GARDENA CITY COUNCIL

Regular Meeting Notice and Agenda

Council Chamber at City Hall
1700 West 162nd Street, Gardena, California
Website: www.cityofgardena.org

Tuesday, April 12, 2022
Open Session 7:30 p.m.

TASHA CERDA, *Mayor*
RODNEY G. TANAKA, *Mayor Pro Tem*
PAULETTE C. FRANCIS, *Council Member*
ART KASKANIAN, *Council Member*
MARK E. HENDERSON, *Council Member*

MINA SEMENZA, *City Clerk*
J. INGRID TSUKIYAMA, *City Treasurer*
CLINT OSORIO, *City Manager*
CARMEN VASQUEZ, *City Attorney*
LISA KRANITZ, *Assistant City Attorney*
PETER L. WALLIN, *Deputy City Attorney*

In order to minimize the spread of the COVID 19 virus Governor Newsom has signed AB 361. Please be advised that the Council Chambers are closed to the public and that some, or all, of the Gardena City Council Members may attend this meeting telephonically.

If you would like to participate in this meeting, you can participate via the following options:

1. VIEW THE MEETING live on SPECTRUM CHANNEL 22 or ONLINE at youtube.com/CityofGardena

2. PARTICIPATE BEFORE THE MEETING by emailing the Deputy City Clerk at publiccomment@cityofgardena.org by 5:00p.m. on the day of the meeting and write "Public Comment" in the subject line.

3. PARTICIPATE DURING THE MEETING VIA ZOOM WEBINAR

    - https://us02web.zoom.us/j/82425981009
      Phone number: US: +1 669 900 9128, Meeting ID: 824 2598 1009
      Press *9 to Raise your Hand and *6 to unmute when prompted.

    - If you wish to speak live on a specific agenda item during the meeting you, may use the “Raise your Hand” feature during the item you wish to speak on. For Non-Agenda Items, you would be allowed to speak during Oral Communications, and during a Public Hearing you would be allowed to speak when the Mayor opens the Public Hearing. Members of the public wishing to address the City Council will be given three (3) minutes to speak.

4. The City of Gardena, in complying with the Americans with Disabilities Act (ADA), requests individuals who require special accommodations to access, attend and/or participate in the City meeting due to disability, to please contact the City Clerk's Office by phone (310) 217-9565 or email bromero@cityofgardena.org at least 24 business hours prior to the scheduled general meeting to ensure assistance is provided. Assistive listening devices are available.

The City of Gardena thanks you in advance for taking all precautions to prevent spreading the COVID 19 virus.

STANDARDS OF BEHAVIOR THAT PROMOTE CIVILITY AT ALL PUBLIC MEETINGS

- Treat everyone **courteously**;
- Listen to others **respectfully**;
- Exercise **self-control**;
- Give **open-minded** consideration to all viewpoints;
- Focus on the issues and **avoid personalizing debate**; and
- **Embrace respectful disagreement** and dissent as democratic rights, inherent components of an inclusive public process, and tools for forging sound decisions.

Thank you for your attendance and cooperation

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1. **ROLL CALL**

PUBLIC COMMENT ON CLOSED SESSION

The City Council will hear from the public only on the items that have been described on this agenda (GC §54954.3)

2. **CLOSED SESSION**

3. **PLEDGE OF ALLEGIANCE**

4. **INVOCATION**

   Presented by Mayor Pro Tem Rodney G. Tanaka

5. **PRESENTATIONS**

   5.A Certificate of Recognition to Roy Kim in Appreciation of His Service to the Community as a Member of the Human Services Commission
   Presentation - Roy Kim - Human Services Commission.pdf

6. **PROCLAMATIONS**

   6.A "DMV / DONATE LIFE MONTH," April 2022
   DMV - Donate Life - 2022.pdf

   6.B "CHALLENGE THE NORM AND INFLUENCE OF MARIJUANA USE ON YOUTH DAY." April 20, 2022
   4-20 Challenge the Norm-Influence of Marijuana on Youth Day-2022.pdf

7. **APPOINTMENTS**

   7.A Council Appointments to Commissions, Committees, Councils and Boards (Appointees to be Ratified and Sworn In)

   Human Services Commission - Tamoh Amoa (King Nat) Jr.
   (Appointed by Mayor Cerda)

8. **CONSENT CALENDAR**

NOTICE TO THE PUBLIC - Roll Call Vote Required On The Consent Calendar
All matters listed under the Consent Calendar will be enacted by one motion unless a Council Member requests Council discussion, in which case that item will be removed from the Consent Calendar and considered separately following this portion of the agenda.

8.A Waiver of Reading in Full of All Ordinances Listed on This Agenda and that they Be Read by Title Only
CONTACT: CITY CLERK

8.B Approve Minutes:
Regular Meeting of the City Council, March 22, 2022
Special Closed Session of the City Council, March 28, 2022
CONTACT: CITY CLERK
03222022 REGULAR Minutes Gardena CC Meeting - FINAL.docx
03282022 Special Closed Session CC Meeting Minutes - FINAL.docx

8.C Approval of Warrants/Payroll Register, April 12, 2022
CONTACT: CITY TREASURER
Consent Calendar Memo 04-12-22.pdf

8.D Monthly Portfolio, February 2022
CONTACT: CITY TREASURER
February 2022 Investment Report.pdf

8.E Personnel Report P-2022-7 4-12-22
CONTACT: HUMAN RESOURCES
PERS RPT P-2022-7 4-12-22.doc
ADMINISTRATIVE COORDINATOR JOB SPECIFICATION.doc
Classification and Compensation Schedule - Effective April 12, 2022.pdf
CERTIFIED NURSING ASSISTANT JOB SPECIFICATION.doc
COMMUNITY AIDE I JOB SPECIFICATION.doc
COMMUNITY AIDE II JOB SPECIFICATION.doc
COMMUNITY AIDE III JOB SPECIFICATION.doc
GERIATRIC AIDE JOB SPECIFICATION.doc
NUTRITION SERVICES COORDINATOR JOB SPECIFICATION.doc
SENIOR CITIZENS SOCIAL SERVICES COORDINATOR JOB SPECIFICATION.doc

8.F RESOLUTION NO. 6571 Amending the List of Authorized Games and Authorizing the Play of Certain Games in Licensed Card Clubs
CONTACT: CITY MANAGER
Resolution No. 6571.pdf
Flynt's- GEGR-001803 1 Three Card Poker 6 Card Bonus APPROVAL GEGM-000780 (002).pdf

8.G RESOLUTION NO. 6572, Making the legally required findings to Re-Authorize the use of Teleconferencing in accordance with Assembly Bill 361 for meetings of the Gardena City Council and other Commissions, Committees and Boards subject to State open meeting laws.
CONTACT: CITY MANAGER
RESO NO 6572.pdf

8.H Award engineering design services for the Budlong Avenue and Halldale Avenue Street Improvements Project, JN985, in the amount of $123,865 to Kreuzer Consulting Group.
CONTACT: PUBLIC WORKS
RFP JN 0985 Budlong .pdf
KCG Budlong Halldale Proposal.pdf
Kreuzer Consulting Group - Signed .pdf

8.I Approve Contract Increases with MACRO, a Division of Ross & Baruzzini for GTrans Scheduling and Operations Management Project and GTrans Real-Time Information Deployment Project (GRID)
CONTACT: TRANSPORTATION
GTrans Proposal 20220406 R002.pdf
GTrans Cost Estimate to Complete SOMPIS.pdf
GTrans Cost Estimate to Complete GRID.pdf
10-22-2019 MACRO Agmt-1st Amendment EXECUTED.pdf
12102019 Council Meeting - MACRO Contract.pdf
12-10-2019 2nd Amendment to Consultant Agmt - MACRO Fully Executed.pdf

9. **EXCLUDED CONSENT CALENDAR**

10. **PLANNING & ENVIRONMENTAL QUALITY COMMISSION ACTION SHEET**

ORAL COMMUNICATIONS (LIMITED TO A 30-MINUTE PERIOD)

Oral Communications by the public will be heard for one-half hour at or before 8:30 p.m. or at the conclusion of the last agenda item commenced prior to 8:30 p.m. Oral Communications not concluded at that time shall be resumed at the end of the meeting after Council Reports. Speakers are to limit their remarks to three minutes, unless extended by the Mayor. An amber light will appear to alert the speaker when two minutes are complete, and a red light will appear when three minutes are over. Your cooperation is appreciated.

11. **DEPARTMENTAL ITEMS - ADMINISTRATIVE SERVICES**

11.A Approve Contract with TCS Risk Management Services for Third Party Administrator (TPA) Selection Process for Worker's Compensation Claims Administration

Staff Recommendation: Approve Contract
Agreement between Gardena and TCS Risk Management Services LLC.pdf

11.B Capital Improvement Project Update

Staff Recommendation: Receive and File
April_12_2022_City_Council_Meeting-_CIP_Update_thru_12-31-2021.pdf

12. **DEPARTMENTAL ITEMS - COMMUNITY DEVELOPMENT**

12.A PUBLIC HEARING: RESOLUTION 6570, Upholding the Decision of the Planning Commission Approving Site Plan Review #5-21, Conditional Use Permit #5-21, and Conditional Use Permit #6-21 to Develop A 121-Unit Single Room Occupancy Housing Development, With Seven Affordable Units, and Two, Six-Tier Automated Parking Structures on a One-Acre Property in the M-1 (Industrial) Zone with, and Directing Staff to File A Notice of Exemption for a Class 32 In-Fill Development **Or** Reversing the Decision and Denying the Applications
APPLICANT: West Realty Group, Inc., Lee Johnson
LOCATION: 13126 South Western Avenue

Staff Recommendation: Open the public hearing and take additional testimony from the applicant and public, close the public hearing and discuss the matter, take one of the following courses of action:

- **Option 1 - Adopt Resolution No. 6570, denying the project; OR**
- **Option 2 - Make a motion to rescind the previous action on this matter denying the project and adopt Resolution No. 6570 approving the project**

Staff Report.pdf
Attachment A - Architectural Plans .pdf
Attachment B - Planning Commission packet dated February 15, 2022
Attachment C - City Council staff report of March 22, 2022.pdf
Attachment D - Resolution No. 6570, denying the project.pdf
Attachment - E - Resolution No. 6570 with Exhibits, approving the project
Attachment F - Additional project materials provided by the Applicant.pdf

13. **DEPARTMENTAL ITEMS - ELECTED & CITY MANAGER'S OFFICES**

13.A COVID-19 Updated

14. **DEPARTMENTAL ITEMS - POLICE**

15. **DEPARTMENTAL ITEMS - PUBLIC WORKS**

15.A Approve and authorize Director of Public Works to execute an Authorization for Crossing Improvements between the City of Gardena and Union Pacific Railroad (UPRR) for the Artesia Boulevard Arterial Improvement Project JN 935.

Staff Recommendations: Authorize the Director of Public Works to execute an Authorization for Crossing Improvements with UPRR.
GardenaUPRRAgreement-220222 CAtty.pdf

15.B Award Construction Contract for the Pedestrian Safety Improvement FY 2021-2022 Project, JN 993, to Ruiz Concrete and Paving, Inc., in the amount of $285,635.00, Declare California Environmental Quality Act (CEQA) Exemption, Approve the Project Plans & Specifications and Budget Contingency.

Staff Recommendation:

- **Award Construction Contract.**
- **Declare CEQA Exemption.**
- **Approve the Project Plans and Specifications.**
- **Approve Expenditures of Remaining Budget as Contingency.**

Contract Bid Docs and Specs - JN 993.pdf
Signed Plans - JN 993.pdf
NOE - JN 993.pdf
Project Location Map - JN 993.pdf

16. **DEPARTMENTAL ITEMS - RECREATION & HUMAN SERVICES**

17. **DEPARTMENTAL ITEMS - TRANSPORTATION**

18. **COUNCIL ITEMS**

19. **COUNCIL DIRECTIVES**

20. **CITY MANAGER REMARKS RE: DIRECTIVES / COUNCIL ITEMS**

21. **COUNCIL REMARKS**

    1. COUNCIL MEMBER FRANCIS
    2. MAYOR PRO TEM TANAKA
    3. COUNCIL MEMBER KASKANIAN
    4. MAYOR CERDA
    5. COUNCIL MEMBER HENDERSON

22. **ANNOUNCEMENT(S)**

23. **REMEMBRANCES**

Mr. Roy Jackson, 75 years of age, a Veteran and a Gardena resident. Mr. Jackson was also a client of the Senior Meals Program; **Mrs. Hideko Kawahara,** 92 years of age, long time Gardena resident and a client of the Senior Meals Program, she is survived by her husband Herbert; **Mrs. Blanca Almeida,** 88 years of age, Mrs. Almeida was a client of the City of Gardena's Senior Citizen Day Care Center; **Doctor Alfonso Baez,** who had his medical practice in the City of Gardena, and served the Gardena community for over 40 years**;** and **Mr. IL Koo Lee**, 89 years of age, beloved grandfather of Katherine Rhee, Records Management Coordinator with the City Clerk's Office.

24. **ADJOURNMENT**

The Gardena City Council will adjourn to the Closed Session portion of the City Council Meeting at 7:00 p.m. followed by the Regular City Council Meeting at 7:30 p.m. on Tuesday, April 26, 2022.

I hereby certify under penalty of perjury under the laws of the State of California that the foregoing agenda was posted in the City Hall lobby not less than 72 hours prior to the meeting. A copy of said Agenda is available on our website at www.CityofGardena.org.

Dated this 8th day of April, 2022

/s/ MINA SEMENZA
MINA SEMENZA, City Clerk

Certificate of Recognition

presented to

Roy Kim

In official acknowledgment and genuine appreciation of over 2 years of exemplary, dedicated community leadership and service as a

Member

Human Services Commission

We, the Mayor and Members of the City Council of the City of Gardena, California, do hereby deem it a distinct honor and pleasure to commend you for your efforts and to extend sincere best wishes for good health, happiness, and well-deserved success in all future endeavors.

Presented this 12th day of April, 2022

Mayor Tasha Cerda

Councilmember Rodney G. Tanaka

Councilmember Mark E. Henderson

Councilmember Art Kaskanian

Councilmember Paulette C. Francis

PROCLAMATION

Whereas, organ, eye, tissue, marrow, and blood donations are life-giving acts recognized worldwide as expressions of compassion to those in need; and millions of lives are saved and healed each year because of these donations; and

Whereas, more than 100,000 individuals nationwide and more than 20,000 in California are currently on the national organ transplant waiting list and, on average, 17 people die each day while waiting due to the shortage of donated organs; and

Whereas, the need for donated organs is especially urgent in Hispanic, Latino, and African American communities, and a single individual's donation of the heart, lungs, liver, kidneys, pancreas and small intestine can save up to eight lives; and

Whereas, donations of tissue can save and heal the lives of more than 75 people, and deceased organ donors saved more than 40,000 lives last year, the most ever; and

Whereas, any person can register to be an organ, eye and tissue donor regardless of age or medical conditions, and over seventeen million Californians have signed up with the state-authorized Donate Life California Donor Registry to ensure their wishes to be organ, eye, and tissue donors are honored; and

Whereas, California residents can sign up with the Donate Life California Donor Registry online, or when applying for or renewing their driver's licenses or I.D. cards at the California Department of Motor Vehicles.

Now, Therefore, I, TASHA CERDA, MAYOR OF THE CITY OF GARDENA, CALIFORNIA, do hereby proclaim **APRIL 2022**, to be

DMV/Donate Life California Month

in the City of Gardena and encourage all Californians to check "YES!" when applying for or renewing their driver's license or I.D. card, or by signing up at www.donateLIFEcalifornia.org or www.doneVIDAcalifornia.org

Tasha Cerda

MAYOR

Dated: 12th Day of April, 2022

PROCLAMATION

WHEREAS, the unfolding of historical events dating back to the 1970s has closely associated the day of April 20 or "4/20" with the culture of marijuana use, especially here in the United States; and

WHEREAS, the Compassionate Use Act of 1996 and Proposition 64 were initiative statutes that paved the way for legalizations of medical and recreational marijuana in the state of California; and

WHEREAS, legalization effectively would perpetuate the culture that promotes marijuana use, thereby resulting in increased social acceptance and accompanying decreased perception of harm; and

WHEREAS, a critical issue that lies at the core of this phenomenon is increased youth access to marijuana at alarming rates; further, most recent findings of community assessments conducted by the Substance Abuse Prevent and Control (SAPD) of the Los Angeles County Department of Public Health within its Service Planning Area (SPA) which includes the City of Gardena, show that 59%of those surveyed perceived it to be very easy/somewhat easy to get marijuana on the street and 23% perceived marijuana use in their neighborhood to be a major problem; and

WHEREAS, the same assessment study establishes the mean age of initiating marijuana use among users within SPA 8 to be 16.7 years, which is younger than the legal age of 21 years for possession and use.

NOW, THEREFORE, I, TASHA CERDA, MAYOR OF THE CITY OF GARDENA, CALIFORNIA, do hereby proclaim **APRIL 20, 2022 ("4/20")**, to be

CHALLENGE THE NORM AND INFLUENCE OF MARIJUANA USE ON YOUTH DAY

to call on a united Gardena to undertake concerted actions to inform and educate youth and adults about the harmful effects of marijuana use on individual and public health, especially on the development of the brain, as well as regarding social costs in terms of injuries, loss of lives, and destruction of public and private property that occur as a result of impaired driving.

Tasha Cerda

MAYOR

Dated: 12th day of April, 2022

MINUTES
Regular Meeting of the
Gardena City Council
Tuesday, March 22, 2022

In order to minimize the spread of the COVID 19 virus, Governor Newsom has signed Assembly Bill 361. Please be advised that the Council Chambers are closed to the public and that some, or all, of the Gardena City Council Members may attend this meeting telephonically.

The Regular Meeting Notice and Agenda of the Gardena City Council of the City of Gardena, California, was called to order at 7:02 PM on Tuesday, March 22, 2022 via Zoom, Mayor Tasha Cerda presiding.

1. ROLL CALL

Present: Mayor Tasha Cerda; Mayor Pro Tem Rodney G. Tanaka; Council Member Mark E. Henderson; Council Member Art Kaskanian; and Council Member Paulette C. Francis; Other City Officials and Employees present: City Manager Clint Osorio; City Attorney Carmen Vasquez; and City Clerk Mina Semenza.

At 7:03 p.m., the City Council recessed into Closed Session via Microsoft Teams, with the following in attendance: Mayor Tasha Cerda; Mayor Pro Tem Rodney G. Tanaka; Council Member Mark E. Henderson; Council Member Art Kaskanian; Council Member Paulette C. Francis. Other City Officials and Employees present City Manager Clint Osorio; City Attorney Carmen Vasquez; and Director of Administrative Services Ray Beeman.

PUBLIC COMMENT ON CLOSED SESSION ***- None***

2. CLOSED SESSION

2.A CONFERENCE WITH LABOR NEGOTIATORS
Government Code Section 54957.6
Agency Designated Representative: Clint Osorio, City Manager
Employee Organizations:

1. Gardena Police Officers Association (GPOA), Matt Hassoldt, Association President
2. Gardena Management Employees Organization (GMEO), Vicky L. Barker, Attorney
3. Gardena Municipal Employees Association (GMEA), Fred G. Quiel, Attorney
4. Confidential / Unrepresented Employees

Mayor Cerda reconvened the meeting to the Regular Open Session at 7:32 p.m., and the City Clerk noted the return of all Council Members, who were present at the meeting. When City Attorney Vasquez was asked if there was any reportable action from Closed Session, she stated that staff was provided with direction, but no reportable action had been taken.

3. PLEDGE OF ALLEGIANCE

Principal Gina Barnett of Purche Elementary shared audio of Zora Bass and Gracie Ngatcha, who led us in the Pledge of Allegiance. Both students attend Purche Avenue Elementary School. Zora was chosen to lead in the Pledge of Allegiance because she shows leadership and responsibility and is a bright and outgoing student who is enrolled in the magnet program. Gracie was chosen to lead in the Pledge of Allegiance because she is eager to learn, she participates in classroom discussions, and enjoys collaborating and sharing ideas with her peers.

4. INVOCATION

Mayor Pro Tem Rodney G. Tanaka led the Invocation.

5. PRESENTATIONS ***- None***

6. PROCLAMATIONS

6.A "Fair Housing Month," April 2022
- was proclaimed by Mayor Cerda

7. APPOINTMENTS ***- No Appointments were made***

8. CONSENT CALENDAR

8.A Waiver of Reading in Full of All Ordinances Listed on This Agenda and that they Be Read by Title Only
CONTACT: CITY CLERK

8.B Approve Minutes:
Regular Meeting of the City Council, March 8, 2022
CONTACT: CITY CLERK

8.C Personnel Report P-2022-6 3-22-22
CONTACT: HUMAN RESOURCES

8.D Approval of Warrants/Payroll Register, March 22, 2022
CONTACT: CITY TREASURER

March 22, 2022: Wire Transfer: 12137-12140; Prepay: 166621-166624; Check Nos. 166625 - 166793 – for a total Warrants issued in the amount of $5,638,532.07 Total Payroll Issued for March 11, 2022: $1,564,492.24.

8.E RESOLUTION NO. 6567, Re affirming Proclamation and Resolution No. 6441, which declared the Existence of a Local Emergency
CONTACT: CITY MANAGER

RESOLUTION NO. 6567

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GARDENA, CALIFORNIA, REAFFIRMING PROCLAMATION AND RESOLUTION 6441 WHICH DECLARED THE EXISTENCE OF A LOCAL EMERGENCY

8.F RESOLUTION NO. 6568, Making the legally required findings to Re-Authorize the use of Teleconferencing in accordance with Assembly Bill 361 for meetings of the Gardena City Council and other Commissions, Committees and Boards subject to State open meeting laws.
CONTACT: CITY MANAGER

RESOLUTION NO. 6568

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GARDENA, CALIFORNIA, MAKING THE LEGALLY REQUIRED FINDINGS TO RE-AUTHORIZE THE USE OF TELECONFERENCING IN ACCORDANCE WITH ASSEMBLY BILL 361 FOR MEETINGS OF THE GARDENA CITY COUNCIL AND OTHER COMMISSIONS, COMMITTEES AND BOARDS SUBJECT TO STATE OPEN MEETING LAWSO. 6567 A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GARDENA, CALIFORNIA, REAFFIRMING PROCLAMATION AND RESOLUTION 6441 WHICH DECLARED THE EXISTENCE OF A LOCAL EMERGENCY

8.G Annual Housing Element Progress Report 2021
CONTACT: COMMUNITY DEVELOPMENT

8.H Award Construction Contract for Installation of GTrans On -Street Bus Signal Priority System Project, JN 510, to Elecnor Belco Electric, Inc. for $83,693.00, and Authorize a Project Total of $96,247
CONTACT: TRANSPORTATION

This Item was pulled by Council Member Francis and put into the Excluded Consent Calendar.

It was moved by Council Member Francis, seconded by Council Member Henderson, and carried by the following roll call vote to Approve all Items on the Consent Calendar with the exception of Item 8.H:

Ayes: Council Members Francis, Henderson, Mayor Pro Tem Tanaka, and Council Member Kaskanian, and Mayor Cerda
Noes: None
Absent: None

9. EXCLUDED CONSENT CALENDAR

8.H TRANSPORTATION - Award Construction Contract for Installation of GTrans On-Street Bus Signal Priority System Project, JN 510, to Elecnor Belco Electric, Inc. for $83,693.00, and Authorize a Project Total of $96,247
This Item was pulled by Council Member Francis

Council Member Francis asked for clarification of the On-street Bus Signal Priority System Project: What is it going to do or how will it help? Also, asked about the fees, traffic and was there any particular reason why Western corridor and Vermont corridor was chosen as opposed to others, and wanted confirmation if other cities have this project as well.

City Manager Osorio and Director of Transportation Ernie Crespo came into the meeting and explained what the project consist of and answered Council Member Francis questions.

It was moved by Council Member Francis, seconded by Council Member Kaskanian, and carried by the following roll call vote to Approve Item 8.H:

Ayes: Council Members Francis, Kaskanian, Mayor Pro Tem Tanaka and Council Member Henderson, and Mayor Cerda
Noes: None
Absent: None

10. PLANNING & ENVIRONMENTAL QUALITY COMMISSION ACTION SHEET

10.A March 15, 2022 MEETING

Conditional Use Permit #1-22

The Planning Commission considered CUP #1-22 to allow the on- site sale and consumption of beer and wine to an existing restaurant located in the General Commercial (C -2) zone, per section 18.30.030.A of the Gardena Municipal Code and direct staff to file a Notice of Exemption as an existing facilities project.

Commission Action: The Planning Commission approved Resolution No. PC 6-22, approving Conditional Use Permit #1-22 subject to the attached Conditions of Approval and directing staff to file a Notice of Exemption to CEQA Section 15061(b)(3).

City Council Action: Receive and file or Call for Review (By way of two votes from the City Council)

Council Member Francis called for review – no second.

Received and Filed

10.B March 15, 2022 Meeting

Conditional Use Permit #2-22

The Planning Commission considered CUP #2-22 to allow the on- site sale and consumption of beer and wine to an existing restaurant located in the General Commercial (C -2) zone, per section 18.30.030.A of the Gardena Municipal Code and direct staff to file a Notice of Exemption as an existing facilities project.

Commission Action: The Planning Commission approved Resolution No. PC 7-22, approving Conditional Use Permit #2-22 subject to the attached Conditions of Approval and directing staff to file a Notice of Exemption to CEQA Section 15061(b)(3).

City Council Action: Receive and File or Call for Council Review (By way of two votes from the City Council)

Council Member Francis called for review – no second

Received and Filed

ORAL COMMUNICATIONS

1. Melanie Silverberg, Outreach Coordinator with Fair Housing Foundation, thanked the City for joining them in celebrating Fair Housing Month and acknowledging its importance and is very proud to represent the City of Gardena as its fair housing provider and looks forward to another year of working together and invited everyone to their virtual Fair Housing Month Celebration that will take place on April 25, 2022.

2. Tricia Dong, Founding School Leader of KIPP came into the meeting and thanked City Council for all their support.

11. DEPARTMENTAL ITEMS - ADMINISTRATIVE SERVICES

11.A RESOLUTION NO. 6565, Approving the Unrepresented Positions to Share the Costs of the Employer Contribution Pursuant to Government Code Section 20516.

RESOLUTION NO. 6565

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GARDENA, CALIFORNIA, APPROVING THE UNREPRESENTED POSITIONS TO SHARE THE COSTS OF THE EMPLOYER CONTRIBUTION PURSUANT TO GOVERNMENT CODE SECTION 20516

City Manager Osorio presented the Staff Report.

It was moved by Mayor Pro Tem Tanaka, seconded by Council Member Henderson, and carried by the following roll call vote to Adopt Resolution No. 6565:

Ayes: Mayor Pro Tem Tanaka and Council Members Henderson, Kaskanian, Council Member Francis, and Mayor Cerda
Noes: None
Absent: None

12. DEPARTMENTAL ITEMS - COMMUNITY DEVELOPMENT

12.A PUBLIC HEARING: RESOLUTION 6570, Upholding the Decision of the Planning Commission Approving Site Plan Review #5-21, Conditional Use Permit #5-21, and Conditional Use Permit #6-21 to Develop a 121-Unit Single Room Occupancy Housing Development, with Seven Very Low Income Units, and Two, Six-Tier Automated Parking Structures on a One -Acre Property in the M-1 (Industrial) Zone with, and Directing Staff to File A Notice Of Exemption for a Class 32 In-Fill Development
APPLICANT: West Realty Group, Inc., Lee Johnson
LOCATION: 13126 South Western Avenue

RESOLUTION 6570

A RESOLUTION OF THE CITY OF COUNCIL OF THE CITY OF GARDENA, CALIFORNIA, UPHOLDING THE DECISION OF THE PLANNING COMMISSION APPROVING SITE PLAN REVIEW #5-21, CONDITIONAL USE PERMIT #5-21, AND CONDITIONAL USE PERMIT #6-21 TO DEVELOP A 121-UNIT SINGLE ROOM OCCUPANCY HOUSING DEVELOPMENT, WITH SEVEN VERY LOW INCOME UNITS, AND TWO, SIX-TIER AUTOMATED PARKING STRUCTURES ON A ONE-ACRE PROPERTY IN THE M-1 (INDUSTRIAL) ZONE WITH, AND DIRECTING STAFF TO FILE A NOTICE OF EXEMPTION FOR A CLASS 32 IN-FILL DEVELOPMENT

(13126 S. WESTERN AVENUE (APN: 6102-006-013)

City Manager Osorio presented the Staff Report.

Senior Planner Amanda Acuna gave the PowerPoint presentation and was available for any questions. Assistant City Attorney Lisa Kranitz and Community Development Director Greg Tsujiuchi were also available for any questions.

Applicant of West Realty Group, Inc., Lee Johnson, and his staff were also available for any questions.

Mayor Cerda opened the Public Hearing at 8:10 p.m. and asked if there were any comments from the public.

There was a discussion that included our Mayor and our Council Members. Some of the items discussed were development requirements; size of units; parking; target audience for apartment units; the number of tenants in each unit; low-income units; possibilities of condominiums or single-family dwelling development instead, the Applicant and his staff came into the meeting and answered all of Council's questions.

Public Speakers:

(1) Zahid Ahmed
(2) Gardena Resident
(3) Wanda Love
(4) Jose Novoa
(5) Charisse
(6) Claudia

All the above Public Speakers spoke in opposition of the project.

There was no further comment, Mayor Cerda closed the Public Hearing at 9:05 p.m.

It was moved by Mayor Pro Tem Tanaka, seconded by Mayor Cerda, and carried by the following roll call vote to Adopt Resolution No. 6570 :

Ayes: Mayor Pro Tem Tanaka and Mayor Cerda
Noes: Council Members Henderson, Council Member Kaskanian and Francis
Absent: None

The project did not pass; staff was given direction to come back with a Resolution of Denial. Marios Savides, a partner of West Realty Group, spoke against the vote by Council and threatened to initiate litigation regarding the project at 13126 S. Western Avenue.

13. DEPARTMENTAL ITEMS - ELECTED & CITY MANAGER'S OFFICES

13.A COVID-19 Update - City Manager Osorio presented the update.

14. DEPARTMENTAL ITEMS – POLICE – *No Items*

15. DEPARTMENTAL ITEMS - PUBLIC WORKS

15.A Approve Amended and Restated Franchise Agreement between the City of Gardena and Waste Resources of Gardena for Integrated Solid Waste Management Services, and Direct Staff to Commence Majority Process Proceedings for Approval of the Rates and Rate Adjustments set forth in the Agreement

City Manager Osorio presented the Staff Report.

Director of Public Works Allan Rigg, Deputy City Attorney Peter Wallin and Debbie Morris of HF&H also were available for any questions.

Director Rigg thanked staff and explained the City's position; he then shared his screen to show the comparison rate chart.

There was a discussion which included Council Member Francis and Henderson regarding the term and rate increase in years 2, 3 and 4; how the majority protest works; how the organic waste process works, and if WRG will be responsible for picking up illegal dumping; and if the public would be educated on the new process. City Manager Osorio, Director Rigg and Debbie Morris, HF&H Consultant answered all of Council's questions.

It was moved by Mayor Pro Tem Tanaka, seconded by Council Member Henderson, and carried by the following roll call vote to Approve Amended and Restated Waste Hauler Franchise Agreement with Waste Resources of Gardena and Authorize Staff to proceed with Majority Protest Process:

Ayes: Mayor Pro Tem Tanaka and Council Members Henderson, Kaskanian, Francis, and Mayor Cerda
Noes: None
Absent: None

15.B Approve the Proposed Conceptual Design to proceed with the Final Design and Construction Document Phase of the Gardena Community Aquatic and Senior Center, JN 978.

City Manager Osorio presented the Staff Report.

Director of Public Works Allan Rigg gave the PowerPoint presentation and was available for any questions.

There was a discussion regarding the portal website address; the registration and parking lots; if there will be other swim hours for the public or is it only for seniors; the shade area facing west, and if solar panels are being considered; if the parking lot across from Rush Gym will be used; if there are emergency exits and if there will be some lighted areas during the night; will the area right in front at 160th be used for drop off or parking; and will there be electric charging stations.

Larry Ryan of RJM Design answered all of Council's questions.

Public Speaker: Zahid Ahmed, spoke and made some suggestions of what he would like to see in the new facility.

It was moved by Council Member Kaskanian, seconded by Council Member Francis, and carried by the following roll call vote to Approve the Proposed Conceptual Design:

Ayes: Council Member Kaskanian, Francis, Mayor Pro Tem Tanaka and Council Member Henderson, and Mayor Cerda
Noes: None
Absent: None

16. DEPARTMENTAL ITEMS - RECREATION & HUMAN SERVICES – *No Items*

17. DEPARTMENTAL ITEMS - TRANSPORTATION

17.A Approve Purchase of Seven (7), 40-foot Zero-Emission Battery Electric Buses for $7,740,208 and Authorize Program Total of $8,514,229

City Manager Osorio presented the Staff Report.

Transportation Director Ernie Crespo was available for any questions.

There was a discussion regarding the buses that survived their useful lives if they are going to be sold; if so, will the money go back to GTrans; if we are buying the base of the bus and then adding components after; if the battery is going to be enough; if there are any solar panels on the charging station that is being built; how is it funded; is this the only company that builds these types of buses.

City Manager Osorio and Director Crespo came into the meeting and answered all of Council's questions.

Public Speaker: Zahid Ahmed spoke regarding the purchase and gave his recommendations.

It was moved by Council Member Francis, seconded by Mayor Pro Tem Tanaka, and carried by the following roll call vote to Approve Purchase and Program Total:

Ayes: Council Member Francis, Mayor Pro Tem Tanaka, and Council Members Henderson, Kaskanian, and Mayor Cerda
Noes: None
Absent: None

18. COUNCIL ITEMS – *No Items*

19. COUNCIL DIRECTIVES

Council Member Francis

1) She asked if we could look into either getting the electronic billboard signs at Rowley and Mas Fukai Park replace or repair. *Mayor Cerda seconded it.*

2) She asked if there's anything that the City can do to ensure that the properties between 139th, Van Ness and Rosecrans are being maintained on a regular basis including parking and the trees. Mayor Cerda stated that Chief Saffell and his team are planning on having a meeting with the property owner.

Council Member Kaskanian

1) Asked if he can get a report/update of the Tree Company that is contracted by the City: What they are working on in the city? *Council Member Francis seconded it*.

Council Member Henderson

1) Asked if one member of each Board and Committee can appear at the Council Meetings for an oral report on their progress that the community may not be aware of, not including the PEQC. *Mayor Pro Tem Tanaka seconded it.*

Mayor Pro Tem Tanaka

1) Ask for a Resolution of Support for Assembly Person Gibson's AB 2074 for Recovery of wages: liquidated damages. *Council Member Henderson seconded it.*

20. CITY MANAGER REMARKS RE: DIRECTIVES / COUNCIL ITEMS

City Manager Osorio gave a verbal report of information to follow-up on matters that had been directed or requested by the Mayor and Members of Council. Those items were, as follows:

1. Memo regarding the Community Development Department Monthly Report that highlights various activities in the Building Department particularly construction and permit activity.

21. COUNCIL REMARKS

1. COUNCIL MEMBER HENDERSON

   Since the last meeting Council Member Henderson attended the State of the City event, Casino Night, Southern California Edison event regarding electric vehicles and the possibility of Edison assisting the city in future projects, Centinela Youth Services meeting, AQMD meeting, Gardena basketball event, Brownfield Remediation discussion, Bizfed Executive Board meeting, and Love is in need of Love event at Rowley Park. Lastly, thanked Commissioner LaWanda Staten for bringing the community our during the "Love is in need of love" event. Lastly, thanked all staff for working on the GIS system on the website.

2. COUNCIL MEMBER FRANCIS

   Since the last meeting Council Member Francis attended the State of the City event and thanked all those that worked to put the event together. Council Member Francis also attended Casino Night, March Madness at Mas Fukai, and Love is in need of love event at Rowley Park. Council Member Francis thanked Commissioner LaWanda Stanton for putting the event together. She also asked to remember all the contributions that women have made to the world. Lastly, encouraged everyone to keep going as better days are ahead.

3. MAYOR PRO TEM TANAKA

   Since the last meeting Mayor Pro Tem Tanaka attended the COGs Legislative Committee Subcommittee, Blue Ribbon Commission on homelessness, and State of the City event. Mayor Pro Tem complimented the mayor for a great presentation and thanked Director Santin and staff for their hard work. Mayor Pro Tem Tanaka also attended poker night, COG Hybrid Steering Committee, RCC Board Meeting, Community Worship Church Honoring the Police Department, and March Madness event. Lastly, shared Ed Russ was a kind gentleman that helped him throughout his career and will always be grateful to him and his family.

4. COUNCIL MEMBER KASKANIAN

   Since the last meeting Council Member Kaskanian attended the State of the City thanked everyone for working hard and Director Santin for sharing the event live on Facebook. Also, attended Casino Night and apologized for not attended March Madness. Lastly, shared Ed Russ was a mentor to him.

5. MAYOR CERDA

   Ed Russ's family requested Mayor Cerda to read his obituary and his son and daughter also shared a few words. Since the last meeting Mayor Cerda attended the KIPP Generations Welcome party, monthly CCGA meeting, Sanitation meeting, Finance meeting, Community Worship Church, Khoi Show, and Khoi Awards banquet. Mayor Cerda apologized from not attending March Madness event as she attended Kimberly Hatton's retirement event on that day. She is happy to hear everyone talk great things about State of the City. Also, special thanks to Parks and Recreation staff and all departments for working together and making the events a success. Lastly, shared she received a lot of great compliments on State of the City.

22. ANNOUNCEMENT(S)

Mayor Cerda Announced:

1. Video presentation highlighting the Recreation and Human Services Department current and future events:
    - State of the City 2022, Thursday, March 10, 2022, at City Hall Lawn. For additional information please call (310)217-9507 or visit citymanager@cityofgardena.org.
    - Casino Night, Friday, March 11, 2022, 4:00p.m. – 8:30 p.m. at City Hall Lawn.
    - Paint in the Park, Thursday, March 17, 2022, 10:00 a.m. – 11:30 a.m. at Rowley Park. For further information contact the Senior Bureau Office at (310)217-9552.
    - Co-ed Youth Basketball Outdoor Skills & Drills Clinics: Mas Fukai Park on Saturday, March 19, 2022.
    - 46th Annual Koi Show, March 19-20, 2022, Saturday: 10:00 a.m. – 5:00 p.m. and Sunday: 10:00 a.m. – 3:00 p.m. at City Hall Complex. Open to the Public, Free Admission.
    - March Madness Youth Competition, Sunday, March 20, 2022, at Mas Fukai Park.
    - Garden Party, Thursday, March 24, 2022, from 5:3 p.m. – 6:30 p.m. at the City Hall Lawn. Special guest Congresswoman Maxine Waters.
    - Youth Dance Classes at Freeman Park, Saturday, April 2, Saturday, April 30, 2022. No classes Saturday, April 16, 2022. Registration begins on Saturday, March 19, 2022, online: www.cityofgardena.org/events; In-person: Nakaoka Community Center.
    - Karate for All Ages at Thornburg Park, Class Session: Monday, April 4 – Friday, April 29, 2022. Registration begins on Saturday, March 19, 2022, online: www.cityofgardena.org/events: In-person: Nakaoka Community Center.
    - Instructors Needed: Do you have a skill that you would like to teach others? Do you want to earn extra income? The City of Gardena is actively searching for instructors for classes for youth, adults, and seniors. If you are interested, call 310-217-9537 or email gardenaevents@cityofgardena.org.
    - Co-ed Youth Soccer League, Registration Period Wednesday, March 9 – Wednesday, March 23, 2022.
    - City of Gardena Spring Yard Sale, Saturday, April 9, 2022, 7:00 a.m. – 1:00 p.m. at Mas Fukai Park. Vendors Spaces (first come, first serve) visit www.cityofgardena.org/events to sign up.
    - Spring Camp, April 11-15, 2022, 7:00 a.m.-6:00 a.m., at Freeman and Johnson Park. Online registration begins at 8:00 a.m. on Monday, March 7, 2022, until full or visit www.cityofgardena.org/events.
    - Spring Carnival at Mas Fukai Park on Friday, April 15, 2022: 5:00 p.m. – 11:00 p.m; Saturday, April 16, 2022: 2:00 p.m. – 11:00 p.m; Sunday, April 17, 2022: 2:00 p.m. – 10:00 p.m.
    - Easter at the Parks, Saturday, April 16, 2022, 10:00 a.m. – 12:00 p.m. at Freeman and Rowley Park. Egg Hunt Starts at 10:00 a.m. ages 12 & under.
    - Breakfast with the Easter Bunny at City Hall Lawn, Saturday, April 16, 2022, 8:30 a.m. – 11:30 a.m. Free Egg Hunt 10:30 a.m. (ages 12 & under).

- Happy Earth Day, Saturday, April 23, 2022, 8:00 a.m. – 2:00 p.m. Earth Day Community Clean-Up and Celebration Come Join Our Efforts to Keep Gardena Beautiful. For further information contact (310)217-9537.
- Save the Date! Healthy Pet Clinic, Sunday, May 15, 2022, 10:00 a.m.-1:00 p.m. at the Nakaoka Community Center, for questions please call (310)217-9537.
- Save the Date! City of Gardena's Dodger Day, Friday, July 8, 2022. Game start time 7:10 p.m. Come enjoy a night of baseball followed by a firework show.
- Save the Date! City of Gardena Jazz Festival, Sunday, August 28, 2022, at Rowley Park. Stay tuned for ticket information & artist announcements on our social media pages.

2. Notice of Public Hearing for Line 7x and the Child Fare Policy Change on March 31, 2022, at 6:00 p.m. via Zoom: Join the meeting https://us02web.zoom.us/j/84924026826; call-in 1-669-900-9128. Comments may also be submitted by phone: 310-965-8888; email: publiccomments@gardenabus.com; mail: 13999 S. Western Ave., Gardena, CA 90249. Comments will be accepted until April 7, 2022.

3. Assembly District 62 Special Primary Election on April 5, 2022. Purpose of this Election: The April 5, 2022, Assembly District 62 Special Primary Election was called by California Governor Gavin Newsom to fill the vacancy in the 62nd Assembly District. This seat was previously held by The Honorable Autumn Burke. Vote In Person: Tuesday, April 5, 2022: 7:00 a.m. to 8:00p.m. at Rowley Park Gymnasium, 13220 Van Ness Ave., Gardena. This Election affects Gardena residents who live within District 62 and is for one day only. Residents who live north of Rosecrans Ave., you can Vote by Mail: Ballot Drop Box Location at Rowley Park as of March 3, 2022.

4. Reiterated, Garden Party, Thursday, March 24, 2022, from 5:3 p.m. – 6:30 p.m. at the City Hall Lawn 1700 W. 162nd Street. Special guest Congresswoman Maxine Waters with a Special Community Project Funding Presentation.

5. Council Member Francis announced that on Saturday, March 26, 2022, there is going to be a Candidates Forum for the Special Election on April 5th at Rowley Park from 2:00 p.m.-4:00 p.m.

23. REMEMBRANCES

Daisy Bynum; 87 years of age, beloved mother of Dianne Dent from the Recreation & Human Services Department; **The Honorable Mayor Emeritus Edmond J. Russ**; 93 years of age. He was elected to the Gardena City Council as a Councilmember in 1968 and was elected as the Mayor from 1969-1970 and 1974-1982. There is so much that can be said about Mr. Russ and the many things he did for the City. One thing you might take notice of is when you are transitioning on the 91 freeway, take a look at the sign at the merging directions, it says "Edmond J. Russ Interchange," he helped bring the 91 freeway into Gardena in the early 1980's. He will be greatly missed.

24. ADJOURNMENT

At 11:19 p.m., Mayor Cerda adjourned the Gardena City Council Meeting to the Closed Session portion of the City Council Meeting at 7:00 p.m., and the Regular City Council Meeting at 7:30 p.m. on Tuesday, April 12, 2022.

MINA SEMENZA
City Clerk of the City of Gardena and
Ex-officio Clerk of the Council

APPROVED:

_____
Tasha Cerda, Mayor

By:_____
Becky Romero, Deputy City Clerk

MINUTES
Special Closed Session Meeting
City of Gardena City Council
Monday, March 28, 2022

In order to minimize the spread of the COVID 19 virus, Governor Newsom has signed Assembly Bill 361. Please be advised that the Council Chambers are closed to the public and that some, or all, of the Gardena City Council Members, may attend this meeting telephonically.

The Special Closed Session Meeting of the City Council of the City of Gardena, California, was held via Zoom and Microsoft Teams and was called to order at 7:00 p.m. on Monday, March 28, 2022; Mayor Tasha Cerda presiding.

1. ROLL CALL

Present: Mayor Tasha Cerda; Mayor Pro Tem Rodney G. Tanaka; Council Member Mark E. Henderson; Council Member Art Kaskanian; Council Member Paulette C. Francis; Other City Officials and Employees present: City Manager Osorio; City Attorney Carmen Vasquez; and City Clerk Mina Semenza.

At 7:01 p.m., the City Council recessed into Closed Session with the following in attendance: Mayor Tasha Cerda; Mayor Pro Tem Rodney G. Tanaka; Council Member Mark E. Henderson; Council Member Art Kaskanian; Council Member Paulette C. Francis; Other City Officials and Employees present: City Manager Osorio; City Attorney Carmen Vasquez; and Community Development Director Greg Tsujiuchi.

2. PUBLIC COMMENT ON CLOSED SESSION *- None*

3. CLOSED SESSION

3.A CONFERENCE WITH LEGAL COUNSEL ANTICIPATED LITIGATION
Significant exposure to litigation pursuant to Government Code Section 54956.9(d)(2): March 22, 2022 Correspondence from Marios Savvides threatening to initiate litigation regarding the project at 13126 S. Western Avenue

4. CLOSED SESSION REPORT *– No reportable action was taken.*

5. ADJOURNMENT

At 8:13 p.m., Mayor Cerda adjourned the Gardena City Council Special Closed Session Meeting to the Closed Session portion of the City Council Meeting at 7:00 p.m., and the Regular City Council Meeting at 7:30 p.m. on Tuesday, April 12, 2022.

