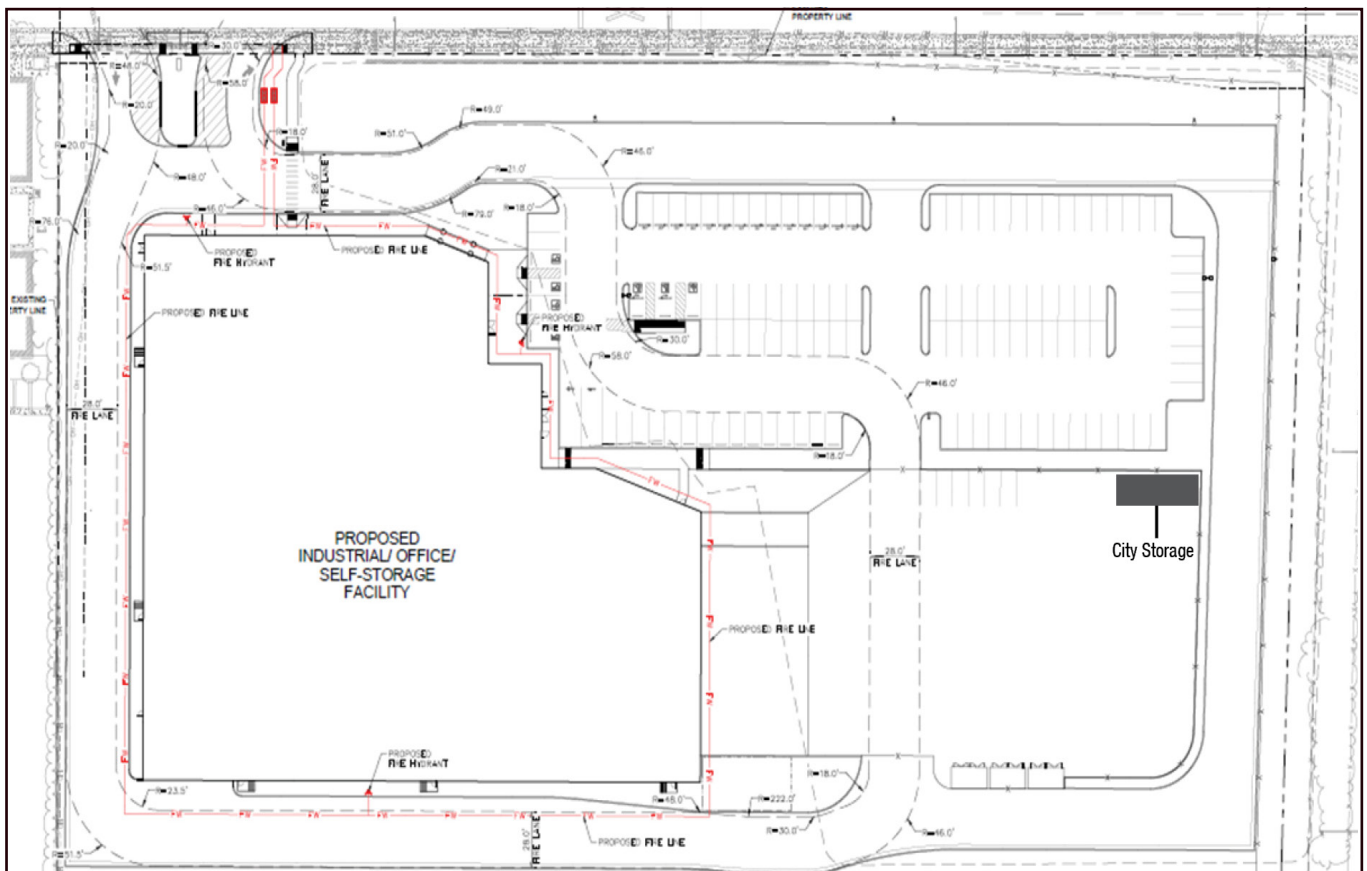


Figure 10. Proposed Fire Access

PEDESTRIAN ACCESS

Pedestrian access to the Project site will be provided from sidewalks located along Artesia Boulevard with primary pedestrian access located at the building lobby located on the northern portion of the site and to the parking lot within the northeastern portion of the property. Areas with loading docks will be gated to prohibit pedestrian access for safety.

TRANSIT ACCESS

The Plan area is located in the vicinity of the following routes:

- Line 2 (GTrans): This line runs north south along South Western Avenue and Vermont Avenue in a loop. The nearest bus stop is located west of the Plan area at Artesia Boulevard and South Western Avenue approximately .5miles from the Project site.
- Line 1 (Torrance Transit): This line goes from Del Amo Fashion Center at Carson and Hawthorne Boulevards to Figueroa Street located at the 105 Freeway. Both the northbound and southbound stops are at Vermont Avenue and Artesia Boulevard approximately 0.6 mile from the Project site.
- Line 13 (Torrance Transit): This line goes from Veteran's Park in Redondo Beach, north to Artesia Boulevard through Hermosa Beach to Vermont Avenue, past California State University Dominguez Hills, and ending in the City of Commerce across from the Crystal Casino. Both the eastbound and westbound stops are located directly in front of the Project site at Artesia Boulevard and Normandie Avenue.
- Line 344 (Metro): This line goes from Palos Verdes Drive and Hawthorne Boulevard to Artesia Boulevard, and then along Vermont Avenue to the Harbor Gateway Transit Center. The bus stops are also located directly in front of the Project site at Artesia Boulevard and Normandie Ave.
- Harbor Gateway Transit Center: The Transit Center, located at 731 West 182nd Street, is a large bus station that serves as a transport hub for the South Bay region of Los Angeles County, including the City of Gardena. The J line can be accessed from this station, which provides transit to both downtown Los Angeles and San Pedro. Numerous other lines can also be accessed from this station. The Transit Center also includes a 980-space park and ride. The Transit Center is approximately 1 mile from the Project site.

BICYCLE ACCESS

No bicycle lanes are provided along Artesia Boulevard as it is an arterial roadway prior to the entrance of State Route 91. Along the Dominguez Channel there is the Laguna Dominguez Bike Path; however, it is not connected within the City maps.

4.4 GRADING PLAN

The grading plan for the 1450 ASP area is provided in **Figure 11: Proposed Grading Plan**. The site will be graded to maintain the existing grading and drainage patterns. The overall site grading and drainage pattern will be towards the center of the parking lot following the planned drainage and storm drain system and further discussed in *Stormwater and Drainage* below.