MINA SEMENZA
City Clerk of the City of Gardena and
Ex-officio Clerk of the Council

APPROVED:

_____
Tasha Cerda, Mayor

By:_____
Becky Romero, Deputy City Clerk

MEMORANDUM

TO: Honorable Mayor and City Council

FROM: City Treasurer's Office

DATE: April 7, 2022

SUBJECT: WARRANT REGISTER
PAYROLL REGISTER

April 12, 2022	TOTAL WARRANTS ISSUED:	$4,321,802.06

Wire Transfer:	12141-12151
Prepay:	166794-166798
Check Numbers:	166799-167033
Checks Voided:	

Total Pages of Register: 29

March 25, 2022	TOTAL PAYROLL ISSUED:	$2,175,989.25
April 8, 2022	TOTAL PAYROLL ISSUED:	$1,509,085.88

for J. Ingrid Tsukiyama, City Treasurer

cc: City Clerk

Bank code : usb

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
12141	3/14/2022	111894 HEALTHNOW ADMINISTRATIVE, SERVICES	U4718		HEALTH INSURANCE CLAIMS	29,874.77
					Total :	**29,874.77**
12142	3/15/2022	104058 ADMINSURE INC.	031222		WORKERS' COMP CLAIMS	37,467.22
					Total :	**37,467.22**
12143	3/17/2022	104058 ADMINSURE INC.	031522		WORKERS' COMP CLAIMS	25,778.80
					Total :	**25,778.80**
12144	3/21/2022	111894 HEALTHNOW ADMINISTRATIVE, SERVICES	U4719		HEALTH INSURANCE CLAIMS~	11,628.19
					Total :	**11,628.19**
12145	3/23/2022	104058 ADMINSURE INC.	032122		WORKERS' COMP CLAIMS	19,768.88
					Total :	**19,768.88**
12146	3/23/2022	104058 ADMINSURE INC.	032322		WORKERS' COMP CLAIMS	21,942.60
					Total :	**21,942.60**
12147	3/25/2022	111894 HEALTHNOW ADMINISTRATIVE, SERVICES	U4720		HEALTH INSURANCE CLAIMS	76,926.28
					Total :	**76,926.28**
12148	3/29/2022	104058 ADMINSURE INC.	032922		WORKERS' COMP CLAIMS	20,331.48
					Total :	**20,331.48**
12149	3/16/2022	111374 LINCOLN NATIONAL LIFE, INSURANCE COMPA	FEB-MAR 2022		LIFE INSURANCE GRP PLANS	6,526.16
					Total :	**6,526.16**
12150	4/1/2022	111894 HEALTHNOW ADMINISTRATIVE, SERVICES	U4721		HEALTH INSURANCE CLAIMS	13,546.79
					Total :	**13,546.79**
12151	4/4/2022	101641 CALPERS	100000016756909		2022 REPLACEMENET BENEFIT CHARG	12,739.14
					Total :	**12,739.14**
166794	3/24/2022	111484 HANNA, BROPHY, MACLEAN,, MCALEER & JEI	2039992		PROFESSIONAL SERVICES	611.00
					Total :	**611.00**
166795	3/24/2022	111484 HANNA, BROPHY, MACLEAN,, MCALEER & JEI	2044210		PROFESSIONAL SERVICES	60.00

Bank code : usb

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
166795	3/24/2022	111484 111484 HANNA, BROPHY, MACLEAN,, MC	ALEER (Continued)		**Total :**	**60.00**
166796	3/24/2022	103312 SOUTH COAST AIR QUALITY, MGMT DISTRICT	2022		RULE 2202 - AIR QUALITY INVESTMENT	660.87
					Total :	**660.87**
166797	3/30/2022	111984 MATSUNO, MYRNA	22-09PW		FINAL SETTLEMENT	108.00
					Total :	**108.00**
166798	4/7/2022	112566 GALLS, LLC	OR18205896	035-01080	PD PERSONAL PROTECTIVE EQUIPME	70,149.80
					Total :	**70,149.80**
166799	4/12/2022	106086 ABC COMPANIES	3303747		GTRANS AUTO PARTS	437.68
			3307082		GTRANS AUTO PARTS	217.35
			3308316		GTRANS AUTO PARTS	190.18
			3309597		GTRANS AUTO PARTS	54.44
					Total :	**899.65**
166800	4/12/2022	110161 ABRO, JENNIFER	032122		MGMT ANNUAL HEALTH BENEFIT	500.00
					Total :	**500.00**
166801	4/12/2022	111853 ACCESS	9287026		PD SHREDDING SERVICES	70.00
					Total :	**70.00**
166802	4/12/2022	110225 ACCESS SPECIALTY ANIMAL, HOSPITALS	1268091		VETERINARY SERVICES - MAXO	231.49
					Total :	**231.49**
166803	4/12/2022	104058 ADMINSURE INC.	14941	023-01345	WORKERS' COMP CLAIMS ADMINISTRA	12,030.00
					Total :	**12,030.00**
166804	4/12/2022	107712 AFFORDABLE GENERATOR SERVICES, INC.	21398	037-10090	GENERATOR INSPECTION SERVICE	2,072.25
					Total :	**2,072.25**
166805	4/12/2022	101748 AFTERMARKET PARTS COMPANY LLC, THE	82630723	037-10048	GTRANS AUTO PARTS	127.56
			82633465	037-10048	GTRANS AUTO PARTS	534.91
			82638539	037-10048	GTRANS AUTO PARTS	272.47
			82639506	037-10048	GTRANS AUTO PARTS	45.48
			82641474	037-10048	GTRANS AUTO PARTS	148.57
			82644988	037-10048	GTRANS AUTO PARTS	59.54

Bank code : usb

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
166805	4/12/2022	101748 AFTERMARKET PARTS COMPANY LLC, THE	(Continued)			
			82646351	037-10048	GTRANS AUTO PARTS	295.36
			82649886	037-10048	GTRANS AUTO PARTS	590.72
					Total :	**2,074.61**
166806	4/12/2022	101713 ALL AMERICAN ASPHALT	34041 02/28/22	024-00802	VAN NESS & 139TH ST IMPROVEMENT,	872,019.23
					Total :	**872,019.23**
166807	4/12/2022	110267 ALLIANT CONSULTING INC.	13555	037-10068	LABOR COMPLIANCE MONITORING & E	202.50
					Total :	**202.50**
166808	4/12/2022	110183 ALLIANT INSURANCE SERVICES, INC.	1900761	023-01377	HR ENROLLMENT PRINTING SUPPLIES	11,056.10
					Total :	**11,056.10**
166809	4/12/2022	111987 ALVARADO, JOSE CHAVEZ	CIT #355124116		REFUND- FRANCHISE TAX BOARD CHA	70.00
					Total :	**70.00**
166810	4/12/2022	110028 ANSER ADVISORY MANAGEMENT LLC	2416	037-10036	PROJECT MANAGEMENT SUPPORT- EI	2,000.00
					Total :	**2,000.00**
166811	4/12/2022	101628 AQUA-FLO SUPPLY	SI1889343		PARK MAINT SUPPLIES	80.05
			SI1890048		PARK MAINT SUPPLIES	322.16
			SI1890898		PARK MAINT SUPPLIES	214.99
			SI1891485		PARK MAINT SUPPLIES	98.09
			SI1891486		PARK MAINT SUPPLIES	239.24
			SI1891487		PARK MAINT SUPPLIES	237.46
			SI890049		PARK MAINT SUPPLIES	988.65
					Total :	**2,180.64**
166812	4/12/2022	108625 ARAD OIL INC.	FEBRUARY 2022		CAR WASH	390.00
					Total :	**390.00**
166813	4/12/2022	105293 ARC DOCUMENT SOLUTIONS, LLC	11157787		REPROGRAPHIC SERVICES - 149 AND	244.05
					Total :	**244.05**
166814	4/12/2022	104687 AT&T	17820829		TELEPHONE	393.56
			17912125		TELEPHONE	375.74
			17912126		TELEPHONE	438.65

Bank code : usb

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
166814	4/12/2022	104687 AT&T	(Continued)			
			17912436		TELEPHONE	16,128.33
			17915245		TELEPHONE	558.32
			17940149		TELEPHONE	33.97
			17940179		TELEPHONE	33.97
			17940180		TELEPHONE	86.89
			17940202		TELEPHONE	33.97
			17940203		TELEPHONE	89.15
					Total :	**18,172.55**
166815	4/12/2022	111170 AT&T FIRSTNET	287290885074X031022		CITYWIDE CELL PHONE ACCT #287290	2,603.28
			287293416290X031022		PD CELL PHONE ACCT #287293416290	3,362.58
			287293420631X031022		PD CELL PHONE ACCT #287293420631	145.21
			287295242065X031022		PD CELL PHONE ACCT #287295242065	231.77
			287303490376X3102022		BUS CELL PHONE ACCT #28730349037	427.62
					Total :	**6,770.46**
166816	4/12/2022	100474 AT&T LONG DISTANCE	031222		TELEPHONE	62.61
					Total :	**62.61**
166817	4/12/2022	100964 AT&T MOBILITY	828667974X03162022		CM CELL PHONE ACCT #828667974	86.46
					Total :	**86.46**
166818	4/12/2022	108383 ATKINSON, ANDELSON, LOYA, RUDD & ROMC	645774		PROFESSIONAL SERVICES	7,716.98
					Total :	**7,716.98**
166819	4/12/2022	102880 AUTOPLEX, INC.	13693		2015 CHEVY TAHOE #7HED092 SERVIC	329.80
			13706		2019 FORD F250 #AC-1 OIL & FILTER C	88.83
					Total :	**418.63**
166820	4/12/2022	110686 AZTECH ELEVATOR COMPANY	AZ17146	024-00757	ELEVATOR MAINTENANCE - NCC	285.00
			AZ17147	024-00757	ELEVATOR MAINTENANCE - PW	285.00
			AZ17148	024-00757	ELEVATOR MAINTENANCE - CITY HALL	100.00
			AZ17149	024-00757	ELEVATOR MAINTENANCE - NCC	100.00
			AZ17150	037-10040	ELEVATOR MAINTENANCE - GTRANS A	285.00
			AZ17151	037-10040	ELEVATOR MAINTENANCE - GTRANS M	83.33
					Total :	**1,138.33**

Bank code : usb

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
166821	4/12/2022	102054 BAVCO	147891		(7) BACKFLOW VALVE INSPECTIONS &	655.00
					Total :	**655.00**
166822	4/12/2022	102400 BAYSIDE MEDICAL CENTER	00136555		BLOOD DRAW	508.80
					Total :	**508.80**
166823	4/12/2022	103641 BECNEL UNIFORMS	44920		BUS UNIFORM SUPPLIES	36.68
					Total :	**36.68**
166824	4/12/2022	109037 BEEMAN, RAYMOND	02/01-02/07		2022 LCW EMPLOYMENT CONFERENC	225.00
					Total :	**225.00**
166825	4/12/2022	110675 BGB DESIGN GROUP, INC	104044	024-00645	MAS FUKAI PARK REHABILITATION, JN	9,602.00
					Total :	**9,602.00**
166826	4/12/2022	111970 BISCOCHO, RENZ	UNIFORM		ADVANCED UNIFORM ALLOWANCE	350.00
					Total :	**350.00**
166827	4/12/2022	111751 BLACK AND WHITE EMERGENCY VEH.	4322		PD VEHICLE SUPPLIES	900.63
			4323		PD VEHICLE SUPPLIES	450.31
					Total :	**1,350.94**
166828	4/12/2022	102331 BLUE DIAMOND MATERIALS	2611030		STREET MAINT SUPPLIES	273.51
			2620603		STREET MAINT SUPPLIES	168.27
					Total :	**441.78**
166829	4/12/2022	109377 BOB BARKER COMPANY, INC.	INV1742521		JAIL PROGRAM SUPPLIES	125.62
					Total :	**125.62**
166830	4/12/2022	111902 BPR CONSULTING GROUP LLC	58	032-00098	CONSULTING SERVICES - DECEMBER	65,629.05
					Total :	**65,629.05**
166831	4/12/2022	102383 BROCK, DAVID	03/21-03/23		ANNUAL TRAINING FOR SUPERVISORS	150.00
					Total :	**150.00**
166832	4/12/2022	103383 CALPORTLAND	95384140		STREET MAINT SUPPLIES	1,366.44
					Total :	**1,366.44**

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
166833	4/12/2022	110538 CANNON COMPANY	79187	024-00788	STORM DRAIN CATCH BASIN SCREEN	49,570.96
			79710	024-00787	VAN NESS & 139TH ST IMPROVEMENT,	35,527.00
					Total :	**85,097.96**
166834	4/12/2022	803420 CARPENTER, ROTHANS & DUMONT, LAW OFF	40404		LEGAL SERVICES	396.15
			40405		LEGAL SERVICES	327.34
			40406		LEGAL SERVICES	3,170.58
			40407		LEGAL SERVICES	139.58
			40408		LEGAL SERVICES	918.73
			40409		LEGAL SERVICES	126.00
			40410		LEGAL SERVICES	909.00
			40411		LEGAL SERVICES	1,278.00
			40412		LEGAL SERVICES	1,242.00
			40413		LEGAL SERVICES	292.77
			40414		LEGAL SERVICES	1,083.41
			40631		LEGAL SERVICES	72.00
			40632		LEGAL SERVICES	144.00
			40633		LEGAL SERVICES	36.00
			40634		LEGAL SERVICES	180.00
			40635		LEGAL SERVICES	873.00
			40636		LEGAL SERVICES	2,376.00
			40637		LEGAL SERVICES	378.00
			40638		LEGAL SERVICES	241.40
			40639		LEGAL SERVICES	1,908.00
			40640		LEGAL SERVICES	711.00
					Total :	**16,802.96**
166835	4/12/2022	111948 CARSON TRAILER INC	00323091	024-00814	TRAILER, 5 X 8	3,046.40
					Total :	**3,046.40**
166836	4/12/2022	111966 CELEDON'S EXERCISE EQUIPMENT, SERVICE	2814		GTRANS FITNESS MAINT	350.00
					Total :	**350.00**
166837	4/12/2022	111486 CENTRALSQUARE TECHNOLOGIES	348002	032-00100	TRAK-IT ANNUAL MAINTENANCE FEE	17,022.88
					Total :	**17,022.88**
166838	4/12/2022	103489 CF UNITED LLC	010122-013122		CAR WASH - JANUARY 2022	60.00

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
166838	4/12/2022	103489 CF UNITED LLC	(Continued)			
			020122-022822		CAR WASH - FEBRUARY 2022	24.00
					Total :	**84.00**
166839	4/12/2022	110605 CHANDLER ASSET MANAGEMENT	2203GARDENA	013-00029	INVESMENT MGMT SERVICES - MARCH	2,481.59
					Total :	**2,481.59**
166840	4/12/2022	108378 CHARLES E. THOMAS COMPANY INC.	85842	037-10045	DESIGNATED OPERATOR SERVICES	200.00
					Total :	**200.00**
166841	4/12/2022	203115 CILVA, ALICE	022822		MEDICAL REIMBURSEMENT	311.74
					Total :	**311.74**
166842	4/12/2022	503960 CITY OF GARDENA	HENDERSON 21/2022		COMMUNITY PROMOTIONS	120.00
					Total :	**120.00**
166843	4/12/2022	111534 CLEAN ENERGY	CE12483129	037-10056	GTRANS OFFSITE CNG FUELING SERV	34,573.93
					Total :	**34,573.93**
166844	4/12/2022	104338 CODE PUBLISHING, INC.	GC0006258		MUNICIPAL CODE - WEB UPDATE	41.75
					Total :	**41.75**
166845	4/12/2022	103125 COMPLETE COACH WORKS	90193	037-10121	BUS #768 SERVICE CALL - DIAGNOSE,	2,458.09
					Total :	**2,458.09**
166846	4/12/2022	102388 COPYLAND, INC.	77931	037-10047	GTRANS 47"X80" "SAFETY CAMPAIGN"	644.13
			78463	037-10047	GTRANS - 24 X 36" CULL COLOR FOAM	183.71
			78466	037-10047	GTRANS- COLOR BUSINESS CARDS	127.03
					Total :	**954.87**
166847	4/12/2022	102791 CPAC, INC.	1294480	023-01378	ADOBE ACROBAT PRO LICENSE RENE	2,817.00
					Total :	**2,817.00**
166848	4/12/2022	109005 CRESPO, ERNIE	030122		MEDICAL REIMBURSEMENT	1,198.80
					Total :	**1,198.80**
166849	4/12/2022	103353 CRM COMPANY, LLC.	LA19844		SCRAP TIRE DISPOSAL FEE	69.50
			LA19845		SCRAP TIRE DISPOSAL FEE	69.50

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
166849	4/12/2022	103353 103353 CRM COMPANY, LLC.	(Continued)		**Total :**	**139.00**
166850	4/12/2022	110319 CWE DIRECTOR	22127	024-00766	MS4 & NPDES - MONITORING & COMPI	13,913.54
			22136	024-00687	MS4 & NPDES - MONITORING & COMPI	6,502.50
					Total :	**20,416.04**
166851	4/12/2022	102228 DAILY BREEZE	E52E90E8		PUBLIC NOTICE - VIRTUAL PUBLIC MEI	702.45
					Total :	**702.45**
166852	4/12/2022	102228 DAILY BREEZE	0011489056		CLASSIFIED ADS, LEGALS CLS	225.49
					Total :	**225.49**
166853	4/12/2022	111938 DANDOY GLASS	20146		WINDOW GLASS REPLACEMENT - CITY	1,090.00
					Total :	**1,090.00**
166854	4/12/2022	108629 DAVE BANG ASSOCIATES, INC.	51314		PLAYGROUND EQUIPMENT SUPPLIES	574.57
					Total :	**574.57**
166855	4/12/2022	111971 DAYAN HOUMAN PLC	3009024		FINAL SETTLEMENT	18,000.00
					Total :	**18,000.00**
166856	4/12/2022	111377 DE NOVO PLANNING GROUP	3206	032-00092	PROFESSIONAL SERVICES - UHAUL RI	5,029.25
					Total :	**5,029.25**
166857	4/12/2022	303459 DEPARTMENT OF JUSTICE	564940		FINGERPRINT APPS - FEBRUARY 2022	2,244.00
					Total :	**2,244.00**
166858	4/12/2022	312117 DEPARTMENT OF WATER & POWER	032422		LIGHT & POWER	92.94
			033122		LIGHT & POWER	67.91
					Total :	**160.85**
166859	4/12/2022	105182 DIRECTV	017280777X220315		DIRECTV SERVICE BUSINESS EXTRA -	1,807.96
					Total :	**1,807.96**
166860	4/12/2022	104343 DISCOUNT SCHOOL SUPPLY	P41200980101		FCC PROGRAM SUPPLIES	145.30
					Total :	**145.30**
166861	4/12/2022	104500 DOOLEY ENTERPRISES, INC	62572	035-01139	PD AMMUNITION SUPPLIES	6,569.52

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
166861	4/12/2022	104500 104500 DOOLEY ENTERPRISES, INC	(Continued)		**Total :**	**6,569.52**
166862	4/12/2022	111973 DUDEK	13938	032-00101	PROFESSIONAL SERVICES - INSITE - 1	5,295.00
			202200586	032-00101	PROFESSIONAL SERVICES - INSITE - 1	2,270.00
					Total :	**7,565.00**
166863	4/12/2022	111953 ECONOMICO ANIMAL HOSPITAL	040122		VETERINARY SERVICES - ANIMAL CON	75.00
					Total :	**75.00**
166864	4/12/2022	110534 EL DORADO NATIONAL	90718379		GTRANS BUS VEHICLE SUPPLIES	91.84
			90719395		GTRANS BUS VEHICLE SUPPLIES	88.79
					Total :	**180.63**
166865	4/12/2022	105418 EMPIRE CLEANING SUPPLY	S4799574		CUSTODIAL SUPPLIES	104.64
			S4856626		CUSTODIAL SUPPLIES	624.41
			S4856646		CUSTODIAL SUPPLIES	58.74
			S4871778		CUSTODIAL SUPPLIES	1,010.96
			S4963112		CUSTODIAL SUPPLIES	280.74
			S5026948		CUSTODIAL SUPPLIES	290.26
			S5057441		CUSTODIAL SUPPLIES	165.11
			S5067855		CUSTODIAL SUPPLIES	262.49
			S5076171		CUSTODIAL SUPPLIES	609.80
			S5076171.002		CUSTODIAL SUPPLIES	250.85
			S5087610		CUSTODIAL SUPPLIES	69.50
			S5119788		CUSTODIAL SUPPLIES	907.64
					Total :	**4,635.14**
166866	4/12/2022	105392 ENTENMANN-ROVIN COMPANY	0163526		PD UNIFORM SUPPLIES	1,494.12
			0173996		PD UNIFORM SUPPLIES	1,311.05
					Total :	**2,805.17**
166867	4/12/2022	106459 ENTERPRISE FM TRUST	FBN4433183	023-01347	ENTERPRISE LEASE - APRIL 2022 - PD	6,943.78
			FBN4436393	023-01347	ENTERPRISE LEASE - APRIL 2022	3,229.79
					Total :	**10,173.57**
166868	4/12/2022	109426 ESPINOSA, VANESSA	03/06-03/19/22		PROFESSIONAL SERVICES - CASE WO	1,512.00
			03/20-04/02/22		PROFESSIONAL SERVICES - CASE WO	1,176.00

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
166868	4/12/2022	109426 109426 ESPINOSA, VANESSA	(Continued)		**Total :**	**2,688.00**
166869	4/12/2022	100898 ESPINOZA, JOSE	FALL 2021		EDUCATION REIMBURSEMENT	2,500.00
					Total :	**2,500.00**
166870	4/12/2022	111928 EVANS, PEGGY	JAN 2022		VOLUNTEER DRIVER	5.00
			JANUARY 2022		VOLUNTEER DRIVER	10.00
					Total :	**15.00**
166871	4/12/2022	105650 EWING IRRIGATION PRODUCTS	16288062		TREE PROGRAM SUPPLIES	35.35
					Total :	**35.35**
166872	4/12/2022	100055 FAIR HOUSING FOUNDATION	FEBRUARY 2022		CDBG CONSULTANT	1,705.67
					Total :	**1,705.67**
166873	4/12/2022	106129 FEDEX	7-687-71130		SHIPPING SERVICES	51.81
			7-695-91407		SHIPPING SERVICES	57.80
					Total :	**109.61**
166874	4/12/2022	111974 FENG, MIA	49172		REFUND- CASINO PERMIT OVERPAYM	75.00
					Total :	**75.00**
166875	4/12/2022	107002 FLETCHER, JOSEPH	022522		MEDICAL REIMBURSEMENT	1,398.60
					Total :	**1,398.60**
166876	4/12/2022	103134 FRANCO'S UPHOLSTERY &, ACCESSORIES	15068		REUPHOLSTER ONE SEAT	200.00
					Total :	**200.00**
166877	4/12/2022	112566 GALLS, LLC	BC1556885		PD UNIFORM SUPPLIES	851.82
			BC1556886		PD UNIFORM SUPPLIES	851.82
			BC1559077		PD UNIFORM SUPPLIES	851.82
			BC1562112		PD UNIFORM SUPPLIES	851.82
					Total :	**3,407.28**
166878	4/12/2022	107030 GARDENA AUTO PARTS	150662		PW AUTO PARTS	46.17
			150765		PW AUTO PARTS	98.83
			150840		PW AUTO PARTS	59.84

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
166878	4/12/2022	107030 107030 GARDENA AUTO PARTS	(Continued)		**Total :**	**204.84**
166879	4/12/2022	100942 GARDENA ELKS LODGE 1919	CERDA 2021/22		COMMUNITY PROMOTIONS	150.00
					Total :	**150.00**
166880	4/12/2022	107011 GARDENA VALLEY NEWS, INC.	00115422		NOTICE INVITING BIDS - JN 993	1,431.50
			00115888		NOTICE OF PUBLIC HEARING -	178.50
			00116120		NOTICE OF PUBLIC HEARING -	217.00
			00116355		PUBLIC NOTICE - VIRTUAL PUBLIC MEI	238.00
					Total :	**2,065.00**
166881	4/12/2022	107034 GARDENA WELDING SUPPLY CO INC.	95 121468		PW MAINT SUPPLIES	359.42
					Total :	**359.42**
166882	4/12/2022	107056 GENFARE	90179643	037-10091	GTRANS AUTO PARTS	2,223.14
			90180650		GTRANS AUTO PARTS	36.66
			90181011	037-10109	MOBILE VAULT REHAB KIT FOR RECEI	2,597.20
					Total :	**4,857.00**
166883	4/12/2022	106470 GILLIG LLC	40901690	037-10049	GTRANS AUTO PARTS	32.43
					Total :	**32.43**
166884	4/12/2022	100640 GNA-BROOK FIRE PROTECTION INC.	20079185		FIRE EXTINGUISHER SERVICE	1,139.51
					Total :	**1,139.51**
166885	4/12/2022	619004 GOLDEN STATE WATER CO.	032122		WATER	26,281.78
					Total :	**26,281.78**
166886	4/12/2022	107284 GOLDEN WEST COLLEGE	RBC166-011		ENROLLMENT FEES - POLICE ACADEM	2,297.00
					Total :	**2,297.00**
166887	4/12/2022	110364 GOMEZ, CLAUDIA	04/24-04/29		TRAINING - CA ASSOCIATION PROPER	250.00
					Total :	**250.00**
166888	4/12/2022	107513 GRAINGER	9236151537		BUS FACILITY SUPPLIES	853.59
			9236510260		BUS FACILITY SUPPLIES	262.06
			9240603978		BUS FACILITY SUPPLIES	1,257.18
			9241333807		BUS FACILITY SUPPLIES	59.39

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
166888	4/12/2022	107513 GRAINGER	(Continued)			
			9241981654		BUS FACILITY SUPPLIES	412.65
			9243750768		BUS FACILITY SUPPLIES	400.77
			9250330553		BUS FACILITY SUPPLIES	87.85
			9252575684		BUS FACILITY SUPPLIES	96.03
					Total :	**3,429.52**
166889	4/12/2022	104017 HALO BRANDED SOLUTIONS INC.	2022000045047		PW STREET MAINT PROMOTIONAL ITE	1,810.85
					Total :	**1,810.85**
166890	4/12/2022	106300 HARDY & HARPER, INC.	22420 RET		RETENTION - WESTERN AVE. STREET	57,081.29
					Total :	**57,081.29**
166891	4/12/2022	104944 HARTWILL, JANINA	022822		MEDICAL REIMBURSEMENT	600.00
					Total :	**600.00**
166892	4/12/2022	208114 HASSOLDT, MATTHEW S.	022822		MEDICAL REIMBURSEMENT	189.62
					Total :	**189.62**
166893	4/12/2022	208478 HEITMEYER, JAMES	022722		MEDICAL REIMBURSEMENT	1,000.00
					Total :	**1,000.00**
166894	4/12/2022	110371 HINDERLITER DE LLAMAS, & ASSOCIATES	SIN015463		CONTRACT SERVICES- TRANSACTION	300.00
					Total :	**300.00**
166895	4/12/2022	111975 HOLTON, JARED ROBERT	CIT #411124942		REFUND- CITATION OVERPAID	70.00
					Total :	**70.00**
166896	4/12/2022	108434 HOME DEPOT CREDIT SERVICES	0048606		PARK MAINT SUPPLIES	285.44
			0521997		BLDG MAINT SUPPLIES	74.68
			1850191		GTRANS MAINT SUPPLIES	638.35
			3048154		SIGNS/SIGNALS SUPPLIES	244.57
			3048155		SIGNS/SIGNALS SUPPLIES	611.89
			3390851		BLDG MAINT SUPPLIES	225.50
			4273770		BLDG MAINT SUPPLIES	-53.96
			4521421		SIGNS/SIGNALS SUPPLIES	84.44
			4543591		BLDG MAINT SUPPLIES	39.72
			4701625		BLDG MAINT SUPPLIES	223.38

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
166896	4/12/2022	108434 HOME DEPOT CREDIT SERVICES	(Continued)			
			5033071		GTRANS MAINT SUPPLIES	129.74
			5352488		GTRANS MAINT SUPPLIES	68.95
			5533173		BLDG MAINT SUPPLIES	53.25
			6543409		BLDG MAINT SUPPLIES	178.11
			7374175		BLDG MAINT SUPPLIES	98.54
			7490572		BLDG MAINT SUPPLIES	18.41
			8533724		BLDG MAINT SUPPLIES	238.31
			9524954		BLDG MAINT SUPPLIES	176.76
					Total :	**3,336.08**
166897	4/12/2022	108430 HOME PIPE & SUPPLY	F36910		BLDG MAINT SUPPLIES	190.25
			F36970		BLDG MAINT SUPPLIES	100.33
					Total :	**290.58**
166898	4/12/2022	109198 HOWARD, NICOLA	022522		MEDICAL REIMBURSEMENT	2,750.00
					Total :	**2,750.00**
166899	4/12/2022	103314 HYDE, ERIC	032122		MGMT ANNUAL HEALTH BENEFIT	1,000.00
					Total :	**1,000.00**
166900	4/12/2022	105513 INDUSTRIAL CLEANING SYSTEMS, INC.	39605		SERVICE CALL	300.96
			39606		PD PROGRAM SUPPLIES	529.96
					Total :	**830.92**
166901	4/12/2022	111593 INTER-CON SECURITY SYSTEMS INC	BD0074592	037-09992	GTRANS SECURITY SERVICES - FEBRI	173.10
			BD0074596	037-09992	GTRANS SECURITY SERVICES - FEBRI	6,493.14
					Total :	**6,666.24**
166902	4/12/2022	109460 INTERNATIONAL BUSINESS INFO, TECH DBA	INV-000747		METR TRAINING RECORDS SOFTWARI	1,485.30
					Total :	**1,485.30**
166903	4/12/2022	108579 J.D. FIELDS LUMBER COMPANY	3371		STREET MAINT SUPPLIES	325.87
			3407		STREET MAINT SUPPLIES	93.63
					Total :	**419.50**
166904	4/12/2022	104323 JACKSON, EVAN	010922		MEDICAL REIMBURSEMENT	2,400.00

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
166904	4/12/2022	104323 104323 JACKSON, EVAN	(Continued)		**Total :**	**2,400.00**
166905	4/12/2022	108555 JALISCO TIRE & AUTO REPAIR	022522		FLATS REPAIR	10.00
			031522		(1) NEW TIRE, (2) FLAT REPAIR, (3) BAL	330.00
					Total :	**340.00**
166906	4/12/2022	107746 JAS PACIFIC	BI 14161	032-00094	BUILDING INSPECTOR SERVICES - JAN	5,024.15
			BI 14185	032-00094	BUILDING INSPECTOR SERVICES - FEI	1,290.45
					Total :	**6,314.60**
166907	4/12/2022	210494 JIMENEZ, ATANACIO	022822		MEDICAL REIMBURSEMENT	2,750.00
					Total :	**2,750.00**
166908	4/12/2022	110853 JONES & MAYER	108408		ATTORNEY SERVICES	155.86
			108409		ATTORNEY SERVICES	1,269.69
			108412		ATTORNEY SERVICES	426.00
			108413		ATTORNEY SERVICES	1,341.90
			108414		ATTORNEY SERVICES	2,449.50
			108415		ATTORNEY SERVICES	259.75
			108416		ATTORNEY SERVICES	1,043.70
			108417		ATTORNEY SERVICES	259.75
			108418		ATTORNEY SERVICES	7.75
			108419		ATTORNEY SERVICES	51.95
			108420		ATTORNEY SERVICES	129.88
			108422		ATTORNEY SERVICES	3,126.30
			108423		ATTORNEY SERVICES	327.00
			108424		ATTORNEY SERVICES	9,826.18
			108426		ATTORNEY SERVICES	51.95
			108427		ATTORNEY SERVICES	1,150.20
			108428		ATTORNEY SERVICES	63.90
			108429		ATTORNEY SERVICES	285.73
			108616	020-00034	ATTORNEY SERVICES	10,182.20
					Total :	**32,409.19**
166909	4/12/2022	110385 KIMLEY-HORN AND ASSOCIATES, INC	20711293	032-00102	DEVELOPMENT SERVICES - NORMANI	9,356.47
			20711294	032-00099	KIMLEY HORN - G3 PROJECT LOCATEI	7,133.72
			20959702	032-00099	DEVELOPMENT SERVICES - 2545 MAR	3,488.41

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
166909	4/12/2022	110385 KIMLEY-HORN AND ASSOCIATES, INC	(Continued)			
			20959721	032-00102	DEVELOPMENT SERVICES - NORMANI	3,802.21
					Total :	**23,780.81**
166910	4/12/2022	111260 KJOS, BARBARA JEAN	MARCH 2022		GARDENA FAMILY CHILD CARE PROGF	1,972.00
					Total :	**1,972.00**
166911	4/12/2022	105900 KONECRANES, INC.	154644526	037-10032	PREVENTATIVE MAINT & INSPECTION	575.00
					Total :	**575.00**
166912	4/12/2022	312030 L.A. COUNTY ASSESSOR	22ASRE153		MAPS/POSTAGE	8.07
					Total :	**8.07**
166913	4/12/2022	312240 L.A. COUNTY DEPARTMENT OF, PUBLIC WOR	22030705094	024-00769	INDUSTRIAL WASTE SERVICES	7,157.29
			22030705401	024-00769	TRAFFIC SIGNAL MAINT-HIGHWAY SAF	3,036.48
					Total :	**10,193.77**
166914	4/12/2022	312248 L.A. COUNTY DEPARTMENT OF, PUBLIC WOR	IN2200000614		LABOR & EQUIP CHARGES - TS 0689	676.25
			SA220000302	024-00816	CATCH BASIN CLEANOUT - SOUTH ARI	6,745.86
					Total :	**7,422.11**
166915	4/12/2022	312039 L.A. COUNTY FIRE DEPARTMENT	C0010351	023-01337	FIRE PROTECTION SERVICES - MAY 2(	805,142.98
					Total :	**805,142.98**
166916	4/12/2022	312113 L.A. COUNTY SHERIFF'S DEPT	222206SG		INMATE MEAL DELIVERY PROGRAM - F	654.28
					Total :	**654.28**
166917	4/12/2022	109939 LA UNIFORMS & TAILORING	11506		PD UNIFORM SUPPLIES	27.51
			11740		PD UNIFORM SUPPLIES	405.39
			11741		PD UNIFORM SUPPLIES	405.39
					Total :	**838.29**
166918	4/12/2022	105874 LAWSON PRODUCTS, INC.	9309358962		BUS SHOP SUPPLIES	103.28
					Total :	**103.28**
166919	4/12/2022	111977 LD CONSULTING LLC	22-08	035-01140	JAIL ASSESSMENT	9,571.00
					Total :	**9,571.00**

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
166920	4/12/2022	111980 LE, DANIEL	01/5-01/31		CERTIFIED APPRENTICE TRAINING - M	296.96
					Total :	**296.96**
166921	4/12/2022	109827 LEARNING GENIE INC.	INV-898		SUBSCRIPTION - LEARNING GENIE API	327.25
					Total :	**327.25**
166922	4/12/2022	105279 LOS ANGELES TRUCK CENTERS LLC	RA220025281	024-00815	STREET SWEEPER REPAIRS, UNIT 33	12,636.02
					Total :	**12,636.02**
166923	4/12/2022	109563 LUCKY LADY CASINO	0850000160		ECONOMIC ASSISTANCE - FEBRUARY	35,015.88
					Total :	**35,015.88**
166924	4/12/2022	112607 LUMINATOR TECHNOLOGY GROUP INC	591735	037-10110	GTRANS RETROFIT CAMERAS FOR CN	13,445.88
			591736	037-10110	GTRANS RETROFIT CAMERAS FOR CN	571.71
					Total :	**14,017.59**
166925	4/12/2022	112615 LU'S LIGHTHOUSE, INC.	01212720	037-10063	GTRANS SHOP SUPPLIES	78.10
			01213495	037-10063	GTRANS SHOP SUPPLIES	69.59
			01216337	037-10063	GTRANS SHOP SUPPLIES	56.53
					Total :	**204.22**
166926	4/12/2022	105082 MAJESTIC LIGHTING, INC.	ML80774		GTRANS MAINT SUPPLIES	893.03
					Total :	**893.03**
166927	4/12/2022	113036 MANERI SIGN CO., INC.	40011712		SIGN- "CITY PERMIT PARKING ONLY"	149.35
			40011713		SIGN- 30 X 30 STD HOLES/ CORNERS	513.05
			40011714		SIGNS - "CRENSHAW BLVD"	314.22
					Total :	**976.62**
166928	4/12/2022	813030 MANNING & KASS	724339		LEGAL SERVICES	162.00
			729932		LEGAL SERVICES	8,213.00
			729933		LEGAL SERVICES	8,854.80
			731190		LEGAL SERVICES	759.50
			734857		LEGAL SERVICES	1,415.00
			734858		LEGAL SERVICES	6,616.00
			734859		LEGAL SERVICES	11,330.50
					Total :	**37,350.80**

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
166929	4/12/2022	110306 MARIPOSA LANDSCAPES, INC	97198	024-00760	MEDIAN LANDSCAPE MAINTENANCE	7,242.50
					Total :	**7,242.50**
166930	4/12/2022	113046 MARX BROS. FIRE EXTINGUISHER, CO., INC.	P30684		FIRE EXTINGUISHER SERVICE - HS	89.90
			P30685		FIRE EXTINGUISHER SERVICE - COMM	174.71
			S11815		FIRE EXTINGUISHER SERVICE - CTR K	85.00
					Total :	**349.61**
166931	4/12/2022	113064 MCMASTER-CARR SUPPLY COMPANY	73251201		GTRANS SHOP SUPPLIES	144.66
			74479204		GTRANS SHOP SUPPLIES	54.86
			74729552		GTRANS SHOP SUPPLIES	80.55
					Total :	**280.07**
166932	4/12/2022	110784 MD AUTOBODY	1455	037-10118	GTRANS BUS REPAIRS	2,330.00
			1456	037-10117	GTRANS BUS REPAIRS	2,326.00
					Total :	**4,656.00**
166933	4/12/2022	108699 MEZIERE ENTERPRISES INC.	84957		ELECTRIC WATER PUMP	635.96
					Total :	**635.96**
166934	4/12/2022	110206 MICHELIN NORTH AMERICA, INC.	DA0050069846	037-10059	GTRANS' BUS TIRE LEASE SERVICES -	5,475.77
					Total :	**5,475.77**
166935	4/12/2022	111604 MICRO ELECTRONICS, INC	11753886	023-01349	COMPUTER REPLACEMENT PARTS	5,331.14
			11783384	023-01338	COMPUTER REPLACEMENT PARTS	2,914.58
			11791465		COMPUTER REPLACEMENT PARTS	1,192.56
			11827523		COMPUTER REPLACEMENT PARTS	1,572.81
					Total :	**11,011.09**
166936	4/12/2022	111981 MIRANDA, ELLNER	02/07		CERTIFIED APPRENTICE TRAINING - M	37.12
					Total :	**37.12**
166937	4/12/2022	110824 MIXER INC, LLC	102134		PW PROGRAM SUPPLIES	1,574.37
					Total :	**1,574.37**
166938	4/12/2022	103093 MOBILE RELAY ASSOCIATES, INC.	80017977	037-10050	GTRANS BUS RADIO SYSTEM RENTAL	11,059.49
			80017978	037-10050	GTRANS BUS RADIO SYSTEM RENTAL	271.53

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
166938	4/12/2022	103093 103093 MOBILE RELAY ASSOCIATES, INC.	(Continued)		**Total :**	**11,331.02**
166939	4/12/2022	109056 MULTICARD	33887		PD PROGRAM SUPPLIES	332.78
			33977		PD PROGRAM SUPPLIES	630.63
					Total :	**963.41**
166940	4/12/2022	113605 MUTUAL LIQUID GAS & EQUIPMENT, CO., INC	585405		PROPANE GAS	733.13
			586688		PROPANE GAS	569.09
			588232		PROPANE GAS	536.69
			589553		PROPANE GAS	629.84
					Total :	**2,468.75**
166941	4/12/2022	109697 NATIONAL AUTO FLEET GROUP	WF3034	035-01098	2022 FORD EXPLORER VIN #1FM5K8A(	42,165.04
			WF3035	035-01098	2022 FORD EXPLORER VIN #1FM5K8A(	42,165.04
			WF3051	035-01098	2022 FORD EXPLORER VIN #1FM5K8A(	42,165.04
			WF3066	035-01098	2022 FORD EXPLORER VIN #1FM5K8A(	42,165.04
			WF3071	035-01098	2022 FORD EXPLORER VIN #1FM5K8A(	41,007.42
			WF3072	035-01098	2022 FORD EXPLORER VIN #1FM5K8A(	42,165.04
					Total :	**251,832.62**
166942	4/12/2022	111742 NGUYEN, MICHAEL	022822		MEDICAL REIMBURSEMENT	2,750.00
					Total :	**2,750.00**
166943	4/12/2022	217425 NGUYEN, MICHAEL	GEPCO 2022		GEPCO LOAN	2,000.00
					Total :	**2,000.00**
166944	4/12/2022	111370 NV5 INC.	259039	024-00804	CONSULTING SERVICES - ARTESIA LAI	2,208.95
					Total :	**2,208.95**
166945	4/12/2022	110575 OCCUPATIONAL HEALTH CENTERS, OF CALIF	74705495		PHYSICAL RECERTIFICATION	206.00
			74774534		PHYSICAL RECERTIFICATION & RAND(	386.00
					Total :	**592.00**
166946	4/12/2022	110568 ODANAKA, AYAKO	032122		MGMT ANNUAL HEALTH BENEFIT	299.00
					Total :	**299.00**
166947	4/12/2022	115168 OFFICE DEPOT	220074303		FINANCE OFFICE SUPPLIES	405.95
			230060371		PD OFFICE SUPPLIES	118.17

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
166947	4/12/2022	115168 OFFICE DEPOT	(Continued)			
			230755847		BUS OFFICE SUPPLIES	94.01
			231435896		HR OFFICE SUPPLIES	62.62
			23154753		CM OFFICE SUPPLIES	70.29
			231975403		PD OFFICE SUPPLIES	289.88
			231976685		PD OFFICE SUPPLIES	174.18
			231976688		PD OFFICE SUPPLIES	278.91
			232369695		BUS OFFICE SUPPLIES	555.37
			232370177		BUS OFFICE SUPPLIES	12.65
			232452912		PD OFFICE SUPPLIES	57.33
			233220988		PD OFFICE SUPPLIES	101.76
					Total :	**2,221.12**
166948	4/12/2022	111358 O'REILLY AUTO PARTS	207106		GTRANS AUTO PARTS	77.58
			207843		GTRANS AUTO PARTS	153.79
			209065		GTRANS AUTO PARTS	68.66
			209725		PW AUTO PARTS	446.82
					Total :	**746.85**
166949	4/12/2022	115810 ORKIN PEST CONTROL	225883533		PEST CONTROL - ACCT #27336703	237.00
			225883536		PEST CONTROL - ACCT #27336703	237.00
					Total :	**474.00**
166950	4/12/2022	111343 OROZCO, ALEJANDRA	032222		MGMT ANNUAL HEALTH BENEFIT	54.65
					Total :	**54.65**
166951	4/12/2022	215540 OSORIO, VICENTE	022822		MEDICAL REIMBURSEMENT	2,843.49
					Total :	**2,843.49**
166952	4/12/2022	109258 PACIFIC LIFT & EQUIPMENT CO., INC.	14307A		GTRAN MAINT SUPPLIES	1,661.60
					Total :	**1,661.60**
166953	4/12/2022	103673 PACIFIC PRODUCTS & SERVICE, LLC	30001		SIGNS/SIGNALS SUPPLIES	1,708.88
					Total :	**1,708.88**
166954	4/12/2022	110512 PASTRE, BRANDON	GEPCO 2022		GEPCO LOAN	2,000.00
					Total :	**2,000.00**

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
166955	4/12/2022	108628 PETROLEUM MARKETING EQUIPMENT	3175158		PW AUTO SUPPLIES	231.09
					Total :	**231.09**
166956	4/12/2022	108600 PHOENIX GROUP INFORMATION, SYSTEMS	0220221211	035-01103	PARKING CONTRACT SERVICES - FEBI	82.50
			022022211	035-01103	PARKING CONTRACT SERVICES - FEBI	18,641.64
					Total :	**18,724.14**
166957	4/12/2022	110721 PIN CENTER, THE	0322061		CM OFFICE SUPPLIES	497.00
					Total :	**497.00**
166958	4/12/2022	105574 PINNACLE PETROLEUM, INC.	0273045	037-10038	87 OCTANE REGULAR UNLEADED CAR	46,461.75
			0273046	037-10038	87 OCTANE REGULAR UNLEADED CAR	46,472.34
					Total :	**92,934.09**
166959	4/12/2022	111814 PLAYER ATHLETICS	INV11264		GTRANS PROMOTIONAL ITEMS	52.00
					Total :	**52.00**
166960	4/12/2022	111883 PROJECT PARTNERS, INC.	10560	024-00783	PROJECT MANAGEMENT SERVICES	10,780.00
					Total :	**10,780.00**
166961	4/12/2022	102677 PROVIDENCE HEALTH & SERVICES	1010125 02/05/22		SART EXAM	1,020.00
					Total :	**1,020.00**
166962	4/12/2022	106092 PRUDENTIAL OVERALL SUPPLY	42709994		UNIFORM & SUPPLY RENTAL	269.78
			42711800	034-00508	CUSTODIAL SUPPLIES	2,382.78
			42711801		UNIFORM & SUPPLY RENTAL	144.62
			42711802		UNIFORM & SUPPLY RENTAL	47.16
			42711803		UNIFORM & SUPPLY RENTAL	50.10
			42711804		UNIFORM & SUPPLY RENTAL	13.65
			42711805		UNIFORM & SUPPLY RENTAL	19.00
			42711806		UNIFORM & SUPPLY RENTAL	91.60
			42711807		UNIFORM & SUPPLY RENTAL	11.60
			42713834		UNIFORM & SUPPLY RENTAL	141.43
			42713835		UNIFORM & SUPPLY RENTAL	47.16
			42713836		UNIFORM & SUPPLY RENTAL	50.10
			42714148		UNIFORM & SUPPLY RENTAL	269.78
			42716300		UNIFORM & SUPPLY RENTAL	260.28
			S5119869		PARK MAINT SUPPLIES	138.52

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
166962	4/12/2022	106092 106092 PRUDENTIAL OVERALL SUPPLY	(Continued)		**Total :**	**3,937.56**
166963	4/12/2022	116820 PSOMAS	182050	037-09987	GTRANS DESIGN BUILD CONSTRUCTI(	2,348.50
					Total :	**2,348.50**
166964	4/12/2022	111986 PUGA, CARLOS ALFREDO	CIT #188135605		REFUND- FRANCHISE TAX BOARD CH/	190.00
					Total :	**190.00**
166965	4/12/2022	102283 QUICK COLOR PRINTING	15749		GTRANS - BANNERS	396.90
					Total :	**396.90**
166966	4/12/2022	111574 RACE COMMUNICATIONS	RC656315	023-01351	FIBER INTERNET SERVICES - APRIL 20	5,703.00
					Total :	**5,703.00**
166967	4/12/2022	105193 RC SIGNS & BANNERS	1046		RECREATION SIGNS	132.30
					Total :	**132.30**
166968	4/12/2022	100147 RCI IMAGE SYSTEMS	76945		MICROFICHE SCANNING - 14416 DAPH	73.87
			76946		MICROFICHE SCANNING - 1225 W 166T	86.55
					Total :	**160.42**
166969	4/12/2022	103072 REACH	0222828		EAP SERVICES/REACHLINE NEWSLET	902.00
					Total :	**902.00**
166970	4/12/2022	109868 READ, SARAH	022822		MEDICAL REIMBURSEMENT	450.00
					Total :	**450.00**
166971	4/12/2022	118476 RICOH USA, INC.	5064188723		RICOH SP8200DN COPIER USAGE CH/	1,598.17
			9029786085		RICOH MPC3503 COPIER LEASE - HS~	399.19
			9029786086		RICOH MPC3503 COPIER LEASE - SR. I	362.63
			9029786203		RICOH MPC3503 COPIER LEASE - PW~	165.00
			9029786208		RICOH MPC6003 COPIER LEASE & USA	1,264.59
			9029786568		RICOH MPC3503 COPIER LEASE & USA	518.60
			9029786596		RICOH MPC3503 COPIER LEASE - REC	187.53
			9029786795		RICOH MPC3503 COPIER LEASE - ADM	1,036.33
					Total :	**5,532.04**

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
166972	4/12/2022	111985 RIGG, ALLAN	031822		MGMT ANNUAL HEALTH BENEFIT	541.26
					Total :	**541.26**
166973	4/12/2022	100387 RIVERA, ALEXANDER J.	032122		MGMT ANNUAL HEALTH BENEFIT	131.39
					Total :	**131.39**
166974	4/12/2022	109323 RIVERAS LAWNMOWER SHOP, INC.	1426		PARK MAINT SUPPLIES	357.21
					Total :	**357.21**
166975	4/12/2022	111867 RJM DESIGN GROUP	34882	024-00795	DESIGN & ENGINEERING SERVICES - A	55,398.90
					Total :	**55,398.90**
166976	4/12/2022	110205 ROSS & BARUZZINI, INC.	47970	037-09901	CONSULTING SERVICES FOR MACRO	2,364.08
			48945	037-09885	CONSULTING SERVICES FOR SCHEDU	9,600.00
					Total :	**11,964.08**
166977	4/12/2022	110205 ROSS & BARUZZINI, INC.	47169	037-09901	CONSULTING SERVICES FOR MACRO	2,364.08
			47170	037-09885	CONSULTING SERVICES FOR SCHEDU	4,800.00
			47969	037-09885	CONSULTING SERVICES FOR SCHEDU	4,800.00
			47971	037-09901	CONSULTING SERVICES FOR MACRO	8,728.90
			48512	037-09885	CONSULTING SERVICES FOR SCHEDU	4,800.00
			49611	037-09901	CONSULTING SERVICES FOR MACRO	8,661.47
					Total :	**34,154.45**
166978	4/12/2022	119126 S.B.R.P.C.A.	04132	023-01326	FY 21-22 4TH QUARTER ASSESSMENT	359,995.82
					Total :	**359,995.82**
166979	4/12/2022	119126 S.B.R.P.C.A.	01106		PD AUTO PARTS	57.09
					Total :	**57.09**
166980	4/12/2022	119015 SAFETY-KLEEN CORPORATION	88093847		CLEANING OF CLARIFIER & SUMPS IN	3,179.46
			88252068		SERVICE AQUEOUS PARTS WASHER	377.06
					Total :	**3,556.52**
166981	4/12/2022	119016 SAM'S CLUB	3175		PW DEPARTMENT SUPPLIES	151.56
					Total :	**151.56**
166982	4/12/2022	105934 SANTIN, STEPHANY	122821		MEDICAL REIMBURSEMENT	258.16

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
166982	4/12/2022	105934 105934 SANTIN, STEPHANY	(Continued)		**Total :**	**258.16**
166983	4/12/2022	119045 SAXE-CLIFFORD, PH.D., SUSAN	22-0217-1		PSYCHOLOGICAL EVALUATIONS	450.00
			22-0224-1		PSYCHOLOGICAL EVALUATIONS	450.00
					Total :	**900.00**
166984	4/12/2022	109609 SEA COAST DESIGN GROUP	24875		BUS OFFICE TOOLS & SUPPLIES	548.84
			24876		BUS OFFICE TOOLS & SUPPLIES	715.32
					Total :	**1,264.16**
166985	4/12/2022	108654 SECTRAN SECURITY INC.	20031687		ARMORED TRANSPORTATION SERVICI	1,546.77
			21091986		ARMORED TRANSPORTATION SERVICI	1,693.18
			21100724		ARMORED TRANSPORTATION SERVICI	773.18
			21101906		ARMORED TRANSPORTATION SERVICI	2,055.95
			21110726		ARMORED TRANSPORTATION SERVICI	776.43
			21111889		ARMORED TRANSPORTATION SERVICI	1,740.50
			22010747		ARMORED TRANSPORTATION SERVICI	786.18
			22021900		ARMORED TRANSPORTATION SERVICI	1,463.86
			22030751		ARMORED TRANSPORTATION SERVICI	792.68
			22030752		ARMORED TRANSPORTATION SERVICI	215.20
					Total :	**11,843.93**
166986	4/12/2022	110731 SHAW HR CONSULTING, INC	001637/001783/001784		PROFESSIONAL SERVICES - PERSONN	1,107.50
			002347		PROFESSIONAL SERVICES - PERSONN	57.50
			002464		PROFESSONAL SERVICES - PERSONN	420.00
			002545		PROFESSIONAL SERVICES - PERSONN	260.00
			002571		PROFESSIONAL SERVICES - PERSONN	80.00
			002627		PROFESSIONAL SERVICES - PERSONN	420.00
			002674		PROFESSIONAL SERVICES - PERSONN	80.00
			002764		PROFESSIONAL SERVICES - PERSONN	275.00
			002846		PROFESSIONAL SERVICES - PERSONN	75.00
			003197		PROFESSIONAL SERVICES - PERSONN	2,150.00
			1253/1231/1335/1408		PROFESSIONAL SERVICES - PERSONN	307.50
			1885/1945/1983/2117		PROFESSIONAL SERVICES - PERSONN	727.50
					Total :	**5,960.00**
166987	4/12/2022	119233 SHERWIN-WILLIAMS CO.	4338-9		STREET MAINT SUPPLIES	307.60

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
166987	4/12/2022	119233 119233 SHERWIN-WILLIAMS CO.	(Continued)		**Total :**	**307.60**
166988	4/12/2022	109918 SHIGE'S FOREIGN CAR SERVICE, INC.	8090265	035-01134	2021 FORD INTRCPTR SERVICE & REP	578.01
			8090354	035-01134	2017 FORD INTRCPTR #1488142 SERVI	159.28
			8090609	035-01134	2018 FORD INTRCPTR #1554880 SERVI	1,125.82
			8090623	035-01134	2016 FORD INTRCPTR #1488054 SERVI	1,042.15
			8090631	035-01134	2015 FORD INTRCPTR #1462934 SERVI	630.16
			8090675	035-01134	2016 FORD INTRCPTR #P23 SERVICE &	1,402.55
			8090676	035-01134	2017 FORD INTRCPTR #1368929 SERVI	519.50
			8090689	035-01134	2020 NISSAN ROGUE SERVICE & REPA	300.46
			8090727	035-01134	2017 FORD INTRCPTR #1488142 SERVI	680.09
			8090728	035-01134	2016 FORD INTRCPTR #1488059 SERVI	453.76
			8090776	035-01134	2016 FORD INTRCPTR #1488054 SERVI	277.72
			8090777	035-01134	2016 FORD INTRCPTR #1488058 SERVI	1,111.17
			8090807	035-01134	2016 FORD INTRCPTR #1488057 SERVI	1,805.02
					Total :	**10,085.69**
166989	4/12/2022	119361 SMART & FINAL IRIS CO.	22104		REC PROGRAM SUPPLIES	31.70
			27002		REC PROGRAM SUPPLIES	94.96
			30602		REC PROGRAM SUPPLIES	31.96
			31703		REC PROGRAM SUPPLIES	22.73
			32403		REC PROGRAM SUPPLIES	109.40
					Total :	**290.75**
166990	4/12/2022	110343 SMARTCOVER SYSTEMS	20210	024-00789	SMARTCOVER SYSTEMS RENEWAL	29,250.00
					Total :	**29,250.00**
166991	4/12/2022	119129 SNAP-ON INDUSTRIAL	ARV/51977348		BUS MAINT SUPPLIES	88.12
			ARV/52016558		BUS MAINT SUPPLIES	637.39
					Total :	**725.51**
166992	4/12/2022	119447 SOUTH BAY FORD	509066		2017 FORD TRUCK #02529 OIL & FILTEI	70.54
					Total :	**70.54**
166993	4/12/2022	101249 SOUTH BAY TOYOTA	6960 03/08/22	034-00514	2022 TOYOTA HIGHLANDER HYBRID LE	46,166.02
					Total :	**46,166.02**
166994	4/12/2022	619003 SOUTHERN CALIFORNIA EDISON	040222		LIGHT & POWER	38,665.71

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
166994	4/12/2022	619003 619003 SOUTHERN CALIFORNIA EDISON	(Continued)		**Total :**	**38,665.71**
166995	4/12/2022	619003 SOUTHERN CALIFORNIA EDISON	040422		LIGHT & POWER	32,953.31
					Total :	**32,953.31**
166996	4/12/2022	619003 SOUTHERN CALIFORNIA EDISON	032122		LIGHT & POWER	17,885.32
					Total :	**17,885.32**
166997	4/12/2022	111758 SOUTHERN COMPUTER WAREHOUSE, INC	728199		APPLECARE +FOR IPAD PRO	108.36
					Total :	**108.36**
166998	4/12/2022	103202 SOUTHERN COUNTIES LUBRICANTS, LLC	161779		OLYMPUS OMEGA RED AF 50/50	2,196.13
					Total :	**2,196.13**
166999	4/12/2022	108238 SPARKLETTS	14211220 032322		DRINKING WATER FILTRATION SYSTEM	39.99
			15638236 022522		DRINKING WATER FILTRATION SYSTEM	2.70
			15638236 032522		DRINKING WATER FILTRATION SYSTEM	42.70
					Total :	**85.39**
167000	4/12/2022	104126 SPECTRUM SOLUTIONS	0851122031222		CABLE SERVICES - PD	75.74
					Total :	**75.74**
167001	4/12/2022	119594 STANLEY PEST CONTROL	COG 0322		PEST CONTROL SERVICE - 1670 W 162	654.00
			COG 0322-1		PEST CONTROL SERVICE - 2320 W 149	117.00
					Total :	**771.00**
167002	4/12/2022	109892 STANTEC CONSULTING SERVICES	1906055	037-10002	GTRANS DISPATCH AREA MODIFICATIC	37,603.50
					Total :	**37,603.50**
167003	4/12/2022	119010 STAPLES ADVANTAGE	3502749283		PW OFFICE SUPPLIES	152.52
					Total :	**152.52**
167004	4/12/2022	219620 SWEENEY, NIKKI	SPRING 2021		EDUCATIONAL REIMBURSEMENT	2,500.00
					Total :	**2,500.00**
167005	4/12/2022	100609 TANK SPECIALISTS OF CALIFORNIA	31361		CERTIFIED DESIGNATED OPERATOR S	189.75
					Total :	**189.75**

Bank code : usb

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
167006	4/12/2022	107928 TELECOM LAW FIRM, P.C.	12088		PROFESSIONAL SERVICES - 14708 S. H	164.50
			12191		PROFESSIONAL SERVICES - 16711 S. \	2,450.00
			12358		PROFESSIONAL SERVICES - AD HOC S	32.90
					Total :	**2,647.40**
167007	4/12/2022	111978 THE SOHAGI LAW GROUP	17066		LEGAL SERVICES	5,368.00
					Total :	**5,368.00**
167008	4/12/2022	110315 THEOBALD, CHRISTINA	FALL 2021		EDUCATIONAL REIMBURSEMENT	2,500.00
					Total :	**2,500.00**
167009	4/12/2022	110238 TIREHUB, LLC	26118536		TIRES - GY WRL HT BW 115Q E 225/75	499.57
					Total :	**499.57**
167010	4/12/2022	106669 TOKIO MARINE AMERICA, ASO NORMAN YOU	AUT000923764		FINAL SETTLEMENT -	1,114.23
					Total :	**1,114.23**
167011	4/12/2022	109775 TOMS TRUCK CENTER NORTH COUNTY	1254939	037-10052	GTRANS AUTO PARTS	759.78
			1260529	037-10052	GTRANS AUTO PARTS	2,498.18
			1261068	037-10052	GTRANS AUTO PARTS	41.88
			1261732	037-10052	GTRANS AUTO PART	845.22
			CM1260529A		GTRANS AUTO PARTS	-116.03
					Total :	**4,029.03**
167012	4/12/2022	111481 TRIO COMMUNITY MEALS, LLC	INV2230008072	034-00480	SENIOR FEEDING PROGRAM	10,753.05
			INV2230008120	034-00480	SENIOR FEEDING PROGRAM	10,353.65
					Total :	**21,106.70**
167013	4/12/2022	109900 U.S. BANK CORPORATE PAYMENT, SYSTEMS	BEEMAN 03/22/22		CAL CARD STATEMENT 02/23-03/22/22	15.74
			CRESPO 03/22/22		CAL CARD STATEMENT 02/23-03/22/22	1,099.93
			FCC 03/22/22		CAL CARD STATEMENT - 02/23-03/22/22	207.33
			FINANCE 02/22/22		CAL CARD STATEMENT 01/25-02/22/22	9,937.16
			FOX 02/22/22		CAL CARD STATEMENT 01/25-02/22/22	1,960.60
			KWAK 03/22/22		CAL CARD STATEMENT 02/23-03/22/22	222.00
			LEWIS 03/22/22		CAL CARDS STATEMENT 02/23-03/22/22	2,864.58
			MACIEL 02/22/22		CAL CARD STATEMENT 01/25-02/22/22	196.14
			NOLAN 03/22/22		CAL CARD STATEMENT 02/23-03/22/22	1,564.41
			OROZCO 03/22/22		CAL CARD STATEMENT 02/23/-03/22/22	1,253.88

Bank code : usb

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
167013	4/12/2022	109900 U.S. BANK CORPORATE PAYMENT, SYSTEMS	(Continued)			
			RECREATION 01/24/22		CAL CARD STATEMENT 12/23-01/24/22	3,053.39
			RECREATION 02/22/22		CAL CARD STATEMENT 01/25-02/22/22	4,536.00
			RIGG 03/22/22		CAL CARD STATEMENT 02/23-03/22/22	15.74
			ROMERO 02/22/22		CAL CARD STATEMENT 01/25-02/22/22	1,704.41
			ROMERO 03/22/22		CAL CARD STATEMENT 02/21-03/22/22	161.94
			SANTIN 02/22/22		CAL CARD STATEMENT 01/25-02/22/22	961.64
			SANTOS 02/22/22		CAL CARD STATEMENT 01/25-02/22/22	1,494.63
			SWEENEY 02/22/22		CAL CARD STATEMENT 01/25-02/22/22	23.10
					Total :	**31,272.62**
167014	4/12/2022	109220 U.S. BANK EQUIPMENT FINANCE	468790258		RICOH MPC4503 COPIER LEASE - CD	163.40
					Total :	**163.40**
167015	4/12/2022	102603 UGALDE, JESUS	GEPCO 2022		GEPCO LOAN	2,000.00
					Total :	**2,000.00**
167016	4/12/2022	104692 ULINE	145168000		PD PROGRAM SUPPLIES	2,602.10
			145242617		PD PROGRAM SUPPLIES	66.86
			145890299		BUS SHOP SUPPLIES	787.67
			146346644		PD PROGRAM SUPPLIES	83.54
					Total :	**3,540.17**
167017	4/12/2022	121275 UNDERGROUND SERVICE ALERT, OF SC	220220280		NEW TICKETS	109.00
					Total :	**109.00**
167018	4/12/2022	121407 UPS	649922112 03/12/22		SHIPPING SERVICE CHARGES	151.46
					Total :	**151.46**
167019	4/12/2022	119001 VENCO WESTERN, INC	31826-IN		LANDSCAPE REMEDIAL	1,344.00
					Total :	**1,344.00**
167020	4/12/2022	122050 VERIZON WIRELESS	9901529618		PW CELL PHONE SERVICE~	1,185.47
					Total :	**1,185.47**
167021	4/12/2022	104139 VERONICA TAM & ASSOCIATES, INC	3056	032-00084	CONSULTANT SERVICES - HOUSING EI	23,680.00
					Total :	**23,680.00**

Bank code : usb

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
167022	4/12/2022	107048 VIGILANT SOLUTIONS, LLC	46310	035-01135	ANNUAL SUBSCRIPTION RENEWAL	2,250.00
					Total :	**2,250.00**
167023	4/12/2022	103841 VILLAGE AUTO SPA	JAN-MARCH 2022		CAR WASH	156.99
					Total :	**156.99**
167024	4/12/2022	105259 VINI'S PARTY RENTALS	679242	034-00516	RENTAL - 40"X70" CANOPY	2,915.25
					Total :	**2,915.25**
167025	4/12/2022	122435 VISTA PAINT CORPORATION	2022-453190-00		GTRANS FACILITY PAINT	246.31
					Total :	**246.31**
167026	4/12/2022	101195 WASTE RESOURCES GARDENA	031622		WASTE COLLECTION	257,917.77
					Total :	**257,917.77**
167027	4/12/2022	109523 WATTS, FRAZIER	011822		MEDICAL REIMBURSEMENT	796.75
					Total :	**796.75**
167028	4/12/2022	100107 WAYNE ELECTRIC CO.	204554		GTRANS AUTO PARTS	517.76
					Total :	**517.76**
167029	4/12/2022	123154 WEST COAST ARBORISTS, INC.	183389-A	024-00765	TREE TRIMMING SERVICES FY 2022	27,558.30
					Total :	**27,558.30**
167030	4/12/2022	123050 WILLIAMS SCOTSMAN, INC.	9013444526	035-01105	MODULAR BUILDING RENTAL CPX-804	2,212.87
					Total :	**2,212.87**
167031	4/12/2022	105568 WORTHY, PATRICIA	FEB 2022		VOLUNTEER DRIVER	20.00
			FEBRUARY 2022		VOLUNTEER DRIVER	20.00
			JAN 2022		VOLUNTEER DRIVER	15.00
			JANUARY 2022		VOLUNTEER DRIVER	15.00
			MARCH 2022		VOLUNTEER DRIVER	25.00
					Total :	**95.00**
167032	4/12/2022	125001 YAMADA COMPANY, INC.	81781		PARK MAINT SUPPLIES	14.78
			81789		STREET MAINT SUPPLIES	534.34
					Total :	**549.12**

Bank code : usb

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
167033	4/12/2022	104934 ZUMAR INDUSTRIES, INC.	96285		STREET MAINT SUPPLIES	1,553.77
					Total :	**1,553.77**

251 Vouchers for bank code : usb **Bank total :** **4,321,802.06**

251 Vouchers in this report **Total vouchers :** **4,321,802.06**

Bank code : usb

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount

CLAIMS VOUCHER APPROVAL

I hereby certify that the demands or claims covered by the checks listed on pages 1 to 29 inclusive of the check register are accurate and funds are available for payment thereof.

By: _____
Director of Administrative Services

This is to certify that the claims or demands covered by checks listed on pages 1 to 29 inclusive of the check register have been audited by the City Council of the City of Gardena and that all of the said checks are approved for payment except check numbers:

_____

_____ 04/12/2022
Mayor Date

_____ _____
Councilmember Date

_____ _____
Councilmember Date

Acknowledged:

_____ _____
Councilmember Date

_____ _____
Councilmember Date

CITY OF GARDENA

INVESTMENT REPORT

February 2022

Prepared by Danny Rodriguez, Deputy City Treasurer
Reviewed by Ray Beeman, Director of Administrative Services

City of Gardena Consolidated - Account #10647

MONTHLY ACCOUNT STATEMENT

FEBRUARY 1, 2022 THROUGH FEBRUARY 28, 2022

Chandler Team:
For questions about your account, please call (800) 317-4747,
or contact **operations@chandlerasset.com**

CHANDLER ASSET MANAGEMENT
chandlerasset.com

Information contained herein is confidential. We urge you to compare this statement to the one you receive from your qualified custodian. Please see Important Disclosures.

City of Gardena Consolidated

Account #10647

Portfolio Summary

As of February 28, 2022

PORTFOLIO CHARACTERISTICS

Average Modified Duration	1.11
Average Coupon	1.05%
Average Purchase YTM	0.79%
Average Market YTM	1.02%
Average S&P/Moody Rating	AA/Aa1
Average Final Maturity	1.19 yrs
Average Life	1.14 yrs

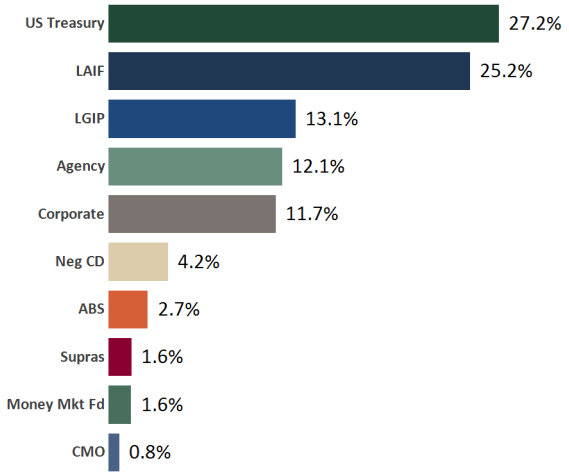
ACCOUNT SUMMARY

	Beg. Values as of 1/31/22	End Values as of 2/28/22
Market Value	45,455,948	50,332,166
Accrued Interest	86,695	108,927
Total Market Value	**45,542,644**	**50,441,094**
Income Earned	24,262	26,345
Cont/WD		
Par	39,462,069	44,470,556
Book Value	45,613,930	50,618,042
Cost Value	45,705,899	50,718,131

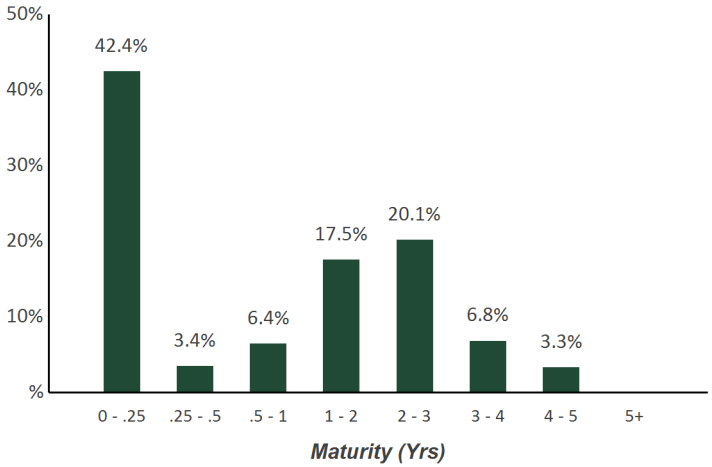
TOP ISSUERS

Government of United States	27.2%
Local Agency Investment Fund	25.2%
CalTrust	13.1%
Federal Home Loan Mortgage Corp	5.2%
Federal Farm Credit Bank	3.5%
Federal National Mortgage Assoc	2.4%
Federal Home Loan Bank	1.8%
First American Govt Oblig Fund	1.6%
Total	**79.9%**

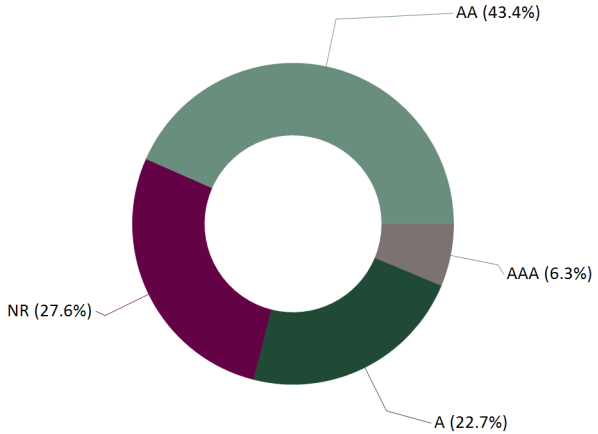
SECTOR ALLOCATION



MATURITY DISTRIBUTION



CREDIT QUALITY (S&P)



Holdings Report

As of February 28, 2022

CUSIP	Security Description	Par Value/Units	Purchase Date Book Yield	Cost Value Book Value	Mkt Price Mkt YTM	Market Value Accrued Int.	% of Port. Gain/Loss	Moody/S&P Fitch	Maturity Duration
ABS									
89231PAD0	Toyota Auto Receivables Trust 2018-D A3 3.18% Due 3/15/2023	9,691.36	08/29/2019 1.98%	9,898.44 9,752.06	100.21 0.09%	9,711.99 13.70	0.02% (40.07)	Aaa / AAA NR	1.04 0.06
47789JAD8	John Deere Owner Trust 2019-A A3 2.91% Due 7/17/2023	49,575.06	Various 1.39%	50,735.65 49,791.08	100.34 0.63%	49,741.38 64.12	0.10% (49.70)	Aaa / NR AAA	1.38 0.14
43815NAC8	Honda Auto Receivables Trust 2019-3 A3 1.78% Due 8/15/2023	47,006.73	08/20/2019 1.79%	47,006.35 47,006.66	100.28 0.94%	47,136.37 37.19	0.09% 129.71	Aaa / AAA NR	1.46 0.31
92348AAA3	Verizon Owner Trust 2019-C A1A 1.94% Due 4/22/2024	48,711.88	10/01/2019 1.95%	48,708.12 48,710.10	100.36 1.10%	48,886.27 28.88	0.10% 176.17	NR / AAA AAA	2.15 0.41
89232HAC9	Toyota Auto Receivable Own 2020-A A3 1.66% Due 5/15/2024	155,355.11	07/06/2020 0.70%	158,777.77 157,315.78	100.32 1.02%	155,848.67 114.62	0.31% (1,467.11)	Aaa / AAA NR	2.21 0.48
65479JAD5	Nissan Auto Receivables Owner 2019-C A3 1.93% Due 7/15/2024	64,524.32	10/16/2019 1.94%	64,520.92 64,522.61	100.45 0.89%	64,813.07 55.35	0.13% 290.46	Aaa / AAA NR	2.38 0.42
43813KAC6	Honda Auto Receivables Trust 2020-3 A3 0.37% Due 10/18/2024	85,000.00	09/22/2020 0.38%	84,987.51 84,993.16	99.28 1.28%	84,385.03 11.36	0.17% (608.13)	NR / AAA AAA	2.64 0.80
58769KAD6	Mercedes-Benz Auto Lease Trust 2021-B A3 0.4% Due 11/15/2024	80,000.00	06/22/2021 0.40%	79,993.96 79,995.55	98.36 1.61%	78,690.56 14.22	0.16% (1,304.99)	NR / AAA AAA	2.72 1.36
09690AAC7	BMW Vehicle Lease Trust 2021-2 A3 0.33% Due 12/26/2024	50,000.00	09/08/2021 0.34%	49,994.84 49,995.88	98.49 1.50%	49,245.15 2.75	0.10% (750.73)	Aaa / NR AAA	2.83 1.30
89236XAC0	Toyota Auto Receivables 2020-D A3 0.35% Due 1/15/2025	70,000.00	10/06/2020 0.36%	69,986.96 69,991.19	99.15 1.54%	69,407.03 10.89	0.14% (584.16)	NR / AAA AAA	2.88 0.72
92290BAA9	Verizon Owner Trust 2020-B A 0.47% Due 2/20/2025	120,000.00	08/04/2020 0.48%	119,974.80 119,983.43	99.11 1.42%	118,928.76 17.23	0.24% (1,054.67)	Aaa / NR AAA	2.98 0.94
05601XAC3	BMW Vehicle Lease Trust 2022-1 A3 1.1% Due 3/25/2025	85,000.00	01/11/2022 1.11%	84,987.29 84,987.94	99.24 1.57%	84,352.90 15.58	0.17% (635.04)	NR / AAA AAA	3.07 1.65
43813GAC5	Honda Auto Receivables Trust 2021-1 A3 0.27% Due 4/21/2025	80,000.00	02/17/2021 0.27%	79,998.54 79,999.02	98.78 1.50%	79,024.32 6.00	0.16% (974.70)	Aaa / NR AAA	3.15 0.99
47788UAC6	John Deere Owner Trust 2021-A A3 0.36% Due 9/15/2025	60,000.00	03/02/2021 0.37%	59,988.47 59,991.59	98.24 1.60%	58,944.72 9.60	0.12% (1,046.87)	Aaa / NR AAA	3.55 1.43

Holdings Report

As of February 28, 2022

CUSIP	Security Description	Par Value/Units	Purchase Date Book Yield	Cost Value Book Value	Mkt Price Mkt YTM	Market Value Accrued Int.	% of Port. Gain/Loss	Moody/S&P Fitch	Maturity Duration
ABS									
43815GAC3	Honda Auto Receivables Trust 2021-4 A3 0.88% Due 1/21/2026	85,000.00	11/16/2021 0.89%	84,982.08 84,983.55	98.40 1.70%	83,641.19 20.78	0.17% (1,342.36)	Aaa / NR AAA	3.90 1.97
47789QAC4	John Deere Owner Trust 2021-B A3 0.52% Due 3/16/2026	70,000.00	07/13/2021 0.52%	69,993.76 69,994.80	97.37 1.90%	68,159.07 16.18	0.14% (1,835.73)	Aaa / NR AAA	4.05 1.92
89238JAC9	Toyota Auto Receivables Trust 2021-D A3 0.71% Due 4/15/2026	65,000.00	11/09/2021 0.71%	64,998.62 64,998.74	97.84 2.32%	63,596.00 20.51	0.13% (1,402.74)	NR / AAA AAA	4.13 1.36
43815BAC4	Honda Auto Receivables Trust 2022-1 A3 1.88% Due 5/15/2026	165,000.00	02/15/2022 1.89%	164,975.18 164,975.31	100.00 1.89%	165,000.00 68.93	0.33% 24.69	Aaa / AAA NR	4.21 2.26
Total ABS		**1,389,864.46**	**0.92%**	**1,394,509.26 1,391,988.45**	**1.46%**	**1,379,512.48 527.89**	**2.74% (12,475.97)**	**Aaa / AAA AAA**	**3.01 1.16**
AGENCY									
3133ELWD2	FFCB Note 0.375% Due 4/8/2022	285,000.00	04/03/2020 0.45%	284,578.20 284,978.04	100.02 0.17%	285,065.84 424.53	0.57% 87.80	Aaa / AA+ AAA	0.11 0.11
3133ELYR9	FFCB Note 0.25% Due 5/6/2022	325,000.00	04/30/2020 0.31%	324,587.25 324,962.68	99.98 0.34%	324,947.35 259.55	0.64% (15.33)	Aaa / AA+ AAA	0.18 0.19
3134GVJ66	FHLMC Note 0.25% Due 6/8/2022	350,000.00	06/04/2020 0.28%	349,790.00 349,971.52	99.96 0.38%	349,871.20 201.74	0.69% (100.32)	Aaa / NR AAA	0.27 0.28
3137EAET2	FHLMC Note 0.125% Due 7/25/2022	170,000.00	07/21/2020 0.24%	169,615.80 169,923.37	99.84 0.52%	169,724.09 21.25	0.34% (199.28)	Aaa / AA+ AAA	0.40 0.41
3130ADRG9	FHLB Note 2.75% Due 3/10/2023	350,000.00	04/11/2019 2.34%	355,330.50 351,396.08	101.75 1.04%	356,140.40 4,571.88	0.72% 4,744.32	Aaa / AA+ NR	1.03 1.01
3137EAER6	FHLMC Note 0.375% Due 5/5/2023	305,000.00	05/05/2020 0.39%	304,871.90 304,949.60	99.08 1.16%	302,191.56 368.54	0.60% (2,758.04)	Aaa / AA+ AAA	1.18 1.18
3135G04Q3	FNMA Note 0.25% Due 5/22/2023	245,000.00	05/20/2020 0.35%	244,262.55 244,698.96	98.88 1.16%	242,264.09 168.44	0.48% (2,434.87)	Aaa / AA+ AAA	1.23 1.22
3137EAES4	FHLMC Note 0.25% Due 6/26/2023	300,000.00	06/24/2020 0.35%	299,124.00 299,614.40	98.73 1.22%	296,190.90 135.42	0.59% (3,423.50)	Aaa / AA+ AAA	1.32 1.32
3135G05G4	FNMA Note 0.25% Due 7/10/2023	250,000.00	07/08/2020 0.32%	249,462.50 249,756.53	98.59 1.29%	246,479.25 88.54	0.49% (3,277.28)	Aaa / AA+ AAA	1.36 1.36

Holdings Report

As of February 28, 2022

CUSIP	Security Description	Par Value/Units	Purchase Date Book Yield	Cost Value Book Value	Mkt Price Mkt YTM	Market Value Accrued Int.	% of Port. Gain/Loss	Moody/S&P Fitch	Maturity Duration
AGENCY									
3137EAEV7	FHLMC Note 0.25% Due 8/24/2023	300,000.00	08/19/2020 0.28%	299,694.00 299,849.23	98.50 1.27%	295,489.80 14.58	0.59% (4,359.43)	Aaa / AA+ AAA	1.48 1.48
3137EAEW5	FHLMC Note 0.25% Due 9/8/2023	300,000.00	09/11/2020 0.24%	300,093.00 300,047.48	98.41 1.30%	295,236.30 360.42	0.59% (4,811.18)	Aaa / AA+ AAA	1.53 1.51
3135G0U43	FNMA Note 2.875% Due 9/12/2023	350,000.00	09/25/2019 1.63%	366,702.00 356,463.80	102.30 1.36%	358,045.80 4,723.78	0.72% 1,582.00	Aaa / AA+ AAA	1.54 1.49
3137EAEY1	FHLMC Note 0.125% Due 10/16/2023	225,000.00	10/14/2020 0.25%	224,160.75 224,544.74	98.05 1.34%	220,611.38 105.47	0.44% (3,933.36)	Aaa / AA+ AAA	1.63 1.62
3137EAEZ8	FHLMC Note 0.25% Due 11/6/2023	335,000.00	11/03/2020 0.28%	334,698.50 334,830.82	98.14 1.37%	328,757.28 267.53	0.65% (6,073.54)	Aaa / AA+ AAA	1.69 1.67
3130A0F70	FHLB Note 3.375% Due 12/8/2023	350,000.00	10/30/2019 1.72%	372,781.50 359,832.98	103.43 1.41%	362,010.60 2,723.44	0.72% 2,177.62	Aaa / AA+ AAA	1.78 1.72
3130A1XJ2	FHLB Note 2.875% Due 6/14/2024	155,000.00	03/24/2020 0.99%	167,010.95 161,511.77	102.94 1.56%	159,560.41 953.14	0.32% (1,951.36)	Aaa / AA+ NR	2.29 2.21
3133ENKS8	FFCB Note 1.125% Due 1/6/2025	750,000.00	Various 1.60%	740,054.10 740,173.12	98.59 1.63%	739,455.00 1,171.88	1.47% (718.12)	Aaa / AA+ AAA	2.86 2.79
3133ENPG9	FFCB Note 1.75% Due 2/14/2025	415,000.00	02/10/2022 1.84%	413,891.95 413,906.12	100.28 1.65%	416,176.53 322.78	0.83% 2,270.41	Aaa / AA+ AAA	2.96 2.87
3135G06G3	FNMA Note 0.5% Due 11/7/2025	350,000.00	11/18/2020 0.52%	349,639.50 349,732.31	95.49 1.77%	334,225.15 554.17	0.66% (15,507.16)	Aaa / AA+ AAA	3.69 3.62
Total Agency		**6,110,000.00**	**0.88%**	**6,150,348.95 6,121,143.55**	**1.20%**	**6,082,442.93 17,437.08**	**12.09% (38,700.62)**	**Aaa / AA+ AAA**	**1.64 1.61**
CMO									
3137BM6P6	FHLMC K721 A2 3.09% Due 8/25/2022	101,668.98	06/26/2019 2.09%	104,456.93 102,096.59	100.47 1.01%	102,150.90 261.80	0.20% 54.31	Aaa / NR NR	0.49 0.32
3137B4GY6	FHLMC K032 A2 3.31% Due 5/25/2023	275,000.00	07/23/2019 2.21%	285,881.84 278,500.23	101.98 1.47%	280,434.55 151.71	0.56% 1,934.32	NR / NR AAA	1.24 1.16
Total CMO		**376,668.98**	**2.18%**	**390,338.77 380,596.82**	**1.35%**	**382,585.45 413.51**	**0.76% 1,988.63**	**Aaa / NR AAA**	**1.04 0.93**

Holdings Report

As of February 28, 2022

CUSIP	Security Description	Par Value/Units	Purchase Date Book Yield	Cost Value Book Value	Mkt Price Mkt YTM	Market Value Accrued Int.	% of Port. Gain/Loss	Moody/S&P Fitch	Maturity Duration
CORPORATE									
459200JX0	IBM Corp Note 2.85% Due 5/13/2022	200,000.00	05/16/2019 2.80%	200,300.00 200,020.11	100.44 0.72%	200,882.20 1,710.00	0.40% 862.09	A3 / A- NR	0.20 0.21
24422ETV1	John Deere Capital Corp Note 2.15% Due 9/8/2022	305,000.00	04/17/2019 2.78%	298,851.20 304,049.05	100.57 1.07%	306,733.62 3,151.24	0.61% 2,684.57	A2 / A A	0.53 0.52
89236TEL5	Toyota Motor Credit Corp Note 2.7% Due 1/11/2023	200,000.00	04/25/2019 2.72%	199,856.00 199,966.37	101.22 1.28%	202,447.00 750.00	0.40% 2,480.63	A1 / A+ A+	0.87 0.86
037833DE7	Apple Inc Callable Note Cont 12/13/2022 2.4% Due 1/13/2023	200,000.00	11/21/2019 1.83%	203,350.00 200,863.06	100.97 1.18%	201,936.60 640.00	0.40% 1,073.54	Aaa / AA+ NR	0.87 0.78
747525AR4	Qualcomm Inc Callable Note Cont 12/30/2022 2.6% Due 1/30/2023	500,000.00	Various 0.62%	512,557.50 508,171.91	101.20 1.17%	505,992.51 1,119.45	1.01% (2,179.40)	A2 / A NR	0.92 0.82
037833AK6	Apple Inc Note 2.4% Due 5/3/2023	200,000.00	03/11/2019 2.79%	196,968.00 199,141.74	101.28 1.30%	202,561.80 1,573.33	0.40% 3,420.06	Aaa / AA+ NR	1.18 1.16
90331HNV1	US Bank NA Callable Note Cont 6/23/2023 3.4% Due 7/24/2023	250,000.00	05/17/2019 2.70%	256,695.00 252,146.52	102.34 1.61%	255,837.75 873.61	0.51% 3,691.23	A1 / AA- AA-	1.40 1.28
06406FAD5	Bank of NY Mellon Corp Callable Note Cont 6/16/2023 2.2% Due 8/16/2023	200,000.00	04/11/2019 2.90%	194,298.00 198,081.33	100.76 1.61%	201,519.80 183.33	0.40% 3,438.47	A1 / A AA-	1.46 1.27
594918BX1	Microsoft Callable Note Cont 12/6/2023 2.875% Due 2/6/2024	200,000.00	03/05/2020 1.06%	213,320.00 206,284.86	102.47 1.46%	204,934.00 399.31	0.41% (1,350.86)	Aaa / AAA AAA	1.94 1.72
89114QCB2	Toronto Dominion Bank Note 3.25% Due 3/11/2024	500,000.00	Various 1.52%	523,124.00 517,035.45	102.63 1.92%	513,174.00 7,673.61	1.03% (3,861.45)	A1 / A AA-	2.03 1.94
808513BN4	Charles Schwab Corp Callable Note Cont 2/18/2024 0.75% Due 3/18/2024	245,000.00	Various 0.58%	246,097.00 245,792.95	97.89 1.80%	239,831.48 831.98	0.48% (5,961.47)	A2 / A A	2.05 2.02
023135BW5	Amazon.com Inc Note 0.45% Due 5/12/2024	130,000.00	05/10/2021 0.50%	129,810.20 129,860.94	97.65 1.54%	126,939.80 177.13	0.25% (2,921.14)	A1 / AA AA-	2.20 2.18
91324PEB4	United Health Group Inc Callable Note Cont 5/15/2022 0.55% Due 5/15/2024	500,000.00	11/24/2021 1.07%	493,760.00 494,399.29	97.47 1.72%	487,330.50 809.72	0.97% (7,068.79)	A3 / A+ A	2.21 2.18
14913R2L0	Caterpillar Financial Service Note 0.45% Due 5/17/2024	500,000.00	Various 0.66%	497,344.65 497,733.57	97.14 1.77%	485,675.00 650.00	0.96% (12,058.57)	A2 / A A	2.22 2.19

Holdings Report

As of February 28, 2022

CUSIP	Security Description	Par Value/Units	Purchase Date Book Yield	Cost Value Book Value	Mkt Price Mkt YTM	Market Value Accrued Int.	% of Port. Gain/Loss	Moody/S&P Fitch	Maturity Duration
CORPORATE									
89236TJH9	Toyota Motor Credit Corp Note 0.5% Due 6/18/2024	300,000.00	12/06/2021 1.07%	295,710.00 296,095.77	96.88 1.89%	290,636.10 304.17	0.58% (5,459.67)	A1 / A+ A+	2.30 2.27
79466LAG9	Salesforce.com Inc Callable Note Cont 7/15/2022 0.625% Due 7/15/2024	35,000.00	06/29/2021 0.64%	34,982.15 34,985.92	97.29 1.79%	34,053.04 27.95	0.07% (932.88)	A2 / A+ NR	2.38 2.34
69371RR40	Paccar Financial Corp Note 0.5% Due 8/9/2024	80,000.00	08/03/2021 0.52%	79,956.80 79,964.84	96.55 1.95%	77,241.28 24.44	0.15% (2,723.56)	A1 / A+ NR	2.45 2.41
78015K7C2	Royal Bank of Canada Note 2.25% Due 11/1/2024	500,000.00	Various 0.88%	524,067.75 518,013.83	100.09 2.22%	500,439.00 3,750.00	1.00% (17,574.83)	A1 / A AA-	2.68 2.56
69371RR57	Paccar Financial Corp Note 0.9% Due 11/8/2024	175,000.00	11/02/2021 0.90%	174,989.50 174,990.58	97.36 1.91%	170,376.50 494.38	0.34% (4,614.08)	A1 / A+ NR	2.70 2.64
46647PAH9	JP Morgan Chase & Co Callable Note 2X 3/1/2024 3.22% Due 3/1/2025	500,000.00	Various 1.01%	531,052.10 521,714.48	101.75 2.13%	508,769.50 8,050.00	1.02% (12,944.98)	A2 / A- AA-	3.01 2.81
857477BR3	State Street Bank Callable Note Cont 2/6/2025 1.746% Due 2/6/2026	90,000.00	02/02/2022 1.75%	90,000.00 90,000.00	98.89 2.06%	89,005.41 104.76	0.18% (994.59)	A1 / A AA-	3.94 3.77
931142ER0	Wal-Mart Stores Callable Note Cont 08/17/2026 1.05% Due 9/17/2026	40,000.00	09/08/2021 1.09%	39,924.40 39,931.23	96.05 1.96%	38,418.28 191.33	0.08% (1,512.95)	Aa2 / AA AA	4.55 4.39
Total Corporate		**5,850,000.00**	**1.39%**	**5,937,014.25** **5,909,243.80**	**1.66%**	**5,844,735.17** **33,489.74**	**11.65%** **(64,508.63)**	**A1 / A+** **A+**	**1.89** **1.81**
LAIF									
90LAIF$00	Local Agency Investment Fund State Pool	12,696,899.16	Various 0.29%	12,696,899.16 12,696,899.16	1.00 0.29%	12,696,899.16 5,175.22	25.18% 0.00	NR / NR NR	0.00 0.00
Total LAIF		**12,696,899.16**	**0.29%**	**12,696,899.16** **12,696,899.16**	**0.29%**	**12,696,899.16** **5,175.22**	**25.18%** **0.00**	**NR / NR** **NR**	**0.00** **0.00**

Holdings Report

As of February 28, 2022

CUSIP	Security Description	Par Value/Units	Purchase Date Book Yield	Cost Value Book Value	Mkt Price Mkt YTM	Market Value Accrued Int.	% of Port. Gain/Loss	Moody/S&P Fitch	Maturity Duration
LOCAL GOV INVESTMENT POOL									
09CATR$05	CalTrust Medium Term Fund	653,753.47	Various 0.87%	6,576,659.08 6,576,659.08	10.07 0.87%	6,583,297.41 0.00	13.05% 6,638.33	NR / A+ NR	0.00 0.00
Total Local Gov Investment Pool		**653,753.47**	**0.87%**	**6,576,659.08** **6,576,659.08**	**0.87%**	**6,583,297.41** **0.00**	**13.05%** **6,638.33**	**NR / A+** **NR**	**0.00** **0.00**
MONEY MARKET FUND									
31846V203	First American Govt Obligation Fund Class Y	793,369.89	Various 0.01%	793,369.89 793,369.89	1.00 0.01%	793,369.89 0.00	1.57% 0.00	Aaa / AAA AAA	0.00 0.00
Total Money Market Fund		**793,369.89**	**0.01%**	**793,369.89** **793,369.89**	**0.01%**	**793,369.89** **0.00**	**1.57%** **0.00**	**Aaa / AAA** **AAA**	**0.00** **0.00**
NEGOTIABLE CD									
06367CDX2	Bank of Montreal Chicago Yankee CD 0.24% Due 4/6/2022	500,000.00	11/23/2021 0.20%	500,073.82 500,019.83	100.00 0.26%	499,987.50 326.67	0.99% (32.33)	P-1 / A-1 F-1+	0.10 0.10
06417MQY4	Bank of Nova Scotia Houston Yankee CD 0.19% Due 7/28/2022	600,000.00	11/18/2021 0.26%	599,707.04 599,826.09	99.77 0.74%	598,626.60 684.00	1.19% (1,199.49)	P-1 / A-1 F-1+	0.41 0.41
86959RSN1	Svenska Handelsbanken NY Yankee CD 0.2% Due 8/23/2022	500,000.00	10/27/2021 0.27%	499,708.60 499,830.02	99.69 0.83%	498,473.50 527.78	0.99% (1,356.52)	P-1 / A-1+ F-1+	0.48 0.48
55380TXW5	MUFG Bank Yankee CD 0.3% Due 10/25/2022	500,000.00	10/27/2021 0.32%	499,899.59 499,933.98	99.46 1.11%	497,323.00 570.83	0.99% (2,610.98)	P-1 / A-1 F-1	0.65 0.65
Total Negotiable CD		**2,100,000.00**	**0.26%**	**2,099,389.05** **2,099,609.92**	**0.74%**	**2,094,410.60** **2,109.28**	**4.16%** **(5,199.32)**	**Aaa / AA+** **AAA**	**0.41** **0.41**
SUPRANATIONAL									
459058JM6	Intl. Bank Recon & Development Note 0.25% Due 11/24/2023	165,000.00	11/17/2020 0.32%	164,645.25 164,794.93	98.04 1.40%	161,761.22 111.15	0.32% (3,033.71)	Aaa / AAA AAA	1.74 1.72
459058GQ0	Intl. Bank Recon & Development Note 2.5% Due 3/19/2024	225,000.00	01/26/2021 0.26%	240,736.50 235,285.02	101.98 1.52%	229,446.90 2,531.25	0.46% (5,838.12)	Aaa / AAA AAA	2.05 1.98

Holdings Report

As of February 28, 2022

CUSIP	Security Description	Par Value/Units	Purchase Date Book Yield	Cost Value Book Value	Mkt Price Mkt YTM	Market Value Accrued Int.	% of Port. Gain/Loss	Moody/S&P Fitch	Maturity Duration
SUPRANATIONAL									
4581X0DZ8	Inter-American Dev Bank Note 0.5% Due 9/23/2024	260,000.00	09/15/2021 0.52%	259,807.60 259,835.51	97.27 1.59%	252,896.54 570.56	0.50% (6,938.97)	Aaa / AAA NR	2.57 2.53
45950KCR9	International Finance Corp Note 1.375% Due 10/16/2024	160,000.00	07/12/2021 0.54%	164,304.00 163,472.13	99.12 1.72%	158,584.32 825.00	0.32% (4,887.81)	Aaa / AAA NR	2.63 2.56
Total Supranational		**810,000.00**	**0.41%**	**829,493.35** **823,387.59**	**1.56%**	**802,688.98** **4,037.96**	**1.60%** **(20,698.61)**	**Aaa / AAA** **AAA**	**2.27** **2.22**
US TREASURY									
912828M80	US Treasury Note 2% Due 11/30/2022	750,000.00	Various 0.75%	761,879.29 757,006.37	100.82 0.91%	756,123.00 3,750.00	1.51% (883.37)	Aaa / AA+ AAA	0.75 0.74
912828YW4	US Treasury Note 1.625% Due 12/15/2022	750,000.00	02/15/2022 1.00%	753,837.89 753,672.68	100.56 0.92%	754,189.50 2,544.64	1.50% 516.82	Aaa / AA+ AAA	0.79 0.79
912828ZD5	US Treasury Note 0.5% Due 3/15/2023	325,000.00	12/28/2021 0.47%	325,101.56 325,087.28	99.39 1.09%	323,032.12 749.65	0.64% (2,055.16)	Aaa / AA+ AAA	1.04 1.03
912828VB3	US Treasury Note 1.75% Due 5/15/2023	750,000.00	Various 0.79%	761,337.89 758,609.36	100.68 1.18%	755,097.75 3,843.23	1.50% (3,511.61)	Aaa / AA+ AAA	1.21 1.19
912828ZU7	US Treasury Note 0.25% Due 6/15/2023	750,000.00	02/15/2022 1.36%	739,130.86 739,422.80	98.79 1.20%	740,889.00 391.48	1.47% 1,466.20	Aaa / AA+ AAA	1.29 1.28
912828T26	US Treasury Note 1.375% Due 9/30/2023	750,000.00	Various 1.05%	750,579.29 753,912.13	100.07 1.33%	750,556.50 4,306.32	1.50% (3,355.63)	Aaa / AA+ AAA	1.59 1.55
912828V80	US Treasury Note 2.25% Due 1/31/2024	750,000.00	Various 0.83%	776,144.53 770,122.93	101.56 1.42%	761,718.75 1,351.87	1.51% (8,404.18)	Aaa / AA+ AAA	1.92 1.88
912828B66	US Treasury Note 2.75% Due 2/15/2024	750,000.00	02/15/2022 1.58%	767,255.86 766,948.14	102.55 1.43%	769,101.75 797.65	1.53% 2,153.61	Aaa / AA+ AAA	1.96 1.91
912828W71	US Treasury Note 2.125% Due 3/31/2024	750,000.00	Various 0.67%	775,839.84 772,568.51	101.33 1.47%	759,990.00 6,655.22	1.52% (12,578.51)	Aaa / AA+ AAA	2.09 2.02
91282CBV2	US Treasury Note 0.375% Due 4/15/2024	500,000.00	Various 0.37%	500,162.11 500,099.16	97.68 1.49%	488,398.50 705.70	0.97% (11,700.66)	Aaa / AA+ AAA	2.13 2.10
912828WJ5	US Treasury Note 2.5% Due 5/15/2024	750,000.00	Various 1.10%	779,783.21 772,671.49	102.14 1.51%	766,083.75 5,490.33	1.53% (6,587.74)	Aaa / AA+ AAA	2.21 2.13
91282CCG4	US Treasury Note 0.25% Due 6/15/2024	400,000.00	06/17/2021 0.43%	397,890.63 398,384.68	97.13 1.53%	388,531.20 208.79	0.77% (9,853.48)	Aaa / AA+ AAA	2.30 2.27

Holdings Report

As of February 28, 2022

CUSIP	Security Description	Par Value/Units	Purchase Date Book Yield	Cost Value Book Value	Mkt Price Mkt YTM	Market Value Accrued Int.	% of Port. Gain/Loss	Moody/S&P Fitch	Maturity Duration
US TREASURY									
912828Y87	US Treasury Note 1.75% Due 7/31/2024	300,000.00	01/31/2020 1.35%	305,203.13 302,796.33	100.52 1.53%	301,570.20 420.58	0.60% (1,226.13)	Aaa / AA+ AAA	2.42 2.36
91282CCT6	US Treasury Note 0.375% Due 8/15/2024	400,000.00	08/25/2021 0.45%	399,109.38 399,262.88	97.17 1.55%	388,687.60 58.01	0.77% (10,575.28)	Aaa / AA+ AAA	2.46 2.44
91282CDH1	US Treasury Note 0.75% Due 11/15/2024	750,000.00	11/18/2021 0.83%	748,125.00 748,300.14	97.76 1.60%	733,183.50 1,647.10	1.46% (15,116.64)	Aaa / AA+ AAA	2.72 2.66
912828Z52	US Treasury Note 1.375% Due 1/31/2025	750,000.00	02/17/2022 1.71%	742,822.27 742,895.51	99.34 1.61%	745,019.25 826.14	1.48% 2,123.74	Aaa / AA+ AAA	2.93 2.85
912828ZF0	US Treasury Note 0.5% Due 3/31/2025	350,000.00	03/25/2021 0.58%	348,906.26 349,158.20	96.60 1.63%	338,105.60 730.77	0.67% (11,052.60)	Aaa / AA+ AAA	3.09 3.03
912828ZT0	US Treasury Note 0.25% Due 5/31/2025	365,000.00	02/25/2021 0.60%	359,653.32 360,918.64	95.54 1.67%	348,703.48 228.13	0.69% (12,215.16)	Aaa / AA+ AAA	3.25 3.21
9128284Z0	US Treasury Note 2.75% Due 8/31/2025	750,000.00	Various 0.98%	800,092.78 795,462.38	103.57 1.69%	776,806.50 56.05	1.54% (18,655.88)	Aaa / AA+ AAA	3.51 3.34
91282CAZ4	US Treasury Note 0.375% Due 11/30/2025	750,000.00	Various 0.88%	734,730.47 736,102.18	95.16 1.71%	713,730.75 703.14	1.42% (22,371.43)	Aaa / AA+ AAA	3.76 3.69
9128286L9	US Treasury Note 2.25% Due 3/31/2026	750,000.00	02/25/2022 1.91%	760,078.13 760,071.38	102.04 1.73%	765,264.00 7,046.70	1.53% 5,192.62	Aaa / AA+ AAA	4.09 3.86
912828R36	US Treasury Note 1.625% Due 5/15/2026	250,000.00	10/14/2021 0.99%	257,148.44 256,563.06	99.56 1.73%	248,906.25 1,189.57	0.50% (7,656.81)	Aaa / AA+ AAA	4.21 4.03
912828YG9	US Treasury Note 1.625% Due 9/30/2026	300,000.00	12/28/2021 1.24%	305,296.88 305,107.71	99.51 1.74%	298,535.10 2,035.71	0.60% (6,572.61)	Aaa / AA+ AAA	4.59 4.37
Total US Treasury		**13,690,000.00**	**1.00%**	**13,850,109.02 13,825,143.94**	**1.44%**	**13,672,224.05 45,736.78**	**27.20% (152,919.89)**	**Aaa / AA+ AAA**	**2.32 2.26**
TOTAL PORTFOLIO		**44,470,555.96**	**0.79%**	**50,718,130.78 50,618,042.20**	**1.02%**	**50,332,166.12 108,927.46**	**100.00% (285,876.08)**	**Aa1 / AA AAA**	**1.19 1.11**
TOTAL MARKET VALUE PLUS ACCRUED						**50,441,093.58**			

Transaction Ledger

As of February 28, 2022

Transaction Type	Settlement Date	CUSIP	Quantity	Security Description	Price	Acq/Disp Yield	Amount	Interest Pur/Sold	Total Amount	Gain/Loss
ACQUISITIONS										
Purchase	02/01/2022	31846V203	1.29	First American Govt Obligation Fund Class Y	1.000	0.01%	1.29	0.00	1.29	0.00
Purchase	02/06/2022	31846V203	2,875.00	First American Govt Obligation Fund Class Y	1.000	0.01%	2,875.00	0.00	2,875.00	0.00
Purchase	02/07/2022	857477BR3	90,000.00	State Street Bank Callable Note Cont 2/6/2025 1.746% Due 2/6/2026	100.000	1.75%	90,000.00	0.00	90,000.00	0.00
Purchase	02/09/2022	31846V203	200.00	First American Govt Obligation Fund Class Y	1.000	0.01%	200.00	0.00	200.00	0.00
Purchase	02/14/2022	31846V203	248,000.00	First American Govt Obligation Fund Class Y	1.000	0.01%	248,000.00	0.00	248,000.00	0.00
Purchase	02/14/2022	31846V203	2,465.39	First American Govt Obligation Fund Class Y	1.000	0.01%	2,465.39	0.00	2,465.39	0.00
Purchase	02/15/2022	3133ENPG9	415,000.00	FFCB Note 1.75% Due 2/14/2025	99.733	1.84%	413,891.95	0.00	413,891.95	0.00
Purchase	02/15/2022	31846V203	750.00	First American Govt Obligation Fund Class Y	1.000	0.01%	750.00	0.00	750.00	0.00
Purchase	02/15/2022	31846V203	6,562.55	First American Govt Obligation Fund Class Y	1.000	0.01%	6,562.55	0.00	6,562.55	0.00
Purchase	02/15/2022	31846V203	22,942.10	First American Govt Obligation Fund Class Y	1.000	0.01%	22,942.10	0.00	22,942.10	0.00
Purchase	02/15/2022	31846V203	6,743.19	First American Govt Obligation Fund Class Y	1.000	0.01%	6,743.19	0.00	6,743.19	0.00
Purchase	02/15/2022	31846V203	7,042.95	First American Govt Obligation Fund Class Y	1.000	0.01%	7,042.95	0.00	7,042.95	0.00
Purchase	02/15/2022	31846V203	14,178.92	First American Govt Obligation Fund Class Y	1.000	0.01%	14,178.92	0.00	14,178.92	0.00
Purchase	02/15/2022	31846V203	26.67	First American Govt Obligation Fund Class Y	1.000	0.01%	26.67	0.00	26.67	0.00
Purchase	02/15/2022	31846V203	18.00	First American Govt Obligation Fund Class Y	1.000	0.01%	18.00	0.00	18.00	0.00
Purchase	02/15/2022	31846V203	30.33	First American Govt Obligation Fund Class Y	1.000	0.01%	30.33	0.00	30.33	0.00

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Transaction Type	Settlement Date	CUSIP	Quantity	Security Description	Price	Acq/Disp Yield	Amount	Interest Pur/Sold	Total Amount	Gain/Loss
ACQUISITIONS										
Purchase	02/15/2022	31846V203	38.46	First American Govt Obligation Fund Class Y	1.000	0.01%	38.46	0.00	38.46	0.00
Purchase	02/15/2022	31846V203	20.42	First American Govt Obligation Fund Class Y	1.000	0.01%	20.42	0.00	20.42	0.00
Purchase	02/16/2022	31846V203	2,200.00	First American Govt Obligation Fund Class Y	1.000	0.01%	2,200.00	0.00	2,200.00	0.00
Purchase	02/16/2022	912828B66	750,000.00	US Treasury Note 2.75% Due 2/15/2024	102.301	1.58%	767,255.86	56.98	767,312.84	0.00
Purchase	02/16/2022	912828YW4	750,000.00	US Treasury Note 1.625% Due 12/15/2022	100.512	1.00%	753,837.89	2,109.38	755,947.27	0.00
Purchase	02/16/2022	912828ZU7	750,000.00	US Treasury Note 0.25% Due 6/15/2023	98.551	1.36%	739,130.86	324.52	739,455.38	0.00
Purchase	02/18/2022	3133ENKS8	555,000.00	FFCB Note 1.125% Due 1/6/2025	98.287	1.74%	545,492.85	641.72	546,134.57	0.00
Purchase	02/18/2022	31846V203	26.28	First American Govt Obligation Fund Class Y	1.000	0.01%	26.28	0.00	26.28	0.00
Purchase	02/18/2022	912828Z52	750,000.00	US Treasury Note 1.375% Due 1/31/2025	99.043	1.71%	742,822.27	512.78	743,335.05	0.00
Purchase	02/22/2022	31846V203	47.00	First American Govt Obligation Fund Class Y	1.000	0.01%	47.00	0.00	47.00	0.00
Purchase	02/22/2022	31846V203	62.33	First American Govt Obligation Fund Class Y	1.000	0.01%	62.33	0.00	62.33	0.00
Purchase	02/22/2022	31846V203	18.00	First American Govt Obligation Fund Class Y	1.000	0.01%	18.00	0.00	18.00	0.00
Purchase	02/22/2022	31846V203	6,243.19	First American Govt Obligation Fund Class Y	1.000	0.01%	6,243.19	0.00	6,243.19	0.00
Purchase	02/23/2022	43815BAC4	165,000.00	Honda Auto Receivables Trust 2022-1 A3 1.88% Due 5/15/2026	99.985	1.89%	164,975.18	0.00	164,975.18	0.00
Purchase	02/24/2022	31846V203	375.00	First American Govt Obligation Fund Class Y	1.000	0.01%	375.00	0.00	375.00	0.00
Purchase	02/25/2022	31846V203	758.54	First American Govt Obligation Fund Class Y	1.000	0.01%	758.54	0.00	758.54	0.00

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Transaction Type	Settlement Date	CUSIP	Quantity	Security Description	Price	Acq/Disp Yield	Amount	Interest Pur/Sold	Total Amount	Gain/Loss
ACQUISITIONS										
Purchase	02/25/2022	31846V203	13.75	First American Govt Obligation Fund Class Y	1.000	0.01%	13.75	0.00	13.75	0.00
Purchase	02/25/2022	31846V203	93.50	First American Govt Obligation Fund Class Y	1.000	0.01%	93.50	0.00	93.50	0.00
Purchase	02/25/2022	31846V203	7,320.75	First American Govt Obligation Fund Class Y	1.000	0.01%	7,320.75	0.00	7,320.75	0.00
Purchase	02/28/2022	09CATR$05	269.21	CalTrust Medium Term Fund	10.070	0.87%	2,710.89	0.00	2,710.89	0.00
Purchase	02/28/2022	31846V203	10,312.50	First American Govt Obligation Fund Class Y	1.000	0.01%	10,312.50	0.00	10,312.50	0.00
Purchase	02/28/2022	9128286L9	750,000.00	US Treasury Note 2.25% Due 3/31/2026	101.344	1.91%	760,078.13	7,000.34	767,078.47	0.00
Subtotal			**5,314,635.32**				**5,319,561.99**	**10,645.72**	**5,330,207.71**	**0.00**
Security Contribution	02/09/2022	31846V203	5,000,000.00	First American Govt Obligation Fund Class Y	1.000		5,000,000.00	0.00	5,000,000.00	0.00
Subtotal			**5,000,000.00**				**5,000,000.00**	**0.00**	**5,000,000.00**	**0.00**
TOTAL ACQUISITIONS			**10,314,635.32**				**10,319,561.99**	**10,645.72**	**10,330,207.71**	**0.00**
DISPOSITIONS										
Sale	02/07/2022	31846V203	90,000.00	First American Govt Obligation Fund Class Y	1.000	0.01%	90,000.00	0.00	90,000.00	0.00
Sale	02/15/2022	31846V203	413,891.95	First American Govt Obligation Fund Class Y	1.000	0.01%	413,891.95	0.00	413,891.95	0.00
Sale	02/16/2022	31846V203	2,262,715.49	First American Govt Obligation Fund Class Y	1.000	0.01%	2,262,715.49	0.00	2,262,715.49	0.00
Sale	02/18/2022	31846V203	1,289,469.62	First American Govt Obligation Fund Class Y	1.000	0.01%	1,289,469.62	0.00	1,289,469.62	0.00
Sale	02/23/2022	31846V203	164,975.18	First American Govt Obligation Fund Class Y	1.000	0.01%	164,975.18	0.00	164,975.18	0.00