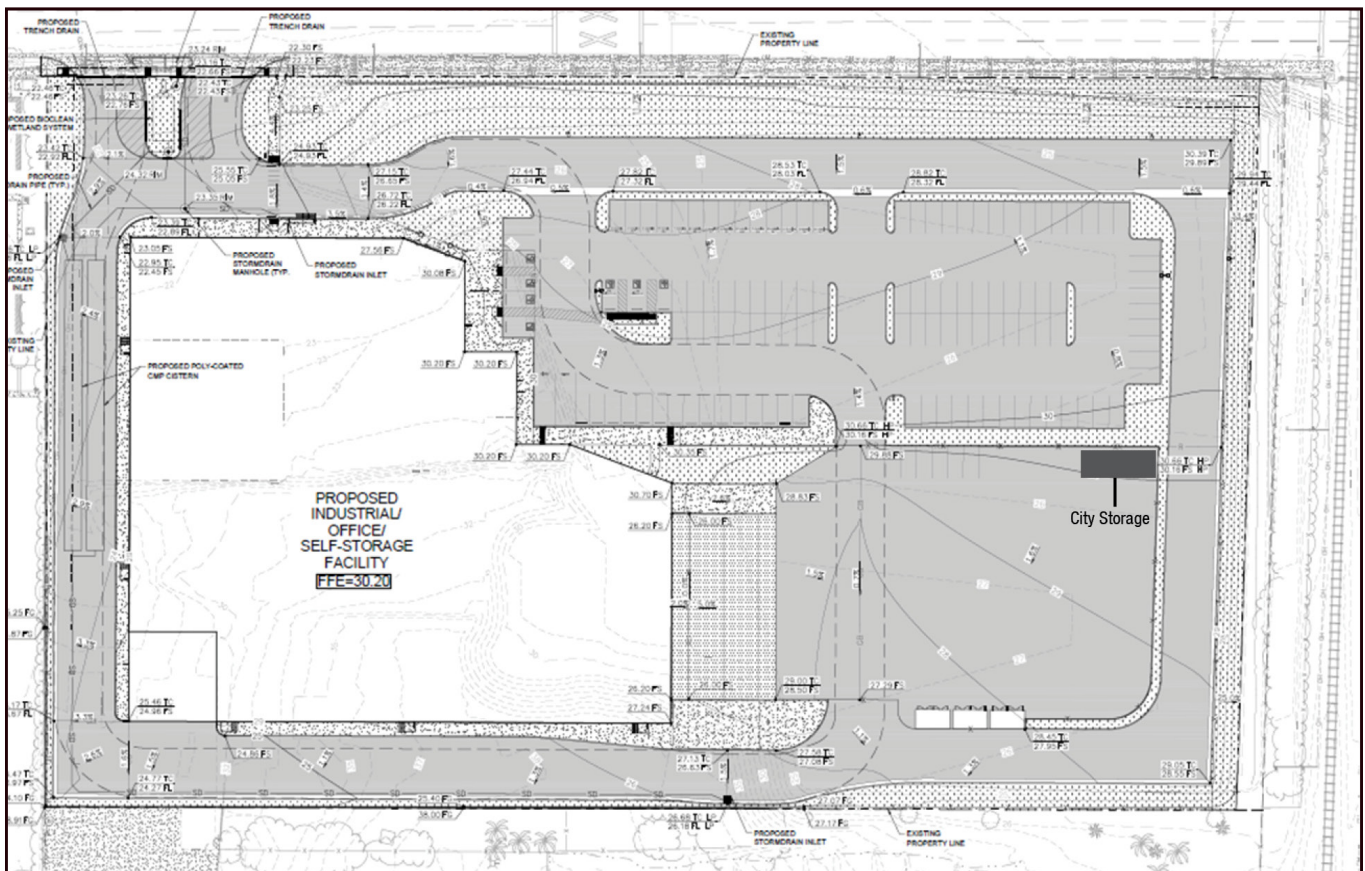


Figure 11, Proposed Grading Plan

4.5 PUBLIC FACILITIES / UTILITIES PLAN

Existing utility infrastructure capacity for this area has been confirmed through regional area capacity studies and load-based assessment using proposed development parameters as described in **Table 4-1, Public Services & Utilities**.

TABLE 4-1: PUBLIC SERVICES & UTILITIES

SERVICE TYPE	SERVICE PROVIDER
Fire protection	Los Angeles County Fire Department (LACFD)
Police protection	Gardena Police Department
Public Schools	Los Angeles Unified School District (LAUSD)
Library	Mayme Dear Library
Water supply	Golden State Water Company
Sewer lines	City of Gardena Public Works Department
Sewage treatment	Los Angeles County Sanitation District Joint Water Pollution Control Plant
Gas supply	Southern California Gas Company
Electric supply	Southern California Edison
Telecommunications	Multiple Providers
Stormwater drainage	City of Gardena Public Works Department
Solid waste collection and disposal	Waste Resources of Gardena
Transit services	Bus services: G Trans (City of Gardena), Torrance Transit (City of Torrance), Los Angeles County Metropolitan Transportation Authority (Metro)

STORMWATER AND DRAINAGE

Five storm drain inlets are proposed within the 1450 ASP area leading to an underground poly-coated CMP cistern located within the western portion of the Site. Collected stormwater shall be carried to a subsurface detention basin installed downstream of storage for additional volume control and treatment. The underground stormwater cistern will detain water to mitigate flows to pre-project conditions and will detain for Low Impact Development (LID) storm event. From the underground stormwater cistern, water will be conveyed, through a flow-controlled outlet, to a LID biofiltration device prior to offsite release. No stormdrain piping, inlets or supporting infrastructure shall be included on the former sumps.

In compliance with existing regulations, the 1450 ASP developers will provide all necessary drainage improvements and implement best management practices (BMPs) in compliance with National Pollutant Discharge Elimination System (NPDES) requirements.

The drainage improvements are subject to the City's standard development review and permit process, including plan checks and inspections.

Based on City code, the project will be required to treat the volume of water as determined by the Los Angeles County 85th Percentile 24-hour event precipitation isohyetal map.

SEWER

The City as-built plans show an 8-inch sewer line approximately 24 feet east of the centerline of Normandie Avenue. There is an additional 21-inch trunk sewer main line on Artesia Boulevard at the centerline of the road with an average grade of 0.41 percent.

Onsite sewer lateral connects to the main line within Artesia Boulevard to serve the Plan area. The existing sewer demand of 604 GPD and the proposed total wastewater demand is 18,390 GPD.

WATER

GSWC Southwest System service area serves the Project. The water demands will increase to 20,043 GPD or 21 AFY with the Project. As noted above, there is an existing fire hydrant on the south side of Artesia Boulevard adjacent to the northwestern portion of the site.

Project development will include all state mandated water-saving features, including water-efficient faucets and toilets.

The Project will connect a domestic water line, a fire line, and irrigation line to the existing main.

ELECTRICAL POWER

As noted above, the site is currently served by overhead power lines on the south side of the Artesia Boulevard owned and maintained by Southern California Edison.

NATURAL GAS

As noted above, the site is currently served by underground lines within Artesia Boulevard owned and maintained by Southern California Gas Company.

SOLID WASTE

As noted above, solid waste pickup for the site will be handled by Waste Resources of Gardena. The trash pickup location will be coordinated with Waste Resources.

PUBLIC SERVICES

The Project site and surrounding area is developed and afforded all municipal services. Police protection services for the City are provided by the Gardena PD. Fire protection and emergency medical response services for the City are provided by the LACFD. Educational services are provided to the City by the LAUSD with three schools including 186th Street Elementary School, Peary Middle School, and Gardena Senior High School.

4.6 RECREATION AND OPEN SPACE PLAN

Based on the historical use of the site and known contamination beneath the site, open space and recreation areas are not provided within the Plan area.

4.7 PHASING PLAN

The Project within the 1450 ASP area is envisioned to be built in one phase. Phased occupancy of the Project is permitted.

4.8 LANDSCAPE PLAN

The Project landscaping will provide a distinct visual impression within the property and frontage of Artesia Boulevard to enhance the built environment with aesthetically pleasing and drought-tolerant landscaping and provide a high level of aesthetic standards complemented by the quality of the building materials. The landscape plan for the 1450 ASP area is provided in **Figure 12, Proposed Landscape Plan**.

STREETSCAPE

The Artesia Boulevard streetscape will provide a combination of shrubs and trees along the frontage of both Artesia Boulevard and Normandie Avenue as well as within the Project development to provide a valuable vertical element, and create a pedestrian scale screen between the ground level and the upper floors of the building.

PLANT MATERIAL

The landscape plan includes a layered landscape program with the proposed plants throughout the Project regionally adapted with a focus on minimizing water use. The Project will be consistent with the State and City water efficient landscape ordinances, and a minimum of 75 percent of the plantings will be water efficient.




















Figure 12, Proposed Landscape Plan

N.T.S. 

The total landscaped area will be at least 50,000 SF ; however, will be determined based on final review from DTSC. All trees shall be a minimum of 24-inch box size and shrubs must be a minimum of 1 gallon size.

The plant design utilizes water-wise landscaping principles, including a low percentage of water-thirsty plants, smart irrigation controllers, drip irrigation, and weed germination. The Project’s proposed plant schedule is shown in **Table 4-2, Plant Palette**.

TABLE 4-2: PLANT PALETTE

SYMBOL	CODE	BOTANIAL / COMMON NAME
	LW PC	Lagerstroemic indica x fauriei ‘Natchez’ / Natchez Crape Myrtle Multi-Trunk Pistacia chinensis/ Chinese Pistache
	AA	Agave attenuate/ Foxtail Agave
	AP	Agave parryi / Parry’s Agave
	AB	Anigozanthos x ‘Big Red’ / Big Red Kangaroo Paw
	BR	Bougainvillea x ‘Rosenka’ / Rosenka Bougainvillea
	LH	Lantana x ‘New Gold’/ New Gold Lantana
	MC	Melaleuca viminalis/ Weeping Bottlebrush
	MA	Muhlenbergia capillaris ‘Autumn Blush’ / Autumn Blush Pink Muhly Grass
	MD	Muhlenbergia Dubia / Pine Muhly
	OL	Olea Europaea ‘Montra’/ Little Ollie Olive
	PF	Pennisentum x ‘Fairy Tails’ / Evergreen Fountain Grass
	PR	Phormuim Tenax ‘Radiance’ / New Zealand Flax
	PA	Phormium x ‘Amazing Red’/ Amazing Red New Zealand Flax
	SS	Salvia greggi ‘Furmans Red’ / Furman’s Red Autumn Sage
	WF	Westringia Fruticosa / Coast Rosemary
	RH	Rosmarinus officinalis ‘Huntington Carpet’/ Huntington Carpet Rosemary
	TS	Trachelospermum jasminoides ‘Star’ / Star Jasmine

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5.0 DEVELOPMENT REGULATIONS AND REQUIREMENTS

This Chapter establishes the land use and development standards to establish the desired physical form and identity of the built environment suitable for each land use and shall constitute the zoning for the Specific Plan area. These regulations implement the Specific Plan Land Use Plan and ensure compatibility of land uses. Development standards address the physical features of each land use such as buildings, lots, setbacks, parking, landscaping, walls and fencing, outdoor storage, and signs. These standards address buildings and site improvements and are essential to achieve the vision of the Specific Plan.