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Transaction Type	Settlement Date	CUSIP	Quantity	Security Description	Price	Acq/Disp Yield	Amount	Interest Pur/Sold	Total Amount	Gain/Loss
DISPOSITIONS										
Sale	02/28/2022	31846V203	767,078.47	First American Govt Obligation Fund Class Y	1.000	0.01%	767,078.47	0.00	767,078.47	0.00
Subtotal			**4,988,130.71**				**4,988,130.71**	**0.00**	**4,988,130.71**	**0.00**
Paydown	02/15/2022	43815NAC8	6,483.21	Honda Auto Receivables Trust 2019-3 A3 1.78% Due 8/15/2023	100.000		6,483.21	79.34	6,562.55	0.00
Paydown	02/15/2022	47788UAC6	0.00	John Deere Owner Trust 2021-A A3 0.36% Due 9/15/2025	100.000		0.00	18.00	18.00	0.00
Paydown	02/15/2022	47789JAD8	22,766.67	John Deere Owner Trust 2019-A A3 2.91% Due 7/17/2023	100.000		22,766.67	175.43	22,942.10	0.00
Paydown	02/15/2022	47789QAC4	0.00	John Deere Owner Trust 2021-B A3 0.52% Due 3/16/2026	100.000		0.00	30.33	30.33	0.00
Paydown	02/15/2022	58769KAD6	0.00	Mercedes-Benz Auto Lease Trust 2021-B A3 0.4% Due 11/15/2024	100.000		0.00	26.67	26.67	0.00
Paydown	02/15/2022	65479JAD5	6,628.75	Nissan Auto Receivables Owner 2019-C A3 1.93% Due 7/15/2024	100.000		6,628.75	114.44	6,743.19	0.00
Paydown	02/15/2022	89231PAD0	6,998.72	Toyota Auto Receivables Trust 2018-D A3 3.18% Due 3/15/2023	100.000		6,998.72	44.23	7,042.95	0.00
Paydown	02/15/2022	89232HAC9	13,944.72	Toyota Auto Receivable Own 2020-A A3 1.66% Due 5/15/2024	100.000		13,944.72	234.20	14,178.92	0.00
Paydown	02/15/2022	89236XAC0	0.00	Toyota Auto Receivables 2020-D A3 0.35% Due 1/15/2025	100.000		0.00	20.42	20.42	0.00
Paydown	02/15/2022	89238JAC9	0.00	Toyota Auto Receivables Trust 2021-D A3 0.71% Due 4/15/2026	100.000		0.00	38.46	38.46	0.00
Paydown	02/18/2022	43813KAC6	0.00	Honda Auto Receivables Trust 2020-3 A3 0.37% Due 10/18/2024	100.000		0.00	26.28	26.28	0.00

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Transaction Type	Settlement Date	CUSIP	Quantity	Security Description	Price	Acq/Disp Yield	Amount	Interest Pur/Sold	Total Amount	Gain/Loss
DISPOSITIONS										
Paydown	02/22/2022	43813GAC5	0.00	Honda Auto Receivables Trust 2021-1 A3 0.27% Due 4/21/2025	100.000		0.00	18.00	18.00	0.00
Paydown	02/22/2022	43815GAC3	0.00	Honda Auto Receivables Trust 2021-4 A3 0.88% Due 1/21/2026	100.000		0.00	62.33	62.33	0.00
Paydown	02/22/2022	92290BAA9	0.00	Verizon Owner Trust 2020-B A 0.47% Due 2/20/2025	100.000		0.00	47.00	47.00	0.00
Paydown	02/22/2022	92348AAA3	6,154.49	Verizon Owner Trust 2019-C A1A 1.94% Due 4/22/2024	100.000		6,154.49	88.70	6,243.19	0.00
Paydown	02/25/2022	05601XAC3	0.00	BMW Vehicle Lease Trust 2022-1 A3 1.1% Due 3/25/2025	100.000		0.00	93.50	93.50	0.00
Paydown	02/25/2022	09690AAC7	0.00	BMW Vehicle Lease Trust 2021-2 A3 0.33% Due 12/26/2024	100.000		0.00	13.75	13.75	0.00
Paydown	02/25/2022	3137B4GY6	0.00	FHLMC K032 A2Due 5/25/2023	100.000		0.00	758.54	758.54	0.00
Paydown	02/25/2022	3137BM6P6	7,040.82	FHLMC K721 A2Due 8/25/2022	100.000		7,040.82	279.93	7,320.75	0.00
Subtotal			**70,017.38**				**70,017.38**	**2,169.55**	**72,186.93**	**0.00**
Maturity	02/14/2022	29976D2F6	248,000.00	Everbank Negotiable CD 2.05% Due 2/14/2022	100.000		248,000.00	0.00	248,000.00	0.00
Subtotal			**248,000.00**				**248,000.00**	**0.00**	**248,000.00**	**0.00**
TOTAL DISPOSITIONS			**5,306,148.09**				**5,306,148.09**	**2,169.55**	**5,308,317.64**	**0.00**
OTHER TRANSACTIONS										
Interest	02/06/2022	594918BX1	200,000.00	Microsoft Callable Note Cont 12/6/2023 2.875% Due 2/6/2024	0.000		2,875.00	0.00	2,875.00	0.00
Interest	02/09/2022	69371RR40	80,000.00	Paccar Financial Corp Note 0.5% Due 8/9/2024	0.000		200.00	0.00	200.00	0.00
Interest	02/14/2022	29976D2F6	248,000.00	Everbank Negotiable CD 2.05% Due 2/14/2022	0.000		2,465.39	0.00	2,465.39	0.00

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Transaction Type	Settlement Date	CUSIP	Quantity	Security Description	Price	Acq/Disp Yield	Amount	Interest Pur/Sold	Total Amount	Gain/Loss
OTHER TRANSACTIONS										
Interest	02/15/2022	91282CCT6	400,000.00	US Treasury Note 0.375% Due 8/15/2024	0.000		750.00	0.00	750.00	0.00
Interest	02/16/2022	06406FAD5	200,000.00	Bank of NY Mellon Corp Callable Note Cont 6/16/2023 2.2% Due 8/16/2023	0.000		2,200.00	0.00	2,200.00	0.00
Interest	02/24/2022	3137EAEV7	300,000.00	FHLMC Note 0.25% Due 8/24/2023	0.000		375.00	0.00	375.00	0.00
Interest	02/28/2022	9128284Z0	750,000.00	US Treasury Note 2.75% Due 8/31/2025	0.000		10,312.50	0.00	10,312.50	0.00
Subtotal			**2,178,000.00**				**19,177.89**	**0.00**	**19,177.89**	**0.00**
Dividend	02/01/2022	31846V203	442,134.49	First American Govt Obligation Fund Class Y	0.000		1.29	0.00	1.29	0.00
Dividend	02/28/2022	09CATR$05	653,484.26	CalTrust Medium Term Fund	0.000		2,710.89	0.00	2,710.89	0.00
Subtotal			**1,095,618.75**				**2,712.18**	**0.00**	**2,712.18**	**0.00**
TOTAL OTHER TRANSACTIONS			**3,273,618.75**				**21,890.07**	**0.00**	**21,890.07**	**0.00**

Income Earned

As of February 28, 2022

CUSIP	Security Description	Trade Date Settle Date Units	Book Value: Begin Book Value: Acq Book Value: Disp Book Value: End	Prior Accrued Inc. Received Ending Accrued Total Interest	Accr. Of Discount Amort. Of Premium Net Accret/Amort Income Earned	Total Income
FIXED INCOME						
023135BW5	Amazon.com Inc Note 0.45% Due 05/12/2024	05/10/2021 05/12/2021 130,000.00	129,856.09 0.00 0.00 129,860.94	128.38 0.00 177.13 48.75	4.85 0.00 4.85 53.60	53.60
037833AK6	Apple Inc Note 2.4% Due 05/03/2023	03/11/2019 03/13/2019 200,000.00	199,085.59 0.00 0.00 199,141.74	1,173.33 0.00 1,573.33 400.00	56.15 0.00 56.15 456.15	456.15
037833DE7	Apple Inc Callable Note Cont 12/13/2022 2.4% Due 01/13/2023	11/21/2019 11/25/2019 200,000.00	200,947.26 0.00 0.00 200,863.06	240.00 0.00 640.00 400.00	0.00 84.20 (84.20) 315.80	315.80
05601XAC3	BMW Vehicle Lease Trust 2022-1 A3 1.1% Due 03/25/2025	01/11/2022 01/19/2022 85,000.00	84,987.50 0.00 0.00 84,987.94	31.17 93.50 15.58 77.91	0.44 0.00 0.44 78.35	78.35
06406FAD5	Bank of NY Mellon Corp Callable Note Cont 6/16/2023 2.2% Due 08/16/2023	04/11/2019 04/15/2019 200,000.00	197,980.54 0.00 0.00 198,081.33	2,016.67 2,200.00 183.33 366.66	100.79 0.00 100.79 467.45	467.45
09690AAC7	BMW Vehicle Lease Trust 2021-2 A3 0.33% Due 12/26/2024	09/08/2021 09/15/2021 50,000.00	49,995.70 0.00 0.00 49,995.88	2.75 13.75 2.75 13.75	0.18 0.00 0.18 13.93	13.93
14913R2L0	Caterpillar Financial Service Note 0.45% Due 05/17/2024	Various Various 500,000.00	497,655.04 0.00 0.00 497,733.57	462.51 0.00 650.00 187.49	78.53 0.00 78.53 266.02	266.02
24422ETV1	John Deere Capital Corp Note 2.15% Due 09/08/2022	04/17/2019 04/22/2019 305,000.00	303,909.65 0.00 0.00 304,049.05	2,604.78 0.00 3,151.24 546.46	139.40 0.00 139.40 685.86	685.86
3130A0F70	FHLB Note 3.375% Due 12/08/2023	10/30/2019 10/31/2019 350,000.00	360,258.51 0.00 0.00 359,832.98	1,739.06 0.00 2,723.44 984.38	0.00 425.53 (425.53) 558.85	558.85

Income Earned

As of February 28, 2022

CUSIP	Security Description	Trade Date Settle Date Units	Book Value: Begin Book Value: Acq Book Value: Disp Book Value: End	Prior Accrued Inc. Received Ending Accrued Total Interest	Accr. Of Discount Amort. Of Premium Net Accret/Amort Income Earned	Total Income
3130A1XJ2	FHLB Note 2.875% Due 06/14/2024	03/24/2020 03/25/2020 155,000.00	161,729.87 0.00 0.00 161,511.77	581.79 0.00 953.14 371.35	0.00 218.10 (218.10) 153.25	153.25
3130ADRG9	FHLB Note 2.75% Due 03/10/2023	04/11/2019 04/12/2019 350,000.00	351,500.60 0.00 0.00 351,396.08	3,769.79 0.00 4,571.88 802.09	0.00 104.52 (104.52) 697.57	697.57
3133ELWD2	FFCB Note 0.375% Due 04/08/2022	04/03/2020 04/08/2020 285,000.00	284,961.86 0.00 0.00 284,978.04	335.47 0.00 424.53 89.06	16.18 0.00 16.18 105.24	105.24
3133ELYR9	FFCB Note 0.25% Due 05/06/2022	04/30/2020 05/06/2020 325,000.00	324,946.85 0.00 0.00 324,962.68	191.84 0.00 259.55 67.71	15.83 0.00 15.83 83.54	83.54
3133ENKS8	FFCB Note 1.125% Due 01/06/2025	Various Various 750,000.00	194,569.70 545,492.85 0.00 740,173.12	121.88 (641.72) 1,171.88 408.28	110.57 0.00 110.57 518.85	518.85
3133ENPG9	FFCB Note 1.75% Due 02/14/2025	02/10/2022 02/15/2022 415,000.00	0.00 413,891.95 0.00 413,906.12	0.00 0.00 322.78 322.78	14.17 0.00 14.17 336.95	336.95
3134GVJ66	FHLMC Note 0.25% Due 06/08/2022	06/04/2020 06/08/2020 350,000.00	349,963.47 0.00 0.00 349,971.52	128.82 0.00 201.74 72.92	8.05 0.00 8.05 80.97	80.97
3135G04Q3	FNMA Note 0.25% Due 05/22/2023	05/20/2020 05/22/2020 245,000.00	244,680.10 0.00 0.00 244,698.96	117.40 0.00 168.44 51.04	18.86 0.00 18.86 69.90	69.90
3135G05G4	FNMA Note 0.25% Due 07/10/2023	07/08/2020 07/10/2020 250,000.00	249,742.79 0.00 0.00 249,756.53	36.46 0.00 88.54 52.08	13.74 0.00 13.74 65.82	65.82

Income Earned

As of February 28, 2022

CUSIP	Security Description	Trade Date Settle Date Units	Book Value: Begin Book Value: Acq Book Value: Disp Book Value: End	Prior Accrued Inc. Received Ending Accrued Total Interest	Accr. Of Discount Amort. Of Premium Net Accret/Amort Income Earned	Total Income
3135G06G3	FNMA Note 0.5% Due 11/07/2025	11/18/2020 11/19/2020 350,000.00	349,726.74 0.00 0.00 349,732.31	408.33 0.00 554.17 145.84	5.57 0.00 5.57 151.41	151.41
3135G0U43	FNMA Note 2.875% Due 09/12/2023	09/25/2019 09/26/2019 350,000.00	356,786.99 0.00 0.00 356,463.80	3,885.24 0.00 4,723.78 838.54	0.00 323.19 (323.19) 515.35	515.35
3137B4GY6	FHLMC K032 A2 3.31% Due 05/25/2023	07/23/2019 07/26/2019 275,000.00	278,718.03 0.00 0.00 278,500.23	151.71 758.54 151.71 758.54	0.00 217.80 (217.80) 540.74	540.74
3137BM6P6	FHLMC K721 A2 3.09% Due 08/25/2022	06/26/2019 06/28/2019 101,668.98	109,239.36 0.00 7,040.82 102,096.59	279.93 279.93 261.80 261.80	0.00 101.95 (101.95) 159.85	159.85
3137EAER6	FHLMC Note 0.375% Due 05/05/2023	05/05/2020 05/07/2020 305,000.00	304,946.32 0.00 0.00 304,949.60	273.23 0.00 368.54 95.31	3.28 0.00 3.28 98.59	98.59
3137EAES4	FHLMC Note 0.25% Due 06/26/2023	06/24/2020 06/26/2020 300,000.00	299,592.00 0.00 0.00 299,614.40	72.92 0.00 135.42 62.50	22.40 0.00 22.40 84.90	84.90
3137EAET2	FHLMC Note 0.125% Due 07/25/2022	07/21/2020 07/23/2020 170,000.00	169,908.67 0.00 0.00 169,923.37	3.54 0.00 21.25 17.71	14.70 0.00 14.70 32.41	32.41
3137EAEV7	FHLMC Note 0.25% Due 08/24/2023	08/19/2020 08/21/2020 300,000.00	299,841.43 0.00 0.00 299,849.23	327.08 375.00 14.58 62.50	7.80 0.00 7.80 70.30	70.30
3137EAEW5	FHLMC Note 0.25% Due 09/08/2023	09/11/2020 09/14/2020 300,000.00	300,049.87 0.00 0.00 300,047.48	297.92 0.00 360.42 62.50	0.00 2.39 (2.39) 60.11	60.11

Income Earned

As of February 28, 2022

CUSIP	Security Description	Trade Date Settle Date Units	Book Value: Begin Book Value: Acq Book Value: Disp Book Value: End	Prior Accrued Inc. Received Ending Accrued Total Interest	Accr. Of Discount Amort. Of Premium Net Accret/Amort Income Earned	Total Income
3137EAEY1	FHLMC Note 0.125% Due 10/16/2023	10/14/2020 10/16/2020 225,000.00	224,523.28 0.00 0.00 224,544.74	82.03 0.00 105.47 23.44	21.46 0.00 21.46 44.90	44.90
3137EAEZ8	FHLMC Note 0.25% Due 11/06/2023	11/03/2020 11/05/2020 335,000.00	334,823.12 0.00 0.00 334,830.82	197.74 0.00 267.53 69.79	7.70 0.00 7.70 77.49	77.49
43813GAC5	Honda Auto Receivables Trust 2021-1 A3 0.27% Due 04/21/2025	02/17/2021 02/24/2021 80,000.00	79,998.99 0.00 0.00 79,999.02	6.00 18.00 6.00 18.00	0.03 0.00 0.03 18.03	18.03
43813KAC6	Honda Auto Receivables Trust 2020-3 A3 0.37% Due 10/18/2024	09/22/2020 09/29/2020 85,000.00	84,992.86 0.00 0.00 84,993.16	11.36 26.28 11.36 26.28	0.30 0.00 0.30 26.58	26.58
43815BAC4	Honda Auto Receivables Trust 2022-1 A3 1.88% Due 05/15/2026	02/15/2022 02/23/2022 165,000.00	0.00 164,975.18 0.00 164,975.31	0.00 0.00 68.93 68.93	0.13 0.00 0.13 69.06	69.06
43815GAC3	Honda Auto Receivables Trust 2021-4 A3 0.88% Due 01/21/2026	11/16/2021 11/24/2021 85,000.00	84,983.12 0.00 0.00 84,983.55	20.78 62.33 20.78 62.33	0.43 0.00 0.43 62.76	62.76
43815NAC8	Honda Auto Receivables Trust 2019-3 A3 1.78% Due 08/15/2023	08/20/2019 08/27/2019 47,006.73	53,489.85 0.00 6,483.21 47,006.66	42.32 79.34 37.19 74.21	0.02 0.00 0.02 74.23	74.23
4581X0DZ8	Inter-American Dev Bank Note 0.5% Due 09/23/2024	09/15/2021 09/23/2021 260,000.00	259,830.60 0.00 0.00 259,835.51	462.22 0.00 570.56 108.34	4.91 0.00 4.91 113.25	113.25
459058GQ0	Intl. Bank Recon & Development Note 2.5% Due 03/19/2024	01/26/2021 01/28/2021 225,000.00	235,669.51 0.00 0.00 235,285.02	2,062.50 0.00 2,531.25 468.75	0.00 384.49 (384.49) 84.26	84.26

Income Earned

As of February 28, 2022

CUSIP	Security Description	Trade Date Settle Date Units	Book Value: Begin Book Value: Acq Book Value: Disp Book Value: End	Prior Accrued Inc. Received Ending Accrued Total Interest	Accr. Of Discount Amort. Of Premium Net Accret/Amort Income Earned	Total Income
459058JM6	Intl. Bank Recon & Development Note 0.25% Due 11/24/2023	11/17/2020 11/24/2020 165,000.00	164,785.85 0.00 0.00 164,794.93	76.77 0.00 111.15 34.38	9.08 0.00 9.08 43.46	43.46
459200JX0	IBM Corp Note 2.85% Due 05/13/2022	05/16/2019 05/20/2019 200,000.00	200,027.82 0.00 0.00 200,020.11	1,235.00 0.00 1,710.00 475.00	0.00 7.71 (7.71) 467.29	467.29
45950KCR9	International Finance Corp Note 1.375% Due 10/16/2024	07/12/2021 07/14/2021 160,000.00	163,573.41 0.00 0.00 163,472.13	641.67 0.00 825.00 183.33	0.00 101.28 (101.28) 82.05	82.05
46647PAH9	JP Morgan Chase & Co Callable Note 2X 3/1/2024 3.22% Due 03/01/2025	Various Various 500,000.00	522,546.23 0.00 0.00 521,714.48	6,708.33 0.00 8,050.00 1,341.67	0.00 831.75 (831.75) 509.92	509.92
47788UAC6	John Deere Owner Trust 2021-A A3 0.36% Due 09/15/2025	03/02/2021 03/10/2021 60,000.00	59,991.35 0.00 0.00 59,991.59	9.60 18.00 9.60 18.00	0.24 0.00 0.24 18.24	18.24
47789JAD8	John Deere Owner Trust 2019-A A3 2.91% Due 07/17/2023	Various Various 49,575.06	72,709.81 0.00 22,766.67 49,791.08	93.56 175.43 64.12 145.99	0.00 152.06 (152.06) (6.07)	(6.07)
47789QAC4	John Deere Owner Trust 2021-B A3 0.52% Due 03/16/2026	07/13/2021 07/21/2021 70,000.00	69,994.67 0.00 0.00 69,994.80	16.18 30.33 16.18 30.33	0.13 0.00 0.13 30.46	30.46
58769KAD6	Mercedes-Benz Auto Lease Trust 2021-B A3 0.4% Due 11/15/2024	06/22/2021 06/29/2021 80,000.00	79,995.37 0.00 0.00 79,995.55	14.22 26.67 14.22 26.67	0.18 0.00 0.18 26.85	26.85
594918BX1	Microsoft Callable Note Cont 12/6/2023 2.875% Due 02/06/2024	03/05/2020 03/09/2020 200,000.00	206,557.69 0.00 0.00 206,284.86	2,795.14 2,875.00 399.31 479.17	0.00 272.83 (272.83) 206.34	206.34

Income Earned

As of February 28, 2022

CUSIP	Security Description	Trade Date Settle Date Units	Book Value: Begin Book Value: Acq Book Value: Disp Book Value: End	Prior Accrued Inc. Received Ending Accrued Total Interest	Accr. Of Discount Amort. Of Premium Net Accret/Amort Income Earned	Total Income
65479JAD5	Nissan Auto Receivables Owner 2019-C A3 1.93% Due 07/15/2024	10/16/2019 10/23/2019 64,524.32	71,151.13 0.00 6,628.75 64,522.61	61.03 114.44 55.35 108.76	0.23 0.00 0.23 108.99	108.99
69371RR40	Paccar Financial Corp Note 0.5% Due 08/09/2024	08/03/2021 08/09/2021 80,000.00	79,963.74 0.00 0.00 79,964.84	191.11 200.00 24.44 33.33	1.10 0.00 1.10 34.43	34.43
69371RR57	Paccar Financial Corp Note 0.9% Due 11/08/2024	11/02/2021 11/08/2021 175,000.00	174,990.31 0.00 0.00 174,990.58	363.13 0.00 494.38 131.25	0.27 0.00 0.27 131.52	131.52
747525AR4	Qualcomm Inc Callable Note Cont 12/30/2022 2.6% Due 01/30/2023	Various Various 500,000.00	508,924.58 0.00 0.00 508,171.91	36.11 0.00 1,119.45 1,083.34	0.00 752.67 (752.67) 330.67	330.67
78015K7C2	Royal Bank of Canada Note 2.25% Due 11/01/2024	Various Various 500,000.00	518,530.62 0.00 0.00 518,013.83	2,812.51 0.00 3,750.00 937.49	0.00 516.79 (516.79) 420.70	420.70
79466LAG9	Salesforce.com Inc Callable Note Cont 7/15/2022 0.625% Due 07/15/2024	06/29/2021 07/12/2021 35,000.00	34,985.46 0.00 0.00 34,985.92	9.72 0.00 27.95 18.23	0.46 0.00 0.46 18.69	18.69
808513BN4	Charles Schwab Corp Callable Note Cont 2/18/2024 0.75% Due 03/18/2024	Various Various 245,000.00	245,823.88 0.00 0.00 245,792.95	678.86 0.00 831.98 153.12	1.21 32.14 (30.93) 122.19	122.19
857477BR3	State Street Bank Callable Note Cont 2/6/2025 1.746% Due 02/06/2026	02/02/2022 02/07/2022 90,000.00	0.00 90,000.00 0.00 90,000.00	0.00 0.00 104.76 104.76	0.00 0.00 0.00 104.76	104.76
89114QCB2	Toronto Dominion Bank Note 3.25% Due 03/11/2024	Various Various 500,000.00	517,679.17 0.00 0.00 517,035.45	6,319.45 0.00 7,673.61 1,354.16	0.00 643.72 (643.72) 710.44	710.44

Income Earned

As of February 28, 2022

CUSIP	Security Description	Trade Date Settle Date Units	Book Value: Begin Book Value: Acq Book Value: Disp Book Value: End	Prior Accrued Inc. Received Ending Accrued Total Interest	Accr. Of Discount Amort. Of Premium Net Accret/Amort Income Earned	Total Income
89231PAD0	Toyota Auto Receivables Trust 2018-D A3 3.18% Due 03/15/2023	08/29/2019 08/30/2019 9,691.36	16,802.33 0.00 6,998.72 9,752.06	23.59 44.23 13.70 34.34	0.00 51.55 (51.55) (17.21)	(17.21)
89232HAC9	Toyota Auto Receivable Own 2020-A A3 1.66% Due 05/15/2024	07/06/2020 07/08/2020 155,355.11	171,510.72 0.00 13,944.72 157,315.78	124.91 234.20 114.62 223.91	0.00 250.22 (250.22) (26.31)	(26.31)
89236TEL5	Toyota Motor Credit Corp Note 2.7% Due 01/11/2023	04/25/2019 04/29/2019 200,000.00	199,963.39 0.00 0.00 199,966.37	300.00 0.00 750.00 450.00	2.98 0.00 2.98 452.98	452.98
89236TJH9	Toyota Motor Credit Corp Note 0.5% Due 06/18/2024	12/06/2021 12/08/2021 300,000.00	295,965.63 0.00 0.00 296,095.77	179.17 0.00 304.17 125.00	130.14 0.00 130.14 255.14	255.14
89236XAC0	Toyota Auto Receivables 2020-D A3 0.35% Due 01/15/2025	10/06/2020 10/13/2020 70,000.00	69,990.95 0.00 0.00 69,991.19	10.89 20.42 10.89 20.42	0.24 0.00 0.24 20.66	20.66
89238JAC9	Toyota Auto Receivables Trust 2021-D A3 0.71% Due 04/15/2026	11/09/2021 11/15/2021 65,000.00	64,998.71 0.00 0.00 64,998.74	20.51 38.46 20.51 38.46	0.03 0.00 0.03 38.49	38.49
90331HNV1	US Bank NA Callable Note Cont 6/23/2023 3.4% Due 07/24/2023	05/17/2019 05/21/2019 250,000.00	252,272.00 0.00 0.00 252,146.52	165.28 0.00 873.61 708.33	0.00 125.48 (125.48) 582.85	582.85
9128284Z0	US Treasury Note 2.75% Due 08/31/2025	Various Various 750,000.00	796,457.64 0.00 0.00 795,462.38	8,774.17 10,312.50 56.05 1,594.38	0.00 995.26 (995.26) 599.12	599.12
9128286L9	US Treasury Note 2.25% Due 03/31/2026	02/25/2022 02/28/2022 750,000.00	0.00 760,078.13 0.00 760,071.38	0.00 (7,000.34) 7,046.70 46.36	0.00 6.75 (6.75) 39.61	39.61

Income Earned

As of February 28, 2022

CUSIP	Security Description	Trade Date Settle Date Units	Book Value: Begin Book Value: Acq Book Value: Disp Book Value: End	Prior Accrued Inc. Received Ending Accrued Total Interest	Accr. Of Discount Amort. Of Premium Net Accret/Amort Income Earned	Total Income
912828B66	US Treasury Note 2.75% Due 02/15/2024	02/15/2022 02/16/2022 750,000.00	0.00 767,255.86 0.00 766,948.14	0.00 (56.98) 797.65 740.67	0.00 307.72 (307.72) 432.95	432.95
912828M80	US Treasury Note 2% Due 11/30/2022	Various Various 750,000.00	757,722.35 0.00 0.00 757,006.37	2,596.15 0.00 3,750.00 1,153.85	0.00 715.98 (715.98) 437.87	437.87
912828R36	US Treasury Note 1.625% Due 05/15/2026	10/14/2021 10/15/2021 250,000.00	256,682.70 0.00 0.00 256,563.06	875.35 0.00 1,189.57 314.22	0.00 119.64 (119.64) 194.58	194.58
912828T26	US Treasury Note 1.375% Due 09/30/2023	Various Various 750,000.00	754,101.65 0.00 0.00 753,912.13	3,513.05 0.00 4,306.32 793.27	123.15 312.67 (189.52) 603.75	603.75
912828V80	US Treasury Note 2.25% Due 01/31/2024	Various Various 750,000.00	770,926.70 0.00 0.00 770,122.93	46.62 0.00 1,351.87 1,305.25	0.00 803.77 (803.77) 501.48	501.48
912828VB3	US Treasury Note 1.75% Due 05/15/2023	Various Various 750,000.00	759,157.22 0.00 0.00 758,609.36	2,828.04 0.00 3,843.23 1,015.19	0.00 547.86 (547.86) 467.33	467.33
912828W71	US Treasury Note 2.125% Due 03/31/2024	Various Various 750,000.00	773,398.90 0.00 0.00 772,568.51	5,429.25 0.00 6,655.22 1,225.97	0.00 830.39 (830.39) 395.58	395.58
912828WJ5	US Treasury Note 2.5% Due 05/15/2024	Various Various 750,000.00	773,459.09 0.00 0.00 772,671.49	4,040.05 0.00 5,490.33 1,450.28	0.00 787.60 (787.60) 662.68	662.68
912828Y87	US Treasury Note 1.75% Due 07/31/2024	01/31/2020 01/31/2020 300,000.00	302,885.00 0.00 0.00 302,796.33	14.50 0.00 420.58 406.08	0.00 88.67 (88.67) 317.41	317.41

Income Earned

As of February 28, 2022

CUSIP	Security Description	Trade Date Settle Date Units	Book Value: Begin Book Value: Acq Book Value: Disp Book Value: End	Prior Accrued Inc. Received Ending Accrued Total Interest	Accr. Of Discount Amort. Of Premium Net Accret/Amort Income Earned	Total Income
912828YG9	US Treasury Note 1.625% Due 09/30/2026	12/28/2021 12/29/2021 300,000.00	305,193.14 0.00 0.00 305,107.71	1,660.71 0.00 2,035.71 375.00	0.00 85.43 (85.43) 289.57	289.57
912828YW4	US Treasury Note 1.625% Due 12/15/2022	02/15/2022 02/16/2022 750,000.00	0.00 753,837.89 0.00 753,672.68	0.00 (2,109.38) 2,544.64 435.26	0.00 165.21 (165.21) 270.05	270.05
912828Z52	US Treasury Note 1.375% Due 01/31/2025	02/17/2022 02/18/2022 750,000.00	0.00 742,822.27 0.00 742,895.51	0.00 (512.78) 826.14 313.36	73.24 0.00 73.24 386.60	386.60
912828ZD5	US Treasury Note 0.5% Due 03/15/2023	12/28/2021 12/29/2021 325,000.00	325,093.73 0.00 0.00 325,087.28	623.96 0.00 749.65 125.69	0.00 6.45 (6.45) 119.24	119.24
912828ZF0	US Treasury Note 0.5% Due 03/31/2025	03/25/2021 03/29/2021 350,000.00	349,137.27 0.00 0.00 349,158.20	596.15 0.00 730.77 134.62	20.93 0.00 20.93 155.55	155.55
912828ZT0	US Treasury Note 0.25% Due 05/31/2025	02/25/2021 02/26/2021 365,000.00	360,822.37 0.00 0.00 360,918.64	157.93 0.00 228.13 70.20	96.27 0.00 96.27 166.47	166.47
912828ZU7	US Treasury Note 0.25% Due 06/15/2023	02/15/2022 02/16/2022 750,000.00	0.00 739,130.86 0.00 739,422.80	0.00 (324.52) 391.48 66.96	291.94 0.00 291.94 358.90	358.90
91282CAZ4	US Treasury Note 0.375% Due 11/30/2025	Various Various 750,000.00	735,818.13 0.00 0.00 736,102.18	486.79 0.00 703.14 216.35	284.05 0.00 284.05 500.40	500.40
91282CBV2	US Treasury Note 0.375% Due 04/15/2024	Various Various 500,000.00	500,102.73 0.00 0.00 500,099.16	561.47 0.00 705.70 144.23	4.57 8.14 (3.57) 140.66	140.66

Income Earned

As of February 28, 2022

CUSIP	Security Description	Trade Date Settle Date Units	Book Value: Begin Book Value: Acq Book Value: Disp Book Value: End	Prior Accrued Inc. Received Ending Accrued Total Interest	Accr. Of Discount Amort. Of Premium Net Accret/Amort Income Earned	Total Income
91282CCG4	US Treasury Note 0.25% Due 06/15/2024	06/17/2021 06/18/2021 400,000.00	398,330.64 0.00 0.00 398,384.68	131.87 0.00 208.79 76.92	54.04 0.00 54.04 130.96	130.96
91282CCT6	US Treasury Note 0.375% Due 08/15/2024	08/25/2021 08/26/2021 400,000.00	399,239.89 0.00 0.00 399,262.88	692.93 750.00 58.01 115.08	22.99 0.00 22.99 138.07	138.07
91282CDH1	US Treasury Note 0.75% Due 11/15/2024	11/18/2021 11/19/2021 750,000.00	748,252.06 0.00 0.00 748,300.14	1,212.02 0.00 1,647.10 435.08	48.08 0.00 48.08 483.16	483.16
91324PEB4	United Health Group Inc Callable Note Cont 5/15/2022 0.55% Due 05/15/2024	11/24/2021 11/29/2021 500,000.00	494,204.72 0.00 0.00 494,399.29	580.56 0.00 809.72 229.16	194.57 0.00 194.57 423.73	423.73
92290BAA9	Verizon Owner Trust 2020-B A 0.47% Due 02/20/2025	08/04/2020 08/12/2020 120,000.00	119,983.00 0.00 0.00 119,983.43	17.23 47.00 17.23 47.00	0.43 0.00 0.43 47.43	47.43
92348AAA3	Verizon Owner Trust 2019-C A1A 1.94% Due 04/22/2024	10/01/2019 10/08/2019 48,711.88	54,864.30 0.00 6,154.49 48,710.10	32.52 88.70 28.88 85.06	0.29 0.00 0.29 85.35	85.35
931142ER0	Wal-Mart Stores Callable Note Cont 08/17/2026 1.05% Due 09/17/2026	09/08/2021 09/17/2021 40,000.00	39,930.07 0.00 0.00 39,931.23	156.33 0.00 191.33 35.00	1.16 0.00 1.16 36.16	36.16
Total Fixed Income		**28,226,533.44**	**23,553,389.98** **4,977,484.99** **70,017.38** **28,451,504.15**	**80,181.34** **8,236.33** **101,642.96** **29,697.95**	**2,028.47** **11,381.91** **(9,353.44)** **20,344.51**	**20,344.51**

Income Earned

As of February 28, 2022

CUSIP	Security Description	Trade Date Settle Date Units	Book Value: Begin Book Value: Acq Book Value: Disp Book Value: End	Prior Accrued Inc. Received Ending Accrued Total Interest	Accr. Of Discount Amort. Of Premium Net Accret/Amort Income Earned	Total Income
CASH & EQUIVALENT						
06367CDX2	Bank of Montreal Chicago Yankee CD 0.24% Due 04/06/2022	11/23/2021 11/23/2021 500,000.00	500,035.26 0.00 0.00 500,019.83	233.33 0.00 326.67 93.34	0.00 15.43 (15.43) 77.91	77.91
06417MQY4	Bank of Nova Scotia Houston Yankee CD 0.19% Due 07/28/2022	11/18/2021 11/19/2021 600,000.00	599,793.41 0.00 0.00 599,826.09	595.33 0.00 684.00 88.67	32.68 0.00 32.68 121.35	121.35
29976D2F6	Everbank Negotiable CD Due 02/14/2022	02/09/2017 02/09/2017 0.00	248,000.00 0.00 248,000.00 0.00	2,284.32 2,465.39 0.00 181.07	0.00 0.00 0.00 181.07	181.07
31846V203	First American Govt Obligation Fund Class Y	Various Various 793,369.89	442,134.49 5,339,366.11 4,988,130.71 793,369.89	0.00 1.29 0.00 1.29	0.00 0.00 0.00 1.29	1.29
55380TXW5	MUFG Bank Yankee CD 0.3% Due 10/25/2022	10/27/2021 10/28/2021 500,000.00	499,926.22 0.00 0.00 499,933.98	454.17 0.00 570.83 116.66	7.76 0.00 7.76 124.42	124.42
86959RSN1	Svenska Handelsbanken NY Yankee CD 0.2% Due 08/23/2022	10/27/2021 10/27/2021 500,000.00	499,802.82 0.00 0.00 499,830.02	450.00 0.00 527.78 77.78	27.20 0.00 27.20 104.98	104.98
			2,789,692.20 **5,339,366.11** **5,236,130.71**	**4,017.15** **2,466.68** **2,109.28**	**67.64** **15.43** **52.21**	
Total Cash & Equivalent		**2,893,369.89**	**2,892,979.81**	**558.81**	**611.02**	**611.02**

Income Earned

As of February 28, 2022

CUSIP	Security Description	Trade Date Settle Date Units	Book Value: Begin Book Value: Acq Book Value: Disp Book Value: End	Prior Accrued Inc. Received Ending Accrued Total Interest	Accr. Of Discount Amort. Of Premium Net Accret/Amort Income Earned	Total Income
LOCAL AGENCY INVESTMENT FUND						
90LAIF$00	Local Agency Investment Fund State Pool	Various Various 12,696,899.16	12,696,899.16 0.00 0.00 12,696,899.16	2,496.69 0.00 5,175.22 2,678.53	0.00 0.00 0.00 2,678.53	2,678.53
			12,696,899.16 **0.00** **0.00**	**2,496.69** **0.00** **5,175.22**	**0.00** **0.00** **0.00**	
Total Local Agency Investment Fund		**12,696,899.16**	**12,696,899.16**	**2,678.53**	**2,678.53**	**2,678.53**
INVESTMENT POOL						
09CATR$05	CalTrust Medium Term Fund	Various Various 653,753.47	6,573,948.19 2,710.89 0.00 6,576,659.08	0.00 2,710.89 0.00 2,710.89	0.00 0.00 0.00 2,710.89	2,710.89
			6,573,948.19 **2,710.89** **0.00**	**0.00** **2,710.89** **0.00**	**0.00** **0.00** **0.00**	
Total Investment Pool		**653,753.47**	**6,576,659.08**	**2,710.89**	**2,710.89**	**2,710.89**
			45,613,929.53 **10,319,561.99** **5,306,148.09**	**86,695.18** **13,413.90** **108,927.46**	**2,096.11** **11,397.34** **(9,301.23)**	
TOTAL PORTFOLIO		**44,470,555.96**	**50,618,042.20**	**35,646.18**	**26,344.95**	**26,344.95**

Cash Flow Report

As of February 28, 2022

Payment Date	Transaction Type	CUSIP	Quantity	Security Description	Principal Amount	Income	Total Amount
03/01/2022	Interest	46647PAH9	500,000.00	JP Morgan Chase & Co Callable Note 2X 3/1/2024 3.22% Due 3/1/2025	0.00	8,050.00	8,050.00
03/08/2022	Interest	24422ETV1	305,000.00	John Deere Capital Corp Note 2.15% Due 9/8/2022	0.00	3,278.75	3,278.75
03/08/2022	Interest	3137EAEW5	300,000.00	FHLMC Note 0.25% Due 9/8/2023	0.00	375.00	375.00
03/10/2022	Interest	3130ADRG9	350,000.00	FHLB Note 2.75% Due 3/10/2023	0.00	4,812.50	4,812.50
03/11/2022	Interest	89114QCB2	500,000.00	Toronto Dominion Bank Note 3.25% Due 3/11/2024	0.00	8,125.00	8,125.00
03/12/2022	Interest	3135G0U43	350,000.00	FNMA Note 2.875% Due 9/12/2023	0.00	5,031.25	5,031.25
03/15/2022	Interest	912828ZD5	325,000.00	US Treasury Note 0.5% Due 3/15/2023	0.00	812.50	812.50
03/15/2022	Paydown	43815NAC8	47,006.73	Honda Auto Receivables Trust 2019-3 A3 1.78% Due 8/15/2023	7,813.75	69.73	7,883.48
03/15/2022	Paydown	89231PAD0	9,691.36	Toyota Auto Receivables Trust 2018-D A3 3.18% Due 3/15/2023	737.59	25.68	763.27
03/15/2022	Paydown	89236XAC0	70,000.00	Toyota Auto Receivables 2020-D A3 0.35% Due 1/15/2025	2,114.46	20.42	2,134.88
03/15/2022	Paydown	43815BAC4	165,000.00	Honda Auto Receivables Trust 2022-1 A3 1.88% Due 5/15/2026	0.00	189.57	189.57
03/15/2022	Paydown	65479JAD5	64,524.32	Nissan Auto Receivables Owner 2019-C A3 1.93% Due 7/15/2024	2,155.67	103.78	2,259.45
03/15/2022	Paydown	89232HAC9	155,355.11	Toyota Auto Receivable Own 2020-A A3 1.66% Due 5/15/2024	8,435.94	214.91	8,650.85
03/15/2022	Paydown	47789JAD8	49,575.06	John Deere Owner Trust 2019-A A3 2.91% Due 7/17/2023	8,213.75	120.22	8,333.97
03/15/2022	Paydown	47788UAC6	60,000.00	John Deere Owner Trust 2021-A A3 0.36% Due 9/15/2025	0.00	18.00	18.00
03/15/2022	Paydown	47789QAC4	70,000.00	John Deere Owner Trust 2021-B A3 0.52% Due 3/16/2026	0.00	30.33	30.33
03/15/2022	Paydown	58769KAD6	80,000.00	Mercedes-Benz Auto Lease Trust 2021-B A3 0.4% Due 11/15/2024	0.00	26.67	26.67

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Payment Date	Transaction Type	CUSIP	Quantity	Security Description	Principal Amount	Income	Total Amount
03/15/2022	Paydown	89238JAC9	65,000.00	Toyota Auto Receivables Trust 2021-D A3 0.71% Due 4/15/2026	0.00	38.46	38.46
03/17/2022	Interest	931142ER0	40,000.00	Wal-Mart Stores Callable Note Cont 08/17/2026 1.05% Due 9/17/2026	0.00	210.00	210.00
03/18/2022	Interest	808513BN4	245,000.00	Charles Schwab Corp Callable Note Cont 2/18/2024 0.75% Due 3/18/2024	0.00	918.75	918.75
03/18/2022	Paydown	43813KAC6	85,000.00	Honda Auto Receivables Trust 2020-3 A3 0.37% Due 10/18/2024	4,035.15	26.21	4,061.36
03/19/2022	Interest	459058GQ0	225,000.00	Intl. Bank Recon & Development Note 2.5% Due 3/19/2024	0.00	2,812.50	2,812.50
03/19/2022	Paydown	3137BM6P6	0.00	FHLMC K721 A2 3.09% Due 8/25/2022	7,040.82	279.93	7,320.75
03/20/2022	Paydown	92348AAA3	48,711.88	Verizon Owner Trust 2019-C A1A 1.94% Due 4/22/2024	1,751.93	78.75	1,830.68
03/20/2022	Paydown	92290BAA9	120,000.00	Verizon Owner Trust 2020-B A 0.47% Due 2/20/2025	3,310.54	47.00	3,357.54
03/21/2022	Paydown	43813GAC5	80,000.00	Honda Auto Receivables Trust 2021-1 A3 0.27% Due 4/21/2025	0.00	18.00	18.00
03/21/2022	Paydown	43815GAC3	85,000.00	Honda Auto Receivables Trust 2021-4 A3 0.88% Due 1/21/2026	0.00	62.33	62.33
03/23/2022	Interest	4581X0DZ8	260,000.00	Inter-American Dev Bank Note 0.5% Due 9/23/2024	0.00	650.00	650.00
03/25/2022	Interest	3137BM6P6	101,668.98	FHLMC K721 A2 3.09% Due 8/25/2022	0.00	261.80	261.80
03/25/2022	Paydown	3137B4GY6	275,000.00	FHLMC K032 A2 3.31% Due 5/25/2023	0.00	758.54	758.54
03/25/2022	Paydown	05601XAC3	85,000.00	BMW Vehicle Lease Trust 2022-1 A3 1.1% Due 3/25/2025	0.00	77.92	77.92
03/25/2022	Paydown	09690AAC7	50,000.00	BMW Vehicle Lease Trust 2021-2 A3 0.33% Due 12/26/2024	0.00	13.75	13.75
03/31/2022	Interest	9128286L9	750,000.00	US Treasury Note 2.25% Due 3/31/2026	0.00	8,437.50	8,437.50
03/31/2022	Interest	912828T26	750,000.00	US Treasury Note 1.375% Due 9/30/2023	0.00	5,156.25	5,156.25

Payment Date	Transaction Type	CUSIP	Quantity	Security Description	Principal Amount	Income	Total Amount
03/31/2022	Interest	912828W71	750,000.00	US Treasury Note 2.125% Due 3/31/2024	0.00	7,968.75	7,968.75
03/31/2022	Interest	912828YG9	300,000.00	US Treasury Note 1.625% Due 9/30/2026	0.00	2,437.50	2,437.50
03/31/2022	Interest	912828ZF0	350,000.00	US Treasury Note 0.5% Due 3/31/2025	0.00	875.00	875.00
MAR 2022					**45,609.60**	**62,433.25**	**108,042.85**
04/06/2022	Maturity	06367CDX2	500,000.00	Bank of Montreal Chicago Yankee CD 0.24% Due 4/6/2022	500,000.00	446.67	500,446.67
04/08/2022	Maturity	3133ELWD2	285,000.00	FFCB Note 0.375% Due 4/8/2022	285,000.00	534.38	285,534.38
04/15/2022	Dividend	90LAIF$00	748,949,599.29	Local Agency Investment Fund State Pool	0.00	5,175.03	5,175.03
04/15/2022	Interest	91282CBV2	500,000.00	US Treasury Note 0.375% Due 4/15/2024	0.00	937.50	937.50
04/15/2022	Paydown	43815BAC4	165,000.00	Honda Auto Receivables Trust 2022-1 A3 1.88% Due 5/15/2026	0.00	258.50	258.50
04/15/2022	Paydown	47788UAC6	60,000.00	John Deere Owner Trust 2021-A A3 0.36% Due 9/15/2025	0.00	18.00	18.00
04/15/2022	Paydown	47789JAD8	49,575.06	John Deere Owner Trust 2019-A A3 2.91% Due 7/17/2023	8,233.20	100.30	8,333.50
04/15/2022	Paydown	89238JAC9	65,000.00	Toyota Auto Receivables Trust 2021-D A3 0.71% Due 4/15/2026	0.00	38.46	38.46
04/15/2022	Paydown	43815NAC8	47,006.73	Honda Auto Receivables Trust 2019-3 A3 1.78% Due 8/15/2023	7,449.05	58.14	7,507.19
04/15/2022	Paydown	65479JAD5	64,524.32	Nissan Auto Receivables Owner 2019-C A3 1.93% Due 7/15/2024	2,160.53	100.31	2,260.84
04/15/2022	Paydown	89232HAC9	155,355.11	Toyota Auto Receivable Own 2020-A A3 1.66% Due 5/15/2024	8,236.81	203.24	8,440.05
04/15/2022	Paydown	89231PAD0	9,691.36	Toyota Auto Receivables Trust 2018-D A3 3.18% Due 3/15/2023	738.90	23.73	762.63
04/15/2022	Paydown	89236XAC0	70,000.00	Toyota Auto Receivables 2020-D A3 0.35% Due 1/15/2025	2,108.49	19.80	2,128.29

Payment Date	Transaction Type	CUSIP	Quantity	Security Description	Principal Amount	Income	Total Amount
04/15/2022	Paydown	47789QAC4	70,000.00	John Deere Owner Trust 2021-B A3 0.52% Due 3/16/2026	0.00	30.33	30.33
04/15/2022	Paydown	58769KAD6	80,000.00	Mercedes-Benz Auto Lease Trust 2021-B A3 0.4% Due 11/15/2024	0.00	26.67	26.67
04/16/2022	Interest	3137EAEY1	225,000.00	FHLMC Note 0.125% Due 10/16/2023	0.00	140.63	140.63
04/16/2022	Interest	45950KCR9	160,000.00	International Finance Corp Note 1.375% Due 10/16/2024	0.00	1,100.00	1,100.00
04/18/2022	Paydown	43813KAC6	85,000.00	Honda Auto Receivables Trust 2020-3 A3 0.37% Due 10/18/2024	4,036.40	24.96	4,061.36
04/19/2022	Paydown	3137BM6P6	101,668.98	FHLMC K721 A2 3.09% Due 8/25/2022	7,780.54	16.03	7,796.57
04/20/2022	Paydown	92348AAA3	48,711.88	Verizon Owner Trust 2019-C A1A 1.94% Due 4/22/2024	1,755.87	75.92	1,831.79
04/20/2022	Paydown	92290BAA9	120,000.00	Verizon Owner Trust 2020-B A 0.47% Due 2/20/2025	3,311.84	45.70	3,357.54
04/21/2022	Paydown	43813GAC5	80,000.00	Honda Auto Receivables Trust 2021-1 A3 0.27% Due 4/21/2025	0.00	18.00	18.00
04/21/2022	Paydown	43815GAC3	85,000.00	Honda Auto Receivables Trust 2021-4 A3 0.88% Due 1/21/2026	0.00	62.33	62.33
04/25/2022	Interest	3137BM6P6	101,668.98	FHLMC K721 A2 3.09% Due 8/25/2022	0.00	241.76	241.76
04/25/2022	Paydown	09690AAC7	50,000.00	BMW Vehicle Lease Trust 2021-2 A3 0.33% Due 12/26/2024	0.00	13.75	13.75
04/25/2022	Paydown	05601XAC3	85,000.00	BMW Vehicle Lease Trust 2022-1 A3 1.1% Due 3/25/2025	0.00	77.92	77.92
04/25/2022	Paydown	3137B4GY6	275,000.00	FHLMC K032 A2 3.31% Due 5/25/2023	0.00	758.54	758.54
APR 2022					**830,811.63**	**10,546.60**	**841,358.23**
05/01/2022	Interest	78015K7C2	500,000.00	Royal Bank of Canada Note 2.25% Due 11/1/2024	0.00	5,625.00	5,625.00
05/03/2022	Interest	037833AK6	200,000.00	Apple Inc Note 2.4% Due 5/3/2023	0.00	2,400.00	2,400.00

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05/05/2022	Interest	3137EAER6	305,000.00	FHLMC Note 0.375% Due 5/5/2023	0.00	571.88	571.88
05/06/2022	Interest	3137EAEZ8	335,000.00	FHLMC Note 0.25% Due 11/6/2023	0.00	418.75	418.75
05/06/2022	Maturity	3133ELYR9	325,000.00	FFCB Note 0.25% Due 5/6/2022	325,000.00	406.25	325,406.25
05/07/2022	Interest	3135G06G3	350,000.00	FNMA Note 0.5% Due 11/7/2025	0.00	875.00	875.00
05/08/2022	Interest	69371RR57	175,000.00	Paccar Financial Corp Note 0.9% Due 11/8/2024	0.00	787.50	787.50
05/12/2022	Interest	023135BW5	130,000.00	Amazon.com Inc Note 0.45% Due 5/12/2024	0.00	292.50	292.50
05/13/2022	Maturity	459200JX0	200,000.00	IBM Corp Note 2.85% Due 5/13/2022	200,000.00	2,850.00	202,850.00
05/15/2022	Interest	912828VB3	750,000.00	US Treasury Note 1.75% Due 5/15/2023	0.00	6,562.50	6,562.50
05/15/2022	Interest	91282CDH1	750,000.00	US Treasury Note 0.75% Due 11/15/2024	0.00	2,812.50	2,812.50
05/15/2022	Interest	912828R36	250,000.00	US Treasury Note 1.625% Due 5/15/2026	0.00	2,031.25	2,031.25
05/15/2022	Interest	912828WJ5	750,000.00	US Treasury Note 2.5% Due 5/15/2024	0.00	9,375.00	9,375.00
05/15/2022	Interest	91324PEB4	500,000.00	United Health Group Inc Callable Note Cont 5/15/2022 0.55% Due 5/15/2024	0.00	1,375.00	1,375.00
05/15/2022	Paydown	89231PAD0	9,691.36	Toyota Auto Receivables Trust 2018-D A3 3.18% Due 3/15/2023	740.21	21.77	761.98
05/15/2022	Paydown	89236XAC0	70,000.00	Toyota Auto Receivables 2020-D A3 0.35% Due 1/15/2025	2,102.46	19.18	2,121.64
05/15/2022	Paydown	43815BAC4	165,000.00	Honda Auto Receivables Trust 2022-1 A3 1.88% Due 5/15/2026	0.00	258.50	258.50
05/15/2022	Paydown	47788UAC6	60,000.00	John Deere Owner Trust 2021-A A3 0.36% Due 9/15/2025	0.00	18.00	18.00

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Payment Date	Transaction Type	CUSIP	Quantity	Security Description	Principal Amount	Income	Total Amount
05/15/2022	Paydown	47789QAC4	70,000.00	John Deere Owner Trust 2021-B A3 0.52% Due 3/16/2026	0.00	30.33	30.33
05/15/2022	Paydown	89238JAC9	65,000.00	Toyota Auto Receivables Trust 2021-D A3 0.71% Due 4/15/2026	0.00	38.46	38.46
05/15/2022	Paydown	58769KAD6	80,000.00	Mercedes-Benz Auto Lease Trust 2021-B A3 0.4% Due 11/15/2024	0.00	26.67	26.67
05/15/2022	Paydown	89232HAC9	155,355.11	Toyota Auto Receivable Own 2020-A A3 1.66% Due 5/15/2024	8,036.84	191.84	8,228.68
05/15/2022	Paydown	43815NAC8	47,006.73	Honda Auto Receivables Trust 2019-3 A3 1.78% Due 8/15/2023	7,083.47	47.09	7,130.56
05/15/2022	Paydown	47789JAD8	49,575.06	John Deere Owner Trust 2019-A A3 2.91% Due 7/17/2023	8,252.69	80.33	8,333.02
05/15/2022	Paydown	65479JAD5	64,524.32	Nissan Auto Receivables Owner 2019-C A3 1.93% Due 7/15/2024	2,165.39	96.83	2,262.22
05/17/2022	Interest	14913R2L0	500,000.00	Caterpillar Financial Service Note 0.45% Due 5/17/2024	0.00	1,125.00	1,125.00
05/18/2022	Paydown	43813KAC6	85,000.00	Honda Auto Receivables Trust 2020-3 A3 0.37% Due 10/18/2024	4,037.64	23.72	4,061.36
05/19/2022	Paydown	3137BM6P6	101,668.98	FHLMC K721 A2 3.09% Due 8/25/2022	24,607.67	50.69	24,658.36
05/20/2022	Paydown	92348AAA3	48,711.88	Verizon Owner Trust 2019-C A1A 1.94% Due 4/22/2024	1,759.82	73.08	1,832.90
05/20/2022	Paydown	92290BAA9	120,000.00	Verizon Owner Trust 2020-B A 0.47% Due 2/20/2025	3,313.13	44.41	3,357.54
05/21/2022	Paydown	43815GAC3	85,000.00	Honda Auto Receivables Trust 2021-4 A3 0.88% Due 1/21/2026	0.00	62.33	62.33
05/21/2022	Paydown	43813GAC5	80,000.00	Honda Auto Receivables Trust 2021-1 A3 0.27% Due 4/21/2025	0.00	18.00	18.00
05/22/2022	Interest	3135G04Q3	245,000.00	FNMA Note 0.25% Due 5/22/2023	0.00	306.25	306.25
05/24/2022	Interest	459058JM6	165,000.00	Intl. Bank Recon & Development Note 0.25% Due 11/24/2023	0.00	206.25	206.25
05/25/2022	Interest	3137BM6P6	101,668.98	FHLMC K721 A2 3.09% Due 8/25/2022	0.00	178.40	178.40

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Payment Date	Transaction Type	CUSIP	Quantity	Security Description	Principal Amount	Income	Total Amount
05/25/2022	Paydown	3137B4GY6	275,000.00	FHLMC K032 A2 3.31% Due 5/25/2023	0.00	758.54	758.54
05/25/2022	Paydown	05601XAC3	85,000.00	BMW Vehicle Lease Trust 2022-1 A3 1.1% Due 3/25/2025	0.00	77.92	77.92
05/25/2022	Paydown	09690AAC7	50,000.00	BMW Vehicle Lease Trust 2021-2 A3 0.33% Due 12/26/2024	0.00	13.75	13.75
05/31/2022	Interest	91282CAZ4	750,000.00	US Treasury Note 0.375% Due 11/30/2025	0.00	1,406.25	1,406.25
05/31/2022	Interest	912828M80	750,000.00	US Treasury Note 2% Due 11/30/2022	0.00	7,500.00	7,500.00
05/31/2022	Interest	912828ZT0	365,000.00	US Treasury Note 0.25% Due 5/31/2025	0.00	456.25	456.25
MAY 2022					**587,099.32**	**49,512.97**	**636,612.29**
06/08/2022	Interest	3130A0F70	350,000.00	FHLB Note 3.375% Due 12/8/2023	0.00	5,906.25	5,906.25
06/08/2022	Maturity	3134GVJ66	350,000.00	FHLMC Note 0.25% Due 6/8/2022	350,000.00	437.50	350,437.50
06/14/2022	Interest	3130A1XJ2	155,000.00	FHLB Note 2.875% Due 6/14/2024	0.00	2,228.13	2,228.13
06/15/2022	Interest	912828YW4	750,000.00	US Treasury Note 1.625% Due 12/15/2022	0.00	6,093.75	6,093.75
06/15/2022	Interest	912828ZU7	750,000.00	US Treasury Note 0.25% Due 6/15/2023	0.00	937.50	937.50
06/15/2022	Interest	91282CCG4	400,000.00	US Treasury Note 0.25% Due 6/15/2024	0.00	500.00	500.00
06/15/2022	Paydown	58769KAD6	80,000.00	Mercedes-Benz Auto Lease Trust 2021-B A3 0.4% Due 11/15/2024	0.00	26.67	26.67
06/15/2022	Paydown	89232HAC9	155,355.11	Toyota Auto Receivable Own 2020-A A3 1.66% Due 5/15/2024	7,836.01	180.73	8,016.74
06/15/2022	Paydown	47788UAC6	60,000.00	John Deere Owner Trust 2021-A A3 0.36% Due 9/15/2025	0.00	18.00	18.00
06/15/2022	Paydown	47789JAD8	49,575.06	John Deere Owner Trust 2019-A A3 2.91% Due 7/17/2023	8,272.21	60.32	8,332.53

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Payment Date	Transaction Type	CUSIP	Quantity	Security Description	Principal Amount	Income	Total Amount
06/15/2022	Paydown	89238JAC9	65,000.00	Toyota Auto Receivables Trust 2021-D A3 0.71% Due 4/15/2026	0.00	38.46	38.46
06/15/2022	Paydown	43815NAC8	47,006.73	Honda Auto Receivables Trust 2019-3 A3 1.78% Due 8/15/2023	6,717.02	36.58	6,753.60
06/15/2022	Paydown	47789QAC4	70,000.00	John Deere Owner Trust 2021-B A3 0.52% Due 3/16/2026	0.00	30.33	30.33
06/15/2022	Paydown	65479JAD5	64,524.32	Nissan Auto Receivables Owner 2019-C A3 1.93% Due 7/15/2024	2,170.26	93.35	2,263.61
06/15/2022	Paydown	43815BAC4	165,000.00	Honda Auto Receivables Trust 2022-1 A3 1.88% Due 5/15/2026	0.00	258.50	258.50
06/15/2022	Paydown	89231PAD0	9,691.36	Toyota Auto Receivables Trust 2018-D A3 3.18% Due 3/15/2023	741.52	19.81	761.33
06/15/2022	Paydown	89236XAC0	70,000.00	Toyota Auto Receivables 2020-D A3 0.35% Due 1/15/2025	2,096.35	18.57	2,114.92
06/18/2022	Interest	89236TJH9	300,000.00	Toyota Motor Credit Corp Note 0.5% Due 6/18/2024	0.00	750.00	750.00
06/18/2022	Paydown	43813KAC6	85,000.00	Honda Auto Receivables Trust 2020-3 A3 0.37% Due 10/18/2024	4,038.89	22.47	4,061.36
06/19/2022	Paydown	3137BM6P6	101,668.98	FHLMC K721 A2 3.09% Due 8/25/2022	6,949.98	14.32	6,964.30
06/20/2022	Paydown	92348AAA3	48,711.88	Verizon Owner Trust 2019-C A1A 1.94% Due 4/22/2024	1,763.78	70.23	1,834.01
06/20/2022	Paydown	92290BAA9	120,000.00	Verizon Owner Trust 2020-B A 0.47% Due 2/20/2025	3,314.43	43.11	3,357.54
06/21/2022	Paydown	43815GAC3	85,000.00	Honda Auto Receivables Trust 2021-4 A3 0.88% Due 1/21/2026	0.00	62.33	62.33
06/21/2022	Paydown	43813GAC5	80,000.00	Honda Auto Receivables Trust 2021-1 A3 0.27% Due 4/21/2025	0.00	18.00	18.00
06/25/2022	Interest	3137BM6P6	101,668.98	FHLMC K721 A2 3.09% Due 8/25/2022	0.00	160.50	160.50
06/25/2022	Paydown	05601XAC3	85,000.00	BMW Vehicle Lease Trust 2022-1 A3 1.1% Due 3/25/2025	0.00	77.92	77.92
06/25/2022	Paydown	3137B4GY6	275,000.00	FHLMC K032 A2 3.31% Due 5/25/2023	0.00	758.54	758.54

Payment Date	Transaction Type	CUSIP	Quantity	Security Description	Principal Amount	Income	Total Amount
06/25/2022	Paydown	09690AAC7	50,000.00	BMW Vehicle Lease Trust 2021-2 A3 0.33% Due 12/26/2024	0.00	13.75	13.75
06/26/2022	Interest	3137EAES4	300,000.00	FHLMC Note 0.25% Due 6/26/2023	0.00	375.00	375.00
JUN 2022					**393,900.45**	**19,250.62**	**413,151.07**
07/06/2022	Interest	3133ENKS8	750,000.00	FFCB Note 1.125% Due 1/6/2025	0.00	4,101.57	4,101.57
07/10/2022	Interest	3135G05G4	250,000.00	FNMA Note 0.25% Due 7/10/2023	0.00	312.50	312.50
07/11/2022	Interest	89236TEL5	200,000.00	Toyota Motor Credit Corp Note 2.7% Due 1/11/2023	0.00	2,700.00	2,700.00
07/13/2022	Interest	037833DE7	200,000.00	Apple Inc Callable Note Cont 12/13/2022 2.4% Due 1/13/2023	0.00	2,400.00	2,400.00
07/15/2022	Interest	79466LAG9	35,000.00	Salesforce.com Inc Callable Note Cont 7/15/2022 0.625% Due 7/15/2024	0.00	109.38	109.38
07/15/2022	Paydown	47789JAD8	49,575.06	John Deere Owner Trust 2019-A A3 2.91% Due 7/17/2023	8,291.79	40.26	8,332.05
07/15/2022	Paydown	47788UAC6	60,000.00	John Deere Owner Trust 2021-A A3 0.36% Due 9/15/2025	0.00	18.00	18.00
07/15/2022	Paydown	47789QAC4	70,000.00	John Deere Owner Trust 2021-B A3 0.52% Due 3/16/2026	0.00	30.33	30.33
07/15/2022	Paydown	58769KAD6	80,000.00	Mercedes-Benz Auto Lease Trust 2021-B A3 0.4% Due 11/15/2024	0.00	26.67	26.67
07/15/2022	Paydown	89238JAC9	65,000.00	Toyota Auto Receivables Trust 2021-D A3 0.71% Due 4/15/2026	0.00	38.46	38.46
07/15/2022	Paydown	43815NAC8	47,006.73	Honda Auto Receivables Trust 2019-3 A3 1.78% Due 8/15/2023	6,349.67	26.62	6,376.29
07/15/2022	Paydown	65479JAD5	64,524.32	Nissan Auto Receivables Owner 2019-C A3 1.93% Due 7/15/2024	2,175.15	89.86	2,265.01
07/15/2022	Paydown	89231PAD0	9,691.36	Toyota Auto Receivables Trust 2018-D A3 3.18% Due 3/15/2023	742.84	17.84	760.68
07/15/2022	Paydown	89236XAC0	70,000.00	Toyota Auto Receivables 2020-D A3 0.35% Due 1/15/2025	2,090.17	17.96	2,108.13

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Payment Date	Transaction Type	CUSIP	Quantity	Security Description	Principal Amount	Income	Total Amount
07/15/2022	Paydown	43815BAC4	165,000.00	Honda Auto Receivables Trust 2022-1 A3 1.88% Due 5/15/2026	0.00	258.50	258.50
07/15/2022	Paydown	89232HAC9	155,355.11	Toyota Auto Receivable Own 2020-A A3 1.66% Due 5/15/2024	7,634.34	169.89	7,804.23
07/18/2022	Paydown	43813KAC6	85,000.00	Honda Auto Receivables Trust 2020-3 A3 0.37% Due 10/18/2024	4,040.13	21.23	4,061.36
07/19/2022	Paydown	3137BM6P6	101,668.98	FHLMC K721 A2 3.09% Due 8/25/2022	16,069.12	33.10	16,102.22
07/20/2022	Paydown	92290BAA9	120,000.00	Verizon Owner Trust 2020-B A 0.47% Due 2/20/2025	3,315.73	41.81	3,357.54
07/20/2022	Paydown	92348AAA3	48,711.88	Verizon Owner Trust 2019-C A1A 1.94% Due 4/22/2024	1,767.75	67.38	1,835.13
07/21/2022	Paydown	43813GAC5	80,000.00	Honda Auto Receivables Trust 2021-1 A3 0.27% Due 4/21/2025	0.00	18.00	18.00
07/21/2022	Paydown	43815GAC3	85,000.00	Honda Auto Receivables Trust 2021-4 A3 0.88% Due 1/21/2026	0.00	62.33	62.33
07/24/2022	Interest	90331HNV1	250,000.00	US Bank NA Callable Note Cont 6/23/2023 3.4% Due 7/24/2023	0.00	4,250.00	4,250.00
07/25/2022	Interest	3137BM6P6	101,668.98	FHLMC K721 A2 3.09% Due 8/25/2022	0.00	119.12	119.12
07/25/2022	Maturity	3137EAET2	170,000.00	FHLMC Note 0.125% Due 7/25/2022	170,000.00	106.25	170,106.25
07/25/2022	Paydown	05601XAC3	85,000.00	BMW Vehicle Lease Trust 2022-1 A3 1.1% Due 3/25/2025	0.00	77.92	77.92
07/25/2022	Paydown	09690AAC7	50,000.00	BMW Vehicle Lease Trust 2021-2 A3 0.33% Due 12/26/2024	0.00	13.75	13.75
07/25/2022	Paydown	3137B4GY6	275,000.00	FHLMC K032 A2 3.31% Due 5/25/2023	0.00	758.54	758.54
07/28/2022	Maturity	06417MQY4	600,000.00	Bank of Nova Scotia Houston Yankee CD 0.19% Due 7/28/2022	600,000.00	1,155.83	601,155.83
07/30/2022	Interest	747525AR4	500,000.00	Qualcomm Inc Callable Note Cont 12/30/2022 2.6% Due 1/30/2023	0.00	6,500.00	6,500.00
07/31/2022	Interest	912828Y87	300,000.00	US Treasury Note 1.75% Due 7/31/2024	0.00	2,625.00	2,625.00

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Payment Date	Transaction Type	CUSIP	Quantity	Security Description	Principal Amount	Income	Total Amount
07/31/2022	Interest	912828V80	750,000.00	US Treasury Note 2.25% Due 1/31/2024	0.00	8,437.50	8,437.50
07/31/2022	Interest	912828Z52	750,000.00	US Treasury Note 1.375% Due 1/31/2025	0.00	5,156.25	5,156.25
JUL 2022					**822,476.69**	**39,801.85**	**862,278.54**
08/06/2022	Interest	594918BX1	200,000.00	Microsoft Callable Note Cont 12/6/2023 2.875% Due 2/6/2024	0.00	2,875.00	2,875.00
08/06/2022	Interest	857477BR3	90,000.00	State Street Bank Callable Note Cont 2/6/2025 1.746% Due 2/6/2026	0.00	781.34	781.34
08/09/2022	Interest	69371RR40	80,000.00	Paccar Financial Corp Note 0.5% Due 8/9/2024	0.00	200.00	200.00
08/14/2022	Interest	3133ENPG9	415,000.00	FFCB Note 1.75% Due 2/14/2025	0.00	3,611.08	3,611.08
08/15/2022	Interest	912828B66	750,000.00	US Treasury Note 2.75% Due 2/15/2024	0.00	10,312.50	10,312.50
08/15/2022	Interest	91282CCT6	400,000.00	US Treasury Note 0.375% Due 8/15/2024	0.00	750.00	750.00
08/15/2022	Paydown	43815NAC8	47,006.73	Honda Auto Receivables Trust 2019-3 A3 1.78% Due 8/15/2023	5,981.44	17.20	5,998.64
08/15/2022	Paydown	65479JAD5	64,524.32	Nissan Auto Receivables Owner 2019-C A3 1.93% Due 7/15/2024	2,180.04	86.36	2,266.40
08/15/2022	Paydown	89232HAC9	155,355.11	Toyota Auto Receivable Own 2020-A A3 1.66% Due 5/15/2024	7,431.82	159.33	7,591.15
08/15/2022	Paydown	47789QAC4	70,000.00	John Deere Owner Trust 2021-B A3 0.52% Due 3/16/2026	0.00	30.33	30.33
08/15/2022	Paydown	58769KAD6	80,000.00	Mercedes-Benz Auto Lease Trust 2021-B A3 0.4% Due 11/15/2024	0.00	26.67	26.67
08/15/2022	Paydown	43815BAC4	165,000.00	Honda Auto Receivables Trust 2022-1 A3 1.88% Due 5/15/2026	0.00	258.50	258.50
08/15/2022	Paydown	47788UAC6	60,000.00	John Deere Owner Trust 2021-A A3 0.36% Due 9/15/2025	0.00	18.00	18.00
08/15/2022	Paydown	47789JAD8	49,575.06	John Deere Owner Trust 2019-A A3 2.91% Due 7/17/2023	8,311.41	20.16	8,331.57

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Payment Date	Transaction Type	CUSIP	Quantity	Security Description	Principal Amount	Income	Total Amount
08/15/2022	Paydown	89238JAC9	65,000.00	Toyota Auto Receivables Trust 2021-D A3 0.71% Due 4/15/2026	0.00	38.46	38.46
08/15/2022	Paydown	89231PAD0	9,691.36	Toyota Auto Receivables Trust 2018-D A3 3.18% Due 3/15/2023	744.16	15.87	760.03
08/15/2022	Paydown	89236XAC0	70,000.00	Toyota Auto Receivables 2020-D A3 0.35% Due 1/15/2025	2,083.94	17.35	2,101.29
08/16/2022	Interest	06406FAD5	200,000.00	Bank of NY Mellon Corp Callable Note Cont 6/16/2023 2.2% Due 8/16/2023	0.00	2,200.00	2,200.00
08/18/2022	Paydown	43813KAC6	85,000.00	Honda Auto Receivables Trust 2020-3 A3 0.37% Due 10/18/2024	4,041.38	19.98	4,061.36
08/19/2022	Paydown	3137BM6P6	101,668.98	FHLMC K721 A2 3.09% Due 8/25/2022	21,799.90	44.91	21,844.81
08/20/2022	Paydown	92290BAA9	120,000.00	Verizon Owner Trust 2020-B A 0.47% Due 2/20/2025	3,317.03	40.51	3,357.54
08/20/2022	Paydown	92348AAA3	48,711.88	Verizon Owner Trust 2019-C A1A 1.94% Due 4/22/2024	1,771.72	64.53	1,836.25
08/21/2022	Paydown	43813GAC5	80,000.00	Honda Auto Receivables Trust 2021-1 A3 0.27% Due 4/21/2025	3,990.82	18.00	4,008.82
08/21/2022	Paydown	43815GAC3	85,000.00	Honda Auto Receivables Trust 2021-4 A3 0.88% Due 1/21/2026	0.00	62.33	62.33
08/23/2022	Maturity	86959RSN1	500,000.00	Svenska Handelsbanken NY Yankee CD 0.2% Due 8/23/2022	500,000.00	1,013.89	501,013.89
08/24/2022	Interest	3137EAEV7	300,000.00	FHLMC Note 0.25% Due 8/24/2023	0.00	375.00	375.00
08/25/2022	Interest	3137BM6P6	101,668.98	FHLMC K721 A2 3.09% Due 8/25/2022	0.00	62.99	62.99
08/25/2022	Paydown	05601XAC3	85,000.00	BMW Vehicle Lease Trust 2022-1 A3 1.1% Due 3/25/2025	0.00	77.92	77.92
08/25/2022	Paydown	09690AAC7	50,000.00	BMW Vehicle Lease Trust 2021-2 A3 0.33% Due 12/26/2024	0.00	13.75	13.75
08/25/2022	Paydown	3137B4GY6	275,000.00	FHLMC K032 A2 3.31% Due 5/25/2023	0.00	758.54	758.54

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Payment Date	Transaction Type	CUSIP	Quantity	Security Description	Principal Amount	Income	Total Amount
08/31/2022	Interest	9128284Z0	750,000.00	US Treasury Note 2.75% Due 8/31/2025	0.00	10,312.50	10,312.50
AUG 2022					**561,653.66**	**34,283.00**	**595,936.66**
09/01/2022	Interest	46647PAH9	500,000.00	JP Morgan Chase & Co Callable Note 2X 3/1/2024 3.22% Due 3/1/2025	0.00	8,050.00	8,050.00
09/08/2022	Interest	3137EAEW5	300,000.00	FHLMC Note 0.25% Due 9/8/2023	0.00	375.00	375.00
09/08/2022	Maturity	24422ETV1	305,000.00	John Deere Capital Corp Note 2.15% Due 9/8/2022	305,000.00	3,278.75	308,278.75
09/10/2022	Interest	3130ADRG9	350,000.00	FHLB Note 2.75% Due 3/10/2023	0.00	4,812.50	4,812.50
09/11/2022	Interest	89114QCB2	500,000.00	Toronto Dominion Bank Note 3.25% Due 3/11/2024	0.00	8,125.00	8,125.00
09/12/2022	Interest	3135G0U43	350,000.00	FNMA Note 2.875% Due 9/12/2023	0.00	5,031.25	5,031.25
09/15/2022	Interest	912828ZD5	325,000.00	US Treasury Note 0.5% Due 3/15/2023	0.00	812.50	812.50
09/15/2022	Paydown	58769KAD6	80,000.00	Mercedes-Benz Auto Lease Trust 2021-B A3 0.4% Due 11/15/2024	0.00	26.67	26.67
09/15/2022	Paydown	89232HAC9	155,355.11	Toyota Auto Receivable Own 2020-A A3 1.66% Due 5/15/2024	7,228.46	149.04	7,377.50
09/15/2022	Paydown	43815BAC4	165,000.00	Honda Auto Receivables Trust 2022-1 A3 1.88% Due 5/15/2026	0.00	258.50	258.50
09/15/2022	Paydown	47788UAC6	60,000.00	John Deere Owner Trust 2021-A A3 0.36% Due 9/15/2025	0.00	18.00	18.00
09/15/2022	Paydown	47789QAC4	70,000.00	John Deere Owner Trust 2021-B A3 0.52% Due 3/16/2026	0.00	30.33	30.33
09/15/2022	Paydown	89238JAC9	65,000.00	Toyota Auto Receivables Trust 2021-D A3 0.71% Due 4/15/2026	0.00	38.46	38.46
09/15/2022	Paydown	89231PAD0	9,691.36	Toyota Auto Receivables Trust 2018-D A3 3.18% Due 3/15/2023	745.48	13.90	759.38
09/15/2022	Paydown	89236XAC0	70,000.00	Toyota Auto Receivables 2020-D A3 0.35% Due 1/15/2025	2,077.63	16.74	2,094.37

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Payment Date	Transaction Type	CUSIP	Quantity	Security Description	Principal Amount	Income	Total Amount
09/15/2022	Paydown	43815NAC8	47,006.73	Honda Auto Receivables Trust 2019-3 A3 1.78% Due 8/15/2023	5,612.33	8.32	5,620.65
09/15/2022	Paydown	65479JAD5	64,524.32	Nissan Auto Receivables Owner 2019-C A3 1.93% Due 7/15/2024	2,184.94	82.86	2,267.80
09/17/2022	Interest	931142ER0	40,000.00	Wal-Mart Stores Callable Note Cont 08/17/2026 1.05% Due 9/17/2026	0.00	210.00	210.00
09/18/2022	Interest	808513BN4	245,000.00	Charles Schwab Corp Callable Note Cont 2/18/2024 0.75% Due 3/18/2024	0.00	918.75	918.75
09/18/2022	Paydown	43813KAC6	85,000.00	Honda Auto Receivables Trust 2020-3 A3 0.37% Due 10/18/2024	4,042.62	18.74	4,061.36
09/19/2022	Interest	459058GQ0	225,000.00	Intl. Bank Recon & Development Note 2.5% Due 3/19/2024	0.00	2,812.50	2,812.50
09/19/2022	Paydown	3137BM6P6	101,668.98	FHLMC K721 A2 3.09% Due 8/25/2022	24,461.77	50.39	24,512.16
09/20/2022	Paydown	92290BAA9	120,000.00	Verizon Owner Trust 2020-B A 0.47% Due 2/20/2025	3,318.33	39.21	3,357.54
09/20/2022	Paydown	92348AAA3	48,711.88	Verizon Owner Trust 2019-C A1A 1.94% Due 4/22/2024	1,775.71	61.66	1,837.37
09/21/2022	Paydown	43813GAC5	80,000.00	Honda Auto Receivables Trust 2021-1 A3 0.27% Due 4/21/2025	3,991.79	17.10	4,008.89
09/21/2022	Paydown	43815GAC3	85,000.00	Honda Auto Receivables Trust 2021-4 A3 0.88% Due 1/21/2026	0.00	62.33	62.33
09/23/2022	Interest	4581X0DZ8	260,000.00	Inter-American Dev Bank Note 0.5% Due 9/23/2024	0.00	650.00	650.00
09/25/2022	Paydown	3137B4GY6	275,000.00	FHLMC K032 A2 3.31% Due 5/25/2023	0.00	758.54	758.54
09/25/2022	Paydown	05601XAC3	85,000.00	BMW Vehicle Lease Trust 2022-1 A3 1.1% Due 3/25/2025	0.00	77.92	77.92
09/25/2022	Paydown	09690AAC7	50,000.00	BMW Vehicle Lease Trust 2021-2 A3 0.33% Due 12/26/2024	0.00	13.75	13.75
09/30/2022	Interest	912828T26	750,000.00	US Treasury Note 1.375% Due 9/30/2023	0.00	5,156.25	5,156.25
09/30/2022	Interest	912828W71	750,000.00	US Treasury Note 2.125% Due 3/31/2024	0.00	7,968.75	7,968.75

Payment Date	Transaction Type	CUSIP	Quantity	Security Description	Principal Amount	Income	Total Amount
09/30/2022	Interest	912828YG9	300,000.00	US Treasury Note 1.625% Due 9/30/2026	0.00	2,437.50	2,437.50
09/30/2022	Interest	912828ZF0	350,000.00	US Treasury Note 0.5% Due 3/31/2025	0.00	875.00	875.00
09/30/2022	Interest	9128286L9	750,000.00	US Treasury Note 2.25% Due 3/31/2026	0.00	8,437.50	8,437.50
SEP 2022					**360,439.06**	**61,693.71**	**422,132.77**
10/15/2022	Interest	91282CBV2	500,000.00	US Treasury Note 0.375% Due 4/15/2024	0.00	937.50	937.50
10/15/2022	Paydown	43815BAC4	165,000.00	Honda Auto Receivables Trust 2022-1 A3 1.88% Due 5/15/2026	0.00	258.50	258.50
10/15/2022	Paydown	89231PAD0	9,691.36	Toyota Auto Receivables Trust 2018-D A3 3.18% Due 3/15/2023	746.79	11.93	758.72
10/15/2022	Paydown	89236XAC0	70,000.00	Toyota Auto Receivables 2020-D A3 0.35% Due 1/15/2025	2,071.26	16.14	2,087.40
10/15/2022	Paydown	47789QAC4	70,000.00	John Deere Owner Trust 2021-B A3 0.52% Due 3/16/2026	0.00	30.33	30.33
10/15/2022	Paydown	65479JAD5	64,524.32	Nissan Auto Receivables Owner 2019-C A3 1.93% Due 7/15/2024	2,189.86	79.34	2,269.20
10/15/2022	Paydown	58769KAD6	80,000.00	Mercedes-Benz Auto Lease Trust 2021-B A3 0.4% Due 11/15/2024	0.00	26.67	26.67
10/15/2022	Paydown	89232HAC9	155,355.11	Toyota Auto Receivable Own 2020-A A3 1.66% Due 5/15/2024	7,024.21	139.05	7,163.26
10/15/2022	Paydown	47788UAC6	60,000.00	John Deere Owner Trust 2021-A A3 0.36% Due 9/15/2025	0.00	18.00	18.00
10/15/2022	Paydown	89238JAC9	65,000.00	Toyota Auto Receivables Trust 2021-D A3 0.71% Due 4/15/2026	0.00	38.46	38.46
10/16/2022	Interest	45950KCR9	160,000.00	International Finance Corp Note 1.375% Due 10/16/2024	0.00	1,100.00	1,100.00
10/16/2022	Interest	3137EAEY1	225,000.00	FHLMC Note 0.125% Due 10/16/2023	0.00	140.63	140.63
10/18/2022	Paydown	43813KAC6	85,000.00	Honda Auto Receivables Trust 2020-3 A3 0.37% Due 10/18/2024	4,043.87	17.49	4,061.36

Payment Date	Transaction Type	CUSIP	Quantity	Security Description	Principal Amount	Income	Total Amount
10/20/2022	Paydown	92348AAA3	48,711.88	Verizon Owner Trust 2019-C A1A 1.94% Due 4/22/2024	1,779.71	58.79	1,838.50
10/20/2022	Paydown	92290BAA9	120,000.00	Verizon Owner Trust 2020-B A 0.47% Due 2/20/2025	3,319.63	37.91	3,357.54
10/21/2022	Paydown	43815GAC3	85,000.00	Honda Auto Receivables Trust 2021-4 A3 0.88% Due 1/21/2026	0.00	62.33	62.33
10/21/2022	Paydown	43813GAC5	80,000.00	Honda Auto Receivables Trust 2021-1 A3 0.27% Due 4/21/2025	3,992.76	16.20	4,008.96
10/25/2022	Maturity	55380TXW5	500,000.00	MUFG Bank Yankee CD 0.3% Due 10/25/2022	500,000.00	1,562.50	501,562.50
10/25/2022	Paydown	3137B4GY6	275,000.00	FHLMC K032 A2 3.31% Due 5/25/2023	0.00	758.54	758.54
10/25/2022	Paydown	05601XAC3	85,000.00	BMW Vehicle Lease Trust 2022-1 A3 1.1% Due 3/25/2025	0.00	77.92	77.92
10/25/2022	Paydown	09690AAC7	50,000.00	BMW Vehicle Lease Trust 2021-2 A3 0.33% Due 12/26/2024	0.00	13.75	13.75
OCT 2022					**525,168.09**	**5,401.98**	**530,570.07**
11/01/2022	Interest	78015K7C2	500,000.00	Royal Bank of Canada Note 2.25% Due 11/1/2024	0.00	5,625.00	5,625.00
11/03/2022	Interest	037833AK6	200,000.00	Apple Inc Note 2.4% Due 5/3/2023	0.00	2,400.00	2,400.00
11/05/2022	Interest	3137EAER6	305,000.00	FHLMC Note 0.375% Due 5/5/2023	0.00	571.88	571.88
11/06/2022	Interest	3137EAEZ8	335,000.00	FHLMC Note 0.25% Due 11/6/2023	0.00	418.75	418.75
11/07/2022	Interest	3135G06G3	350,000.00	FNMA Note 0.5% Due 11/7/2025	0.00	875.00	875.00
11/08/2022	Interest	69371RR57	175,000.00	Paccar Financial Corp Note 0.9% Due 11/8/2024	0.00	787.50	787.50
11/12/2022	Interest	023135BW5	130,000.00	Amazon.com Inc Note 0.45% Due 5/12/2024	0.00	292.50	292.50
11/15/2022	Interest	912828VB3	750,000.00	US Treasury Note 1.75% Due 5/15/2023	0.00	6,562.50	6,562.50

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11/15/2022	Interest	912828R36	250,000.00	US Treasury Note 1.625% Due 5/15/2026	0.00	2,031.25	2,031.25
11/15/2022	Interest	91324PEB4	500,000.00	United Health Group Inc Callable Note Cont 5/15/2022 0.55% Due 5/15/2024	0.00	1,375.00	1,375.00
11/15/2022	Interest	912828WJ5	750,000.00	US Treasury Note 2.5% Due 5/15/2024	0.00	9,375.00	9,375.00
11/15/2022	Interest	91282CDH1	750,000.00	US Treasury Note 0.75% Due 11/15/2024	0.00	2,812.50	2,812.50
11/15/2022	Paydown	47788UAC6	60,000.00	John Deere Owner Trust 2021-A A3 0.36% Due 9/15/2025	2,490.67	18.00	2,508.67
11/15/2022	Paydown	47789QAC4	70,000.00	John Deere Owner Trust 2021-B A3 0.52% Due 3/16/2026	0.00	30.33	30.33
11/15/2022	Paydown	58769KAD6	80,000.00	Mercedes-Benz Auto Lease Trust 2021-B A3 0.4% Due 11/15/2024	0.00	26.67	26.67
11/15/2022	Paydown	89238JAC9	65,000.00	Toyota Auto Receivables Trust 2021-D A3 0.71% Due 4/15/2026	0.00	38.46	38.46
11/15/2022	Paydown	65479JAD5	64,524.32	Nissan Auto Receivables Owner 2019-C A3 1.93% Due 7/15/2024	2,194.79	75.82	2,270.61
11/15/2022	Paydown	89231PAD0	9,691.36	Toyota Auto Receivables Trust 2018-D A3 3.18% Due 3/15/2023	748.12	9.95	758.07
11/15/2022	Paydown	89236XAC0	70,000.00	Toyota Auto Receivables 2020-D A3 0.35% Due 1/15/2025	2,064.82	15.53	2,080.35
11/15/2022	Paydown	43815BAC4	165,000.00	Honda Auto Receivables Trust 2022-1 A3 1.88% Due 5/15/2026	0.00	258.50	258.50
11/15/2022	Paydown	89232HAC9	155,355.11	Toyota Auto Receivable Own 2020-A A3 1.66% Due 5/15/2024	6,819.12	129.33	6,948.45
11/17/2022	Interest	14913R2L0	500,000.00	Caterpillar Financial Service Note 0.45% Due 5/17/2024	0.00	1,125.00	1,125.00
11/18/2022	Paydown	43813KAC6	85,000.00	Honda Auto Receivables Trust 2020-3 A3 0.37% Due 10/18/2024	4,045.12	16.24	4,061.36
11/20/2022	Paydown	92290BAA9	120,000.00	Verizon Owner Trust 2020-B A 0.47% Due 2/20/2025	3,320.93	36.61	3,357.54

Cash Flow Report

As of February 28, 2022

Payment Date	Transaction Type	CUSIP	Quantity	Security Description	Principal Amount	Income	Total Amount
11/20/2022	Paydown	92348AAA3	48,711.88	Verizon Owner Trust 2019-C A1A 1.94% Due 4/22/2024	1,783.71	55.91	1,839.62
11/21/2022	Paydown	43813GAC5	80,000.00	Honda Auto Receivables Trust 2021-1 A3 0.27% Due 4/21/2025	3,993.71	15.31	4,009.02
11/21/2022	Paydown	43815GAC3	85,000.00	Honda Auto Receivables Trust 2021-4 A3 0.88% Due 1/21/2026	0.00	62.33	62.33
11/22/2022	Interest	3135G04Q3	245,000.00	FNMA Note 0.25% Due 5/22/2023	0.00	306.25	306.25
11/24/2022	Interest	459058JM6	165,000.00	Intl. Bank Recon & Development Note 0.25% Due 11/24/2023	0.00	206.25	206.25
11/25/2022	Paydown	3137B4GY6	275,000.00	FHLMC K032 A2 3.31% Due 5/25/2023	0.00	758.54	758.54
11/25/2022	Paydown	05601XAC3	85,000.00	BMW Vehicle Lease Trust 2022-1 A3 1.1% Due 3/25/2025	0.00	77.92	77.92
11/25/2022	Paydown	09690AAC7	50,000.00	BMW Vehicle Lease Trust 2021-2 A3 0.33% Due 12/26/2024	0.00	13.75	13.75
11/30/2022	Interest	912828ZT0	365,000.00	US Treasury Note 0.25% Due 5/31/2025	0.00	456.25	456.25
11/30/2022	Interest	91282CAZ4	750,000.00	US Treasury Note 0.375% Due 11/30/2025	0.00	1,406.25	1,406.25
11/30/2022	Maturity	912828M80	750,000.00	US Treasury Note 2% Due 11/30/2022	750,000.00	7,500.00	757,500.00
NOV 2022					**777,460.99**	**45,766.08**	**823,227.07**
12/08/2022	Interest	3130A0F70	350,000.00	FHLB Note 3.375% Due 12/8/2023	0.00	5,906.25	5,906.25
12/13/2022	Call	037833DE7	200,000.00	Apple Inc Callable Note Cont 12/13/2022 2.4% Due 1/13/2023	200,000.00	2,000.00	202,000.00
12/14/2022	Interest	3130A1XJ2	155,000.00	FHLB Note 2.875% Due 6/14/2024	0.00	2,228.13	2,228.13
12/15/2022	Interest	91282CCG4	400,000.00	US Treasury Note 0.25% Due 6/15/2024	0.00	500.00	500.00
12/15/2022	Interest	912828ZU7	750,000.00	US Treasury Note 0.25% Due 6/15/2023	0.00	937.50	937.50

Payment Date	Transaction Type	CUSIP	Quantity	Security Description	Principal Amount	Income	Total Amount
12/15/2022	Maturity	912828YW4	750,000.00	US Treasury Note 1.625% Due 12/15/2022	750,000.00	6,093.75	756,093.75
12/15/2022	Paydown	65479JAD5	64,524.32	Nissan Auto Receivables Owner 2019-C A3 1.93% Due 7/15/2024	2,199.73	72.29	2,272.02
12/15/2022	Paydown	89232HAC9	155,355.11	Toyota Auto Receivable Own 2020-A A3 1.66% Due 5/15/2024	6,613.16	119.90	6,733.06
12/15/2022	Paydown	89231PAD0	9,691.36	Toyota Auto Receivables Trust 2018-D A3 3.18% Due 3/15/2023	749.44	7.97	757.41
12/15/2022	Paydown	89236XAC0	70,000.00	Toyota Auto Receivables 2020-D A3 0.35% Due 1/15/2025	2,058.31	14.93	2,073.24
12/15/2022	Paydown	43815BAC4	165,000.00	Honda Auto Receivables Trust 2022-1 A3 1.88% Due 5/15/2026	0.00	258.50	258.50
12/15/2022	Paydown	47788UAC6	60,000.00	John Deere Owner Trust 2021-A A3 0.36% Due 9/15/2025	2,491.48	17.25	2,508.73
12/15/2022	Paydown	89238JAC9	65,000.00	Toyota Auto Receivables Trust 2021-D A3 0.71% Due 4/15/2026	0.00	38.46	38.46
12/15/2022	Paydown	47789QAC4	70,000.00	John Deere Owner Trust 2021-B A3 0.52% Due 3/16/2026	0.00	30.33	30.33
12/15/2022	Paydown	58769KAD6	80,000.00	Mercedes-Benz Auto Lease Trust 2021-B A3 0.4% Due 11/15/2024	0.00	26.67	26.67
12/18/2022	Interest	89236TJH9	300,000.00	Toyota Motor Credit Corp Note 0.5% Due 6/18/2024	0.00	750.00	750.00
12/18/2022	Paydown	43813KAC6	85,000.00	Honda Auto Receivables Trust 2020-3 A3 0.37% Due 10/18/2024	4,046.36	15.00	4,061.36
12/20/2022	Paydown	92348AAA3	48,711.88	Verizon Owner Trust 2019-C A1A 1.94% Due 4/22/2024	1,787.72	53.03	1,840.75
12/20/2022	Paydown	92290BAA9	120,000.00	Verizon Owner Trust 2020-B A 0.47% Due 2/20/2025	3,322.23	35.31	3,357.54
12/21/2022	Paydown	43813GAC5	80,000.00	Honda Auto Receivables Trust 2021-1 A3 0.27% Due 4/21/2025	3,994.68	14.41	4,009.09
12/21/2022	Paydown	43815GAC3	85,000.00	Honda Auto Receivables Trust 2021-4 A3 0.88% Due 1/21/2026	0.00	62.33	62.33
12/25/2022	Paydown	05601XAC3	85,000.00	BMW Vehicle Lease Trust 2022-1 A3 1.1% Due 3/25/2025	0.00	77.92	77.92

Payment Date	Transaction Type	CUSIP	Quantity	Security Description	Principal Amount	Income	Total Amount
12/25/2022	Paydown	09690AAC7	50,000.00	BMW Vehicle Lease Trust 2021-2 A3 0.33% Due 12/26/2024	0.00	13.75	13.75
12/25/2022	Paydown	3137B4GY6	275,000.00	FHLMC K032 A2 3.31% Due 5/25/2023	0.00	758.54	758.54
12/26/2022	Interest	3137EAES4	300,000.00	FHLMC Note 0.25% Due 6/26/2023	0.00	375.00	375.00
12/30/2022	Call	747525AR4	500,000.00	Qualcomm Inc Callable Note Cont 12/30/2022 2.6% Due 1/30/2023	500,000.00	5,416.67	505,416.67
DEC 2022					**1,477,263.11**	**25,823.89**	**1,503,087.00**
01/06/2023	Interest	3133ENKS8	750,000.00	FFCB Note 1.125% Due 1/6/2025	0.00	4,218.76	4,218.76
01/10/2023	Interest	3135G05G4	250,000.00	FNMA Note 0.25% Due 7/10/2023	0.00	312.50	312.50
01/11/2023	Maturity	89236TEL5	200,000.00	Toyota Motor Credit Corp Note 2.7% Due 1/11/2023	200,000.00	2,700.00	202,700.00
01/15/2023	Interest	79466LAG9	35,000.00	Salesforce.com Inc Callable Note Cont 7/15/2022 0.625% Due 7/15/2024	0.00	109.38	109.38
01/15/2023	Paydown	89231PAD0	9,691.36	Toyota Auto Receivables Trust 2018-D A3 3.18% Due 3/15/2023	750.77	5.98	756.75
01/15/2023	Paydown	89232HAC9	155,355.11	Toyota Auto Receivable Own 2020-A A3 1.66% Due 5/15/2024	6,406.33	110.75	6,517.08
01/15/2023	Paydown	89236XAC0	70,000.00	Toyota Auto Receivables 2020-D A3 0.35% Due 1/15/2025	2,051.73	14.33	2,066.06
01/15/2023	Paydown	47789QAC4	70,000.00	John Deere Owner Trust 2021-B A3 0.52% Due 3/16/2026	0.00	30.33	30.33
01/15/2023	Paydown	65479JAD5	64,524.32	Nissan Auto Receivables Owner 2019-C A3 1.93% Due 7/15/2024	2,204.68	68.75	2,273.43
01/15/2023	Paydown	43815BAC4	165,000.00	Honda Auto Receivables Trust 2022-1 A3 1.88% Due 5/15/2026	0.00	258.50	258.50
01/15/2023	Paydown	58769KAD6	80,000.00	Mercedes-Benz Auto Lease Trust 2021-B A3 0.4% Due 11/15/2024	6,150.46	26.67	6,177.13
01/15/2023	Paydown	89238JAC9	65,000.00	Toyota Auto Receivables Trust 2021-D A3 0.71% Due 4/15/2026	0.00	38.46	38.46

Cash Flow Report

As of February 28, 2022

Payment Date	Transaction Type	CUSIP	Quantity	Security Description	Principal Amount	Income	Total Amount
01/15/2023	Paydown	47788UAC6	60,000.00	John Deere Owner Trust 2021-A A3 0.36% Due 9/15/2025	2,492.28	16.51	2,508.79
01/18/2023	Paydown	43813KAC6	85,000.00	Honda Auto Receivables Trust 2020-3 A3 0.37% Due 10/18/2024	4,047.61	13.75	4,061.36
01/20/2023	Paydown	92348AAA3	48,711.88	Verizon Owner Trust 2019-C A1A 1.94% Due 4/22/2024	1,791.75	50.14	1,841.89
01/20/2023	Paydown	92290BAA9	120,000.00	Verizon Owner Trust 2020-B A 0.47% Due 2/20/2025	3,323.53	34.01	3,357.54
01/21/2023	Paydown	43815GAC3	85,000.00	Honda Auto Receivables Trust 2021-4 A3 0.88% Due 1/21/2026	0.00	62.33	62.33
01/21/2023	Paydown	43813GAC5	80,000.00	Honda Auto Receivables Trust 2021-1 A3 0.27% Due 4/21/2025	3,995.65	13.51	4,009.16
01/24/2023	Interest	90331HNV1	250,000.00	US Bank NA Callable Note Cont 6/23/2023 3.4% Due 7/24/2023	0.00	4,250.00	4,250.00
01/25/2023	Paydown	3137B4GY6	275,000.00	FHLMC K032 A2 3.31% Due 5/25/2023	0.00	758.54	758.54
01/25/2023	Paydown	05601XAC3	85,000.00	BMW Vehicle Lease Trust 2022-1 A3 1.1% Due 3/25/2025	0.00	77.92	77.92
01/25/2023	Paydown	09690AAC7	50,000.00	BMW Vehicle Lease Trust 2021-2 A3 0.33% Due 12/26/2024	4,161.13	13.75	4,174.88
01/31/2023	Interest	912828Y87	300,000.00	US Treasury Note 1.75% Due 7/31/2024	0.00	2,625.00	2,625.00
01/31/2023	Interest	912828Z52	750,000.00	US Treasury Note 1.375% Due 1/31/2025	0.00	5,156.25	5,156.25
01/31/2023	Interest	912828V80	750,000.00	US Treasury Note 2.25% Due 1/31/2024	0.00	8,437.50	8,437.50
JAN 2023					**237,375.92**	**29,403.62**	**266,779.54**
02/06/2023	Interest	594918BX1	200,000.00	Microsoft Callable Note Cont 12/6/2023 2.875% Due 2/6/2024	0.00	2,875.00	2,875.00
02/06/2023	Interest	857477BR3	90,000.00	State Street Bank Callable Note Cont 2/6/2025 1.746% Due 2/6/2026	0.00	785.70	785.70
02/09/2023	Interest	69371RR40	80,000.00	Paccar Financial Corp Note 0.5% Due 8/9/2024	0.00	200.00	200.00

Cash Flow Report

As of February 28, 2022

Payment Date	Transaction Type	CUSIP	Quantity	Security Description	Principal Amount	Income	Total Amount
02/14/2023	Interest	3133ENPG9	415,000.00	FFCB Note 1.75% Due 2/14/2025	0.00	3,631.25	3,631.25
02/15/2023	Interest	912828B66	750,000.00	US Treasury Note 2.75% Due 2/15/2024	0.00	10,312.50	10,312.50
02/15/2023	Interest	91282CCT6	400,000.00	US Treasury Note 0.375% Due 8/15/2024	0.00	750.00	750.00
02/15/2023	Paydown	43815BAC4	165,000.00	Honda Auto Receivables Trust 2022-1 A3 1.88% Due 5/15/2026	0.00	258.50	258.50
02/15/2023	Paydown	89238JAC9	65,000.00	Toyota Auto Receivables Trust 2021-D A3 0.71% Due 4/15/2026	0.00	38.46	38.46
02/15/2023	Paydown	65479JAD5	64,524.32	Nissan Auto Receivables Owner 2019-C A3 1.93% Due 7/15/2024	2,209.63	65.21	2,274.84
02/15/2023	Paydown	89232HAC9	155,355.11	Toyota Auto Receivable Own 2020-A A3 1.66% Due 5/15/2024	6,198.63	101.89	6,300.52
02/15/2023	Paydown	89231PAD0	9,691.36	Toyota Auto Receivables Trust 2018-D A3 3.18% Due 3/15/2023	752.11	3.99	756.10
02/15/2023	Paydown	89236XAC0	70,000.00	Toyota Auto Receivables 2020-D A3 0.35% Due 1/15/2025	2,045.09	13.73	2,058.82
02/15/2023	Paydown	47788UAC6	60,000.00	John Deere Owner Trust 2021-A A3 0.36% Due 9/15/2025	2,493.10	15.76	2,508.86
02/15/2023	Paydown	47789QAC4	70,000.00	John Deere Owner Trust 2021-B A3 0.52% Due 3/16/2026	0.00	30.33	30.33
02/15/2023	Paydown	58769KAD6	80,000.00	Mercedes-Benz Auto Lease Trust 2021-B A3 0.4% Due 11/15/2024	6,151.02	24.62	6,175.64
02/16/2023	Interest	06406FAD5	200,000.00	Bank of NY Mellon Corp Callable Note Cont 6/16/2023 2.2% Due 8/16/2023	0.00	2,200.00	2,200.00
02/18/2023	Paydown	43813KAC6	85,000.00	Honda Auto Receivables Trust 2020-3 A3 0.37% Due 10/18/2024	4,048.86	12.50	4,061.36
02/20/2023	Paydown	92290BAA9	120,000.00	Verizon Owner Trust 2020-B A 0.47% Due 2/20/2025	3,324.83	32.71	3,357.54
02/20/2023	Paydown	92348AAA3	48,711.88	Verizon Owner Trust 2019-C A1A 1.94% Due 4/22/2024	1,795.78	47.24	1,843.02

Cash Flow Report

As of February 28, 2022

Payment Date	Transaction Type	CUSIP	Quantity	Security Description	Principal Amount	Income	Total Amount
02/21/2023	Paydown	43815GAC3	85,000.00	Honda Auto Receivables Trust 2021-4 A3 0.88% Due 1/21/2026	0.00	62.33	62.33
02/21/2023	Paydown	43813GAC5	80,000.00	Honda Auto Receivables Trust 2021-1 A3 0.27% Due 4/21/2025	3,996.61	12.61	4,009.22
02/24/2023	Interest	3137EAEV7	300,000.00	FHLMC Note 0.25% Due 8/24/2023	0.00	375.00	375.00
02/25/2023	Paydown	3137B4GY6	275,000.00	FHLMC K032 A2 3.31% Due 5/25/2023	68,431.14	758.54	69,189.68
02/25/2023	Paydown	05601XAC3	85,000.00	BMW Vehicle Lease Trust 2022-1 A3 1.1% Due 3/25/2025	0.00	77.92	77.92
02/25/2023	Paydown	09690AAC7	50,000.00	BMW Vehicle Lease Trust 2021-2 A3 0.33% Due 12/26/2024	4,162.13	12.61	4,174.74
02/28/2023	Interest	9128284Z0	750,000.00	US Treasury Note 2.75% Due 8/31/2025	0.00	10,312.50	10,312.50
FEB 2023					**105,608.93**	**33,010.90**	**138,619.83**
TOTAL					**6,724,867.45**	**416,928.47**	**7,141,795.92**

Important Disclosures

Chandler Asset Management, Inc. (“Chandler”) is an SEC registered investment adviser. For additional information about our firm, please see our current disclosures (Form ADV). To obtain a copy of our current disclosures, you may contact your client service representative by calling the number on the front of this statement or you may visit our website at www.chandlerasset.com.

Information contained in this monthly statement is confidential and is provided for informational purposes only and should not be construed as specific investment or legal advice. The information contained herein was obtained from sources believed to be reliable as of the date of this statement, but may become outdated or superseded at any time without notice.

Custody: Your qualified custodian bank maintains control of all assets reflected in this statement and we urge you to compare this statement to the one you receive from your qualified custodian. Chandler does not have any authority to withdraw or deposit funds from/to the custodian account.

Valuation: Prices are provided by IDC, an independent pricing source. In the event IDC does not provide a price or if the price provided is not reflective of fair market value, Chandler will obtain pricing from an alternative approved third party pricing source in accordance with our written valuation policy and procedures. Our valuation procedures are also disclosed in Item 5 of our Form ADV Part 2A.

Performance: Performance results are presented gross-of-advisory fees and represent the client’s Total Return. The deduction of advisory fees lowers performance results. These results include the reinvestment of dividends and other earnings. Past performance may not be indicative of future results. Therefore, clients should not assume that future performance of any specific investment or investment strategy will be profitable or equal to past performance levels. All investment strategies have the potential for profit or loss. Economic factors, market conditions or changes in investment strategies, contributions or withdrawals may materially alter the performance and results of your portfolio.

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Index returns assume reinvestment of all distributions. Historical performance results for investment indexes generally do not reflect the deduction of transaction and/or custodial charges or the deduction of an investment management fee, the incurrence of which would have the effect of decreasing historical performance results. It is not possible to invest directly in an index.

Ratings: Ratings information have been provided by Moody’s, S&P and Fitch through data feeds we believe to be reliable as of the date of this statement, however we cannot guarantee its accuracy.

Security level ratings for U.S. Agency issued mortgage-backed securities (“MBS”) reflect the issuer rating because the securities themselves are not rated. The issuing U.S. Agency guarantees the full and timely payment of both principal and interest and carries a AA+/Aaa/AAA by S&P, Moody’s and Fitch respectively.

CITY of GARDENA

Report No. P-2022-7

TO: THE HONORABLE MAYOR AND CITY COUNCIL

SUBJECT: PERSONNEL REPORT

1. Report the count of confirmed COVID-19 employee cases.
   Total Count: One-Hundred Sixty (160)
   a. Administrative Services Department: Five (5)
   b. City Clerk's Office: Three (3)
   c. Elected & City Manager's Offices: One (1)
   d. Community Development Department: Four (4)
   e. Transportation Department: Fifty-One (51)
   f. Police Department: Forty-Six (46)
   g. Public Works Department: Twenty-Five (25)
   h. Recreation & Human Services Department: Twenty-Five (25)

2. Request City Council approval to revise the City's Classification and Compensation Plan to add the new classification of Administrative Coordinator to Schedule 56 ($6,155 - $7,855/month).
   Job Description Included, Attachment 1
   Classification and Compensation Schedule, Attachment 2

3. Request City Council approval to revise the City's Classification and Compensation Plan to revise the following class specifications to reflect current duties and include the Los Angeles County Elderly Nutrition Program COVID-19 vaccination requirement:
   a. Certified Nursing Assistant, *Attachment 3*
   b. Community Aide I, *Attachment 4*
   c. Community Aide II, *Attachment 5*
   d. Community Aide III, *Attachment 6*
   e. Geriatric Aide, *Attachment 7*
   f. Nutrition Services Coordinator, *Attachment 8*
   g. Senior Citizens Social Services Coordinator, *Attachment 9*

4. Report the Appointment of ***RENZ BISCOCHO,*** to the position of Police Officer, Schedule 201 ($7,309 - $9,328/month) with the Police Department effective March 28, 2022.