5.1 GENERAL PROVISIONS

This Section applies to any development within the Specific Plan area. In reviewing individual projects requiring discretionary approval, additional conditions may be applied by the approving body to accomplish the goals and objectives of the Specific Plan and the General Plan.

5.2 ALLOWABLE LAND USES

Permitted uses are subject to all applicable development standards and guidelines outlined in this Chapter and Chapter 6 – Design Guidelines.

PERMITTED USES

A project in the Plan area shall only be occupied by land uses identified in this Specific Plan and shall be subject to the applicable City approval process identified in Chapter 8 (Implementation). The development standards set forth below are to integrate multi-use within the planned structure(s) within the Specific Plan and provide flexibility in site design.

The following uses are permitted by right in the 1450 ASP area:

- Warehouse and Distribution – a maximum of 72,000 square feet. A warehouse is a business that is primarily used for storing products as needed. Warehouse and distribution uses can include, but not be limited to, product order fulfillment, online or otherwise, and product delivery, wholesale, e-commerce, and storage uses for air freight, aerospace, food and beverage, and studio uses.
- Self-storage – a maximum of 186,000 square feet
 - Ancillary sales to the self-storage use.

- Commercial office/retail- a maximum of 10,000 square feet
- Special Events as determined by the Parks and Recreation Director which shall include events such as the following with space of up to 36,000 square feet: xcv
 - Food trucks
 - Farmer’s markets
 - Car shows
 - Live entertainment
 - Food giveaways
 - Community meetings
 - Health fairs
 - Mobile vaccination events
- City Storage – a maximum of 200 square feet
- Any other use not specifically listed here determined by the Community Development Director to be similar to a permitted use.

Any use not listed as a permitted use, and not found to be sufficiently similar to a permitted use by the Community Development Director, is prohibited.

PROHIBITED USES

- Cold storage warehouses.
- Fulfillment center warehouses that involve sorting, typically by manual means.

EXISTING LEGAL NON-CONFORMING

The 1450 ASP area currently comprises vacant residential and light industrial development. Following approval of this Specific Plan, the existing uses shall become legal nonconforming to the provisions of the Specific Plan. Any existing uses, buildings, structures, parking areas, landscaping and signage located in the Plan area that become non-conforming at the time of adoption of the Specific Plan will be permitted to remain but shall be subject to the provisions of GMC Section 18.54.040, which prevents nonconforming uses from being changed or expanded beyond what was established when the use became nonconforming.

5.3 DEVELOPMENT STANDARDS

Development Standards apply to all land uses, structures, and related improvements in the Specific Plan area. Where specific development standards are not mentioned in this section, the applicable provisions of the GMC shall apply. The standards of this section control the physical dimensions and location of structures, and site improvements amongst the various land use areas to implement the Specific Plan Guiding Principles and Project Objectives and establish well-designed development projects within the Plan area that work in harmony with each other and minimize potential impacts to residential uses within the Plan area as well as adjacent sensitive uses.

MINIMUM LOT AREA

The minimum area permitted by the 1450 ASP shall be 6.33 acres. Individual lots shall be consolidated to meet the minimum lot area.

MAXIMUM BUILDING HEIGHT

Buildings shall not exceed a maximum of 75 feet in height as measured from the finished floor (i.e., the level of the finished floor on the ground level) to the highest point on the roof, including non-occupiable projections (including, without limitation, architectural features, elevator shafts mechanical equipment, stairwells, canopies, or shade structures).

FLOOR AREA RATIO

Pursuant to the General Plan, non-residential land use intensity is typically measured by the amount of building floor area allowed land acre, also referred to as Floor Area Ratio (FAR). Within the Specific Plan area, the FAR for each non-residential land use shall meet the following within **Table 5-1, Non-Residential Floor Area Ratio**.

TABLE 5-1:NON-RESIDENTIAL FLOOR AREA RATIO

LAND USE	MAXIMUM FAR
Integrated Commercial Industrial	1.0

BUILDING SETBACK LINE

No building or structure shall be constructed within the Building Setback Line. All setbacks shall be free and clear to the sky relative to building or structure placement except for the following improvements:

Front: Along Artesia Blvd. property line an 86-foot setback shall be required.

Rear: Along the rear property line there shall be a 48-foot minimum setback.

Side (Eastern): Along the eastern property line there shall be a minimum 300-foot setback.

Side (Western): Along the western property line there shall be a minimum 40-foot setback.

Permitted Encroachments: Non-habitable architectural features (e.g., canopy or awning), landscaping, outdoor seating for pedestrians and similar features may encroach within required setback areas by up to five (5) feet. Fire lanes, other drive aisles, and trash enclosures may be located in the required side and rear yard setbacks.

SPECIAL EVENTS

The special events would be held approximately two to three times per month and shall not exceed 36 times per year. The events will be limited to Saturday and Sunday events (between 7 AM and 10 PM) with expected attendance of up to 250 attendees.

- The City shall not permit any attendee, City elected or appointed official or employee, contractor, vendor or any other person present at any of such special events from: (i) interfering with or disrupting the operations, use or quiet enjoyment of the Property by Developer, any of its tenants, or any principal, officer, manager, employee, invitee, vendor or contractor of Developer or any of its tenants, (ii) interfering or tampering with, damaging, impairing or altering any of the elements or features of the Final Remedial Action Plan approved by the California Department of Toxic Substances Control on July 17, 2022, or (iii) parking any vehicle in any of the Property’s parking spaces or in any other area of the Property outside of the special event area or outside of the

Property's southerly driveway outside of the truck court as depicted on **Figure 7a: Site Plan and Land Use Plan - Special Events with Circulation Buffer**.

- The City will notify the owner in writing at least fourteen (14) business days before each such event will take place describing the nature, date and duration of the event and the portion of the Special Event area on which the event will occur. The City shall be responsible for sponsoring, securing, and monitoring special events. Security and public services during special events shall be the City's responsibility. The owner will give notice to the warehouse user to ensure it is not in operation during these special events.
- The City shall be provided with a storage building, at no cost, of at least 200 square feet to store items for the special events.

5.4 ARCHITECTURAL STANDARDS

FACADES

A consistent architectural style shall be used for the building and its related elements (i.e., exterior lighting, canopies, trellises, etc.). Structures and walls and rooflines of structures shall contain a variety of distinct parts, architectural elements and surface treatments. There shall be variations and articulation on the façades of the building to add scale and avoid large monotonous walls.

Where the building mass cannot be broken up due to unique use constraints, i.e., warehouse space, building walls shall be articulated through the use of texture, color, material changes, shadow lines, and other façade treatments. All façades of the building shall be treated with equal architectural rigor, level of detail, and articulation.

MATERIALS

Materials shall be high quality, durable, and not readily deteriorate if exposed to the elements. The following materials are allowed:

- Stucco, Sand Fine Finish
- Screen Metal Panels
- Vision Glass
- Spandrel Glass

Architectural features and materials shall wrap corners and provide the same level of detail as the primary façade.

COLOR

Colors shall include a base color and a minimum of one accent color. Colors shall be similar to the renderings provided within **Figure 14: Color and Material Board**.

If subsequent renderings are provided with materials not allowed by this Chapter or colors not approved in accordance with the approved color list by the City Council, the changes shall be approved by the City Council. Otherwise, the Community Development Director may approve such changes.

5.5 LANDSCAPING REQUIREMENTS

Standards are to be used in conjunction with GMC Section 18.42.075 (Landscape regulations). All projects shall provide and maintain landscaping and irrigation in compliance with applicable sections of this Specific Plan.

A landscaping plan shall be required for new or expanding buildings and structures including a minimum of five percent of total paved area used for driveways and parking outside of areas with mitigation measures in place (i.e., environmental cap) which do not allow for sub-surface disturbance. Areas that are not slated for parking or aiseways shall be landscaped and evenly distributed throughout the parking lot.

Landscape along Artesia Boulevard and along the eastern property line shall have a minimum depth of ten-feet and be consistent and formal in nature, distinct from the surrounding streets to emphasize the throughway adjacent to the site. Landscaping along these external edges will be more intense than interior landscaping but shall also preserve and enhance strategic view corridors into the project to take advantage of frontage along these major traffic corridors.

The Union Pacific Railroad easement allows space for limited landscaping, informal in nature, and closely planted to buffer uses, screen the railroad, and enhance the appearance of Normandie Avenue.