5. Report the Promotion of the following individuals:

   a. ***ALEXANDER RIVERA*** to the position of Police Lieutenant, Schedule 227 ($12,517 - $15,976/month) with the Police Department, effective March 10, 2022.

   b. ***RICHARD REYNAGA*** to the position of Police Sergeant, Schedule 203 ($9,341 - $11,922/month) with the Police Department, effective March 30, 2022.

6. Report the recruitment for the Open/Competitive position of Human Resources Analyst (Administrative Services Department). This recruitment is open until filled.

7. Report the Recruitment for the Closed/Competitive position of Sewer Maintenance Worker closed April 4, 2022.
8. Report the recruitment for the Closed/Competitive position of Graffiti Technician (Public Works Department). This recruitment closed April 7, 2022.

9. Report the recruitment for the Closed/Competitive position of Senior Transit Utility Specialist (GTrans Department). This recruitment closed April 7, 2022.

10. Report the recruitment for the Open/Competitive position of Police Service Officer (Police Department). This recruitment closed on April 8, 2022.

11. Report the Recruitment for the Open/Competitive position of Risk Management Analyst (Administrative Services Department). This recruitment is open until filled.

12. Report the Recruitment for the Open/Competitive position of Transit Equipment Mechanic, (GTrans Department). This recruitment is open until filled.

CITY OF GARDENA
Gardena, California

CLASS SPECIFICATION
APRIL 2022

ADMINISTRATIVE COORDINATOR

(Job Summary)

Description

Under general direction, performs a wide variety of complex administrative, analytical and technical duties in connection with the day-to-day administration and operation of department projects and programs. This position requires experience and the necessary skills to oversee and manage special projects, administering budgets and personnel records (coordinating employee benefits and leave, insurance, worker's compensation) technical research and provide support and assistance to staff as assigned. Ensures proper information flow and communications between the department, other city departments, and the public. Also, responsible for coordinating arrangements for meetings and functions; assumes and performs related duties as required.

Representative Duties

- Manage mail, phone calls and visitors ascertaining urgency of issues, addressing those issues and/or routing to the appropriate Department staff member for proper response and follow-up.
- Schedule and coordinate appointments, conferences, meetings, trainings, special events, maintain appointment calendar and make travel arrangements.
- Track a variety of matters referred by the public, staff, City Manager and City Council and ensure that response and deadlines are met.
- Responsible for creating and formatting a variety of written work products, including letters, staff reports, analytical reports, requests for proposals, agreements, ordinances, resolutions, memorandums, summaries, presentations and other reports.
- Edit, proofread and correct written materials to ensure correct format, spelling, punctuation, syntax and grammar.
- Compose and maintain confidential correspondence.
- Attend meetings as assigned and prepare corresponding minutes by specific deadlines provided.
- Provide supervision and lead direction to clerical staff including organizing and assigning work, and training.
- Monitors and controls specific operations; participates in the coordination and planning of department events.
- Assist in the response to public records requests, public inquiries, and internal requests for information.
- Ensure staff is providing excellent customer service to the public at the front counter and via telephone and ensure that the customer is assisted in a timely and courteous manner. Contacts individuals and/or agencies to resolve problems, obtain information, and gather data.
- Update or create forms, pamphlets, or checklists to assist applicants, the public and staff.
- Process, maintain and monitor the department agreements, budget, purchase orders, credit card expenses, membership renewals, and ensure that invoices are processed timely.
- Make purchases and maintain Department supply inventory. Maintain all Department files and records as required in an organized and useful manner including scanning of current and past documents for records management. Responsible for accounts payable functions, as assigned.
- Conducts surveys and special studies of programs and prepares reports recommending alternative courses of action for policy approval
- Work with and maintain various confidential records including personnel records, correspondence, and information, and be responsible for protecting and maintaining the confidentiality of this information.
- Prepare comprehensive reports, assist in compiling information required for annual budget requests, and recommend expenditure requests for designated accounts.
- Prepare purchase requisitions and process accordingly.

- Review, code and ensure the accuracy of all invoices submitted for payment per the City's accounts payable procedures.
- Review Department timesheets and ensure proper data entry into system accordingly. May provide clerical assistance to staff involved in departmental hiring activities.
- Respond to e-mails, opening and evaluating mail, setting, and preparing for meetings and assisting with other support as assigned.
- May develop scopes of work, Request for Proposals, Request for Quotes for professional services; coordinates with other departments regarding appropriate process and procedures; and obtains and secures appropriate permits and governing board approvals for projects.
- Plans, schedules, and coordinates the progress and execution of plans, projects and activities initiated by the Director or their designee, which may include providing assistance to other departments.
- Performs routine and complex clerical and technical work and confidential support duties for a Department Head and other executive management.
- Schedules and arranges appointments, meetings and travel plans for Department Head and other staff members. Assists Department Head with various time management issues.
- Attends department staff meetings and arranges, sets up and attends other meetings, as required. Prepares agendas, minutes, packets and presentations for meetings.
- Assist in managing the day-to-day office operations.
- Assist in filing, scanning, copying and office organization as necessary.
- Makes recommendations to Department Head regarding office administration.
- Perform related duties as assigned.

Organization Responsibilities

This position reports directly to the Department Head, or their designee and is generally responsible for specialized, complex administrative duties including budget administration, personnel matters, project management and the coordination of major ongoing activities or programs.

Positions may also be assigned supervisory responsibilities over designated departmental tasks or divisions and supervise staff in those divisions.

QUALIFICATIONS GUIDE

Education and Experience

Bachelor's Degree PLUS two (2) years progressively responsible experience in administrative, program outcome, budget, finance and/or analyses, research and statistical procedures, program administration including budgetary control; or a minimum of six (6) years combined advanced education, training and progressively responsible work experience in administrative support experience related to duties listed above; Recent experience providing complex clerical and technical support to a Director or Division Head is desirable. Experience in making travel arrangements and event planning is particularly desirable. High level of professionalism and confidentiality is required. Bilingual in Spanish is desired.

Knowledge and Abilities

Office support practices; customer service techniques; safety procedures and practices; time management; conflict resolution; communications and public relations practices; supervisory techniques; leadership techniques; work organization planning methods; telephone etiquette and principles of effective public relations; general methods of budget preparation and financial record keeping; modern office equipment and software applications including Microsoft Office and database applications; advanced principles and methods of businesses correspondence and report preparation; organization, procedures, and operating details of the department, division or office to which assigned; English usage, spelling, grammar, syntax and punctuation; principals of supervision, training, and performance evaluation; act independently and resourcefully in meeting new problems to compose letters, resolutions, testimonials, reports, and other written materials using initiative and judgment without supervision.; handle public complaints tactfully.

Skills

Minimum typing skill of 50 NWPM (net words per minute). Strong Microsoft Office, Word, Excel, PowerPoint, and financial and resource management tools. Bilingual ability is desirable. Reading, writing, and communicating at an appropriate level.

Physical Demands and Working Conditions

Work is performed in a busy office environment with frequent interruptions. Office work requires sitting for prolonged periods of time and using a computer keyboard and screen. Physical demands include talking, listening, standing, kneeling, bending, twisting, reaching, and grasping in the performance of duties. Field work requires driving, sitting, standing, and walking.

License and Certifications

Must possess a valid Class C California Driver's License and must be maintained throughout the course of employment. City employees are registered with the Department of Motor Vehicles, Employee Pull Notice Program.

Candidates must provide the City with a current typing certificate (acquired within the last 6 months) indicating a typing speed of at least 50 net words per minute (nwpm).***

Please attach a copy of your typing certificate/letter with your application materials.

Special Conditions

Statement of Economic Interest required.

Must be able to pass a job-related medical examination that includes drug and alcohol testing.

Employment is subject to background checks and verifications.

Other conditions may apply depending on department assignment.

COVID Vaccination Requirement

To ensure the safety and well-being of our community the City of Gardena requires incumbent be vaccinated or have been approved for a qualifying medical or religious exemption, as incumbent may be assigned to a program with above requirement.

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CITY OF GARDENA
CLASSIFICATION AND COMPENSATION PLAN
AS OF APRIL 12, 2022

Administrative Coordinator - Schedule 56

6 Clerical Aide I
6 Police Aide

STEP	*6*
ANNUAL	31,752.00
MONTHLY	2,646.00
BI-WEEKLY	1,221.23
HOURLY	15.2654

7 Peer Advocate Counselor II
7 Storeroom Aide

STEP	*4*	*5*	*6*
ANNUAL	28,128.00	29,532.00	31,008.00
MONTHLY	2,344.00	2,461.00	2,584.00
BI-WEEKLY	1,081.85	1,135.85	1,192.62
HOURLY	13.5231	14.1981	14.9077

8 Community Aide I

STEP	*4*	*5*	*6*
ANNUAL	28,836.00	30,276.00	31,788.00
MONTHLY	2,403.00	2,523.00	2,649.00
BI-WEEKLY	1,109.08	1,164.46	1,222.62
HOURLY	13.8635	14.5558	15.2827

13 Certified Nursing Assistant

STEP	*3*	*4*	*5*	*6*
ANNUAL	28,200.00	29,616.00	31,092.00	32,652.00
MONTHLY	2,350.00	2,468.00	2,591.00	2,721.00
BI-WEEKLY	1,084.62	1,139.08	1,195.85	1,255.85
HOURLY	13.5577	14.2385	14.9481	15.6981

14 Pool Cashier

STEP	*3*	*4*	*5*	*6*
ANNUAL	28,896.00	30,336.00	31,848.00	33,444.00
MONTHLY	2,408.00	2,528.00	2,654.00	2,787.00
BI-WEEKLY	1,111.38	1,166.77	1,224.92	1,286.31
HOURLY	13.8923	14.5846	15.3115	16.0788

15

STEP	*2*	*3*	*4*	*5*	*6*
ANNUAL	28,212.00	29,628.00	31,104.00	32,664.00	34,296.00
MONTHLY	2,351.00	2,469.00	2,592.00	2,722.00	2,858.00
BI-WEEKLY	1,085.08	1,139.54	1,196.31	1,256.31	1,319.08
HOURLY	13.5635	14.2442	14.9538	15.7038	16.4885

16

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	27,540.00	28,920.00	30,372.00	31,896.00	33,492.00	35,172.00
MONTHLY	2,295.00	2,410.00	2,531.00	2,658.00	2,791.00	2,931.00
BI-WEEKLY	1,059.23	1,112.31	1,168.15	1,226.77	1,288.15	1,352.77
HOURLY	13.2404	13.9038	14.6019	15.3346	16.1019	16.9096

17 Clerk Typist

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	28,224.00	29,640.00	31,128.00	32,688.00	34,320.00	36,036.00
MONTHLY	2,352.00	2,470.00	2,594.00	2,724.00	2,860.00	3,003.00
BI-WEEKLY	1,085.54	1,140.00	1,197.23	1,257.23	1,320.00	1,386.00
HOURLY	13.5692	14.2500	14.9654	15.7154	16.5000	17.3250

18

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	28,932.00	30,384.00	31,908.00	33,504.00	35,184.00	36,948.00
MONTHLY	2,411.00	2,532.00	2,659.00	2,792.00	2,932.00	3,079.00
BI-WEEKLY	1,112.77	1,168.62	1,227.23	1,288.62	1,353.23	1,421.08
HOURLY	13.9096	14.6077	15.3404	16.1077	16.9154	17.7635

19 FCC Program Assistant I

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	29,640.00	31,128.00	32,688.00	34,320.00	36,036.00	37,836.00
MONTHLY	2,470.00	2,594.00	2,724.00	2,860.00	3,003.00	3,153.00
BI-WEEKLY	1,140.00	1,197.23	1,257.23	1,320.00	1,386.00	1,455.23
HOURLY	14.2500	14.9654	15.7154	16.5000	17.3250	18.1904

20

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	30,384.00	31,908.00	33,504.00	35,184.00	36,948.00	38,796.00
MONTHLY	2,532.00	2,659.00	2,792.00	2,932.00	3,079.00	3,233.00
BI-WEEKLY	1,168.62	1,227.23	1,288.62	1,353.23	1,421.08	1,492.15
HOURLY	14.6077	15.3404	16.1077	16.9154	17.7635	18.6519

21 Police Assistant
21 Police Cadet

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	31,140.00	32,700.00	34,332.00	36,048.00	37,848.00	39,744.00
MONTHLY	2,595.00	2,725.00	2,861.00	3,004.00	3,154.00	3,312.00
BI-WEEKLY	1,197.69	1,257.69	1,320.46	1,386.46	1,455.69	1,528.62
HOURLY	14.9712	15.7212	16.5058	17.3308	18.1962	19.1077

22 Geriatric Aide
22 Lifeguard/Instructor
22 Recreation Leader I

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	31,920.00	33,516.00	35,196.00	36,960.00	38,808.00	40,752.00
MONTHLY	2,660.00	2,793.00	2,933.00	3,080.00	3,234.00	3,396.00
BI-WEEKLY	1,227.69	1,289.08	1,353.69	1,421.54	1,492.62	1,567.38
HOURLY	15.3462	16.1135	16.9212	17.7692	18.6577	19.5923

23 Community Aide II

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	32,724.00	34,356.00	36,072.00	37,872.00	39,768.00	41,760.00
MONTHLY	2,727.00	2,863.00	3,006.00	3,156.00	3,314.00	3,480.00
BI-WEEKLY	1,258.62	1,321.38	1,387.38	1,456.62	1,529.54	1,606.15
HOURLY	15.7327	16.5173	17.3423	18.2077	19.1192	20.0769

24

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	33,540.00	35,220.00	36,984.00	38,832.00	40,776.00	42,816.00
MONTHLY	2,795.00	2,935.00	3,082.00	3,236.00	3,398.00	3,568.00
BI-WEEKLY	1,290.00	1,354.62	1,422.46	1,493.54	1,568.31	1,646.77
HOURLY	16.1250	16.9327	17.7808	18.6692	19.6038	20.5846

25

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	34,380.00	36,096.00	37,896.00	39,792.00	41,784.00	43,872.00
MONTHLY	2,865.00	3,008.00	3,158.00	3,316.00	3,482.00	3,656.00
BI-WEEKLY	1,322.31	1,388.31	1,457.54	1,530.46	1,607.08	1,687.38
HOURLY	16.5288	17.3538	18.2192	19.1308	20.0885	21.0923

26 Pool Supervisor

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	35,244.00	37,008.00	38,856.00	40,800.00	42,840.00	44,988.00
MONTHLY	2,937.00	3,084.00	3,238.00	3,400.00	3,570.00	3,749.00
BI-WEEKLY	1,355.54	1,423.38	1,494.46	1,569.23	1,647.69	1,730.31
HOURLY	16.9442	17.7923	18.6808	19.6154	20.5962	21.6288

27

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	36,120.00	37,932.00	39,828.00	41,820.00	43,908.00	46,104.00
MONTHLY	3,010.00	3,161.00	3,319.00	3,485.00	3,659.00	3,842.00
BI-WEEKLY	1,389.23	1,458.92	1,531.85	1,608.46	1,688.77	1,773.23
HOURLY	17.3654	18.2365	19.1481	20.1058	21.1096	22.1654

28 Meal Services Coordinator
28 Recreation Leader II

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	37,020.00	38,868.00	40,812.00	42,852.00	45,000.00	47,256.00
MONTHLY	3,085.00	3,239.00	3,401.00	3,571.00	3,750.00	3,938.00
BI-WEEKLY	1,423.85	1,494.92	1,569.69	1,648.15	1,730.77	1,817.54
HOURLY	17.7981	18.6865	19.6212	20.6019	21.6346	22.7192

29 Account Clerk
29 Customer Service Clerk I
29 Printing & Technology Intern
29 Recreation Therapist

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	37,944.00	39,840.00	41,832.00	43,920.00	46,116.00	48,420.00
MONTHLY	3,162.00	3,320.00	3,486.00	3,660.00	3,843.00	4,035.00
BI-WEEKLY	1,459.38	1,532.31	1,608.92	1,689.23	1,773.69	1,862.31
HOURLY	18.2423	19.1538	20.1115	21.1154	22.1712	23.2788

30 Custodian I
30 FCC Education Assistant II
30 FCC Program Assistant II

	1	*2*	*3*	*4*	*5*	*6*
ANNUAL	38,892.00	40,836.00	42,876.00	45,024.00	47,280.00	49,644.00
MONTHLY	3,241.00	3,403.00	3,573.00	3,752.00	3,940.00	4,137.00
BI-WEEKLY	1,495.85	1,570.62	1,649.08	1,731.69	1,818.46	1,909.38
HOURLY	18.6981	19.6327	20.6135	21.6462	22.7308	23.8673

31 Paratransit Driver

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	39,864.00	41,856.00	43,944.00	46,140.00	48,444.00	50,868.00
MONTHLY	3,322.00	3,488.00	3,662.00	3,845.00	4,037.00	4,239.00
BI-WEEKLY	1,533.23	1,609.85	1,690.15	1,774.62	1,863.23	1,956.46
HOURLY	19.1654	20.1231	21.1269	22.1827	23.2904	24.4558

32 Home Improvement Maintenance Helper
32 Right-of-Way Maintenance Worker

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	40,860.00	42,900.00	45,048.00	47,304.00	49,668.00	52,152.00
MONTHLY	3,405.00	3,575.00	3,754.00	3,942.00	4,139.00	4,346.00
BI-WEEKLY	1,571.54	1,650.00	1,732.62	1,819.38	1,910.31	2,005.85
HOURLY	19.6442	20.6250	21.6577	22.7423	23.8788	25.0731

33 Customer Service Clerk II
33 Equipment Utility Worker I
33 Police Records Technician I
33 Police Service Technician
33 Public Safety Officer
33 Relief Bus Operator Trainee

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	41,880.00	43,980.00	46,176.00	48,480.00	50,904.00	53,448.00
MONTHLY	3,490.00	3,665.00	3,848.00	4,040.00	4,242.00	4,454.00
BI-WEEKLY	1,610.77	1,691.54	1,776.00	1,864.62	1,957.85	2,055.69
HOURLY	20.1346	21.1442	22.2000	23.3077	24.4731	25.6962

34 Custodian II
34 Graffiti Technician
34 Paratransit Dispatcher
34 Park Maintenance Worker I

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	42,924.00	45,072.00	47,328.00	49,692.00	52,176.00	54,780.00
MONTHLY	3,577.00	3,756.00	3,944.00	4,141.00	4,348.00	4,565.00
BI-WEEKLY	1,650.92	1,733.54	1,820.31	1,911.23	2,006.77	2,106.92
HOURLY	20.6365	21.6692	22.7538	23.8904	25.0846	26.3365

35 Community Aide III
35 Help Desk Technician
35 Street Maintenance Worker

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	43,992.00	46,188.00	48,492.00	50,916.00	53,460.00	56,136.00
MONTHLY	3,666.00	3,849.00	4,041.00	4,243.00	4,455.00	4,678.00
BI-WEEKLY	1,692.00	1,776.46	1,865.08	1,958.31	2,056.15	2,159.08
HOURLY	21.1500	22.2058	23.3135	24.4788	25.7019	26.9885

36 Intermediate Clerk Typist

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	45,096.00	47,352.00	49,716.00	52,200.00	54,816.00	57,552.00
MONTHLY	3,758.00	3,946.00	4,143.00	4,350.00	4,568.00	4,796.00
BI-WEEKLY	1,734.46	1,821.23	1,912.15	2,007.69	2,108.31	2,213.54
HOURLY	21.6808	22.7654	23.9019	25.0962	26.3538	27.6692

37 Nutrition Services Coordinator
37 Police Records Technician II
37 Relief Bus Operator

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	46,224.00	48,540.00	50,964.00	53,508.00	56,184.00	58,992.00
MONTHLY	3,852.00	4,045.00	4,247.00	4,459.00	4,682.00	4,916.00
BI-WEEKLY	1,777.85	1,866.92	1,960.15	2,058.00	2,160.92	2,268.92
HOURLY	22.2231	23.3365	24.5019	25.7250	27.0115	28.3615

38 Activity Coordinator
38 Equipment Utility Worker II
38 Purchasing Clerk
38 Senior Account Clerk
38 Senior Clerk Typist

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	47,376.00	49,740.00	52,224.00	54,840.00	57,588.00	60,468.00
MONTHLY	3,948.00	4,145.00	4,352.00	4,570.00	4,799.00	5,039.00
BI-WEEKLY	1,822.15	1,913.08	2,008.62	2,109.23	2,214.92	2,325.69
HOURLY	22.7769	23.9135	25.1077	26.3654	27.6865	29.0712

39 Apprentice Mechanic
39 Home Improvement Lead Person
39 Park Maintenance Worker II
39 Records Management Coordinator

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	48,564.00	50,988.00	53,532.00	56,208.00	59,016.00	61,968.00
MONTHLY	4,047.00	4,249.00	4,461.00	4,684.00	4,918.00	5,164.00
BI-WEEKLY	1,867.85	1,961.08	2,058.92	2,161.85	2,269.85	2,383.38
HOURLY	23.3481	24.5135	25.7365	27.0231	28.3731	29.7923

40 Engineering Aide
40 FCC Education Assistant III
40 FCC Program Assistant III
40 Public Works Coordinator
40 Sr. Transit Utility Specialist

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	49,776.00	52,260.00	54,876.00	57,624.00	60,504.00	63,528.00
MONTHLY	4,148.00	4,355.00	4,573.00	4,802.00	5,042.00	5,294.00
BI-WEEKLY	1,914.46	2,010.00	2,110.62	2,216.31	2,327.08	2,443.38
HOURLY	23.9308	25.1250	26.3827	27.7038	29.0885	30.5423

41 Permit/Licensing Technician I

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	51,024.00	53,580.00	56,256.00	59,064.00	62,016.00	65,112.00
MONTHLY	4,252.00	4,465.00	4,688.00	4,922.00	5,168.00	5,426.00
BI-WEEKLY	1,962.46	2,060.77	2,163.69	2,271.69	2,385.23	2,504.31
HOURLY	24.5308	25.7596	27.0462	28.3962	29.8154	31.3038

42 Community Center Coordinator
42 Community Services Officer
42 Police Service Officer
42 Recreation Coordinator
42 Secretary
42 Tree Trimmer I

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	52,296.00	54,912.00	57,660.00	60,540.00	63,564.00	66,744.00
MONTHLY	4,358.00	4,576.00	4,805.00	5,045.00	5,297.00	5,562.00
BI-WEEKLY	2,011.38	2,112.00	2,217.69	2,328.46	2,444.77	2,567.08
HOURLY	25.1423	26.4000	27.7212	29.1058	30.5596	32.0885

43 Administrative Aide
43 Building Maintenance Worker
43 Cement Finisher
43 Human Resources / Department Coordinator
43 Payroll / Personnel Technician
43 Senior Citizens Social Services Coordinator
43 Transit Maintenance Coordinator

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	53,604.00	56,280.00	59,100.00	62,052.00	65,160.00	68,424.00
MONTHLY	4,467.00	4,690.00	4,925.00	5,171.00	5,430.00	5,702.00
BI-WEEKLY	2,061.69	2,164.62	2,273.08	2,386.62	2,506.15	2,631.69
HOURLY	25.7712	27.0577	28.4135	29.8327	31.3269	32.8962

44 Administrative Secretary
44 Building Aide
44 Building/Planning Technician
44 Permit/Licensing Technician II
44 Sewer Maintenance Worker
44 Tree Trimmer II

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	54,948.00	57,696.00	60,576.00	63,600.00	66,780.00	70,116.00
MONTHLY	4,579.00	4,808.00	5,048.00	5,300.00	5,565.00	5,843.00
BI-WEEKLY	2,113.38	2,219.08	2,329.85	2,446.15	2,568.46	2,696.77
HOURLY	26.4173	27.7385	29.1231	30.5769	32.1058	33.7096

45 Street Sweeper Operator

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	56,316.00	59,136.00	62,088.00	65,196.00	68,460.00	71,880.00
MONTHLY	4,693.00	4,928.00	5,174.00	5,433.00	5,705.00	5,990.00
BI-WEEKLY	2,166.00	2,274.46	2,388.00	2,507.54	2,633.08	2,764.62
HOURLY	27.0750	28.4308	29.8500	31.3442	32.9135	34.5577

46 Heavy Equipment Operator
46 Street Traffic Painter

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	57,720.00	60,612.00	63,648.00	66,828.00	70,164.00	73,668.00
MONTHLY	4,810.00	5,051.00	5,304.00	5,569.00	5,847.00	6,139.00
BI-WEEKLY	2,220.00	2,331.23	2,448.00	2,570.31	2,698.62	2,833.38
HOURLY	27.7500	29.1404	30.6000	32.1288	33.7327	35.4173

47 Equipment Mechanic
47 Graphics Technician
47 Maintenance Painter
47 Senior Building Maintenance Worker
47 Transit Mechanic
47 Transit Parts/Storeroom Coordinator

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	59,160.00	62,124.00	65,232.00	68,496.00	71,916.00	75,516.00
MONTHLY	4,930.00	5,177.00	5,436.00	5,708.00	5,993.00	6,293.00
BI-WEEKLY	2,275.38	2,389.38	2,508.92	2,634.46	2,766.00	2,904.46
HOURLY	28.4423	29.8673	31.3615	32.9308	34.5750	36.3058

48 Custodian-Lead
48 Financial Services Technician
48 Human Resources Technician
48 Junior Accountant
48 Payroll Specialist

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	60,636.00	63,672.00	66,852.00	70,200.00	73,716.00	77,400.00
MONTHLY	5,053.00	5,306.00	5,571.00	5,850.00	6,143.00	6,450.00
BI-WEEKLY	2,332.15	2,448.92	2,571.23	2,700.00	2,835.23	2,976.92
HOURLY	29.1519	30.6115	32.1404	33.7500	35.4404	37.2115

49 Administrative Analyst I
49 Community Services Counselor
49 Program Coordinator
49 Recreation Supervisor

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	62,148.00	65,256.00	68,520.00	71,952.00	75,552.00	79,332.00
MONTHLY	5,179.00	5,438.00	5,710.00	5,996.00	6,296.00	6,611.00
BI-WEEKLY	2,390.31	2,509.85	2,635.38	2,767.38	2,905.85	3,051.23
HOURLY	29.8788	31.3731	32.9423	34.5923	36.3231	38.1404

50 Case Management Supervisor/Instructor
50 Transit Dispatcher/Operations Assistant

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	63,696.00	66,876.00	70,224.00	73,740.00	77,424.00	81,300.00
MONTHLY	5,308.00	5,573.00	5,852.00	6,145.00	6,452.00	6,775.00
BI-WEEKLY	2,449.85	2,572.15	2,700.92	2,836.15	2,977.85	3,126.92
HOURLY	30.6231	32.1519	33.7615	35.4519	37.2231	39.0865

51 Electrical/Signal Technician I
51 Emergency Preparedness Coordinator
51 Engineering Technician
51 Executive Assistant to Chief of Police
51 General Building Inspector
51 Information Technology Coordinator
51 Lead Equipment Mechanic
51 Planning Assistant

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	65,292.00	68,556.00	71,988.00	75,588.00	79,368.00	83,340.00
MONTHLY	5,441.00	5,713.00	5,999.00	6,299.00	6,614.00	6,945.00
BI-WEEKLY	2,511.23	2,636.77	2,768.77	2,907.23	3,052.62	3,205.38
HOURLY	31.3904	32.9596	34.6096	36.3404	38.1577	40.0673

52 Administrative Support Services Supervisor

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	66,924.00	70,272.00	73,788.00	77,472.00	81,348.00	85,416.00
MONTHLY	5,577.00	5,856.00	6,149.00	6,456.00	6,779.00	7,118.00
BI-WEEKLY	2,574.00	2,702.77	2,838.00	2,979.69	3,128.77	3,285.23
HOURLY	32.1750	33.7846	35.4750	37.2462	39.1096	41.0654

53 Code Enforcement Officer
53 FCC Education Coordinator
53 Park Maintenance Lead
53 Public Works Lead
53 Risk Management Analyst
53 Transit Operations Training Coordinator

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	68,592.00	72,024.00	75,624.00	79,404.00	83,376.00	87,540.00
MONTHLY	5,716.00	6,002.00	6,302.00	6,617.00	6,948.00	7,295.00
BI-WEEKLY	2,638.15	2,770.15	2,908.62	3,054.00	3,206.77	3,366.92
HOURLY	32.9769	34.6269	36.3577	38.1750	40.0846	42.0865

54 Administrative Analyst II
54 Building Maintenance Lead
54 Forensic Technician
54 Transit Marketing Coordinator

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	70,308.00	73,824.00	77,520.00	81,396.00	85,464.00	89,736.00
MONTHLY	5,859.00	6,152.00	6,460.00	6,783.00	7,122.00	7,478.00
BI-WEEKLY	2,704.15	2,839.38	2,981.54	3,130.62	3,287.08	3,451.38
HOURLY	33.8019	35.4923	37.2692	39.1327	41.0885	43.1423

55 Electrical/Signal Technician II

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	72,060.00	75,660.00	79,440.00	83,412.00	87,588.00	91,968.00
MONTHLY	6,005.00	6,305.00	6,620.00	6,951.00	7,299.00	7,664.00
BI-WEEKLY	2,771.54	2,910.00	3,055.38	3,208.15	3,368.77	3,537.23
HOURLY	34.6442	36.3750	38.1923	40.1019	42.1096	44.2154

56 Administrative Coordinator
56 Assistant Engineer
56 FCC Program Coordinator

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	73,860.00	77,556.00	81,432.00	85,500.00	89,772.00	94,260.00
MONTHLY	6,155.00	6,463.00	6,786.00	7,125.00	7,481.00	7,855.00
BI-WEEKLY	2,840.77	2,982.92	3,132.00	3,288.46	3,452.77	3,625.38
HOURLY	35.5096	37.2865	39.1500	41.1058	43.1596	45.3173

57 Senior Accountant

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	75,708.00	79,488.00	83,460.00	87,636.00	92,016.00	96,612.00
MONTHLY	6,309.00	6,624.00	6,955.00	7,303.00	7,668.00	8,051.00
BI-WEEKLY	2,911.85	3,057.23	3,210.00	3,370.62	3,539.08	3,715.85
HOURLY	36.3981	38.2154	40.1250	42.1327	44.2385	46.4481

58

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	77,604.00	81,480.00	85,560.00	89,844.00	94,332.00	99,048.00
MONTHLY	6,467.00	6,790.00	7,130.00	7,487.00	7,861.00	8,254.00
BI-WEEKLY	2,984.77	3,133.85	3,290.77	3,455.54	3,628.15	3,809.54
HOURLY	37.3096	39.1731	41.1346	43.1942	45.3519	47.6192

59

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	79,548.00	83,520.00	87,696.00	92,076.00	96,684.00	101,520.00
MONTHLY	6,629.00	6,960.00	7,308.00	7,673.00	8,057.00	8,460.00
BI-WEEKLY	3,059.54	3,212.31	3,372.92	3,541.38	3,718.62	3,904.62
HOURLY	38.2442	40.1538	42.1615	44.2673	46.4827	48.8077

60

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	81,540.00	85,620.00	89,904.00	94,404.00	99,120.00	104,076.00
MONTHLY	6,795.00	7,135.00	7,492.00	7,867.00	8,260.00	8,673.00
BI-WEEKLY	3,136.15	3,293.08	3,457.85	3,630.92	3,812.31	4,002.92
HOURLY	39.2019	41.1635	43.2231	45.3865	47.6538	50.0365

61 Administrative Analyst III
61 Associate Engineer
61 Information Technology Systems Analyst - Transit
61 Transit Planning and Scheduling Analyst

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	83,580.00	87,756.00	92,148.00	96,756.00	101,592.00	106,668.00
MONTHLY	6,965.00	7,313.00	7,679.00	8,063.00	8,466.00	8,889.00
BI-WEEKLY	3,214.62	3,375.23	3,544.15	3,721.38	3,907.38	4,102.62
HOURLY	40.1827	42.1904	44.3019	46.5173	48.8423	51.2827

62 Information Technology Supervisor

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	85,668.00	89,952.00	94,452.00	99,180.00	104,136.00	109,344.00
MONTHLY	7,139.00	7,496.00	7,871.00	8,265.00	8,678.00	9,112.00
BI-WEEKLY	3,294.92	3,459.69	3,632.77	3,814.62	4,005.23	4,205.54
HOURLY	41.1865	43.2462	45.4096	47.6827	50.0654	52.5692

90 Bus Operator

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	52,836.00	55,476.00	58,248.00	61,164.00	64,224.00	67,440.00
MONTHLY	4,403.00	4,623.00	4,854.00	5,097.00	5,352.00	5,620.00
BI-WEEKLY	2,032.15	2133.69	2240.31	2,352.46	2,470.15	2,593.85
HOURLY	25.4019	26.6712	28.0038	29.4058	30.8769	32.4231
Specialty - 5%	220.15	231.15	242.70	254.85	267.60	281.00

104

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	56,544.00	59,376.00	62,340.00	65,460.00	68,736.00	72,168.00
MONTHLY	4,712.00	4,948.00	5,195.00	5,455.00	5,728.00	6,014.00
BI-WEEKLY	2,174.77	2,283.69	2,397.69	2,517.69	2,643.69	2,775.69
HOURLY	27.1846	28.5462	29.9712	31.4712	33.0462	34.6962
Lgy Bonus 20	117.80	123.70	129.88	136.38	143.20	150.35
Lgy Bonus 25	235.60	247.40	259.75	272.75	286.40	300.70
Lgy Bonus 30	353.40	371.10	389.63	409.13	429.60	451.05

105

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	57,960.00	60,864.00	63,912.00	67,104.00	70,464.00	73,992.00
MONTHLY	4,830.00	5,072.00	5,326.00	5,592.00	5,872.00	6,166.00
BI-WEEKLY	2,229.23	2340.92	2458.15	2580.92	2710.15	2845.85
HOURLY	27.8654	29.2615	30.7269	32.2615	33.8769	35.5731
Lgy Bonus 20	120.75	126.80	133.15	139.80	146.80	154.15
Lgy Bonus 25	241.50	253.60	266.30	279.60	293.60	308.30
Lgy Bonus 30	362.25	380.40	399.45	419.40	440.40	462.45

106

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	59,412.00	62,388.00	65,508.00	68,784.00	72,228.00	75,840.00
MONTHLY	4,951.00	5,199.00	5,459.00	5,732.00	6,019.00	6,320.00
BI-WEEKLY	2,285.08	2,399.54	2,519.54	2,645.54	2,778.00	2,916.92
HOURLY	28.5635	29.9942	31.4942	33.0692	34.7250	36.4615
Lgy Bonus 20	123.78	129.98	136.48	143.30	150.48	158.00
Lgy Bonus 25	247.55	259.95	272.95	286.60	300.95	316.00
Lgy Bonus 30	371.33	389.93	409.43	429.90	451.43	474.00

107

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	60,900.00	63,948.00	67,140.00	70,500.00	74,028.00	77,724.00
MONTHLY	5,075.00	5,329.00	5,595.00	5,875.00	6,169.00	6,477.00
BI-WEEKLY	2,342.31	2,459.54	2,582.31	2,711.54	2,847.23	2,989.38
HOURLY	29.2788	30.7442	32.2788	33.8942	35.5904	37.3673
Lgy Bonus 20	126.88	133.23	139.88	146.88	154.23	161.93
Lgy Bonus 25	253.75	266.45	279.75	293.75	308.45	323.85
Lgy Bonus 30	380.63	399.68	419.63	440.63	462.68	485.78

108 Economic Development Analyst

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	62,424.00	65,544.00	68,820.00	72,264.00	75,876.00	79,668.00
MONTHLY	5,202.00	5,462.00	5,735.00	6,022.00	6,323.00	6,639.00
BI-WEEKLY	2,400.92	2,520.92	2,646.92	2,779.38	2,918.31	3,064.15
HOURLY	30.0115	31.5115	33.0865	34.7423	36.4788	38.3019
Lgy Bonus 20	130.05	136.55	143.38	150.55	158.08	165.98
Lgy Bonus 25	260.10	273.10	286.75	301.10	316.15	331.95
Lgy Bonus 30	390.15	409.65	430.13	451.65	474.23	497.93

109

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	63,984.00	67,188.00	70,548.00	74,076.00	77,784.00	81,672.00
MONTHLY	5,332.00	5,599.00	5,879.00	6,173.00	6,482.00	6,806.00
BI-WEEKLY	2,460.92	2,584.15	2,713.38	2,849.08	2,991.69	3,141.23
HOURLY	30.7615	32.3019	33.9173	35.6135	37.3962	39.2654
Lgy Bonus 20	133.30	139.98	146.98	154.33	162.05	170.15
Lgy Bonus 25	266.60	279.95	293.95	308.65	324.10	340.30
Lgy Bonus 30	399.90	419.93	440.93	462.98	486.15	510.45

110

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	65,580.00	68,856.00	72,300.00	75,912.00	79,704.00	83,688.00
MONTHLY	5,465.00	5,738.00	6,025.00	6,326.00	6,642.00	6,974.00
BI-WEEKLY	2,522.31	2,648.31	2,780.77	2,919.69	3,065.54	3,218.77
HOURLY	31.5288	33.1038	34.7596	36.4962	38.3192	40.2346
Lgy Bonus 20	136.63	143.45	150.63	158.15	166.05	174.35
Lgy Bonus 25	273.25	286.90	301.25	316.30	332.10	348.70
Lgy Bonus 30	409.88	430.35	451.88	474.45	498.15	523.05

111

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	67,224.00	70,584.00	74,112.00	77,820.00	81,708.00	85,788.00
MONTHLY	5,602.00	5,882.00	6,176.00	6,485.00	6,809.00	7,149.00
BI-WEEKLY	2,585.54	2,714.77	2,850.46	2,993.08	3,142.62	3,299.54
HOURLY	32.3192	33.9346	35.6308	37.4135	39.2827	41.2442
Lgy Bonus 20	140.05	147.05	154.40	162.13	170.23	178.73
Lgy Bonus 25	280.10	294.10	308.80	324.25	340.45	357.45
Lgy Bonus 30	420.15	441.15	463.20	486.38	510.68	536.18

112

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	68,904.00	72,348.00	75,960.00	79,764.00	83,748.00	87,936.00
MONTHLY	5,742.00	6,029.00	6,330.00	6,647.00	6,979.00	7,328.00
BI-WEEKLY	2,650.15	2,782.62	2,921.54	3,067.85	3,221.08	3,382.15
HOURLY	33.1269	34.7827	36.5192	38.3481	40.2635	42.2769
Lgy Bonus 20	143.55	150.73	158.25	166.18	174.48	183.20
Lgy Bonus 25	287.10	301.45	316.50	332.35	348.95	366.40
Lgy Bonus 30	430.65	452.18	474.75	498.53	523.43	549.60

113

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	70,632.00	74,160.00	77,868.00	81,756.00	85,848.00	90,144.00
MONTHLY	5,886.00	6,180.00	6,489.00	6,813.00	7,154.00	7,512.00
BI-WEEKLY	2,716.62	2,852.31	2,994.92	3,144.46	3,301.85	3,467.08
HOURLY	33.9577	35.6538	37.4365	39.3058	41.2731	43.3385
Lgy Bonus 20	147.15	154.50	162.23	170.33	178.85	187.80
Lgy Bonus 25	294.30	309.00	324.45	340.65	357.70	375.60
Lgy Bonus 30	441.45	463.50	486.68	510.98	536.55	563.40

114

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	72,396.00	76,020.00	79,824.00	83,820.00	88,008.00	92,412.00
MONTHLY	6,033.00	6,335.00	6,652.00	6,985.00	7,334.00	7,701.00
BI-WEEKLY	2,784.46	2,923.85	3,070.15	3,223.85	3,384.92	3,554.31
HOURLY	34.8058	36.5481	38.3769	40.2981	42.3115	44.4288
Lgy Bonus 20	150.83	158.38	166.30	174.63	183.35	192.53
Lgy Bonus 25	301.65	316.75	332.60	349.25	366.70	385.05
Lgy Bonus 30	452.48	475.13	498.90	523.88	550.05	577.58

115 Deputy City Clerk/Records Management Officer
115 Deputy City Treasurer
115 Human Resources Analyst

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	74,208.00	77,916.00	81,816.00	85,908.00	90,204.00	94,716.00
MONTHLY	6,184.00	6,493.00	6,818.00	7,159.00	7,517.00	7,893.00
BI-WEEKLY	2,854.15	2,996.77	3,146.77	3,304.15	3,469.38	3,642.92
HOURLY	35.6769	37.4596	39.3346	41.3019	43.3673	45.5365
Lgy Bonus 20	154.60	162.33	170.45	178.98	187.93	197.33
Lgy Bonus 25	309.20	324.65	340.90	357.95	375.85	394.65
Lgy Bonus 30	463.80	486.98	511.35	536.93	563.78	591.98

116

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	76,068.00	79,872.00	83,868.00	88,056.00	92,460.00	97,080.00
MONTHLY	6,339.00	6,656.00	6,989.00	7,338.00	7,705.00	8,090.00
BI-WEEKLY	2,925.69	3,072.00	3,225.69	3,386.77	3,556.15	3,733.85
HOURLY	36.5712	38.4000	40.3212	42.3346	44.4519	46.6731
Lgy Bonus 20	158.48	166.40	174.73	183.45	192.63	202.25
Lgy Bonus 25	316.95	332.80	349.45	366.90	385.25	404.50
Lgy Bonus 30	475.43	499.20	524.18	550.35	577.88	606.75

117 Transportation Operations Supervisor

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	77,964.00	81,864.00	85,956.00	90,252.00	94,764.00	99,504.00
MONTHLY	6,497.00	6,822.00	7,163.00	7,521.00	7,897.00	8,292.00
BI-WEEKLY	2,998.62	3,148.62	3,306.00	3,471.23	3,644.77	3,827.08
HOURLY	37.4827	39.3577	41.3250	43.3904	45.5596	47.8385
Lgy Bonus 20	162.43	170.55	179.08	188.03	197.43	207.30
Lgy Bonus 25	324.85	341.10	358.15	376.05	394.85	414.60
Lgy Bonus 30	487.28	511.65	537.23	564.08	592.28	621.90

118 Administrative Management Analyst I

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	79,908.00	83,904.00	88,104.00	92,508.00	97,128.00	101,988.00
MONTHLY	6,659.00	6,992.00	7,342.00	7,709.00	8,094.00	8,499.00
BI-WEEKLY	3,073.38	3,227.08	3,388.62	3,558.00	3,735.69	3,922.62
HOURLY	38.4173	40.3385	42.3577	44.4750	46.6962	49.0327
Lgy Bonus 20	166.48	174.80	183.55	192.73	202.35	212.48
Lgy Bonus 25	332.95	349.60	367.10	385.45	404.70	424.95
Lgy Bonus 30	499.43	524.40	550.65	578.18	607.05	637.43

119 Accountant/Cost Accountant
119 Facilities Maintenance Supervisor
119 Fleet Maintenance Supervisor
119 Recreation Services Manager
119 Transit Training and Safety Supervisor

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	81,900.00	85,992.00	90,288.00	94,800.00	99,540.00	104,520.00
MONTHLY	6,825.00	7,166.00	7,524.00	7,900.00	8,295.00	8,710.00
BI-WEEKLY	3,150.00	3,307.38	3,472.62	3,646.15	3,828.46	4,020.00
HOURLY	39.3750	41.3423	43.4077	45.5769	47.8558	50.2500
Lgy Bonus 20	170.63	179.15	188.10	197.50	207.38	217.75
Lgy Bonus 25	341.25	358.30	376.20	395.00	414.75	435.50
Lgy Bonus 30	511.88	537.45	564.30	592.50	622.13	653.25

120 Administrative Management Analyst II
120 Executive Office Assistant

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	83,952.00	88,152.00	92,556.00	97,188.00	102,048.00	107,148.00
MONTHLY	6,996.00	7,346.00	7,713.00	8,099.00	8,504.00	8,929.00
BI-WEEKLY	3,228.92	3,390.46	3,559.85	3,738.00	3,924.92	4,121.08
HOURLY	40.3615	42.3808	44.4981	46.7250	49.0615	51.5135
Lgy Bonus 20	174.90	183.65	192.83	202.48	212.60	223.23
Lgy Bonus 25	349.80	367.30	385.65	404.95	425.20	446.45
Lgy Bonus 30	524.70	550.95	578.48	607.43	637.80	669.68

121

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	86,052.00	90,360.00	94,884.00	99,624.00	104,604.00	109,836.00
MONTHLY	7,171.00	7,530.00	7,907.00	8,302.00	8,717.00	9,153.00
BI-WEEKLY	3,309.69	3,475.38	3,649.38	3,831.69	4,023.23	4,224.46
HOURLY	41.3712	43.4423	45.6173	47.8962	50.2904	52.8058
Lgy Bonus 20	179.28	188.25	197.68	207.55	217.93	228.83
Lgy Bonus 25	358.55	376.50	395.35	415.10	435.85	457.65
Lgy Bonus 30	537.83	564.75	593.03	622.65	653.78	686.48

122 Senior Human Resources Analyst

122 Senior Planner

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	88,200.00	92,616.00	97,248.00	102,108.00	107,208.00	112,572.00
MONTHLY	7,350.00	7,718.00	8,104.00	8,509.00	8,934.00	9,381.00
BI-WEEKLY	3,392.31	3,562.15	3,740.31	3,927.23	4,123.38	4,329.69
HOURLY	42.4038	44.5269	46.7538	49.0904	51.5423	54.1212
Lgy Bonus 20	183.75	192.95	202.60	212.73	223.35	234.53
Lgy Bonus 25	367.50	385.90	405.20	425.45	446.70	469.05
Lgy Bonus 30	551.25	578.85	607.80	638.18	670.05	703.58

123

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	90,408.00	94,932.00	99,684.00	104,664.00	109,896.00	115,392.00
MONTHLY	7,534.00	7,911.00	8,307.00	8,722.00	9,158.00	9,616.00
BI-WEEKLY	3,477.23	3,651.23	3,834.00	4,025.54	4,226.77	4,438.15
HOURLY	43.4654	45.6404	47.9250	50.3192	52.8346	55.4769
Lgy Bonus 20	188.35	197.78	207.68	218.05	228.95	240.40
Lgy Bonus 25	376.70	395.55	415.35	436.10	457.90	480.80
Lgy Bonus 30	565.05	593.33	623.03	654.15	686.85	721.20

124 Senior Administrative Analyst

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	92,664.00	97,296.00	102,156.00	107,268.00	112,632.00	118,260.00
MONTHLY	7,722.00	8,108.00	8,513.00	8,939.00	9,386.00	9,855.00
BI-WEEKLY	3,564.00	3,742.15	3,929.08	4,125.69	4,332.00	4,548.46
HOURLY	44.5500	46.7769	49.1135	51.5712	54.1500	56.8558
Lgy Bonus 20	193.05	202.70	212.83	223.48	234.65	246.38
Lgy Bonus 25	386.10	405.40	425.65	446.95	469.30	492.75
Lgy Bonus 30	579.15	608.10	638.48	670.43	703.95	739.13

125 Civil Engineer

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	94,980.00	99,732.00	104,724.00	109,956.00	115,452.00	121,224.00
MONTHLY	7,915.00	8,311.00	8,727.00	9,163.00	9,621.00	10,102.00
BI-WEEKLY	3,653.08	3,835.85	4,027.85	4,229.08	4,440.46	4,662.46
HOURLY	45.6635	47.9481	50.3481	52.8635	55.5058	58.2808
Lgy Bonus 20	197.88	207.78	218.18	229.08	240.53	252.55
Lgy Bonus 25	395.75	415.55	436.35	458.15	481.05	505.10
Lgy Bonus 30	593.63	623.33	654.53	687.23	721.58	757.65

126 Administrative Services Manager
126 Community Development Manager
126 Economic Development Manager
126 Family Child Care Manager
126 Recreation & Human Services Superintendent
126 Transportation Administrative Manager

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	97,356.00	102,228.00	107,340.00	112,704.00	118,344.00	124,260.00
MONTHLY	8,113.00	8,519.00	8,945.00	9,392.00	9,862.00	10,355.00
BI-WEEKLY	3,744.46	3,931.85	4,128.46	4,334.77	4,551.69	4,779.23
HOURLY	46.8058	49.1481	51.6058	54.1846	56.8962	59.7404
Lgy Bonus 20	202.83	212.98	223.63	234.80	246.55	258.88
Lgy Bonus 25	405.65	425.95	447.25	469.60	493.10	517.75
Lgy Bonus 30	608.48	638.93	670.88	704.40	739.65	776.63

127

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	99,792.00	104,784.00	110,028.00	115,524.00	121,296.00	127,356.00
MONTHLY	8,316.00	8,732.00	9,169.00	9,627.00	10,108.00	10,613.00
BI-WEEKLY	3,838.15	4,030.15	4,231.85	4,443.23	4,665.23	4,898.31
HOURLY	47.9769	50.3769	52.8981	55.5404	58.3154	61.2288
Lgy Bonus 20	207.90	218.30	229.23	240.68	252.70	265.33
Lgy Bonus 25	415.80	436.60	458.45	481.35	505.40	530.65
Lgy Bonus 30	623.70	654.90	687.68	722.03	758.10	795.98

128 Equipment Maintenance Superintendent
128 Finance and Administrative Services Manager
128 Financial Services Manager
128 Transit Maintenance Manager

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	102,288.00	107,400.00	112,776.00	118,416.00	124,332.00	130,548.00
MONTHLY	8,524.00	8,950.00	9,398.00	9,868.00	10,361.00	10,879.00
BI-WEEKLY	3,934.15	4,130.77	4,337.54	4,554.46	4,782.00	5,021.08
HOURLY	49.1769	51.6346	54.2192	56.9308	59.7750	62.7635
Lgy Bonus 20	213.10	223.75	234.95	246.70	259.03	271.98
Lgy Bonus 25	426.20	447.50	469.90	493.40	518.05	543.95
Lgy Bonus 30	639.30	671.25	704.85	740.10	777.08	815.93

129

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	104,844.00	110,088.00	115,596.00	121,380.00	127,452.00	133,824.00
MONTHLY	8,737.00	9,174.00	9,633.00	10,115.00	10,621.00	11,152.00
BI-WEEKLY	4,032.46	4,234.15	4,446.00	4,668.46	4,902.00	5,147.08
HOURLY	50.4058	52.9269	55.5750	58.3558	61.2750	64.3385
Lgy Bonus 20	218.43	229.35	240.83	252.88	265.53	278.80
Lgy Bonus 25	436.85	458.70	481.65	505.75	531.05	557.60
Lgy Bonus 30	655.28	688.05	722.48	758.63	796.58	836.40

130 Accounting/Finance Manager
130 Information Technology Manager
130 Park Maintenance Superintendent
130 Recreation Program Administrator
130 Street Maintenance Superintendent

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	107,460.00	112,836.00	118,476.00	124,404.00	130,620.00	137,148.00
MONTHLY	8,955.00	9,403.00	9,873.00	10,367.00	10,885.00	11,429.00
BI-WEEKLY	4,133.08	4,339.85	4,556.77	4,784.77	5,023.85	5,274.92
HOURLY	51.6635	54.2481	56.9596	59.8096	62.7981	65.9365
Lgy Bonus 20	223.88	235.08	246.83	259.18	272.13	285.73
Lgy Bonus 25	447.75	470.15	493.65	518.35	544.25	571.45
Lgy Bonus 30	671.63	705.23	740.48	777.53	816.38	857.18

131 Plan Check Engineer
131 Transit Operations Manager

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	110,148.00	115,656.00	121,440.00	127,512.00	133,884.00	140,580.00
MONTHLY	9,179.00	9,638.00	10,120.00	10,626.00	11,157.00	11,715.00
BI-WEEKLY	4,236.46	4,448.31	4,670.77	4,904.31	5,149.38	5,406.92
HOURLY	52.9558	55.6038	58.3846	61.3038	64.3673	67.5865
Lgy Bonus 20	229.48	240.95	253.00	265.65	278.93	292.88
Lgy Bonus 25	458.95	481.90	506.00	531.30	557.85	585.75
Lgy Bonus 30	688.43	722.85	759.00	796.95	836.78	878.63