All landscaping shall be well maintained and not interfere with pedestrian movement or impede the visibility of business and signage.

5.6 OFF-STREET PARKING AND LOADING STANDARDS

The following regulations establish minimum requirements and design standards for off-street parking of vehicles, trucks, and bicycles. The purpose of these regulations is to provide safe and convenient access, to ensure parking areas are properly designed, and to provide enough parking spaces to service the use, reduce traffic congestion, promote business, and enhance public safety. Compliance with the California Green Building Standards Code (CALGreen) is required pertaining to specific parking requirements for bicycle parking, designated parking for clean air vehicles, EV charging stations, and other parking requirements regulated by CALGreen.

5.7 VEHICLE PARKING

Table 5-2: Required Off-Street Parking identifies the minimum number of parking spaces for the uses listed under their respective categories. This Specific Plan imposes a minimum parking requirement for Industrial and accessory uses as follows:

- warehousing areas shall include one parking space per 1,000 SF
- office areas shall include one parking space per 300 SF gross leasable space (GLA)
- self-storage buildings shall require 1.36 vehicles per 100 storage units

TABLE 5-2: REQUIRED OFF-STREET PARKING

USE	PARKING REQUIREMENT RATIO
Warehouse	1 / 1,000 SF
Employees	1 / Employee
Leasing Office	1 / 300 SF
Office / Retail (Mezzanine)	1 / 300 SF
Self-Storage	1.36 / 100 Units

OFF-STREET PARKING AND LOADING DESIGN STANDARDS

The following provides general parking and loading standards for the Specific Plan area. Table 5-3: Off Street Parking and Loading Standards establishes the design standards for off-street parking and loading. Refer to GMC Section 18.40. Off street vehicle parking for certain standards and procedures, including accessible parking space requirements and alternative parking programs. Off-street parking shall be provided in accordance with the GMC and all applicable City requirements and standards.

OFF-STREET PARKING STANDARDS	
CATEGORY	REQUIREMENT
Markings	All parking facilities, individual stalls, drive aisles, approach lanes, and maneuvering areas shall be clearly marked to expedite traffic movement. Once a parking facility has been marked in accordance with the approved site plan, the markings shall be maintained in good condition.
Loading Activity	<p>All loading activity including turnaround and maneuvering shall be made on-site and contained within designated areas, such as loading zone, loading space, or loading docks.</p> <p>Loading activities should not block designated drive aisles/driveways, passenger vehicle areas, pedestrian paths, and emergency vehicle access.</p> <p>Buildings, structures, and loading facilities shall be designed and placed on the site so that vehicles, whether rear loading or side loading, may be loaded or unloaded without extending beyond the property line.</p> <p>Drive aisles shall be sufficient in length so that no queuing of trucks or delivery vehicles will occur within the public right-of-way.</p>
Safety	Pedestrian circulation in parking lot areas shall be planned to provide safety and convenience. Off-street parking areas shall incorporate walkways and striped paving in conjunction with landscaping to ensure the visibility and separation of pedestrians from vehicular paths.
Parking Lot Screening	The view of parking areas from public streets shall be softened by means of grading berms and/or landscaping.
PARKING SPACE DIMENSIONS	
Standard Parking	9-feet wide by 18-feet long
Compact Spaces ¹	9-feet wide by 17-feet long
	Up to 25% of the required parking spaces may be compact spaces.
Wheel Stops	3- feet from the wall or property line.
Minimum Aisle width for parking angle	90 degrees: 26 feet
Maximum gradient at parking space	5% measured in any direction; 2% maximum for accessible parking spaces

¹ In no circumstance will two rows of compact-sized parking spaces be provided within a single parking aisle, except in the limited circumstances where a parking space in the row of standard-sized spaces is located adjacent to a wall or other obstruction, in which case it will be designated as a compact space.

DOCK-HIGH LOADING FACILITIES	
Loading door loading space	12-feet wide by 40-feet long with 14-foot minimum vertical clearance measured from finish service of loading dock, and shall be so arranged that it will not impede traffic circulation within the parking area and will not block parking stalls.
Truck maneuvering area	Designed to accommodate the minimum practical turning radius of a 53-foot semi-trailer and tractor combination.

5.8 MAINTENANCE STANDARDS

The site, including the City’s storage building and public right of way in front of the site, shall be well maintained in an orderly manner during and following construction and timely and regular maintenance and necessary repairs shall be made to the Project’s exterior and interior and City’s storage building.

5.9 STANDARDS FOR WALLS/FENCING, OUTDOOR STORAGE, LIGHTING, SIGNAGE CITY STORAGE

WALLS AND FENCING

Walls, fences, and gates may be used to identify separate areas and provide needed privacy and security. Where constructed, walls, fences, and gates shall appear consistent in style and material, complementing the surrounding architectural styles.

Currently, an eight-foot-high decorated masonry wall is maintained along the western side of the property abutting a residential townhome development and shall remain.

Security fencing along the perimeters of the property shall consist of wrought iron or tubular steel and shall be interspersed with stone, brick, stucco, or decorative block at a minimum of every six feet and shall be no more than six-feet in height. There shall be a minimum of three feet of landscaping between the front of the fence and the back of the sidewalk area closest to the fence along Artesia Boulevard. Along Normandie Avenue there must be a minimum setback of 15 feet from the front of the fence and the back of the sidewalk area closest to the fence.

OUTDOOR STORAGE

Outdoor storage and trash receptacles shall conceal the views of materials and products from streets and nearby properties. All outdoor storage of facilities for fuel, raw materials, and products shall be concealed from view from adjacent property and public rights-of-way. No material or waste shall be deposited in such form or manner that it may be transferred off the lot by natural causes or forces. All materials or wastes which might cause fumes or dust, or which constitute a fire hazard, or which may be edible by or otherwise be attractive to rodents or insects shall be stored outdoors only in closed containers.

ENCLOSURE OF MECHANICAL EQUIPMENT

All mechanical equipment, plumbing lines, heating and cooling units, and storage tanks and ductwork (roof- or ground-mounted) shall be incorporated into the building envelope or roof in accordance with building code requirements.

LIGHTING AND SIGNAGE

A complete security and lighting plan shall be required including 2-foot candle (average) with min. 1-foot candle for all public/common areas.

All light fixtures shall be designed and located in a manner that does not allow spillover onto adjacent properties. Overly glaring and flashing lights are prohibited. Additionally, the exterior lighting fixtures shall be architecturally consistent with the design of the building, as reviewed and approved by the Director of Community Development.

All signage shall be permitted per GMC Chapter 18.58.

CITY STORAGE

The city storage building shall be constructed of CMU blocks, built on a slab on grade foundation, and shall be provided with a steel door and LED motion detector lights on the inside. The storage building shall be designed to be compatible with the project, and shall be submitted to the Director of Community Development for review and approval.

5.10 CALGREEN STANDARDS

Plan area development shall conform to the most recent CALGreen mandatory sustainability standards in effect at the time of building plan submission. Compliance with these standards results in a reduction of energy usage for any given building or complex.

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6.0 DESIGN GUIDELINES

The following guidelines are specifically tailored to ensure the quality development envisioned for the 1450 ASP area.

6.1 ARCHITECTURE

DESIGN PRINCIPLES

The following design principles will ensure that development activity is integrated, sensitive to surrounding neighborhoods, provides positive imagery, and creates an inviting environment for residents and visitors, meeting the intent of the Specific Plan.

Design Principle 1: Provide for long-term high-quality development

The 1450 ASP area is envisioned to continue redevelopment along Artesia Boulevard. Building materials and landscaping should be chosen for their ability to be maintained in a cost-effective manner at the same high quality as when they were originally constructed and installed. Planning and building design should consider longevity and adaptability to future conditions and trends.

Design Principle 2: Improve the aesthetic of the environment for both workers and residents of the City

The Project development shall be required to maintain landscape parkways in decorative parkways of Project areas including concealing storage yards, parking, and service areas to minimize visual impacts on the public.

Design Principle 3: Utilize landscaping to beautify Gardena's streets and sidewalks

Unifying streetscape elements should be considered including landscaping to foster the City's streetscape and honoring landscape setbacks.

Design Principle 4: Incorporate architectural features which will allow for the property to maintain ongoing operations.

As described in Chapter 5, the 1450 ASP shall utilize building design to consider the visual and physical relationship to adjacent uses. Long, blank walls shall be broken up with vertical and horizontal façade articulation achieved. See above for required architectural standards.

ARCHITECTURAL STYLES AND SCALE

The Project should provide thematic elements that create a cohesive environment, including consistent and cohesive streetscape; strong relationships between the building, sidewalk, and other outdoor spaces; and comprehensive signage.