132 FCC Therapist/Trainer II

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	112,896.00	118,536.00	124,464.00	130,692.00	137,232.00	144,096.00
MONTHLY	9,408.00	9,878.00	10,372.00	10,891.00	11,436.00	12,008.00
BI-WEEKLY	4,342.15	4,559.08	4,787.08	5,026.62	5,278.15	5,542.15
HOURLY	54.2769	56.9885	59.8385	62.8327	65.9769	69.2769
Lgy Bonus 20	235.20	246.95	259.30	272.28	285.90	300.20
Lgy Bonus 25	470.40	493.90	518.60	544.55	571.80	600.40
Lgy Bonus 30	705.60	740.85	777.90	816.83	857.70	900.60

133 Human Resources Manager

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	115,716.00	121,500.00	127,572.00	133,956.00	140,652.00	147,684.00
MONTHLY	9,643.00	10,125.00	10,631.00	11,163.00	11,721.00	12,307.00
BI-WEEKLY	4,450.62	4,673.08	4,906.62	5,152.15	5,409.69	5,680.15
HOURLY	55.6327	58.4135	61.3327	64.4019	67.6212	71.0019
Lgy Bonus 20	241.08	253.13	265.78	279.08	293.03	307.68
Lgy Bonus 25	482.15	506.25	531.55	558.15	586.05	615.35
Lgy Bonus 30	723.23	759.38	797.33	837.23	879.08	923.03

134 Assistant to the City Manager
134 Transit Administrative Officer
134 Transit Operations Officer

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	118,608.00	124,536.00	130,764.00	137,304.00	144,168.00	151,380.00
MONTHLY	9,884.00	10,378.00	10,897.00	11,442.00	12,014.00	12,615.00
BI-WEEKLY	4,561.85	4,789.85	5,029.38	5,280.92	5,544.92	5,822.31
HOURLY	57.0231	59.8731	62.8673	66.0115	69.3115	72.7788
Lgy Bonus 20	247.10	259.45	272.43	286.05	300.35	315.38
Lgy Bonus 25	494.20	518.90	544.85	572.10	600.70	630.75
Lgy Bonus 30	741.30	778.35	817.28	858.15	901.05	946.13

135

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	121,572.00	127,656.00	134,040.00	140,748.00	147,780.00	155,172.00
MONTHLY	10,131.00	10,638.00	11,170.00	11,729.00	12,315.00	12,931.00
BI-WEEKLY	4,675.85	4,909.85	5,155.38	5,413.38	5,683.85	5,968.15
HOURLY	58.4481	61.3731	64.4423	67.6673	71.0481	74.6019
Lgy Bonus 20	253.28	265.95	279.25	293.23	307.88	323.28
Lgy Bonus 25	506.55	531.90	558.50	586.45	615.75	646.55
Lgy Bonus 30	759.83	797.85	837.75	879.68	923.63	969.83

136

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	124,608.00	130,836.00	137,376.00	144,240.00	151,452.00	159,024.00
MONTHLY	10,384.00	10,903.00	11,448.00	12,020.00	12,621.00	13,252.00
BI-WEEKLY	4,792.62	5,032.15	5,283.69	5,547.69	5,825.08	6,116.31
HOURLY	59.9077	62.9019	66.0462	69.3462	72.8135	76.4538
Lgy Bonus 20	259.60	272.58	286.20	300.50	315.53	331.30
Lgy Bonus 25	519.20	545.15	572.40	601.00	631.05	662.60
Lgy Bonus 30	778.80	817.73	858.60	901.50	946.58	993.90

137

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	127,728.00	134,112.00	140,820.00	147,864.00	155,256.00	163,020.00
MONTHLY	10,644.00	11,176.00	11,735.00	12,322.00	12,938.00	13,585.00
BI-WEEKLY	4,912.62	5,158.15	5,416.15	5,687.08	5,971.38	6,270.00
HOURLY	61.4077	64.4769	67.7019	71.0885	74.6423	78.3750
Lgy Bonus 20	266.10	279.40	293.38	308.05	323.45	339.63
Lgy Bonus 25	532.20	558.80	586.75	616.10	646.90	679.25
Lgy Bonus 30	798.30	838.20	880.13	924.15	970.35	1018.88

138 Principal Civil Engineer
138 Chief Fiscal Officer

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	130,920.00	137,472.00	144,348.00	151,560.00	159,144.00	167,100.00
MONTHLY	10,910.00	11,456.00	12,029.00	12,630.00	13,262.00	13,925.00
BI-WEEKLY	5,035.38	5,287.38	5,551.85	5,829.23	6,120.92	6,426.92
HOURLY	62.9423	66.0923	69.3981	72.8654	76.5115	80.3365
Lgy Bonus 20	272.75	286.40	300.73	315.75	331.55	348.13
Lgy Bonus 25	545.50	572.80	601.45	631.50	663.10	696.25
Lgy Bonus 30	818.25	859.20	902.18	947.25	994.65	1044.38

139

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	134,196.00	140,904.00	147,948.00	155,340.00	163,104.00	171,264.00
MONTHLY	11,183.00	11,742.00	12,329.00	12,945.00	13,592.00	14,272.00
BI-WEEKLY	5,161.38	5,419.38	5,690.31	5,974.62	6,273.23	6,587.08
HOURLY	64.5173	67.7423	71.1288	74.6827	78.4154	82.3385
Lgy Bonus 20	279.58	293.55	308.23	323.63	339.80	356.80
Lgy Bonus 25	559.15	587.10	616.45	647.25	679.60	713.60
Lgy Bonus 30	838.73	880.65	924.68	970.88	1019.40	1070.40

140

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	137,556.00	144,432.00	151,656.00	159,240.00	167,208.00	175,572.00
MONTHLY	11,463.00	12,036.00	12,638.00	13,270.00	13,934.00	14,631.00
BI-WEEKLY	5,290.62	5,555.08	5,832.92	6,124.62	6,431.08	6,752.77
HOURLY	66.1327	69.4385	72.9115	76.5577	80.3885	84.4096
Lgy Bonus 20	286.58	300.90	315.95	331.75	348.35	365.78
Lgy Bonus 25	573.15	601.80	631.90	663.50	696.70	731.55
Lgy Bonus 30	859.73	902.70	947.85	995.25	1045.05	1097.33

141

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	141,000.00	148,056.00	155,460.00	163,236.00	171,396.00	179,964.00
MONTHLY	11,750.00	12,338.00	12,955.00	13,603.00	14,283.00	14,997.00
BI-WEEKLY	5,423.08	5,694.46	5,979.23	6,278.31	6,592.15	6,921.69
HOURLY	67.7885	71.1808	74.7404	78.4788	82.4019	86.5212
Lgy Bonus 20	293.75	308.45	323.88	340.08	357.08	374.93
Lgy Bonus 25	587.50	616.90	647.75	680.15	714.15	749.85
Lgy Bonus 30	881.25	925.35	971.63	1020.23	1071.23	1124.78

142

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	144,528.00	151,752.00	159,336.00	167,304.00	175,668.00	184,452.00
MONTHLY	12,044.00	12,646.00	13,278.00	13,942.00	14,639.00	15,371.00
BI-WEEKLY	5,558.77	5,836.62	6,128.31	6,434.77	6,756.46	7,094.31
HOURLY	69.4846	72.9577	76.6038	80.4346	84.4558	88.6788
Lgy Bonus 20	301.10	316.15	331.95	348.55	365.98	384.28
Lgy Bonus 25	602.20	632.30	663.90	697.10	731.95	768.55
Lgy Bonus 30	903.30	948.45	995.85	1045.65	1097.93	1152.83

143

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	148,140.00	155,544.00	163,320.00	171,492.00	180,072.00	189,072.00
MONTHLY	12,345.00	12,962.00	13,610.00	14,291.00	15,006.00	15,756.00
BI-WEEKLY	5,697.69	5,982.46	6,281.54	6,595.85	6,925.85	7,272.00
HOURLY	71.2212	74.7808	78.5192	82.4481	86.5731	90.9000
Lgy Bonus 20	308.63	324.05	340.25	357.28	375.15	393.90
Lgy Bonus 25	617.25	648.10	680.50	714.55	750.30	787.80
Lgy Bonus 30	925.88	972.15	1020.75	1071.83	1125.45	1181.70

144

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	151,848.00	159,444.00	167,412.00	175,788.00	184,572.00	193,800.00
MONTHLY	12,654.00	13,287.00	13,951.00	14,649.00	15,381.00	16,150.00
BI-WEEKLY	5,840.31	6,132.46	6,438.92	6,761.08	7,098.92	7,453.85
HOURLY	73.0038	76.6558	80.4865	84.5135	88.7365	93.1731
Lgy Bonus 20	316.35	332.18	348.78	366.23	384.53	403.75
Lgy Bonus 25	632.70	664.35	697.55	732.45	769.05	807.50
Lgy Bonus 30	949.05	996.53	1046.33	1098.68	1153.58	1211.25

145

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	155,640.00	163,428.00	171,600.00	180,180.00	189,192.00	198,648.00
MONTHLY	12,970.00	13,619.00	14,300.00	15,015.00	15,766.00	16,554.00
BI-WEEKLY	5,986.15	6,285.69	6,600.00	6,930.00	7,276.62	7,640.31
HOURLY	74.8269	78.5712	82.5000	86.6250	90.9577	95.5038
Lgy Bonus 20	324.25	340.48	357.50	375.38	394.15	413.85
Lgy Bonus 25	648.50	680.95	715.00	750.75	788.30	827.70
Lgy Bonus 30	972.75	1021.43	1072.50	1126.13	1182.45	1241.55

146

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	159,528.00	167,508.00	175,884.00	184,680.00	193,920.00	203,616.00
MONTHLY	13,294.00	13,959.00	14,657.00	15,390.00	16,160.00	16,968.00
BI-WEEKLY	6,135.69	6,442.62	6,764.77	7,103.08	7,458.46	7,831.38
HOURLY	76.6962	80.5327	84.5596	88.7885	93.2308	97.8923
Lgy Bonus 20	332.35	348.98	366.43	384.75	404.00	424.20
Lgy Bonus 25	664.70	697.95	732.85	769.50	808.00	848.40
Lgy Bonus 30	997.05	1046.93	1099.28	1154.25	1212.00	1272.60

147

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	163,512.00	171,684.00	180,264.00	189,276.00	198,744.00	208,680.00
MONTHLY	13,626.00	14,307.00	15,022.00	15,773.00	16,562.00	17,390.00
BI-WEEKLY	6,288.92	6,603.23	6,933.23	7,279.85	7,644.00	8,026.15
HOURLY	78.6115	82.5404	86.6654	90.9981	95.5500	100.3269
Lgy Bonus 20	340.65	357.68	375.55	394.33	414.05	434.75
Lgy Bonus 25	681.30	715.35	751.10	788.65	828.10	869.50
Lgy Bonus 30	1021.95	1073.03	1126.65	1182.98	1242.15	1304.25

148

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	167,604.00	175,980.00	184,776.00	194,016.00	203,712.00	213,900.00
MONTHLY	13,967.00	14,665.00	15,398.00	16,168.00	16,976.00	17,825.00
BI-WEEKLY	6,446.31	6,768.46	7,106.77	7,462.15	7,835.08	8,226.92
HOURLY	80.5788	84.6058	88.8346	93.2769	97.9385	102.8365
Lgy Bonus 20	349.18	366.63	384.95	404.20	424.40	445.63
Lgy Bonus 25	698.35	733.25	769.90	808.40	848.80	891.25
Lgy Bonus 30	1047.53	1099.88	1154.85	1212.60	1273.20	1336.88

149

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	171,792.00	180,384.00	189,408.00	198,876.00	208,824.00	219,264.00
MONTHLY	14,316.00	15,032.00	15,784.00	16,573.00	17,402.00	18,272.00
BI-WEEKLY	6,607.38	6,937.85	7,284.92	7,649.08	8,031.69	8,433.23
HOURLY	82.5923	86.7231	91.0615	95.6135	100.3962	105.4154
Lgy Bonus 20	357.90	375.80	394.60	414.33	435.05	456.80
Lgy Bonus 25	715.80	751.60	789.20	828.65	870.10	913.60
Lgy Bonus 30	1073.70	1127.40	1183.80	1242.98	1305.15	1370.40

150 Joint Powers Authority Accountant

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	156,000.00					
MONTHLY	13,000.00					
BI-WEEKLY	6,000.00					
HOURLY	75.0000					

200 Police Trainee

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	74,556.00	-	-	-	-	-
MONTHLY	6,213.00	-	-	-	-	-
BI-WEEKLY	2,867.54	-	-	-	-	-
HOURLY	35.8442	-	-	-	-	-

201 Police Officer

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	87,708.00	92,088.00	96,696.00	101,532.00	106,608.00	111,936.00
MONTHLY	7,309.00	7,674.00	8,058.00	8,461.00	8,884.00	9,328.00
BI-WEEKLY	3,373.38	3,541.85	3,719.08	3,905.08	4,100.31	4,305.23
HOURLY	42.1673	44.2731	46.4885	48.8135	51.2538	53.8154
EDUCATIONAL INCENTIVE BONUS						
AA	1,052.37	1,052.37	1,052.37	1,052.37	1,052.37	1,052.37
BA	1,568.37	1,568.37	1,568.37	1,568.37	1,568.37	1,568.37
SPECIALIST	619.00	619.00	619.00	619.00	619.00	619.00
Lgy Bonus 7	365.00	365.00	365.00	365.00	365.00	365.00
Lgy Bonus 12	520.00	520.00	520.00	520.00	520.00	520.00
Lgy Bonus 20	885.45	903.70	922.90	943.05	964.20	986.40
Lgy Bonus 26	1,250.90	1,287.40	1,325.80	1,366.10	1,408.40	1,452.80

203 Police Sergeant

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	112,092.00	117,696.00	123,576.00	129,756.00	136,248.00	143,064.00
MONTHLY	9,341.00	9,808.00	10,298.00	10,813.00	11,354.00	11,922.00
BI-WEEKLY	4,311.23	4,526.77	4,752.92	4,990.62	5,240.31	5,502.46
HOURLY	53.8904	56.5846	59.4115	62.3827	65.5038	68.7808
EDUCATIONAL INCENTIVE BONUS						
AA	1,344.04	1,344.04	1,344.04	1,344.04	1,344.04	1,344.04
BA	1,962.04	1,962.04	1,962.04	1,962.04	1,962.04	1,962.04
SPECIAL DUTY PAY	420.00	420.00	420.00	420.00	420.00	420.00
Lgy Bonus 7	326.00	326.00	326.00	326.00	326.00	326.00
Lgy Bonus 12	520.00	520.00	520.00	520.00	520.00	520.00
Lgy Bonus 20	987.05	1,010.40	1,034.90	1,060.65	1,087.70	1,116.10
Lgy Bonus 26	1,454.10	1,500.80	1,549.80	1,601.30	1,655.40	1,712.20

227 Police Lieutenant

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	150,204.00	157,716.00	165,600.00	173,880.00	182,580.00	191,712.00
MONTHLY	12,517.00	13,143.00	13,800.00	14,490.00	15,215.00	15,976.00
BI-WEEKLY	5,777.08	6,066.00	6,369.23	6,687.69	7,022.31	7,373.54
HOURLY	72.2135	75.8250	79.6154	83.5962	87.7788	92.1692
EDUCATIONAL INCENTIVE BONUS						
BA	1,766.44	1,837.84	1,912.84	1,991.56	2,074.24	2,161.00
CA POST Mgmt. Cert.	625.85	657.15	690.00	724.50	760.75	798.80
Lgy Bonus 20	625.85	657.15	690.00	724.50	760.75	798.80
Lgy Bonus 26	1,251.70	1,314.30	1,380.00	1,449.00	1,521.50	1,597.60

231 Police Captain

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	178,584.00	187,512.00	196,884.00	206,724.00	217,056.00	227,904.00
MONTHLY	14,882.00	15,626.00	16,407.00	17,227.00	18,088.00	18,992.00
BI-WEEKLY	6,868.62	7,212.00	7,572.46	7,950.92	8,348.31	8,765.54
HOURLY	85.8577	90.1500	94.6558	99.3865	104.3538	109.5692
EDUCATIONAL INCENTIVE BONUS						
BA	2,036.08	2,120.92	2,209.96	2,303.56	2,401.84	2,505.04
CA POST Mgmt. Cert.	744.10	781.30	820.35	861.35	904.40	949.60
Lgy Bonus 20	744.10	781.30	820.35	861.35	904.40	949.60
Lgy Bonus 26	1,488.20	1,562.60	1,640.70	1,722.70	1,808.80	1,899.20

232 Deputy Police Chief

STEP	*1*
ANNUAL	227,436.00
MONTHLY	18,953.00
BI-WEEKLY	8,747.54
HOURLY	109.3442
EDUCATIONAL INCENTIVE BONUS	
BA	2,474.36
CA POST Mgmt. Cert.	947.65
Lgy Bonus 20	947.65
Lgy Bonus 26	1,895.30

301 Mayor

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	11,400.00					
MONTHLY	950.00					
BI-WEEKLY	438.46					
HOURLY	5.4808					

302 Councilmember

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	7,800.00					
MONTHLY	650.00					
BI-WEEKLY	300.00					
HOURLY	3.7500					

303 City Clerk

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	12,000.00					
MONTHLY	1,000.00					
BI-WEEKLY	461.54					
HOURLY	5.7692					

304 City Treasurer

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	6,000.00					
MONTHLY	500.00					
BI-WEEKLY	230.77					
HOURLY	2.8846					

305 Youth Commissioner

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	300.00	-	-	-	-	-
MONTHLY	25.00	-	-	-	-	-
BI-WEEKLY	11.54	-	-	-	-	-
HOURLY	0.1442	-	-	-	-	-

306 Human Services Commissioner
306 Recreation Commissioner
306 Rent Mediation Board Member
306 Senior Citizens Commissioner

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	600.00	-	-	-	-	-
MONTHLY	50.00	-	-	-	-	-
BI-WEEKLY	23.08	-	-	-	-	-
HOURLY	0.2885	-	-	-	-	-

307

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	900.00	-	-	-	-	-
MONTHLY	75.00	-	-	-	-	-
BI-WEEKLY	34.62	-	-	-	-	-
HOURLY	0.4327	-	-	-	-	-

308 Planning Commissioner

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	1,200.00	-	-	-	-	-
MONTHLY	100.00	-	-	-	-	-
BI-WEEKLY	46.15	-	-	-	-	-
HOURLY	0.5769	-	-	-	-	-

330 Department Heads

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	162,756.00	170,892.00	179,436.00	188,412.00	197,832.00	207,720.00
MONTHLY	13,563.00	14,241.00	14,953.00	15,701.00	16,486.00	17,310.00
BI-WEEKLY	6,259.85	6,572.77	6,901.38	7,246.62	7,608.92	7,989.23
HOURLY	78.2481	82.1596	86.2673	90.5827	95.1115	99.8654
Lgy Bonus 20	339.08	356.03	373.83	392.53	412.15	432.75
Lgy Bonus 25	678.15	712.05	747.65	785.05	824.30	865.50
Lgy Bonus 30	1017.23	1068.08	1121.48	1177.58	1236.45	1298.25

339 Assistant City Manager

STEP	*1*	*2*	*3*	*4*	*5*	*6*
ANNUAL	178,661.70	187,596.00	196,980.00	206,832.00	217,176.00	228,036.00
MONTHLY	14,888.48	15,633.00	16,415.00	17,236.00	18,098.00	19,003.00
BI-WEEKLY	6,871.60	7,215.23	7,576.15	7,955.08	8,352.92	8,770.62
HOURLY	85.8950	90.1904	94.7019	99.4385	104.4115	109.6327

340 Police Chief

STEP	*1*
ANNUAL	253,356.00
MONTHLY	21,113.00
BI-WEEKLY	9,744.46
HOURLY	121.8058
Edu Incentive Pay	2,733.56
CA POST Mgmt. Cert.	1,055.65
Lgy Bonus 26	2,111.30

350 City Manager

STEP	*1*
ANNUAL	285,300.00
MONTHLY	23,775.00
BI-WEEKLY	10,973.08
HOURLY	137.1635

CERTIFIED NURSING ASSISTANT

Job Summary

Under the direction of the Senior Day Care Center Manager:

Representative Duties
Works directly with all participants who need individualized attention and personal care; develops toilet schedule as needed; assists program staff with activities; participates in weekly multi-disciplinary case conference meetings; updates participant charts; participates in weekly group supervision; completes orientation and attends in-service training program.

QUALIFICATIONS GUIDE

Education and Experience
Must have Certified Nursing Assistant Certification from an accredited program and a minimum of one (1) year paid or volunteer experience working with frail-memory-impaired or confused elderly.

Special Requirements
Must have the ability to communicate and empathize with frail/memory-impaired or confused elderly. Must have motivation, sensitivity, patience, and the willingness to work with demented older adults.

License
Valid California Driver's License, Class C, have and maintain.

Special Conditions
This is a full time position completely dependent upon the availability of grant funds.

Per LA County Ordinance #2021-0066U, all City of Gardena employees performing duties under the Los Angeles County's Elderly Nutrition Program Grant must be fully vaccinated against COVID-19 as a condition of employment. Successful candidates for this position will be required to submit proof of vaccination against COVID-19 or request an exemption for qualifying medical or religious reasons during the onboarding process. Candidates should not present proof of vaccination until instructed to do so by the hiring department.

COMMUNITY AIDE I
(Part-Time)

Job Summary

Under direction, provides direct services, coordinates and advocates for services for clients; performs related responsibilities and duties as required.

QUALIFICATIONS GUIDE

Representative Duties
Provides a variety of services in support of individuals, families, the elderly, community groups, governmental agencies, and other service providers. Specific tasks may include providing information and referral, case management, and client advocacy; serving as liaison with social service agencies and community groups; writing reports and preparing statistical data.

Education and Experience
Must be a high school graduate; must show a demonstrated interest in community and human services work. Volunteer and/or paid experience preferred.

Knowledge and Abilities
Must have knowledge of Gardena area and varying socio-economic conditions. Must have the ability to communicate and empathize with people in need; to assess problems and recommend possible solutions.

License
A valid California Driver's License, Class C, have and maintain.

Special Condition

Per LA County Ordinance #2021-0066U, all City of Gardena employees performing duties under the Los Angeles County's Elderly Nutrition Program Grant must be fully vaccinated against COVID-19 as a condition of employment. Successful candidates for this position will be required to submit proof of vaccination against COVID-19 or request an exemption for qualifying medical or religious reasons during the onboarding process. Candidates should not present proof of vaccination until instructed to do so by the hiring department.

COMMUNITY AIDE II

Job Summary

Under direction, provides direct services, coordinates and advocates for services for clients; performs related responsibilities and duties as required.

QUALIFICATIONS GUIDE

Representative Duties

Provides a variety of services in support of individuals, families, the elderly, community groups, governmental agencies, and other service providers. Specific tasks may include providing information and referral, case management, and client advocacy; serving as liaison with social service agencies and community groups; writing reports and preparing statistical data of services provided.

Education and Experience

Must be a high school graduate **AND** one (1) year of paid or volunteer experience in social or human services work. Must show a demonstrated interest in community and human services work.

Knowledge and Abilities

Must have knowledge of Gardena area and varying socio-economic conditions. Must have the ability to communicate and empathize with people in need; to assess problems and recommend possible solutions.

License

A valid California Driver's License, Class C, have and maintain.

Special Conditions

This position is dependent entirely upon Grant funds.

Individuals in this Class may be assigned to work in a variety of social services programs, including, but not limited to, working with Alzheimer's patients at the Senior Day Care Center, Youth and Family Services Bureau or Family Child Care Program, assisting with recreational and social activities, and other related duties as may be required.

Per LA County Ordinance #2021-0066U, all City of Gardena employees performing duties under the Los Angeles County's Elderly Nutrition Program Grant must be fully vaccinated against COVID-19 as a condition of employment. Successful candidates for this position will be required to submit proof of vaccination against COVID-19 or request an exemption for qualifying medical or religious reasons during the onboarding process. Candidates should not present proof of vaccination until instructed to do so by the hiring department.

COMMUNITY AIDE III
(Part-Time)

Job Summary

Under direction, provides direct services, coordinates and advocates for services for clients; performs related responsibilities and duties as required.

QUALIFICATIONS GUIDE

Representative Duties
Provides a variety of services in support of individuals, families, the elderly, community groups, governmental agencies, and other service providers. Specific tasks may include providing information and referral, case management, and client advocacy; serving as liaison with social service agencies and community groups; writing reports and preparing statistical data.

Education and Experience
A Bachelor's Degree **AND** one (1) year of paid or volunteer experience in social or human services. Two (2) years of additional experience may be substituted for education on a year-for-year basis.

Knowledge and Abilities
Must have knowledge of community resources and varying socio-economic conditions. Must have the ability to communicate with and understand issues relating to people in need; to assess problems and recommend possible solutions. Must show a demonstrated interest in community and human services work.

License
A valid California Driver's License, Class C, have and maintain.

Special Conditions
Per LA County Ordinance #2021-0066U, all City of Gardena employees performing duties under the Los Angeles County's Elderly Nutrition Program Grant must be fully vaccinated against COVID-19 as a condition of employment. Successful candidates for this position will be required to submit proof of vaccination against COVID-19 or request an exemption for qualifying medical or religious reasons during the onboarding process. Candidates should not present proof of vaccination until instructed to do so by the hiring department.

CITY OF GARDENA CLASS
SPECIFICATION
Gardena, California April
2022

GERIATRIC AIDE

(Part-Time)

Job Summary

Under general direction, performs homemaking and personal care services including assisting with meal preparation, shopping for personal and household items, escorting to medical appointments, managing money, and light housework; provides hands on assistance to clients with physical needs to include stand-by assistance, supervision, or cues for clients, as with eating, bathing, toileting, transferring in or out of bed or chair, walking, dressing, or grooming.

QUALIFICATIONS GUIDE

Education and Experience

No formal educational requirement.

Knowledge and Abilities

Ability to communicate and empathize with the elderly; personal qualities of sensitivity, patience and the willingness to work with the elderly. Bi-lingual ability, highly desirable.

Physical Demands and Working Conditions

Physical demands include talking, listening, standing, kneeling, bending, twisting, reaching and grasping in the performance of duties. Field work requires driving, sitting, standing, and walking. Must be able to lift up to 50lbs.

License

A valid California Driver's License, Class C, have and maintain.

Special Condition

Per LA County Ordinance #2021-0066U, all City of Gardena employees performing duties under the Los Angeles County's Elderly Nutrition Program Grant must be fully vaccinated against COVID-19 as a condition of employment. Successful candidates for this position will be required to submit proof of vaccination against COVID-19 or request an exemption for qualifying medical or religious reasons during the onboarding process. Candidates should not present proof of vaccination until instructed to do so by the hiring department.

This is a part-time position working 10-20 hours per week. Requires working some weekends, holidays, and evenings. Requires attendance at various meetings and training sessions as assigned.

This position is dependent upon grant funding.

SENIOR CITIZENS NUTRITION SERVICES COORDINATOR

Job Summary

Under direction of the Sr. Citizens Manager, supervises a senior citizen nutrition program that provides 250 congregate and 100 home delivered meals daily, including:
Works with site managers and volunteers to increase attendance and make program/activity improvements; Works with catering staff to ensure high quality of food, product safety and sanitation. Has knowledge of and can obtain a certificate of completion for the Applied Foodservice Sanitation course; Provides staff support to the Quality Assurance Committee that addresses nutrition related issues, such as service delivery, program enhancements, and caterer concerns. Develops the agenda and provides support to the members as needed. Collects data about meals, clients, donation amounts, submits all required monthly reports, and supervises data input for required computer transmission to Grant agency.

Representative Duties

Provides direct supervision to five part-time staff and over 100 volunteers; has the ability to monitor, coach, mediate disputes and motivate staff to enhance their performance; performs detailed analysis of program functions and implements improvements to the organization and documentation where indicated; develops publicity and outreach programs to attract and inform the public about Sr. Citizens Bureau services; provides direction to meal sites that facilitates the development of special events, lectures, holiday programs and recreational activities that challenge and encourage personal growth and enrichment; writes analytically and has the ability to draft comprehensive reports, letters, memos, and grant applications; ability to manage multiple projects and priorities while maintaining high levels of service.

QUALIFICATIONS GUIDE

Education and Experience

Minimum of 60 units of college course work, preferably completion of a college degree, and a minimum of 1 and 1/2 years of work in a congregate meal program, especially food service programs for senior citizens.

License

A valid California Class C Driver's License, have and maintain.

Special Condition

This position is dependent upon Grant funding.

Per LA County Ordinance #2021-0066U, all City of Gardena employees performing duties under the Los Angeles County's Elderly Nutrition Program Grant must be fully vaccinated against COVID-19 as a condition of employment. Successful candidates for this position will be required to submit proof of vaccination against COVID-19 or request an exemption for qualifying medical or religious reasons during the onboarding process. Candidates should not present proof of vaccination until instructed to do so by the hiring department.

SENIOR CITIZENS SOCIAL SERVICES COORDINATOR

Job Summary

Under direction of the Sr. Citizens Manager, performs direct case management assistance and also supervises 10-15 part-time staff who perform case management services and also some of whom perform house keeping and transportation services to frail elderly.

Representative Duties

Supervises the records that document compliance with the Los Angeles County grant for these services and submits monthly reports to support all units of service; comprehensive assessment, care planning, service arrangement, monitoring, and in-home services; ability to monitor, coach and motivate staff to enhance performance; performs detailed analysis of program functions and implements improvements to the organization and documentation where indicated; develops close relationships with other area providers, colleges and hospitals to enhance senior services; recruits and supervises student interns; attends networking meetings and provides staff support to local senior citizens groups and organizations; develops publicity and outreach programs to attract and inform the public about Senior Citizen Bureau services; monitors demographic data to ensure client profiles mandated by Los Angeles County Area Agency on Aging are met.

QUALIFICATIONS GUIDE

Education and Experience

Masters Degree with preference for MSW **and** **ability to acquire license within 6 months**, and preferably two (2) years or more experience in professional work with senior citizens.

License

A valid California Driver's License, Class C, have and maintain.

Special Condition

This position is dependent upon Grant funding.

Per LA County Ordinance #2021-0066U, all City of Gardena employees performing duties under the Los Angeles County's Elderly Nutrition Program Grant must be fully vaccinated against COVID-19 as a condition of employment. Successful candidates for this position will be required to submit proof of vaccination against COVID-19 or request an exemption for qualifying medical or religious reasons during the onboarding process. Candidates should not present proof of vaccination until instructed to do so by the hiring department.

City of Gardena

Gardena City Council Meeting

AGENDA REPORT SUMMARY

Agenda Item No. 8.F
Section: CONSENT CALENDAR
Meeting Date: April 12, 2022

TO: THE HONORABLE MAYOR AND MEMBERS OF THE GARDENA CITY COUNCIL

AGENDA TITLE: RESOLUTION NO. 6571 Amending the List of Authorized Games and Authorizing the Play of Certain Games in Licensed Card Clubs
CONTACT: CITY MANAGER

COUNCIL ACTION REQUIRED:

RECOMMENDATION AND STAFF SUMMARY:

Staff respectfully recommends that the City Council adopt Resolution No. 6571 which amends the current list of authorized games and authorizes the play of certain games in licensed card clubs.

On March 16, 2022 Larry Flynt's Lucky Lady Casino received written approval from the State of California Department of Justice, Bureau of Gambling Control to begin offering the game, *Three Card Poker 6 Card Bonus Modification*, for play at their club.

This approval by the State of California is subject to the adoption of a formal resolution by the Gardena City Council.

FINANCIAL IMPACT/COST:
None

ATTACHMENTS:
Resolution No. 6571.pdf
Flynt's- GEGR-001803 1 Three Card Poker 6 Card Bonus APPROVAL GEGM-000780 (002).pdf

APPROVED:

_____
Clint Osorio, City Manager

RESOLUTION NO. 6571

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GARDENA, CALIFORNIA, AMENDING THE LIST OF AUTHORIZED GAMES AND AUTHORIZING THE PLAY OF CERTAIN GAMES IN LICENSED CARD CLUBS

WHEREAS, Gardena Municipal Code Section 5.24.430 provides that licensed card clubs in the City of Gardena ("City") may play any game permitted under state law which is also permitted by resolution of the City Council; and

WHEREAS, the City Council approved those certain games to be played in licensed card clubs as listed in Resolution No. 6562; and

WHEREAS, from time to time licensed card clubs in the City have filed rules of play and requested authorization pursuant to Gardena Municipal Code Section 5.24.430 to play other games not previously listed and approved by City Council Resolution.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF GARDENA, CALIFORNIA, DOES HEREBY RESOLVE, DECLARE AND DETERMINE AS FOLLOWS:

SECTION 1. That the **Three Card Poker 6 Card Bonus Modification,** offered in connection with authorized Poker Section and Promotional Games and played in accordance with the rules approved by the Bureau of Gambling Control on March 16, 2022, shall be permitted to be played in licensed card clubs in the City. The list of all such approved and permitted games is as follows:

POKER SECTION

2 WAY WINNER
5 CARD STUD
6 CARD STUD
7 CARD HI LO SPLIT
7 CARD STUD
7 CARRD STUD HI-LO REGULAR
21st CENTURY BACCARAT
21st CENTURY BACCARAT 9.0
21st CENTURY LUCKY 7 BACCARAT
BADACEY
BADEUCEY
BADUGI
BIG O HIGH-LOW SPLIT
BLACKJACK JACKPOT
BLAZING SEVENS JACKPOT PROGRESSIVE
BUSTER BLACK JACK BONUS BET
CALIFORNIA HIGH DRAW OPEN BLIND
CARIBBEAN STUD POKER
CRAZY PINEAPPLE
DOUBLE BOARD OMAHA
DRAGON BONUS BACCARAT– COMMISSION FREE
DRAW
DRAWMAHA ACE-TO-FIVE
DRAWMAHA HI
EASY POKER
EASY POKER BONUS BET
EZ BACCARAT
EZ BACCARAT MODIFICATION
EZ BACCARAT PROGRESSIVE JACKPOT
FACE UP PAI GOW POKER
HI LO DECLARE
HOLDEM
HOLDEM HI LO
HUSTLER CASINO POKER ROOM MEGA-PROGRESSIVE JACKPOT
JACKPOT POKER
JACKS BACK HI LO
KANSAS CITY LOWBALL DEUCE TO SEVEN
LET IT RIDE BONUS
LOWBALL
LOWBALL DRAW WINNER LEAVE IT IN
MEXICAN POKER
OMAHA AND POT LIMIT

OMAHA HI
OMAHA HI LO
OMAHA HI LO SPLIT
OMAHA AND POT LIMIT
OPEN FACE CHINESE POKER
PAN
PINEAPPLE
POCKET ACES CRACKED
POKER PAYS TO PLAY
RAZZ
RAZZDACEY
RAZZDEUCEY
SEVEN CARD STUD
SEVEN CARD STUD HIGH-LOW SPLIT
SHORT DECK HOLD'EM
SUPER 7 CARD STUD
SUPER 7 CARD STUD HI/LO
SUPER 7 CARD STUD HI/LO REGULAR
SUPER 9 JACKPOT
SUPER RAZZ
SUPER RAZZDACEY
SUPER RAZZDEUCEY
SUPER STUD POKER PROGRESSIVE JACKPOT
SUPER 7 CARD STUD HI/LO REGULAR
TABLE TOP JOKER POKER
TEXAS HOLD'EM
TEXAS STUD POKER
THREE CARD POKER
THREE CARD POKER 6 CARD BONUS
THREE CARD POKER 6 CARD BONUS MODIFICATION
THREE CARD POKER PROGRESSIVE JACKPOT
TRIPLE ACES II
TRIPS
ULTIMATE TEXAS HOLD'EM
ULTIMATE TEXAS HOLD'EM PROGRESSIVE JACKPOT

ASIAN SECTION

13 CARD
21st CENTURY BLACKJACK 5.1 [Modified]
ASIAN STUD
BACCARAT
BLACKJACK JOKERS
BONANZA PAI GOW TILES
CALIFORNIA ACES
CALIFORNIA BLACKJACK
CASINO WAR
CENTURY21
CRAZY 4 POKER
EO11
FUNTAZEE 21
FORTUNE PAI GOW POKER
FORTUNE PAI GOW POKER PROGRESSIVE JACKPOT
LUCKY MOON
MAHJONG
MISSISSIPPI STUD 3 CARD BONUS
MONSTER & BUSTER PAI GOW POKER
NO BUST BLACKJACK
NO BUST 21ST CENTURY BLACKJACK 4.0A [Modified]
NO BUST 21ST CENTURY BLACKJACK 4.0B [Modified]
NO BUST 21ST CENTURY BLACKJACK 6.2
PAI GOW GOLD DESIGNATED HAND PROMOTION
PAI GOW GOLD PROGRESSIVE JACKPOT
PAI GOW POKER
PAI GOW POKER JACKPOT
PAI GOW TILES
PAN NINE
PAN NINE GOLD
SUPER PAN 9 MODIFICATION
TEXAS PAI GOW
TRIPLE PLAY
ZOOBAC

PROMOTIONAL GAMES

BONUS CHIP PROMOTION
CALIFORNIA GAMES PROMOTIONAL CHIPS PROMOTION
EZ BACCARAT PROGRESSIVE JACKPOT
FOOD REWARD PROGRAM
GIFT CARD REWARD PROGRAM

HUSTLER SPECIAL EVENTS PLAYER REWARDS PROMOTION V2
HIGH HAND GIVEAWAY PROMOTION
JACKPOT GAMES
LIVE ACTION TOURNAMENT PROMOTION
PLAYER REWARDS PROGRAM [Modified]
POKER PROMOTIONAL CHIPS
SPECIAL EVENTS PLAYER REWARDS
SPORTS BRACKET

SECTION 2. That upon the approval and adoption of this resolution, Resolution No. 6562 shall be rescinded and shall no longer be in force and effect.

SECTION 3. That this resolution shall be effective immediately.

BE IT FURTHER RESOLVED that the City Clerk shall certify to the passage and adoption of this resolution; shall cause the same to be entered among the original resolutions of the City; and shall make a minute of the passage and adoption thereof on the records of the proceedings of the City Council for the meeting at which the same is passed and adopted.

Passed, approved, and adopted this 12th day of April, 2022.

_____
TASHA CERDA, Mayor

ATTEST:

_____
MINA SEMENZA, City Clerk

APPROVED AS TO FORM:

_____
CARMEN VASQUEZ, City Attorney

ROB BONTA
Attorney General

State of California
DEPARTMENT OF JUSTICE

BUREAU OF GAMBLING CONTROL
2450 DEL PASO ROAD, SUITE 100
SACRAMENTO, CA 95834

March 16, 2022

Keith Sharp, Designated Agent
Larry Flynt's Lucky Lady Casino
301 North Lake Avenue, Suite 1100
Pasadena, CA 91101

TEMPORARY AUTHORIZATION
Effective Date: 03/16/2022
Expiration Date: 03/16/2024

BGC ID: GEGR-001803

RE: Three Card Poker 6 Card Bonus Modification Temporary Approval

Dear Keith Sharp:

The Bureau of Gambling Control (Bureau) has reviewed Larry Flynt's Lucky Lady Casino's request to offer the modified game of Three Card Poker 6 Card Bonus for play. This letter is to inform you that the Bureau is granting temporary authorization for the dates provided above.

Larry Flynt's Lucky Lady Casino may begin offering the modified game for play, as enclosed, pending any approvals that may be required by the local jurisdiction. This letter of approval and the enclosed rules shall be kept on file, at Larry Flynt's Lucky Lady Casino, and be readily available for review during all hours of operation. Any changes to the approved rules of play shall invalidate this temporary approval. **In addition, this approval letter shall supersede any previous approval letters.**

The Bureau reserves the right to: (1) review the lawfulness of the modified game of Three Card Poker 6 Card Bonus; (2) notify all law enforcement agencies and gambling establishments if further review determines the modified game of Three Card Poker 6 Card Bonus to be unlawful; (3) require gambling establishments to cease and desist offering the modified game of Three Card Poker 6 Card Bonus if found to be unlawful; and (4) take action against those gambling establishments that decline to abide by the Bureau's cease and desist notification.

Larry Flynt's Lucky Lady Casino shall play the modified game of Three Card Poker 6 Card Bonus in accordance with the Bureau approved temporary rules, as enclosed.

Modification(s) to the game of Three Card Poker 6 Card Bonus

- *Updated the procedures on what happens when the player-dealer does not qualify.*
- *Update the 6 Card Bonus Payout Table*

Although the Bureau has temporarily approved the modified game of Three Card Poker 6 Card Bonus, it is the sole responsibility of Larry Flynt's Lucky Lady Casino to abide by and remain in compliance with the local ordinance for the City of Gardena. This letter does not constitute any approval that may be required by the local jurisdiction before the modified game of Three Card Poker 6 Card Bonus is offered for play. Larry Flynt's Lucky Lady Casino shall be fully responsible for ensuring that any approval required by local law enforcement is obtained prior to offering the modified game of Three Card Poker 6 Card Bonus for play.

Any changes Larry Flynt's Lucky Lady Casino may wish to make in the future to the temporarily approved game enclosed shall be submitted to the Bureau along with the required fees, and will not be authorized until written notification of approval from the Bureau is received.

If you have any questions, please contact Anthony Lucero at (916) 621-1563 or via email at BGCgames@doj.ca.gov.

Sincerely,

Andrew C. Meredith

ANDREW MEREDITH, Manager
Game Review Unit

For ROB BONTA
Attorney General

Enclosure

cc: Cheryleen Kau, Special Agent Supervisor, CES, Los Angeles

APPROVED

MAR 16 2022

Bureau of Gambling Control

Three Card Poker 6 Card Bonus

Type of Game

The game of Three Card Poker 6 Card Bonus is a California game and utilizes a player-dealer position. The player-dealer shall collect all losing wagers, pay all winning wagers, and may not win or lose more than the original amount wagered. Once the player-dealer's wager has been exhausted, the wagers not covered by the player-dealer shall be returned to the respective players. The gambling enterprise does not participate in the actual play of the game and has no interest in the outcome of the play.

Object of the Game

The object of the game is for a player to assemble a three-card hand that beats the player-dealer's three-card hand.

Description of the Deck and Number of Decks Used

Shuffling Machine: Cards used to play Three Card Poker 6 Card Bonus shall be dealt from a single deck automatic card shuffling device ('shuffler') or manually by hand.

Physical Characteristics: Cards used to play Three Card Poker 6 Card Bonus shall be in standard decks of 52 cards. No jokers shall be utilized.

Number of Decks: Cards used to play Three Card Poker 6 Card Bonus shall be played with two alternating decks, each consisting of a 52-card deck with backs of the same design.

- The backs of each deck will be a different color;
- One deck will be shuffled by the 'shuffler' while the other deck is being dealt or used to play the game;
- Both decks will be continuously alternated in and out of play, with each deck being used for every other round of play; and
- The cards from only one deck shall be placed in the discard rack at any given time.

Card Values and Hand Rankings

The rank of each card used in Three Card Poker 6 Card Bonus when forming a three-card poker hand, in order of highest to lowest rank, shall be: ace, king, queen, jack, 10, 9, 8, 7, 6, 5, 4, 3, and 2. All suits shall be considered equal in rank. The ace would be considered low any time the ace begins a Straight or a Straight Flush.

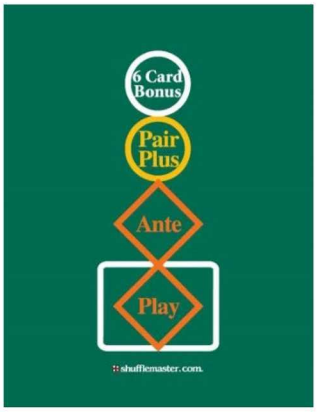
Three Card Poker 6 Card Bonus Hand Rankings

3-Card Hand Dealt	Hand Ranking
Mini Royal Flush	A hand comprised of an ace, king, and queen of the same suit.
Straight Flush	A hand comprised of three cards of the same suit in consecutive ranking. King, queen and jack is the highest ranked Straight Flush and 3, 2 and ace is the lowest ranked Straight Flush.
Three of a Kind	A hand comprised of three cards of the same rank. Three aces is the highest ranked Three of a Kind and three 2s is the lowest ranked Three of a Kind.
Straight	A hand comprised of three cards in consecutive ranking, but are not the same suit. Ace, king, and queen is the highest ranked Straight and 3, 2, and ace is the lowest ranked Straight.
Flush	A hand comprised of three cards of the same suit, but are not in consecutive ranking. An ace, king, and jack is the highest ranked Flush and a 5, 3, and 2 is the lowest ranked Flush.

One Pair	A hand comprised of two cards of the same rank. Two aces is the highest ranked Pair and two 2s is the lowest ranked Pair.
High Card	A hand comprised of three cards that do not make any of the hands listed above. An ace, king, and jack is the highest ranked High Card hand and 5, 3, and 2 is the lowest ranked High Card hand.

Description of Table Used and Total Number of Seated Positions

Three Card Poker 6 Card Bonus shall be played on a standard blackjack style table having seven places on one side of the table for six players and a player-dealer, and a place for the house dealer on the opposite side. Each Three Card Poker 6 Card Bonus table shall have a drop box attached to it.



The wagering areas shall be designated as follows:

- For the Ante wager, the word “Ante”;
- For the Play wager, the word “Play”;
- For the Pair Plus Bonus Bet, the word(s) “Bonus” or “Pair Plus.”
- For the 6 Card Bonus Bet, the words “6 Card Bonus.”

Dealing Procedures and Round of Play

All wagers in Three Card Poker 6 Card Bonus shall be made by placing gaming chips on the appropriate betting areas of the table layout keeping in mind the table minimum and maximum wagering limits.

1. Third-Party Providers of Proposition Player Services (TPPPS), as defined in Section 19984 of the California Business and Professions Code, are permitted to play.
2. Backline betting is not permitted on any wager.
3. At the beginning of each round of play, each player shall be required to place an Ante wager.
4. Each player who has placed the Ante wager required above, shall also have the option to make an additional Pair Plus Bonus Bet and/or a 6 Card Bonus Bet.
   a. The Pair Plus Bonus Bet awards a bonus payout to the player(s) who receives a poker hand consisting of certain hand combinations as listed in the Pair Plus Bonus Bet Payout Table.
   b. The 6 Card Bonus Bet considers the three cards dealt to the player’s hand and the three cards dealt to the player-dealer’s hand. A player then uses any of those six cards, regardless of the number of cards used from their hand or the player-dealer’s hand, to make the best possible five card poker hand. If the player’s hand qualifies for a payout, the player is paid by the player-dealer according to the posted pay table.
5. The house dealer shall wait for each player to place their Ante wager as well as any bonus bets. After each player has placed their wager(s), the house dealer will announce, “no more bets.” No Ante, Pair Plus, or 6 Card Bonus Bets shall be made, increased, or withdrawn after the house dealer has announced “no more bets.”
6. After all wagers have been placed, the house dealer shall shuffle the cards by use of a shuffle machine so the cards are randomly intermixed. Upon completion of the shuffle, the device shall dispense cards in stacks of three.

   a. When dealing the cards manually, the house dealer shall create piles of three cards, dealing one card at a time rotating clockwise, until each pile has three cards.
   b. The first pile shall be distributed face-down to the right of the player-dealer position continuing clockwise, with the player-dealer receiving the last pile of cards.
7. After the stacks have been delivered to each player, face-down, the player-dealer's bottom card will be turned face-up. The house dealer shall unload the remaining cards in the shuffler and place them into the discard rack without exposing the cards.
8. After the dealing procedures above have been completed, each player shall examine their cards.
9. Each player who wagers in Three Card Poker 6 Card Bonus is responsible for their own hand and no person other than the player or the house dealer may touch the cards of that player. Each player shall be required to keep their three cards in full view of the house dealer at all times.
10. After examination of the cards, each player shall have the option to either make a Play wager in an amount **equal** to the player's Ante wager or forfeit the Ante wager and end their participation in the round of play. The house dealer shall offer this option to each player, starting with the player to the left of the player-dealer and moving clockwise around the table in order.
    a. If a player has placed a Pair Plus Bonus Bet, but does not make a Play wager, the player shall forfeit the Pair Plus Bonus Bet wager, as well as the Ante wager.
    b. If a player has placed a 6 Card Bonus Bet, the 6 Card Bonus Bet is still active.
11. After each player has either placed a wager on the table in the Play wager area or forfeited their wager and hand, the house dealer shall collect all forfeited wagers and associated cards, placing them in the discard rack except for players who have placed a 6 Card Bonus Bet. The house dealer will place the player's cards under the 6 Card Bonus Bet.
12. The house dealer shall then reveal the remaining player-dealer's cards and place the cards so as to form the highest possible ranking hand. The player-dealer must qualify to play with a **minimum of queen-high**.
13. The settling of wagers starts to the player-dealer's left and continues clockwise. Also the order of settling wagers is Pairs Plus Bonus Bet, Ante wager, Play wager and then the 6 Card Bonus Bet.

How Winners are Determined and Paid

1. If the player-dealer's hand does not have a minimum of a queen-high, the **player-dealer does not qualify.**
    a. The Play wager receives no action. The house dealer shall immediately refund these wagers to players.
    b. The Ante wager receives action. The house dealer shall pay each Ante wager not surrendered (by folding) even money, regardless if the player's hand ranks higher than the player-dealer's hand. If the player surrendered (by folding), the player loses.
2. If the player-dealer's hand has a queen or better, the **player-dealer's hand qualifies**.
    a. The house dealer shall immediately stack each player's Play bet atop the Ante.
    b. The house dealer shall then reveal the three card hand of each active player, starting with the player to the right of the player-dealer position.
        i. Action will always begin with the first active position to the right of the player-dealer position.

c. If the player's hand beats the player-dealer's hand, the player wins even money on the Ante and the Play wagers.
d. If the player-dealer's hand beats the player's hand, the player loses both the Ante and the Play wagers.
e. If the player's hand and the player-dealer's hand are equal in rank and value, the hand is considered a tie (push) and the Ante and Play wagers shall push and be returned to the player.

3. All cards collected by the house dealer shall be picked up in order and placed in the discard rack in such a way they can be readily arranged to reconstruct each hand in the event of a question or dispute.
4. Player-dealers are never required to cover all opposing players' wagers. Payoffs of wagers are limited to the amount of the player-dealer wager. The house shall not participate as the player-dealer. The house shall not take a percentage of wagers placed in the game. There is no maximum on the player-dealer's wager.

Bonus Bets

Pair Plus Bonus Bet

The Pair Plus Bonus Bet is an optional bonus bet for the Three Card Poker 6 Card Bonus. The rules are as follows:

- A player shall only place a Pair Plus Bonus Bet if they have also placed an Ante wager prior to the initial deal.
- Pair Plus Bonus Bets must be placed prior to the initial deal.
- Pair Plus Bonus Bets only consider the three cards each player is dealt.
- If the player's hand qualifies for payouts, the player is paid by the player-dealer according to the posted pay table below.
- If the player's hand does not qualify for payouts, the player-dealer collects the Pair Plus Bonus Bet.
- The player-dealer will pay all winning Pair Plus Bonus Bets and will collect all losing Pair Plus Bonus Bets.
- See the collection rate schedule for restrictions on the amount that may be wagered and any collection fees taken on the Pair Plus Bonus Bet.
- The Pair Plus Bonus Bet may win or lose regardless of the outcome of the base game wager. However, the Pair Plus Bonus Bet shall be forfeited if the player folds their hand and does not place a Play wager.
- Once the player-dealer's wager has been exhausted, the wagers not covered by the player-dealer will be returned to the players.
- Winning Pair Plus Bonus Bets pay as follows:

Pair Plus Bonus Bet Payout

3-Card Hand	Payout
Mini Royal Flush	200:1
Straight Flush	40:1
Three of a Kind	30:1
Straight	6:1
Flush	3:1
One Pair	1:1

6 Card Bonus Bet

The 6 Card Bonus Bet is an optional bonus bet for Three Card Poker 6 Card Bonus. The rules are as follows:

- A player shall only place a 6 Card Bonus Bonus Bet if they have also placed an Ante wager prior to the initial deal.
- 6 Card Bonus Bets must be placed prior to the initial deal.
- 6 Card Bonus Bets consider the three cards dealt to the player's hand and the three cards dealt to the player-dealer's hand.
- A player then uses any of those six cards, regardless of the number of cards used from their hand or the player-dealer's hand, to make the best possible five card poker hand.
- If the player's hand qualifies for a payout, the player is paid by the player-dealer.
- If the player's hand does not qualify for payouts, the player-dealer collects the 6 Card Bonus Bet.
- The player-dealer will pay all winning 6 Card Bonus Bets and will collect all losing 6 Card Bonus Bets.
- See the collection rate schedule for restrictions on the amount that may be wagered and any collection fees taken on the 6 Card Bonus Bet.
- The 6 Card Bonus Bet may win or lose regardless of the outcome of the Ante wager.
- The 6 Card Bonus Bet shall not be forfeited if the player folds their hand and does not place a Play wager.
- Once the player-dealer's wager has been exhausted, the wagers not covered by the player-dealer will be returned to the players.
- Winning 6 Card Bonus Bet pay as follows:

6 Card Bonus Bet Payout Table

Hand	Payout
Royal Flush	1,000:1
Straight Flush	200:1
Four of a Kind	100:1
Full House	20:1
Flush	15:1
Straight	9:1
Three of a Kind	8:1

Collection Rates Schedule

For wagering limits and collection rates for the game of Three Card Poker 6 Card Bonus, please refer to the California Games Collection Rates (GEGR-001814).