The 1450 ASP's regulation of the building envelope will contribute to a coherent building design and promote architectural unity in the Plan area.

ARCHITECTURAL FEATURES

Architectural features are encouraged to create visual interest. **Figure 13: Architectural Features** below depicts the Project including styles, scale, siding materials, color and features.



Figure 13, Architectural Features

SIDING MATERIALS

The Project should include enhanced materials to complement the architectural design at pedestrian level and at other key elements of the building elevation. The selection of enhanced materials shall contribute to the visual quality of the streetscape.

COLOR

Color schemes should be selected with a harmonious range of accent materials and align with the color and materials board as depicted in **Figure 14: Color and Material Board**.

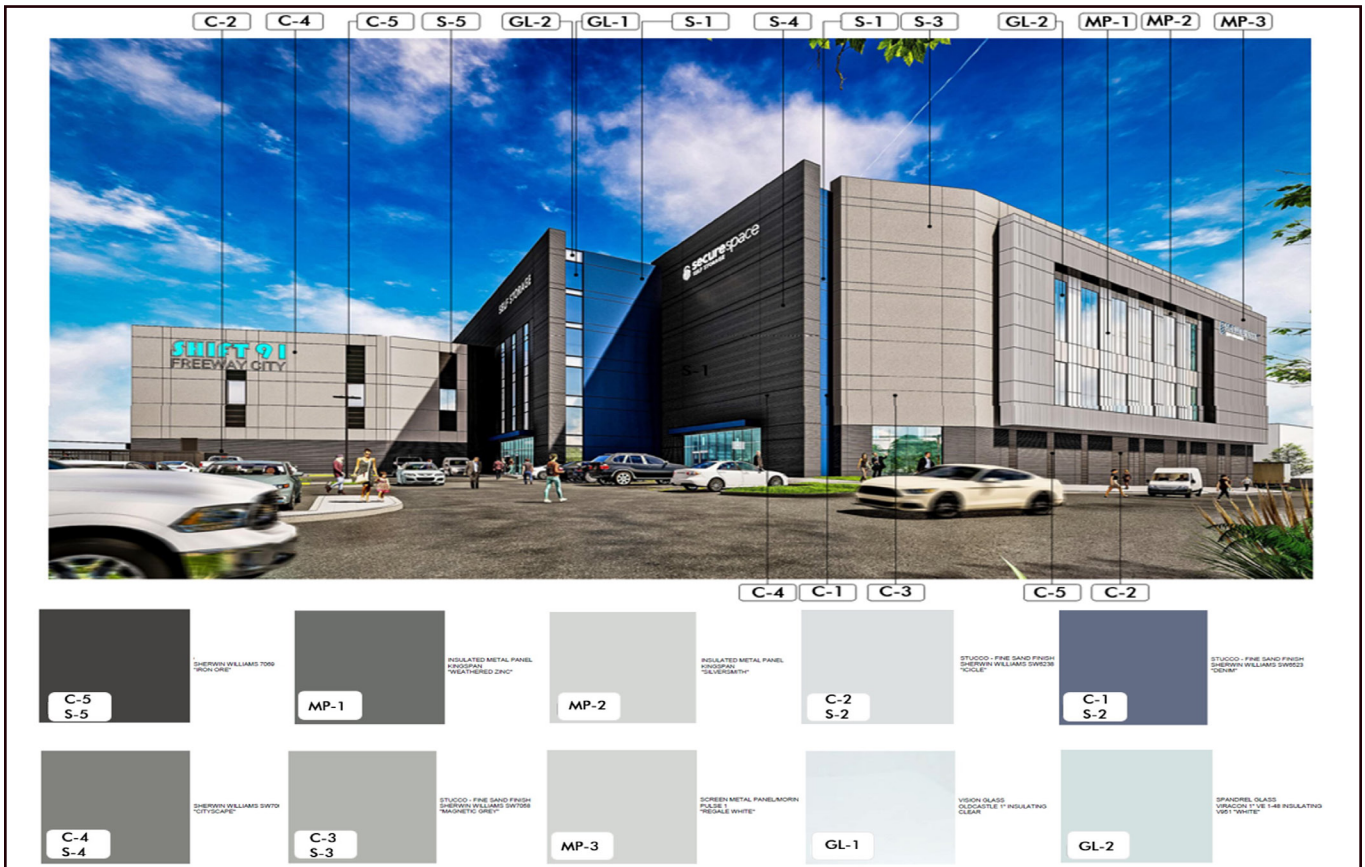


Figure 14, Color and Material Board

6.2 ARCHITECTURE LANDSCAPE AND STREETScape

Landscaping for any development within the 1450 ASP area must be substantially consistent with the landscape plan concepts set forth in Chapter 4, Section VIII of this Specific Plan.

Buildings and major pedestrian entrances should be oriented toward centers of activity, such as the primary street frontage.

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7.0 GENERAL PLAN CONSISTENCY

7.1 APPLICABLE GOALS AND POLICIES

RELATIONSHIP TO GENERAL PLAN

The City's General Plan establishes the overall vision for growth and development in the community. The General Plan Land Use Element establishes clear and logical patterns of land use and standards for new development.

The 1450 ASP provides for the orderly and efficient development and revitalization of the Plan area consistent with the City's General Plan. The 1450 ASP is a regulatory document prepared pursuant to the provisions of California Government Code sections 65450 through 65457, which grant local government agencies the authority to prepare specific plans for the systematic implementation of their general plan for all or part of the area covered by the general plan.

State law requires that any specific plan be consistent with the City's General Plan. As the current Plan area is designated as Specific Plan, the 1450 ASP is in conformance with the General Plan Land Use Map.

RELATIONSHIP TO ZONING ORDINANCE

GMC Title 18 is the Zoning Ordinance, which provides the regulatory tool to implement the land use goals, policies, and actions established by the General Plan. The Zoning Ordinance identifies specific zoning districts in the city and prescribes development standards and regulations that apply to each district.

The Gardena Zoning Map identifies this property as 1450 Artesia Specific Plan. Section 18.08.015 of the Gardena Municipal Code provides that the 1450 Artesia SP zone is intended for a mix of commercial and industrial uses and no development will occur until a specific plan is adopted. This Specific Plan fulfills the requirements of this section and will be adopted by Ordinance to implement the zone.

Where the Zoning Ordinance's regulations, development standards, design guidelines, and/or administrative procedures are inconsistent with this Specific Plan, the Specific Plan regulations, standards, guidelines, and procedures shall supersede. However, any issue not specifically addressed in the 1450 ASP shall be subject to the standards and regulations of the Zoning Ordinance.

SPECIFIC PLAN POLICIES

The policies in this section were established specifically for the 1450 ASP and provide guidance for new development, protection of human health and the environment, and public improvements in the Plan area. These policies apply throughout the 1450 ASP area and supplement the General Plan policies outlined in the consistency analysis below. Development proposals must be consistent with the policies of both the General Plan and this 1450 ASP.

Policy 1: Appropriate Land Use Development. Accommodate the development of land uses that include redevelopment of an underutilized, blighted and environmentally impacted property with economically vibrant industrial and commercial uses while allowing for continued monitoring of remediated areas.

Policy 2: Quality Development. Achieve a long-term high-quality development by improving the aesthetic of the development for both workers and neighboring residents of the City with use of durable materials, pedestrian and streetscape amenities, attention to architectural detail, reduction of non-renewable resources, and limit pollutants and greenhouse gas emissions.

7.2 GENERAL PLAN CONSISTENCY ANALYSIS

The 1450 ASP is consistent with the following General Plan goals and policies:

COMMUNITY DEVELOPMENT ELEMENT - LAND USE PLAN

LU Goal 2: Develop and preserve high quality commercial centers and clean industrial uses that benefit the City's tax base, create jobs and provide a full range of services to the residents and businesses.

LU 2.1: Require ample landscaping and high-level maintenance in all new and existing commercial and industrial developments.

LU 2.2: Encourage the assembly of smaller commercial properties into larger centers and discourage the subdivision of larger commercial/industrial sites into smaller parcels.

Consistency: Consistent with LU Goal 2, the 1450 ASP's objective is to redevelop an underutilized, blighted and environmentally impacted property with nonconforming uses with economically vibrant clean industrial and commercial uses along a major development corridor within the City that will replace the former waste oil and industrial water uses that caused such impacts.

Consistency: Consistent with LU Policy 2.1, the 1450 ASP would require a landscaping plan for new or expanding buildings and structures including a minimum of five percent of total paved area used for driveways and paving outside of areas with mitigation measures in place (i.e., environmental cap), which do not allow for sub-surface disturbance. Further, areas that are not slated for parking or aiseways shall be landscaped and evenly distributed throughout the parking lot. Landscape along arterial and major collector streets (Artesia Boulevard and Normandie Avenue) would be well-designed and consistent with surrounding streets to emphasize the thoroughway adjacent to the site. Therefore, the 1450 ASP would be consistent with this policy.

Consistency: Consistent with LU Policy 2.2, the Project includes redevelopment of mixed-use property comprised of a 268,000 gross-square-foot (GSF) building with associated surface parking, and landscaping and circulation improvements. The proposed development would contain a self-storage use (four levels totaling 186,000 GSF with 1,480 storage units), an industrial warehousing use (one level totaling 72,000 GSF plus ten loading docks), and an office/retail use (a mezzanine totaling 10,000 GSF). The Project would not include the subdivision of larger commercial/industrial sites into smaller parcels and instead, assembles industrial and residential properties into a larger center. Therefore, the 1450 ASP would be consistent with this policy.

LU Goal 3: Provide high quality, attractive and well-maintained commercial, industrial, and public environments that enhance the image and vitality of the City.

LU 3.1: Require adequate off-street parking, internal circulation and loading spaces for commercial developments.

LU 3.2: Encourage the upgrade and rehabilitation of existing commercial and industrial building facades and sites.

LU 3.4: Attract commercial and industrial uses that minimize adverse impacts on surrounding land uses and are economically beneficial to the City in terms of revenue generation and employment opportunities.

LU 3.5: Promote the development and preservation of attractive commercial and industrial development with ample landscape treatment, adequate parking and the full range of customer amenities.

LU 3.6: New commercial and industrial developments shall meet or exceed local and state requirements pertaining to noise, air, water, seismic, safety and any other applicable environmental regulations.

LU 3.7: Require the mitigation or remediation of potentially hazardous conditions in the City.

LU 3.8: Require all outdoor storage to be concealed from view from the public right of ways and adjoining land uses.

LU 3.9: Require loading and unloading of materials to be conducted completely on private property and out of sight from a public street.

LU 3.10: Ensure new development provides adequate improvements, dedications, and fees to the City to fully cover the cost of the City services and facilities.

Consistency: Consistent with LU Goal 3, the 1450 ASP's objective is to redevelop an underutilized, blighted and environmentally impacted property with economically vibrant industrial and commercial uses along a major development corridor at a key entrance intersection of the City. The Project would be required to provide attractive landscaping, which would create an attractive and well-maintained commercial, industrial, and public environment that enhance the image and vitality of the City. Therefore, the 1450 ASP would be consistent with this goal.

Consistency: Consistent with LU Policy 3.1, the 1450 ASP provides off-street parking and loading design standards for the Specific Plan area that are consistent with the GMC and all applicable City requirements and standards. Therefore, the 1450 ASP would be consistent with this policy.

Consistency: Consistent with LU Policy 3.2, the 1450 ASP's objective is to redevelop an underutilized, blighted and environmentally impacted property with economically vibrant industrial and commercial uses along a major development corridor within the City. Therefore, the 1450 ASP would be consistent with this policy.

Consistency: Consistent with LU Policy 3.4, the Project would: redevelop an underutilized, blighted and environmentally impacted property with economically vibrant industrial and commercial uses along a major development corridor within the City; develop appropriate uses in an area with a legacy of contamination in a manner that protects human health and the environment and allows for continued monitoring of remediated areas; produce short-and long-term jobs during the Project's construction and operations phases; generate property and sales tax revenues for the City to enhance its services to the community and infrastructural improvements; and provide the City a substantial monetary public benefit to the City's General Fund. Therefore, the 1450 ASP would be consistent with this goal.

Consistency: As described above, consistent with LU Policy 3.5, the 1450 ASP's objective is to redevelop an underutilized, blighted and environmentally impacted property with economically vibrant industrial and commercial uses along a major development corridor within the City. The Project would be required to provide attractive landscaping, which would create an

attractive and well-maintained commercial, industrial, and public environment that enhance the image and vitality of the City. Therefore, the 1450 ASP would be consistent with this policy.

Consistency: Consistent with LU Policy 3.6 and Policy 3.7, an Environmental Impact Report (EIR) has been prepared and certified in accordance with the provisions of the California Environmental Quality Act (CEQA) as defined by §15161 of the CEQA Guidelines to address the potential environmental effects of the 1450 ASP and greater area within the larger SP area surrounding the Project site, including impacts to noise, air, water, seismic safety, hazards and any other applicable environmental regulations. In conjunction with the EIR, the Project will implement mitigation measures to reduce potential impacts resulting from project implementation to a less-than-significant level [(SCH#2023060263)]. All mitigation measures identified in the EIR are incorporated in this Specific Plan by reference and are in Appendix A to this Specific Plan. Therefore, the 1450 ASP would be consistent with this policy.

Consistency: Consistent with LU Policy 3.8, the 1450 ASP requires outdoor storage and trash receptacles to conceal the views of materials and products from streets and nearby properties. All outdoor storage of facilities for fuel, raw materials, and products shall be concealed from view from adjacent property and public rights-of-way. No material or waste shall be deposited upon a subject lot in such form or manner that it may be transferred off the lot by natural causes or forces. All materials or wastes which might cause fumes or dust, or which constitute a fire hazard, or which may be edible by or otherwise be attractive to rodents or insects shall be stored outdoors only in closed containers. Therefore, the 1450 ASP would be consistent with this policy.

Consistency: Consistent with LU Policy 3.9, the 1450 ASP requires all loading activity including turnaround and maneuvering to be made on-site and contained within designated areas, such as loading zone, loading space, or loading docks. Loading activities should not block designated drive aisles/driveways, passenger vehicle areas, pedestrian paths, and emergency vehicle access. Buildings, structures, and loading facilities shall be designed and placed on the site so that vehicles, whether rear loading or side loading, may be loaded or unloaded without extending beyond the property line. Drive aisles shall be sufficient in length so that no queuing of trucks or delivery vehicles will occur within the public right-of-way. Therefore, the 1450 ASP would be consistent with this policy.

Consistency: Consistent with LU Policy 3.10, all new developments within the City are subject to payment of development impact fees in place at time of submittal. The 1450 ASP and any development it facilitates would be required to pay any applicable fees to the City prior to building permit issuance. Therefore, the 1450 ASP would be consistent with this policy.

COMMUNITY DEVELOPMENT ELEMENT - ECONOMIC DEVELOPMENT PLAN

ED Goal 1: Promote a growing and diverse business community that provides jobs, goods and services for the local and regional market, and maintains a sound tax base for the City.

ED 1.4: Encourage high quality mixed-use development in underutilized commercial and industrial areas where it will improve the City's tax base and image.

ED 1.7: Encourage diversification of businesses to support the local economy and provide a stable revenue stream.

Consistency: Consistent with ED Goal 1, the 1450 ASP's objective is to redevelop an underutilized, blighted and environmentally impacted property with economically vibrant industrial and commercial uses along a major development corridor within the City. The 1450 ASP would facilitate the production of short-and long-term jobs during construction and operation phases. Additionally, the 1450 ASP would generate property and sales tax revenues for the City to enhance its services to the community and infrastructural improvements and would provide the City a substantial monetary public benefit to the City's General Fund. Therefore, the 1450 ASP would be consistent with this goal.

Consistency: Consistent with ED Policy 1.4, the 1450 ASP facilitates a transition of underutilized uses into a revitalized building for warehouse, distribution, office/retail and self-storage mixed-use building. Therefore, the 1450 ASP would be consistent with this policy.

Consistency: Consistent with ED Policy 1.5, the 1450 ASP is located at the corner of Artesia Boulevard and Normandie Boulevard and would facilitate redevelopment of an underutilized, blighted and environmentally impacted property with economically vibrant regional-serving industrial and commercial uses along this major development corridor within the City. Therefore, the 1450 ASP would be consistent with this policy.

Consistency: Consistent with ED Policy 1.7, the 1450 ASP's objective is to redevelop an underutilized, blighted and environmentally impacted property with economically vibrant industrial and commercial uses along a major development corridor within the City. The Project includes redevelopment of mixed-use property comprised of a 268,000 GSF building with associated surface parking, and landscaping and circulation improvements. The proposed development would contain a diverse set of businesses to support the local economy and provide a stable revenue stream, including a self-storage use (four levels totaling 186,000 GSF with 1,480 storage units), an industrial warehousing, and distribution uses (one level totaling 72,000 GSF plus ten loading docks), and an office/retail use (a mezzanine totaling 10,000 GSF). Additionally, the City is proposing to host various medium-size special events on an approximately 36,000-SF portion (0.8 acre) of the proposed industrial use's parking area outside of operational working hours. Therefore, the 1450 ASP would be consistent with this policy.

ED Goal 3: Attract desirable businesses to locate in the City.

ED 3.3: Maintain a multidisciplinary proactive approach to improve the City's image as a desirable business location.

Consistency: Consistent with ED Goal 3, the 1450 ASP facilitates a transition of environmentally impacted property, underutilized uses and blighted areas into a revitalized building for warehouse, distribution, office/retail and self-storage mixed-use building. Further, the Project will facilitate development of appropriate uses in an area with a legacy of contamination in a manner that protects human health and the environment. Therefore, the 1450 ASP would be consistent with this goal.

Consistent with ED policy 3.3, the 1450 ASP adopts a multidisciplinary, proactive approach, supporting the expanding business sector with newly constructed, high-quality storage solutions. Therefore, the 1450 ASP would be consistent with this policy.

COMMUNITY DEVELOPMENT ELEMENT - COMMUNITY DESIGN PLAN

DS Goal 1: Enhance the visual environment and create a positive image of the City.

DS 1.6: Require streetscape development standards for major corridors, including landscaping to reinforce Gardena's community image.

Consistency: Consistent with DS Goal 1, the Project will enhance the visual environment by replacing a light manufacturing parcel with current U-Haul and metal works facility, a vacant parcel with a Department of Toxic Substance Control (DTSC) cap for contaminated sumps, and four residential parcels behind the industrial properties adjacent to the Dominguez Channel with a new modern facility for business storage solutions industrial and distribution development project. The Project will incorporate high-quality design and landscaping consistent with the standards of the 1450 ASP to further enhance the visual environment. Therefore, the 1450 ASP would be consistent with this policy.

Consistent with DS Policy 1.6, the 1450 ASP contains streetscape design standards, including landscaping to foster the City's streetscape and honor landscape setbacks that would reinforce the City's image. Therefore, the 1450 ASP would be consistent with this policy.

DS Goal 4: Achieve high quality design for commercial uses.

Consistent with DS Goal 4, the 1450 ASP contains design principles that will ensure that development activity is integrated, sensitive to surrounding neighborhoods, provides positive imagery, and creates an inviting environment for residents and visitors. Therefore, the 1450 ASP would be consistent with this goal.

DS Goal 5: Improve the aesthetic quality of the industrial environment for both workers and residents of the City.

DS 5.1: Industrial projects should be designed to convey visual interest and a positive image.

DS 5.2: Encourage the design of industrial buildings to consider the visual and physical relationship to adjacent uses. An industrial structure, which dominates the surrounding environment by its relative size, shall be discouraged.

DS 5.3: Industrial projects shall be required to: incorporate landscape setbacks and buffers; aesthetically treat horizontal and vertical design elements on building and perimeter walls; and conceal storage yards, parking, and service areas to minimize visual impacts on the public.

DS 5.4: Long, blank walls should be broken up with vertical and horizontal façade articulation achieved through stamping, colors, materials, modulation and landscaping.

Consistency: Consistent with DS Goal 5, the 1450 ASP facilitates a transition of underutilized and unaesthetic uses into a revitalized, aesthetic mixed-use building for warehouse, office/retail and self-storage uses. The Project will create a modern facility for business storage solution along Artesia Boulevard, which will attract businesses to locate in the City. Further, the Project will redevelop an underutilized, blighted and environmentally impacted property with economically vibrant industrial and commercial uses along a major development corridor, which will help attract businesses to the City. The Project will also facilitate development of appropriate uses in an area with a legacy of contamination in a manner that protects human health and the environment. Therefore, the 1450 ASP would be consistent with this goal.

Consistency: Consistent with DS Policy 5.1, the Project would contain a self-storage use, an industrial warehousing use, and an office/retail use. The 1450 ASP contains development regulations and standards to which the proposed development would be required to adhere, as well as design guidelines, which would ensure the project would be designed to convey visual interest and a positive image. Therefore, the 1450 ASP would be consistent with this policy.

Consistency: Consistent with DS Policy 5.2, the 1450 ASP contains development regulations and standards and design guidelines that ensure that development activity is integrated, sensitive to surrounding neighborhoods, provides positive imagery, and creates an inviting environment for residents of and visitors to the City. Design Principle 2 states, "Improve the aesthetic of the industrial environment for both workers and residents of the City." This Design Principle encourages industrial projects to maintain landscape parkways in decorative parkways of industrial areas including concealing storage yards, parking, and service areas to minimize visual impacts on the public. Further, this Design Principle notes that an industrial structure which dominates the surrounding environment by its relative size shall be discouraged. Therefore, the 1450 ASP would be consistent with this policy.

Consistency: Consistent with DS Policy 5.3, the 1450 ASP contains design guidelines that ensure that development activity is integrated, sensitive to surrounding neighborhoods, provides positive imagery, and creates an inviting environment for residents and visitors. Design Principle 3 states, "Utilize landscaping to beautify Gardena's streets and sidewalks." This Design Principle encourages unifying streetscape elements for major corridors, including landscaping, to foster the City's streetscape and honoring landscape setbacks. Therefore, the 1450 ASP would be consistent with this policy.

Consistency: Consistent with DS Policy 5.4, the 1450 ASP contains design guidelines that ensure that development activity is integrated, sensitive to surrounding neighborhoods, provides positive imagery, and creates an inviting environment for

residents and visitors. Design Principle 4 states, “Incorporate architectural features which will allow for the property to maintain ongoing operations.” This Design Principle encourages industrial building design to consider the visual and physical relationship to adjacent uses. Further, the Design Principle notes that long, blank walls should be broken up with vertical and horizontal façade articulation achieved through stamping, colors, materials, and modulation with fencing allowing for appropriate surrounding uses to continue with ongoing operations and safety. Therefore, the 1450 ASP would be consistent with this policy.

ENVIRONMENTAL JUSTICE ELEMENT

EJ Goal 1: Reduce greenhouse gas emissions, enhance air quality, and reduce impacts associated with climate change.

EJ 1.3: Require the mitigation or remediation of hazardous conditions in the City. (See also Policy LU 3.7)

Consistent with EJ Policy 1.3, 1450 ASP will continue to maintain DTSC oversight of long-term onsite remediation efforts and technologies in place (environmental cap) to ensure safety for public health and the environment. Further, the Project will facilitate development of appropriate uses in an area with a legacy of contamination in a manner that protects human health and the environment. Therefore, the 1450 ASP would be consistent with this goal.

EJ Goal 3: Promote access to healthy food and nutritional choices.

EJ 3.3: Encourage the establishment and operation of a farmer’s markets, farm stands, mobile health food markets, and Community-Supported Agriculture programs.

Consistent with Goal 3 and Policy 3.3, City-sponsored special events will be permitted as part of permitted uses for the Plan area. A total of approximately 36,000-SF portion (0.8 acre) of the proposed industrial use’s parking area will be used for special events approximately two to three times per month including food trucks farmer’s markets, and food giveaways. This will further Policy 3.3 with a specific location to establish healthy food choices within the City.

COMMUNITY RESOURCES ELEMENT -CONSERVATION PLAN

CN Goal 2: Conserve and protect groundwater supply and water resources.

CN 2.2: Comply with the water conservation measures set forth by the California Department of Water Resources.

CN 2.6: Encourage and support the proper disposal of hazardous waste and waste oil. Monitor businesses that generate hazardous waste materials to ensure compliance with approved disposal procedures.

Consistent with CN Goal 2 and its supporting policies, the project conserves and protects groundwater supply and water resources through compliance with all applicable regulations, including the water conservation measures set forth by the Department of Water Resources. Additionally, due to the prior use of the site, an infiltration BMP is not considered feasible for the Project and will not be used since it has a high potential of transporting contamination to the groundwater. This will protect the groundwater below the Project site. Therefore, the 1450 ASP would be consistent with this goal.

Consistent with Policy 2.2, the Project must comply with all water conservation measures set forth by the California Department of Water Resources. Further, according to the Project’s Preliminary Hydrology and Low Impact Development (LID) Report, all common landscape irrigation shall employ water conservation principals, including, but not limited to, provisions such as water sensors and programmable irrigation times for short cycles. Therefore, the 1450 ASP would be consistent with this policy.

Consistent with Policy 2.6, the Project must comply with all applicable regulations regarding the disposal of hazardous waste and waste oil during construction. Therefore, the 1450 ASP would be consistent with this policy.

CN Goal 4: Conserve energy resources through the use of technology and conservation methods.

CN 4.1: Encourage innovative building designs that conserve and minimize energy consumption.

CN 4.2: Require compliance with Title 24 CALGreen regulations to conserve energy.

Consistent with Goal 4 and Policy 4.1, the 1450 ASP facilitates warehouse, office/retail and self-storage mixed-use development meets high standards of environmental sustainability. Development within the Specific Plan area must be designed to achieve best practices for architectural design and land development that enhance the City's infrastructure, reduce consumption of non-renewable resources, and limit pollutants and greenhouse gas emissions. Therefore, the 1450 ASP would be consistent with this policy.

Consistent with Policy 4.2, projects within the 1450 ASP will conform to the most recent CALGreen sustainability standards in effect at the time of building plan submission. Therefore, the 1450 ASP would be consistent with this policy.

CN Goal 5: Protect the City's cultural resources.

CN 5.3: Protect and preserve cultural resources of the Gabrielino Native American Tribes found or uncovered during construction.

Consistent with Goal 5 and its supporting policies, the project will incorporate mitigation measures to protect and preserve any cultural resources of the Gabrielino Native American Tribe, or any other Tribe, found or uncovered during construction. Therefore, the 1450 ASP would be consistent with this policy.

CONSERVATION PLAN COMMUNITY SAFETY ELEMENT - PUBLIC SAFETY PLAN

PS Goal 1: A community that is highly prepared and equipped to handle emergency situations in order to minimize loss of life, injury, property damage, and disruption of vital services.

PS 1.7: Ensure that law enforcement, crime prevention, and fire safety concerns are considered in the review of planning and development proposals in the City.

Consistent with Goal 1 and Policy 1.7, the City has considered law enforcement, crime prevention, and fire safety concerns in its review of the 1450 ASP. The Project will comply with all applicable Fire Code and fire safety regulations. Therefore, the 1450 ASP would be consistent with this policy.

PS Goal 2: A City that is adequately prepared for fire emergencies.

PS 2.2: Require that all buildings and facilities within Gardena comply with local, state, and federal regulatory standards such as the California Building and Fire Codes as well as other applicable fire safety standards.

Consistent with PS Goal 2 and Policy 2.2, all projects within the 1450 ASP are required to comply with the local, state, and federal regulatory standards such as the California Building and Fire Codes as a condition of building permit approval. Therefore, the 1450 ASP would be consistent with this policy.

PS Goal 3: Protect the community from dangers associated with geologic instability, seismic hazards and other natural hazards.

PS 2.3: Require compliance with seismic safety standards in the California Building Code, as adopted and amended.

PS 2.4: Require geotechnical studies for all new development projects in the City, including those located in an Alquist-Priolo Earthquake Fault Zone or areas subject to liquefaction.

Consistent with Policy 2.3, all projects within the 1450 ASP are required to comply with the seismic safety standards in the California Building Code. Therefore, the 1450 ASP would be consistent with this policy.

Consistent with Policy 2.4, a geotechnical study was prepared for the Specific Plan area and the Project is required to comply with all recommendations contained therein. Therefore, the 1450 ASP would be consistent with this policy.

COMMUNITY SAFETY ELEMENT - NOISE PLAN

N Goal 2: Incorporate noise considerations into land use planning decisions.

N 2.4: Require mitigation of all significant noise impacts as a condition of project approval.

N 2.5: Require proposed projects to be reviewed for compatibility with nearby noise-sensitive land uses with the intent of reducing noise impacts.

Consistent with Goal 2, the City incorporated noise considerations into its review of the Specific Plan. Consistent with Policy 2.4 the EIR analyzed the Project's potential for generating noise impacts on the surrounding environment both during construction and operation; mitigation measures are included to mitigate noise impacts to the extent feasible. Consistent with Policy 2.5, the Project will conduct interior noise level studies and achieve interior noise level standards as required by the Building Code. Therefore, the 1450 ASP would be consistent with this policy.

N Goal 3: Develop measures to control non-transportation noise impacts.

N 3.2: Require compliance with noise regulations. Review and update Gardena's policies and regulations affecting noise.

N 3.3: Require compliance with construction hours to minimize the impacts of construction noise on adjacent land.

Consistent with Policy 3.2, the Project complies with the City's noise ordinance. Consistent with Policy 3.3, the Project complies with the City's regulations regarding permitted construction hours. Therefore, the 1450 ASP would be consistent with this policy.

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8.0 IMPLEMENTATION

8.1 PHASING PLAN

The project proposed under the 1450 ASP is envisioned to be built in one phase. Phased occupancy of the Project is permitted as approved by the Building Official.

8.2 PLAN REVIEW PROCESS

Development in the 1450 ASP will be implemented through City review of site plans, plot plans, building permits, and other permits that may be required by the City of Gardena. Site Plans, including new construction or modifications to existing buildings, shall be reviewed by the Planning Commission for conformance with the General Plan, this Specific Plan, the Zoning Ordinance (if not superseded by this Specific Plan), and all other applicable documents. The Community Development Director may approve minor modifications to the approved Site Plan.

8.3 CEQA REVIEW

For any subsequent discretionary approvals requiring further CEQA review, the City as lead agency will rely on the certified EIR, together with any necessary errata, addenda or subsequent or supplemental environmental documents to the fullest extent permitted by CEQA.

8.4 INFRASTRUCTURE IMPROVEMENTS/COORDINATION

The developer and/or property owner shall be responsible for making transportation and infrastructure utility improvements identified as part of the 1450 ASP. All improvements shall be to the specifications of the City Community Development Department, Public Works, or another applicable department.

8.5 FINANCING MEASURES

Implementation and financing of improvements of the 1450 ASP depend exclusively on private investment and development. The developer and/or property owner shall be responsible for financing the Project, including all improvements and mitigation measures.

8.6 ADMINISTRATION OF PLAN

FRAMEWORK

Approval of the 1450 ASP indicates acceptance by the Gardena City Council of a specific framework for the development of the Specific Plan area. That framework establishes specific developer and/or property owner shall be responsible for making transportation and infrastructure utility improvements identified as part of the 1450 ASP. All improvements shall be to the specifications of the City Community Development Department, Public Works, or another applicable department. standards and regulations, including permitted uses and development standards that constitute the zoning regulations for the Specific Plan area and regulate development within the area.

REVIEW AUTHORITY

The Community Development Director and City Planning Commission shall administer the 1450 ASP in accordance with the GMC provisions, except to the extent superseded by the provisions of this Specific Plan.

INTERPRETATION

In case of uncertainty or ambiguity to the meaning or intent of any provision of this Specific Plan, the Community Development Director has the authority to interpret the intent of the provision in question. The Director may, at his/her discretion, refer interpretations to the Planning Commission for consideration and action. Such a referral shall be accompanied by a written analysis of issues related to the interpretation. All interpretations made by the Community Development Director may be appealed to the Planning Commission in accordance with the appeal procedures set forth in GMC Title 18. When used in this 1450 ASP, the words "shall" and "must" are always to be construed as mandatory. The word "should," as used in the design guidelines section of this plan, is not to be construed as mandatory but rather, as strongly recommended.

The 1450 ASP is not intended to interfere with, abrogate, or annul any easement, covenant, or other agreement to which the City is a party.

Where the Zoning Ordinance's regulations, development standards, design guidelines, and/or administrative procedures are inconsistent with this Specific Plan, the Specific Plan regulations, standards, guidelines, and procedures shall supersede and control. However, any issue not specifically addressed in the 1450 ASP shall be subject to the standards and regulations of the Zoning Ordinance.

SEVERABILITY

If any section, subsection, sentence, clause, or phrase of this Specific Plan, or future amendments or additions hereto, is for any reason held to be invalid or unconstitutional by the decision of any court, such decision shall not affect the validity of the remaining portions of the Specific Plan.

SUBSTANTIAL CONFORMANCE

Substantial Conformance allows for administrative approval and interpretation of minor modifications to the Specific Plan text, graphics, and/or project design that do not change the Specific Plan's meaning or intent. Through this administrative review process the Community Development Director may find the project to be in substantial conformance with the Specific Plan and the Site Plan Review approval provided no significant modifications are proposed that require a Specific Plan amendment, as described in detail below.

SPECIFIC PLAN AMENDMENT

Amendments to this Specific Plan shall be processed for “significant” modifications in accordance with the applicable provisions of state law provided in California Government Code sections 65450 et seq. The procedures in GMC Section 18.39.030 shall be followed for a proposed Specific Plan amendment. Each request for amendment shall specify the sections or portions of the Specific Plan that are affected by the amendment.

Any proposed “significant” modification which results in any of the following requires an amendment to the Specific Plan:

1. Any change in the permitted uses set forth in Chapter 5, Section I of this Specific Plan.
2. An increase in building height.
3. Any decrease in any ground floor side yard building setback.
4. A decrease in the amount of vehicular parking within the Specific Plan area by more than three spaces.
5. A substantial deviation, as determined by the Community Development Director, from the architecture approved in the Site Plan.

Other than the “significant” modifications listed above that require a Specific Plan Amendment, all other modifications to the project are considered “minor” and may be processed via administrative Substantial Conformance review and approval.