RESOLUTION NO. 6572

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GARDENA, CALIFORNIA, MAKING THE LEGALLY REQUIRED FINDINGS TO RE-AUTHORIZE THE USE OF TELECONFERENCING IN ACCORDANCE WITH ASSEMBLY BILL 361 FOR MEETINGS OF THE GARDENA CITY COUNCIL AND OTHER COMMISSIONS, COMMITTEES AND BOARDS SUBJECT TO STATE OPEN MEETING LAWS

THE CITY COUNCIL OF THE CITY OF GARDENA DOES HEREBY RESOLVE AS FOLLOWS:

WHEREAS, international, national, state, and local health and governmental authorities are responding to an outbreak of respiratory disease caused by a novel coronavirus named "SARS-CoV-2," and the disease it causes has been named "coronavirus disease 2019," abbreviated COVID-19, ("COVID-19"); and

WHEREAS, on March 4, 2020, the Governor of the State of California, Gavin Newsom declared a State of Emergency in California to make additional resources available, formalize emergency actions already underway across multiple state agencies and departments, and help the State prepare for broader spread of COVID-19; and

WHEREAS, on March 4, 2020, the Los Angeles County Board of Supervisors and Department of Public Health declared a local emergency and local public health emergency to aid the regional healthcare and governmental community in responding to COVID-19; and

WHEREAS, on March 13, 2020, the President of the United States declared a National Emergency due to the continue spread and the effects of COVID-19; and

WHEREAS, on March 16, 2020, the City Manager, as the City's Director of Emergency Services, did proclaim the existence of a local emergency as authorized by Government Code section 8630 and Gardena Municipal Code Chapter 2.56.060; and

WHEREAS, the Governor's March 4, 2021, declaration of a state of emergency based on the COVID-19 pandemic remains in place; and

WHEREAS, the Proclamation of Existence of a Local Emergency issued by the City Manager, as the City's Director of Emergency Services on March 16, 2020, has been ratified by the City Council via Resolution 6441 on March 19, 2020 and reaffirmed by Resolution No. 6454 on May 12, 2020, Resolution No 6469 on July 14, 2020, Resolution No. 6478 on September 8, 2020, Resolution No. 6483 on October 27, 2020, Resolution

No. 6489 on December 15, 2020, Resolution No. 6495 on February 9, 2021, Resolution No. 6503 on March 23, 2021, Resolution No. 6512 on May 11, 2021, Resolution No. 6521 on June 22, 2021, Resolution No. 6526 on August 10, 2021, Resolution No. 6533 on October 26, 2021, Resolution No. 6538 on December 14, 2021, Resolution No. 6559 on February 8, 2022 and Resolution No. 6567 on March 22, 2022, with the result that the proclamation of a local emergency based on the COVID-19 pandemic remains in place; and

WHEREAS, Paragraph 3 of Executive Order N-29-20, issued by the Governor on March 17, 2020, among other things, suspended the Brown Act requirements for teleconferencing, provided that notice and accessibility requirements were met, the public was allowed to observe and address the legislative body at the meeting, and the legislative body had a procedure for receiving and swiftly resolving requests for reasonable accommodation for individuals with disabilities, specifying that this suspension would remain in place during the period in which state or local public health officials have imposed or recommended social distancing measures; and

WHEREAS, paragraph 42 of Executive Order N-08-21, issued by the Governor on June 11, 2021, withdrew, and replaced paragraph 3 of Executive Order N-29-20's suspension of the Brown Act requirements for teleconferencing with a similar suspension of those requirements that it specified would remain in place only through September 30, 2021; and

WHEREAS, on September 16, 2021, the Governor signed into law Assembly Bill No. 361 ("AB 361"), which, until January 1, 2024, authorizes a local agency to use teleconferencing without complying with the teleconferencing requirements imposed by the Brown Act when a legislative body of a local agency holds a meeting during a declared state of emergency, as that term is defined, when state or local health officials have imposed or recommended measures to promote social distancing or when the legislative body has determined that meeting in person would present imminent risks to the health or safety of attendees; and

WHEREAS, AB 361 requires legislative bodies that hold teleconferenced meetings under its abbreviated teleconferencing procedures to give notice of the meeting and post agendas, as described, to allow members of the public to access the meeting and address

the legislative body, to give notice of the means by which members of the public may access the meeting and offer public comment, including an opportunity for all persons to attend via a call-in option or an internet-based service option, and to conduct the meeting in a manner that protects the statutory and constitutional rights of the parties and the public appearing before the legislative body; and

WHEREAS, AB 361 requires the legislative body to take no further action on agenda items when there is a disruption which prevents the public agency from broadcasting the meeting, or in the event of a disruption within the local agency's control which prevents members of the public from offering public comments, until public access is restored; and

WHEREAS, AB 361 prohibits the legislative body from requiring public comments to be submitted in advance of the meeting and specifies that the legislative body must provide an opportunity for the public to address the legislative body and offer comment in real time; and

WHEREAS, AB 361 prohibits the legislative body from closing the public comment period and the opportunity to register to provide public comment, until the public comment period has elapsed or until a reasonable amount of time has elapsed, as specified; and

WHEREAS, when there is a continuing state of emergency, or when state or local officials have imposed or recommended measures to promote social distancing, AB 361 requires a legislative body to make specified findings not later than 30 days after the first teleconferenced meeting pursuant to these provisions, and to make those findings every 30 days thereafter, in order to continue to meet under AB 361's abbreviated teleconferencing procedures; and

WHEREAS, this body previously adopted a Resolution, which made the findings required by AB 361 to allow the City Council and all City Commissions, Committees and Boards to continue to meet under AB 361's abbreviated teleconferencing procedures, and authorized the City Council and all City Commissions, Committees and Boards to conduct meetings under AB 361's abbreviated teleconferencing procedures, without complying with the requirements set forth in Government Code Section 54953(b)(3), subject to compliance with the requirements set forth in Government Code Section 54953(e)(2); and

WHEREAS, in light of the continuing State and local declarations of emergency resulting from the COVID-19 pandemic, the continuing recommendation by Los Angeles County Public Health officials of measures to promote social distancing, and the imminent risks to the health of safety of attendees at meetings conducted in person, the City Council desires to again make the findings required by AB 361 to allow the City Council and all City Commissions, Committees and Boards to continue to meet under AB 361's abbreviated teleconferencing procedures.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF GARDENA, CALIFORNIA, DOES HEREBY FIND, DETERMINE, AND RESOLVE, AS FOLLOWS:

SECTION 1. The Recitals set forth above are true and correct and are incorporated into this Resolution by this reference.

SECTION 2. The City Council finds that the State and local declarations of emergency resulting from the COVID-19 pandemic remain in place, and that the state of emergency continues to directly impact the ability to meet safely in person.

SECTION 3. The City Council finds that local officials, namely, the Los Angeles County Department of Public Health, has continued to recommend measures to promote social distancing.

SECTION 4. As a result of the findings in Sections 1 through 3 above, the City Council and all City Commissions, Committees and Boards are authorized to conduct meetings under AB 361's abbreviated teleconferencing procedures, without complying with the requirements set forth in Government Code Section 54953(b)(3), subject to compliance with the requirements set forth in Government Code Section 54953(e)(2).

SECTION 5. If any section, subsection, sentence, clause, or phrase of this Resolution is for any reason held to be invalid or unconstitutional by a decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Resolution. The City Council hereby declares that it would have passed this Resolution and each and every section, subsection, sentence, clause, or phrase not declared invalid or unconstitutional without regard to whether any portion of this Resolution would be subsequently declared invalid or unconstitutional.

BE IT FURTHER RESOLVED that the City Clerk shall certify to the passage and adoption of this Resolution; shall cause the same to be entered among the original Resolutions of said City; and shall make a minute of the passage and adoption thereof in the records of the proceedings of the City Council of said City in the minutes of the meeting at which the same is passed and adopted.

Passed, approved, and adopted this 12th day of April 2022.

TASHA CERDA, Mayor

ATTEST:

MINA SEMENZA, City Clerk

APPROVED AS TO FORM:

CARMEN VASQUEZ, City Attorney

City of Gardena

Gardena City Council Meeting

AGENDA REPORT SUMMARY

Agenda Item No. 8.H
Section: CONSENT CALENDAR
Meeting Date: April 12, 2022

TO: THE HONORABLE MAYOR AND MEMBERS OF THE GARDENA CITY COUNCIL

AGENDA TITLE: Award engineering design services for the Budlong Avenue and Halldale Avenue Street Improvements Project, JN985, in the amount of $123,865 to Kreuzer Consulting Group.
CONTACT: PUBLIC WORKS

COUNCIL ACTION REQUIRED:

RECOMMENDATION AND STAFF SUMMARY:
The Budlong Avenue from El Segundo Blvd to Redondo Beach Blvd and Halldale Avenue from 135th St to El Segundo Blvd Street Improvements Project, JN 985, are part of the City's ongoing Capital Improvement Program (CIP) and have been identifies as deficient in the Pavement Management Program (PMP) report. The report rates conditions of various street segments throughout the City's limits and identifies necessary improvements.

The Budlong Avenue and Halldale Avenue street segments were both programed for improvements in the FY 2021 - 2022. Both are funded utilizing Local Measure M funds and due to the proximity of the segments, the design phases of the two segments have been combined as a cost saving strategy.

The design phase of the project identifies the various deficiencies within the project limits and produces plans, specifications and an engineering estimate for biding and construction purposes. Typical construction repairs include roadway repair and resurfacing, removal and replacement of deteriorated curb, gutter, sidewalk, driveways, and ADA accessible ramps, replacement of parkway trees and upgrades to traffic signals, roadway striping, raised pavement markings and signage.

Staff extended a Request for Proposal (RFP) for design services to four (4) prequalified on-call Civil Engineering Consultant firms approved by Council on August 19, 2019, and all four (4) firms responded to the request by the deadline of February 28, 2022.

After reviewing each proposal, staff is recommending that the City Council award the Engineering Design Services to Kreuzer Consulting Group (KCG) based on their qualifications, understanding of the project and balanced pricing for the type and size of the project. KCG has previously completed successful design projects and is familiar with the

City's standards and requirements. The fee proposals for the four (4) firms ranged from $90,780 to $213,544 and KCG submitted the second lowest fee in the amount of $123,865 which is considered reasonable.

The City's On-Call agreement requires any services exceeding $100,000 to be approved by the City Council. Kreuzer Consulting Group will augment the capacity of the Public Works Engineering Division in performing design engineering for the project.

Staff respectfully recommends that the City Council award a design services, utilizing the existing on-call master agreement to Kreuzer Consulting Group, for the Budlong Avenue and Halldale Avenue Street improvements, JN 985, in the amount of $123,865.

FINANCIAL IMPACT/COST:

Approved Budget Amount: $900,000
Funding Sources: Measure M

ATTACHMENTS:

RFP JN 0985 Budlong .pdf
KCG Budlong Halldale Proposal.pdf
Kreuzer Consulting Group - Signed .pdf

APPROVED:

_____
Clint Osorio, City Manager

DEPARTMENT of PUBLIC WORKS
1717 WEST 162nd STREET / GARDENA, CALIFORNIA 90247-3731 / WWW.CITYOFGARDENA.ORG / PHONE (310) 217-9568

Request for Proposal (RFP) to City's on-call consultants

Budlong Avenue from Redondo Beach Boulevard to El Segundo Boulevard & Halldale Avenue from 135th Street to El Segundo Blvd, JN 985

The scope of work for this project will include the following:

1. Project kickoff meeting and design progress meeting as necessary and design coordination.
2. Accumulation and review of existing plans and other available data. The City will provide the selected Consultant all as-built plans available.
3. Project survey. Survey sections not to exceed 50' shall include right-of-way, centerline, lot lines, curb and gutter, cross gutters, ADA ramps, surface features, appurtenances, sewer rim/inverts, storm drain rim/inverts, elevations, etc. Survey cost shall include location of street monuments pre-construction and reestablishment post-construction.
4. Street Refurbishment documents (evaluate pavement condition and reconstruct failed areas, grind and overlay or slurry seal as necessary).
5. Utility Coordination.
6. Removal and Replacement of Curb, Gutter, sidewalk and ADA accessible ramps as necessary.
7. Drive Approach reconstruction as necessary.
8. Construction Support to include submittal review, RFI & RFC response and preparation of as-built plans after the completion of construction.
9. PS&E submittals at 60%, 90% and 100% competition.

The City of Gardena programed this project under Measure M local funds with the intention of doing the following improvements subject to the recommendation of the consultant civil design engineer that will be chosen for the project:

A. Pavement restoration utilizing cold milling of existing pavement and a rubberized asphalt overlay; and slurry seal in areas where overlay is not required. Prior to construction of the overlay / slurry the existing pavement will be repaired as required. The consultant will make such

TASHA CERDA, Mayor / RODNEY G. TANAKA, Mayor Pro Tem
PAULETTE C. FRANCIS, Councilmember / MARK E. HENDERSON, Councilmember / ART KASKANIAN, Councilmember
MINA SEMENZA, City Clerk / J. INGRID TSUKIYAMA, City Treasurer / CLINT OSORIO, City Manager / CARMEN VASQUEZ, City Attorney

recommendations through field observations, review of existing pavement data and verification of pavement thickness.

B. Replace all loops within paving limits including those outside paving limits most likely to be damaged during the grinding and paving work.
C. Adjust Manholes and utility valve covers to grade
D. Retrofit all non-compliant ADA ramps within project limits.
E. Remove and replace Curb, Gutter and Sidewalk that are damaged by tree roots.
F. Remove parkway trees that are causing damage to Curb, Gutter and Sidewalk. Replace all trees removed with size and species specified by the city. All Empty tree wells shall likewise be replanted with trees.
G. Analyze and evaluate Battery Backup System (BBS) for city-maintained traffic-controlled intersections and pedestrian crossing push buttons at three (3) project intersections along the Budlong project limits. Make recommendations for upgrades. The pedestrian crossing push buttons will be ADA audible replacements.
H. Re stripe all pavement markings within project limit including those that will be damaged or dirtied outside the limits. All stripping and signages shall also be evaluated and any improvements recommended to the city.

City staff will work with Consultant Engineer to identify items involving E, F and G.

The consultant shall also perform any other work necessary to produce final set of construction plans to effect the above improvements.

Winning consultant shall also perform Bid Processing Support and Construction Observation during construction.

The City's CAD standard package and boiler plate Specifications will be attached in a follow up email for your reference once a response has been received stating your firms interest in providing a proposal.

The project's current budget is $900,000. The city intends to hire a contractor to construct per final plans and specifications for the above-mentioned improvements. A separate consultant will also be hired to perform Construction Management and Inspection.

Please feel free to call or email me (310.217.9631 or fsanchez@cityofgardena.org) for any inquiries regarding this project.

Kreuzer Consulting Group

Proposal

for

Design

of the

Budlong Avenue Street Improvements

from

Redondo Beach Boulevard to El Segundo Boulevard

and

Halldale Avenue Street Improvements

from 135th Street to El Segundo Boulevard

JN 985

Prepared for:

City of Gardena
General Services Department
Public Works Engineering
717 West 162nd Street
Gardena, CA 90247-3778

320 Main Street • Unit D • Seal Beach, CA 90740 • 714-656-0160

February 28, 2022

City of Gardena
Public Works Department
717 West 162nd Street
Gardena, CA 90247-3778

ATTN: Frank Sanchez
Associate Engineer

RE: Proposal for Design of the Budlong Avenue Street Improvements from Redondo Beach Boulevard to El Segundo Boulevard and Halldale Avenue from 135th Street to El Segundo Boulevard

Dear Mr. Sanchez,

The Kreuzer Consulting Group (KCG) appreciates the opportunity to submit this proposal for your consideration. We are very well qualified for this specific assignment have completed over 20 miles of street rehabilitation projects in Southern California over the last 10 years including two recent projects in the City of Gardena. We have organized this proposal as follows:

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We trust this proposal meets your expectations. If you have any questions or require any additional information please do not hesitate to call. Thank you for the opportunity to further serve the City of Gardena.

Respectfully Submitted,

Rick Kreuzer, P.E.
President

1.0 PROJECT OVERVIEW

The City of Gardena desires to complete street improvements on portions of Budlong Avenue and Halldale Avenue, summarized as follows:

Budlong Avenue

The proposed project limits on Budlong Avenue are from Redondo Beach Boulevard to El Segundo Boulevard, a distance of approximately 8,600 lineal feet.

Budlong Avenue is a 2 lane roadway with a 36 foot wide roadway situated within a 60 foot right of way. On-street parking is allowed for a vast majority of the project reach. Existing street crossfalls do not appear to be excessive and the current roadway condition ranges from fair to poor condition. The parkways on both sides of the roadway are 12 feet wide consisting of a 5 foot wide sidewalk separated by a curb adjacent 7 foot wide planter area. The existing sidewalk is generally in good condition but there are some areas that will require reconstruction. The curb and gutter on both sides of the street is also in fair condition but, like the sidewalk, has localized areas of disrepair that will require reconstruction. There are a multitude of driveway access points along this project reach that will also be evaluated for existing condition and ADA compliance. There are a total of twenty seven (27) access ramps along Budlong Avenue that will require reconstruction for ADA compliance, summarized as follows:

Intersection	Corner			
Budlong @	**SW**	**NW**	**NE**	**SE**
Redondo*	•	•	•	✓
Maine*	•	•	•	✓
150th	N/A	N/A	D	D
149th	N/A	N/A	D	D
146th	D	D	N/A	N/A
144th	D	D	N/A	N/A
Rosecrans*	✓	✓	✓	✓
141st (W)	•	•	N/A	N/A
141st (E)	N/A	N/A	✓	✓
141st (W)	•	•	N/A	N/A
140th (E)	N/A	N/A	✓	✓
139th (W)	•	•	N/A	N/A
138th (E)	N/A	N/A	D	D
Teton (E)	N/A	N/A	D	D
Van Buren (W)	•	•	N/A	N/A
135th *	•	•	•	•
134th (W)	•	•	N/A	N/A
133rd (E)	N/A	N/A	•	✓
132nd	•	•	•	•
130th (W)	•	•	N/A	N/A
129th (E)	N/A	N/A	D	D
El Segundo	✓	✓	✓	✓
	TOTAL = 27 Ramps			

• = *Reconstruction Required* ✓ = *Existing ADA Compliant Ramp* *D = Domes only required*

N/A = not applicable * = *Signalized Intersection*

The current conditions along Budlong Avenue are in various stages of fatigue and cracking including, but not limited to, block cracking, alligator cracking, rutting, and reflective cracking. Based upon the current types, age, extent of pavement distress, and the observed conditions the development of comprehensive rehabilitation or resurfacing recommendations could vary. The application of surface rehabilitation measures will be emphasized in order to provide the most cost effective street improvement strategy. Based on our initial review and analysis, the likely rehabilitation strategy will consist of localized reconstruction for severely distressed areas with a variable depth edge grind to match the existing lip of gutter and a 2 inch AC or ARHM overlay. Figure 1 below provides a graphical depiction of this strategy.

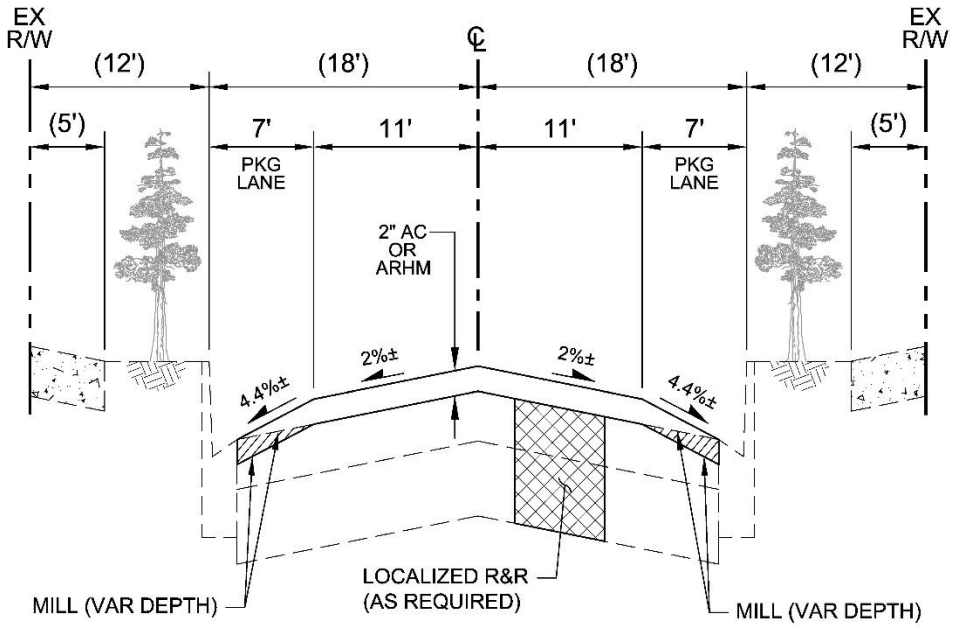


Figure 1 – Budlong Avenue Potential Strategy

The key to this strategy is to keep the parking lane slope at 5% or less as exceeding this slope will not allow parked car doors on the driver side to remain open. We will address this by completing cross sections at 50 foot intervals and addressing these crossfall issues.

This project will also include signal upgrades to existing traffic signals on Budlong Avenue at the Marine, Rosecrans and 135th street intersections. Our team is familiar with the signal work needed having completed a similar scope for the recently completed Western Avenue street improvement project for Gardena.

Based on the overview above and the pavement rehabilitation strategy in Figure 1, the initial estimated construction cost for the Budlong Avenue improvements will be $825K, summarized as follows:

	Figure 2				
	Budlong Ave. Preliminary Construction Budget				**Total**
Item	**Description**	**Unit**	**Unit Cost**	**Quantity**	**Cost**
1	Mobilization	LS	$35,000	1	$35,000
2	Remove and Replace Existing Roadway Structural Section (a)	SF	$5.00	13,760	$68,800
3	Remove and Replace Concrete Sidewalk/Driveway (b)	SF	$6.00	4,300	$25,800
4	Remove and Replace Curb and Gutter	LF	$40.00	860	$34,400
5	Variable Depth Cold Plane	SF	$0.30	86,000	$25,800
6	2" AC Overlay	SF	$1.15	275,200	$316,480
7	Access Ramp (Full Reconstruction)	EA	$3,500	27	$94,500
8	Access Ramp (Retrofit w/Truncated Domes)	EA	$750	14	$10,500
9	Utility Adjustments (Manholes & Valves)	LS	$20,000	1	$20,000
10	Traffic Signal Upgrades	EA	$15,000	3	$45,000
11	Pavement Striping	LS	$15,000	1	$15,000
12	Traffic Control	LS	$25,000	1	$25,000
	Subtototal Construction				**$716,280**
	Construction Contingency (15%)				$107,442
	TOTAL CONSTRUCTION				***$823,722***
(a)	*Assumes 5% of roadway area will require R&R*				
(b)	*Assumes 5% of sidewalk area will require R&R*				***USE $825K***
(c)	*Assumes 5% of curb & gutter will require R&R*				

Halldale Avenue

The proposed project limits on Halldale Avenue are from 135th Street to El Segundo Boulevard, a distance of approximately 2,600 lineal feet.

Halldale Avenue is a 2 lane roadway with a 60 foot wide roadway situated within an 80 foot right of way. On-street parking is allowed on both sides of the street with parallel curb side parking on the west side the street and painted angled parking on the east side. Existing street cross falls do not appear to be excessive and the pavement is generally in fair condition with a few areas of disrepair. The parkway on both sides consists of a 10 foot wide concrete sidewalk that, along with the existing curb and gutter, is generally in fair condition. There are a multitude of driveways along this project reach which will also be evaluated for condition and ADA compliance. There are ten (10) access ramps along Halldale that will require reconstruction for ADA compliance, summarized as follows:

Intersection	**Corner**			
Halldale @	**SW**	**NW**	**NE**	**SE**
135th	N/A	•	•	N/A
134th	•	•	•	•
132nd	✓	✓	✓	✓
130th	•	•	•	•
El Segundo	✓	✓	✓	✓
	TOTAL = 10 Ramps			

• = *Reconstruction Required* ✓ = *Existing ADA Compliant Ramp* *D = Domes – only required*

N/A = not applicable ** = Signalized Intersection*

The current conditions along Halldale Avenue are in various stages of fatigue and cracking including, but not limited to, block cracking, alligator cracking, rutting, and reflective cracking. Based upon the current types, age, extent of pavement distress, and the observed conditions the development of comprehensive rehabilitation or resurfacing recommendations could vary. The application of surface rehabilitation measures will be emphasized in order to provide the most cost effective street improvement strategy. Based on our initial review and analysis, the likely rehabilitation strategy will consist of localized reconstruction for severely distressed areas with a variable depth edge grind to match the existing lip of gutter and a 2 inch AC or ARHM overlay. Figure 3 below provides a graphical depiction of this strategy.

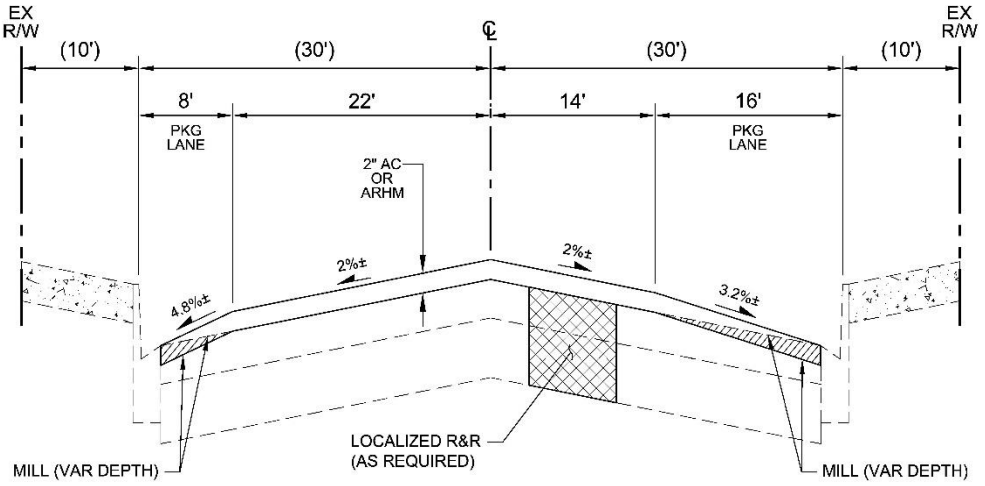


Figure 3 – Halldale Avenue Potential Strategy

The key to this strategy is to keep the parking lane slope at 5% or less as exceeding this slope will not allow parked car doors on the driver side to remain open. We will address this by completing cross sections at 50 foot intervals and addressing these cross fall issues.

Based upon the overview herein and the pavement rehabilitation strategy depicted on Figure 3 above, the initial estimated construction cost for the Halldale Avenue improvements will be $375 K, summarized as follows:

	Figure 4			**Total**	
	Halldale Ave. Preliminary Construction Budget				
Item	**Description**	**Unit**	**Unit Cost**	**Quantity**	**Cost**
1	Mobilization	LS	$15,000	1	$15,000
2	Remove and Replace Existing Roadway Structural Section (a)	SF	$5.00	7,280	$36,400
3	Remove and Replace Concrete Sidewalk/Driveway (b)	SF	$6.00	2,600	$15,600
4	Remove and Replace Curb and Gutter	LF	$40.00	260	$10,400
5	Variable Depth Cold Plane	SF	$0.30	52,000	$15,600
6	2" AC Overlay	SF	$1.15	145,600	$167,440
7	Access Ramp (Full Reconstruction)	EA	$3,500	10	$35,000
8	Utility Adjustments (Manholes & Valves)	LS	$8,000	1	$8,000
9	Pavement Striping	LS	$10,000	1	$10,000
10	Traffic Control	LS	$15,000	1	$15,000
	Subtotal Construction				**$328,440**
	Construction Contingency (15%)				$49,266
	TOTAL CONSTRUCTION				***$377,706***
(a)	*Assumes 5% of roadway area will require R&R*				
(b)	*Assumes 5% of sidewalk area will require R&R*				***USE $375K***
(c)	*Assumes 5% of curb & gutter will require R&R*				

Based on this initial review, we estimate the total construction cost will be approximately $1.2M consisting of $825K for Budlong Avenue and $375K for Halldale Avenue. The RFP states that the construction budget for the project is $900K which means that the project, as envisioned herein, is approximately 33% over budget. A potential strategy to reduce the cost to meet the budget would be to (a) reduce the AC overlay depth from 2" to 1.5" depth; (b) eliminate any street R&R digouts; and (c) defer the traffic signal upgrades. These changes would result in a total savings of approximately $300K, broken down as follows:

a) Revised overlay depth from 2" to 1.5" ..... $100 K
b) Eliminate Roadway R&R Digouts ..... $105 K
c) Defer Traffic Signal Upgrades ..... $45 K

Subtotal $260 K

Contingency (15%) $39 K

$299 K

These changes would get the project in line with the proposed $900K construction budget.

The following further highlights some of the key design elements that will need to be addressed for successful completion of the project:

- ***Street Improvement Strategy:*** KCG will complete a thorough field review and assessment of pavement conditions. We will put these options down on paper, along with corresponding construction estimates, for the City to review. We will not proceed with final design until there is a consensus on a preferred street remediation option for the project.

- ***ADA Compliance:*** As highlighted herein there are a total of 37 existing access ramps which do not comply with ADA requirements, some of which may require custom design details that cannot be adequately addressed with standard plans due to grade and/or tight space constraints. KCG will detail these ramp locations, as required, to insure a smooth construction process.

- ***Vertical Design:*** Profiles will not be required for the project. The vertical design for the project will be accomplished through a combination of plan view layouts and typical sections depicting all street section variations. These typical sections will be backed up by a comprehensive set of street cross sections which will not be part of the plan set but will serve to establish the vertical design of the street sections for the entire length of the project. Cross sections will be developed at 50' intervals and will depict all existing and proposed elevations and cross falls. Cross sections at key spots between the 50 foot intervals will also be developed, as needed, to support our vertical design efforts.

- ***Tight Specifications:*** Having worked on many street projects over the years, we understand the importance of setting out very strict guidelines and requirements for the contractor, particularly with respect to staging, traffic control and access requirements.

- ***Quality Assurance:*** Last but certainly not least is the delivery of a quality product. We believe that quality assurance is rooted in the philosophy by which you conduct your business. A true "quality" product comes from a firm's commitment to excel for their clients. Do they care about their product? ***KCG does***. Do they have experienced staff overseeing or doing the work every step of the way? ***KCG will***. Do they want the next job? KCG does. Are they staying out in front of the issues and "leading" the project? ***KCG will.*** Quality is a culture within a company…..you either have it or you don't. This philosophy is central to every project we undertake.

2.0 SCOPE OF WORK

Task 1 – Project Management and Administration: Under this task, KCG will oversee all aspects of the project and will attend all project related meetings, including a kickoff meeting with City Staff.

Task 2 – Data Collection: KCG shall collect and review all record information including, but not necessarily limited to, the following:

- As-built drawings
- Utility record drawings
- Right-of-way record maps (completed)
- Assessor's parcel maps (completed)
- Google Earth Aerial Images (completed)

Task 3 – Field Survey: The KCG survey crew will perform a topographic survey for Budlong Avenue and Halldale Avenue. The topographic survey will collect all topographic site features, surface utilities, access ramps and driveways. A combination of Trimble R8-4 GPS and Trimble S6 Robotic total station equipment will be used to collect cross sections at 50' intervals. In addition, detailed topographic survey and elevations will be required at all non-compliant access ramp locations along both streets. As summarized Section 1.0 of this proposal, there are a total of 37 ramps that will require reconstruction to meet ADA requirements.

As part of this task, we will also locate monuments that may be disturbed during construction activities. Based on our review, it is expected that up to 12 monuments may require reestablishment and we have prepared our fee accordingly. Pre-construction corner records will be prepared and filed with the county of Los Angeles and made available for city records. At the conclusion of construction activities, KCG will replace, damaged/destroyed survey monuments and file post-construction corner records with the County of Los Angeles. Post-construction corner record will also be prepared for monuments found to still be in good standing copies of which will be made available for City records.

All survey will be tied horizontally to the California State Plan coordinate system NAD83 (2017.50 Epoch). Vertically, the survey will be tied to NAVD 88 (1995 Adjustment) based upon observed Los Angeles County Public Works benchmarks. The topographic survey will be delivered in AutoCAD 2018 Civil 3D format with contours generated at 1-foot intervals.

Task 4 – Utility Investigation and Coordination: Utility coordination will be ongoing throughout the duration of this project and will consist of the following tasks:

- Obtain plans showing location and size of all utility lines and appurtenances within the project area.
- Plot utility lines on Base Map (Task 5).
- Cross check plotted locations above with field review information to insure that existing lines are shown in the proper location.
- Upon finalizing the proposed improvements, determine where potential utility conflicts exist and where utility modifications are warranted.
- Coordinate with affected utility companies regarding conflicts, relocations and improvements. Plans will be submitted for comment to each utility agency concurrent with all KCG submittals to the City for plan check.

Task 5 – Base Mapping: Utilizing information obtained under tasks 2, 3 and 4, KCG will develop project base maps at a scale of 1"=40'. All project features and utility lines and appurtenance will be depicted along with all street right of way and property lines.

Task 6 – Field Review: Conducting thorough field reviews on this project will be key. KCG believes very strongly in walking our projects in the field throughout the base mapping and design stages of a project to insure all design issues are considered. This task will be particularly important due to the variety of conditions which exist along both streets.

Task 7 – Preliminary Plans: Based upon the result of task 6, KCG will prepare a set of preliminary plans depicting the proposed street improvement options. These plans will also identify all access ramp improvements required to satisfy current ADA requirements and will delineate areas of damaged curb and gutter and sidewalk needing replacement. A construction cost estimate will be prepared for each strategy proposed. KCG will not proceed with Final PS&E until the City of Gardena approves a Preferred Improvement Strategy for the project.

Task 8 – Final PS&E: Based upon the results of Task 8, KCG will prepared final PS&E for the project. We envision the following plan set will be developed:

Description	Sheets	Scale
Title Sheet	1	NTS
Typical Sections	1	NTS
Street Improvement Plans	6	1"=40' double plan
Construction Details	6	1"=10'
Signing & Striping Plan	6	1"=40' double plan
Subtotal	**20**	**Sheets**
Cross Sections	37	1"=10'H;1"=1'V
Total	**57**	**Sheets**

Street Improvement Plans will depict all proposed street improvements. All areas of damaged curb, gutter and sidewalk will be noted for removal and reconstruction.

Most of the access ramp locations will be tagged with a construction note callout referencing a standard plan and/or referencing a detail for retrofitting the existing ramp with truncated domes. However, individual details will be prepared for all constrained ramp locations that will require customized design to meet ADA requirements.

Signing and Striping plans will be prepared at a scale of 1"=40' in double plan format.

Street cross sections will be prepared at 50 foot intervals showing existing and proposed roadway cross sections. Cross sections will not be part of the bid set but will be required for establishment of the vertical design and development of typical section sheets.

Specifications will be prepared in conformance with the City of Gardena's desired format and content. The specifications will cover all construction bid items and will address key issues specific to this project such as construction schedule; coordination with the trash haulers, local businesses, and residents; and traffic handling during construction.

Construction cost estimates will be prepared and provided with each submittal to the City.

KCG will submit PS&E at the 90% and 100% completion levels. KCG will attend any and all plan review meetings, as required, by the City of Gardena.

Upon City approval of the PS&E, KCG will provide one set of final plan mylars along with a digital version of the complete PS&E package.

Task 9 – Traffic Signal Evaluation: This task will be completed by our subconsultant, Hartzog and Crabill (HC) and will include the following subtasks:

Subtask 9.1 – Meeting Attendance: HC will start by attending a kick-off meeting with KCG and City staff, in order to review the project objectives, proposed evaluation checklist, and gather any copies of intersection data the City may have available. The available data requested will include existing traffic signal & signing/striping plans, as well as timing sheets, for each of the three (3) project intersections listed below:

1. Budlong Avenue and Marine Avenue
2. Budlong Avenue and Rosecrans Boulevard
3. Budlong Avenue and 135th Street

If the data is not readily available in office files, HCI will collect available data from each traffic signal cabinet.

Subtask 9.2 – Field Evaluation: HC staff will field-review the above three (3) project locations along Budlong Avenue in order to photograph and collect pertinent inventory data. The data will include the traffic signal controller cabinet, service cabinet, detector locations, as well as signal phasing. A simple signal inventory form will be completed for each intersection that lists applicable equipment, such as cabinet type, controller type, pedestrian signal indication type, pedestrian push-button type, internally illuminated street name sign (IISNS) or reflective street name sign (RSNS) type, safety lighting type/wattage, battery backup system (BBS) type, detectors, communication equipment, GPS time-clocks, and emergency vehicle preemption (EVP) equipment. The signal cabinet will be photographed with the door open to show all internal components.

Subtask 9.3 – Compilation of Data / Binder Preparation: All data gathered will be organized and placed into a 3-ring binder. Photos will be included for each traffic signal cabinet along with other applicable images. The final draft binder will be reviewed by senior level staff as a quality assurance measure before it is delivered for City review.

Subtask 9.4 – Provide Equipment Upgrade Recommendations: HC understands that the City's purpose for this evaluation is to identify traffic signal equipment deficiencies and potentially seek construction of equipment upgrades with the current street improvement project. HCI will provide KCG/City of Gardena with a summary letter accompanying the binder, which includes general recommendations on certain traffic signal equipment upgrades. The upgrades may include upgrading cabinet equipment, upgrading pedestrian signals with countdown pedestrian signals, upgrading pedestrian push buttons with ADA-compliant buttons or accessible pedestrian signals (APS), upgrading communications routers, and installing battery backup systems (BBS) and emergency vehicle preemption (EVP) systems..

Task 10 – Bidding and Construction Support: Under this task, KCG will respond to contractor questions during the bid period and will assist with RFI's during construction. We will also prepare as-built drawings upon construction completion.

3.0 SCHEDULE

The proposed schedule for the overall project is depicted graphically on Exhibit A on the following page. We have assumed a Notice to Proceed date of March 21, 2022 and City review periods of 2 weeks for each submittal. As shown on Exhibit A, we estimate a total of approximately 4.5 months will be required to complete the project as defined in our scope of work contained in Section 2.0 herein.

The following summarizes the anticipated major project milestones:

Notice to Proceed.....March 21, 2022

Concept Plan Completed/Approved.....April 29, 2022

90% PS&E Submittal .....June 3, 2022

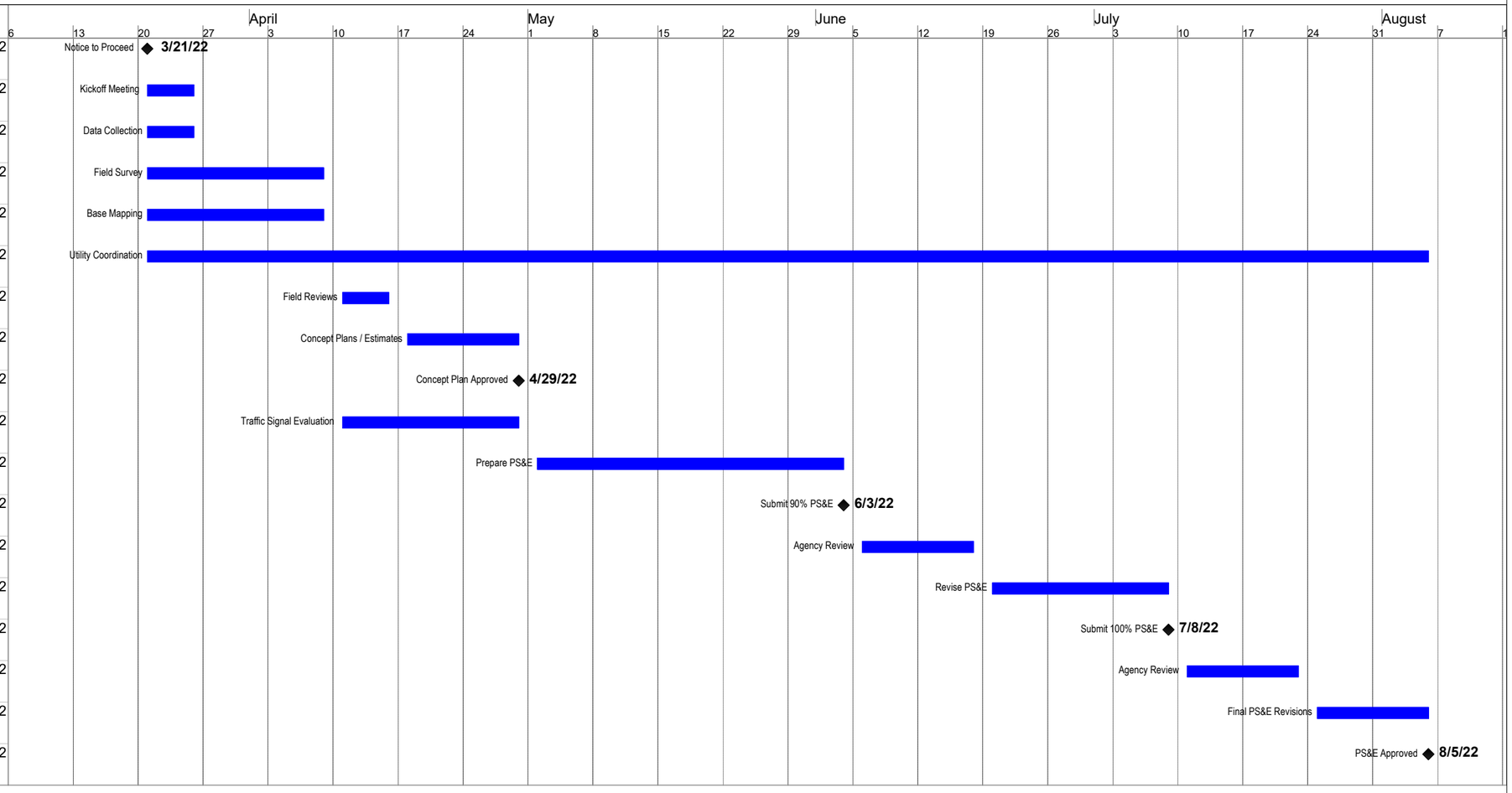
100% PS&E Submittal..... July 8, 2022

Submit Final PS&E/ Approval .....August 5, 2022

CITY OF GARDENA
BUDLONG AVENUE AND HALLDALE AVENUE IMPROVEMENTS

EXHIBIT A
PROJECT SCHEDULE

ID	Task Name	Duration	Start	Finish
1	Notice to Proceed	0 days	Mon 3/21/22	Mon 3/21/22
2	Kickoff Meeting	1 wk	Mon 3/21/22	Fri 3/25/22
3	Data Collection	1 wk	Mon 3/21/22	Fri 3/25/22
4	Field Survey	3 wks	Mon 3/21/22	Fri 4/8/22
5	Base Mapping	3 wks	Mon 3/21/22	Fri 4/8/22
6	Utility Coordination	20 wks	Mon 3/21/22	Fri 8/5/22
7	Field Reviews	1 wk	Mon 4/11/22	Fri 4/15/22
8	Concept Plans / Estimates	2 wks	Mon 4/18/22	Fri 4/29/22
9	Concept Plan Approved	0 wks	Fri 4/29/22	Fri 4/29/22
10	Traffic Signal Evaluation	3 wks	Mon 4/11/22	Fri 4/29/22
11	Prepare PS&E	5 wks	Mon 5/2/22	Fri 6/3/22
12	Submit 90% PS&E	0 days	Fri 6/3/22	Fri 6/3/22
13	Agency Review	2 wks	Mon 6/6/22	Fri 6/17/22
14	Revise PS&E	3 wks	Mon 6/20/22	Fri 7/8/22
15	Submit 100% PS&E	0 days	Fri 7/8/22	Fri 7/8/22
16	Agency Review	2 wks	Mon 7/11/22	Fri 7/22/22
17	Final PS&E Revisions	2 wks	Mon 7/25/22	Fri 8/5/22
18	PS&E Approved	0 days	Fri 8/5/22	Fri 8/5/22



4.0 FEE

Our proposed fee for the project is **$123,865**. A detailed breakdown of manhours and fees by task are depicted on Exhibit B below.

Exhibit B - Fee Schedule

Task	PROJECT MANAGER hr. $200	PROJECT ENGINEER hr. $135	SURVEY CREW hr. $255	LUMP SUM	TOTAL KCG COSTS	HARTZOG & CRABILL	TOTAL SUBCONSULTANT COST	TOTAL
1 Project Management, Administration and Meetings	24				$4,800			$4,800
2 Data Collection	2	8			$1,480			$1,480
3 Field Survey								
3.1 - Field Topographic Survey and Cross Sections	2	4	96		$25,420			$25,420
3.2 - Pre and Post Construction Monumentation (12 each)	1	2	40		$10,670			$10,670
4 Utility Research & Coordination	4	12			$2,420			$2,420
5 Base Mapping	4	16			$2,960			$2,960
6 Field Reviews	8	8			$2,680			$2,680
7 Concept Plans	12	24			$5,640			$5,640
8 Final PS & E								
-Title Sheet (1)	2	6			$1,210			$1,210
-Typical Sections (1)	8	16			$3,760			$3,760
-Street Improvement Plans (6)	24	72			$14,520			$14,520
-Construction Details (6)	12	48			$8,880			$8,880
-Signing & Striping Plans (6)	4	18			$3,230			$3,230
-Cross Sections (37)	37	111			$22,385			$22,385
-Specifications	12	4			$2,940			$2,940
-Construction Cost Estimate	2	10			$1,750			$1,750
9 Traffic Signal Evaluation	2				$400	$4,000	$4,000	$4,400
10 Bidding and Construction Support	8	12			$3,220			$3,220
Reimbursables				$1,500	$1,500			$1,500
Manhour Totals	168	371	136					
Fee Totals	$33,600	$50,085	$34,680	$1,500	$119,865	$4,000	$4,000	**$123,865**

5.0 QUALIFICATIONS

Mr. Kreuzer, PE will be the Project Manager for the subject project. He has over 38 years of professional experience and has managed over 40 street rehabilitation projects totaling more than 35 miles in length for Southern California municipalities over the last decade, including recent arterial and residential street rehabilitation projects in the City of Gardena.

David Jarvi, PE will be the Project Engineer for the project. He has been Mr. Kreuzer's right hand Project Engineer for the last 20 years. He has significant experience delivering street rehabilitation design projects in Southern California.

Over the last 10 years, this KCG team has completed final design for the following street rehabilitation projects:

Western Avenue ..... City of Gardena
Residential Street Rehabilitations..... City of Gardena
Duarte Road ..... City of Arcadia
Jeffrey Road ..... City of Irvine
Puente Road ..... City of Brea
Balboa Road ..... City of Newport Beach
Ball Road ..... City of Anaheim
State College Boulevard ..... City of Brea
Lambert Road ..... City of Brea
Main Street ..... City of Tustin
Newport Avenue ..... City of Tustin
Kraemer Boulevard ..... City of Brea
Huntington Drive ..... City of Arcadia
Del Amo Boulevard ..... City of Long Beach
Glendora Avenue ..... City of West Covina
Santa Clara Street ..... City of Arcadia
Santa Anita Street ..... City of Arcadia
Avenida Presidente ..... City of San Clemente
Avenida Palizada ..... City of San Clemente

CITY OF GARDENA
CONSULTANT AGREEMENT
WITH
KREUZER CONSULTING GROUP

This Agreement is entered into this 9th day of September, 2019, by and between the City of Gardena, a municipal corporation ("City") and Kreuzer Consulting Group, ("Consultant"). Based on the mutual promises and covenants contained herein, the Parties hereto agree as follows.

1. **RECITALS.** This Agreement is made and entered into with respect to the following facts:

   A. City is desirous of obtaining the as-needed professional on-call services in the following category or categories:

   - Civil Engineering Design
   - ~~Construction Management and Inspection~~
   - ~~Traffic Signal/Engineering~~
   - ~~Architecture and Landscape Architecture~~

   B. Consultant is qualified by virtue of experience, training, education and expertise to accomplish these services.

   C. City has determined that the public interest, convenience and necessity require the execution of this Agreement.

2. **TERM OF AGREEMENT.** This Agreement shall commence upon execution and shall continue until September 9th, 2022 (3-yr term), with an option to extend for one additional two-year at City's description, unless earlier terminated as provided below.

   A. Either party may terminate this Agreement, without cause, by giving thirty (30) days written notice to the other party.

   B. City may terminate this Agreement for cause by giving thirty (30) days written notice to Consultant. Lack of funding shall be considered cause for terminating this Agreement.

   C. Upon termination, Consultant shall: (1) promptly discontinue all services affected, unless the notice directs otherwise; and (2) promptly deliver to City all data, reports, estimates, summaries, and such other information and materials as may have been accumulated or prepared to date by Consultant

in performing the services under this Agreement, whether completed or in progress. Consultant shall be entitled to reasonable compensation for the services it performs up to the date of termination; however, if the Agreement is terminated by City for cause, other than lack of funding, or by Consultant without cause, City shall be entitled to deduct any costs it incurs payment to another consultant for Services, which duplicate Consultant's Services to date. In the event of termination for other than cause attributable to Consultant, Consultant shall be deemed released for liability for any work assigned but not completed as of the effective date of termination.

3. **SERVICES.** Consultant agrees to provide the services as specified in the City's Request for Qualifications ("RFQ"), **Exhibit A**, attached hereto and incorporated herein by this reference ("services"). Unless otherwise specified herein, Consultant shall, at its sole cost and expense, furnish all facilities, equipment and personnel which may be required for providing the Services pursuant to this Agreement.

4. **ADDITIONAL SERVICES.** If City determines that additional services are required to be provided by Consultant in addition to the Services set forth above, City shall authorize Consultant to perform such additional services in writing ("Additional Services"). Such Additional Services shall be specifically described and approved by City in writing prior to the performance thereof. Consultant shall be compensated for such Additional Services in accordance with the agreed upon charges therefore as set forth in the written authorization. No compensation shall be paid to Consultant for Additional Services which are not specifically approved by City in writing.

5. **CONSULTANT'S PROPOSAL.** This Agreement shall include Consultant's Response to City's RFQ, which is incorporated herein as **Exhibit B**. In the event of any inconsistency between the terms of the proposal and this Agreement, it shall be resolved by giving precedence in the following order: (a) The Agreement (b) Exhibit A (c) Exhibit B.

6. **PERSONNEL.** City has relied upon the professional training and ability of Consultant to perform the services hereunder as a material inducement to enter into this Agreement. Consultant shall provide properly skilled professional and technical personnel to perform all services under this Agreement. In the event that City, in its sole discretion, at any time during the term of this Agreement, desires the removal of any person or persons assigned by Consultant to perform Services pursuant to this Agreement, Consultant shall remove any such person immediately upon receiving notice from City. During the term of this Agreement, Consultant shall provide the services specified in the proposal. Such individual(s) shall not be replaced without the prior written consent of City.

7. **PERFORMANCE BY CONSULTANT.** Consultant shall maintain or exceed the level of competency presently maintained by other similar practitioners in the State of California, for professional and technical soundness, accuracy and adequacy of all work, advice and material furnished under this Agreement.

8. **TIMING OF PERFORMANCE.** Time is of the essence with respect to Consultant's performance of the Services required by this Agreement. Consultant shall diligently and timely pursue and complete the performance of the Services required of it by this Agreement. City, in its sole discretion, may extend the time for performance of any Service.

9. **MONITORING OF CONSULTANT.** Consultant's performance of this Agreement shall be continuously monitored by the Public Works Director/City Engineer. Consultant shall be notified in writing of any deficiency in the performance of this Agreement in a timely manner by the Public Works Director/City Engineer. Consultant shall have five (5) business days from receipt of the notification to cure any deficiency to the reasonable satisfaction of the Public Works Director/City Engineer. All costs for such corrections shall be borne by Consultant and shall not increase Consultant's fees due hereunder. Should the Public Works Director/City Engineer determine that Consultant has not performed its obligation as stated in this Agreement in a satisfactory manner, City may terminate this Agreement for cause as specified in Section 2 above.

10. **COMPENSATION.** Consultant shall be compensated as follows:

    A. Amount. City shall compensate Consultant for services rendered pursuant to this Agreement at the rate specified in the fee schedule set forth in Exhibit B. Consultant's total compensation shall be based on each proposal the Consultant submits and the City accepts for the services requested on a particular project.

    B. Invoices and Payment. Payment by City to Consultant shall be made upon receipt and approval of invoices for Services rendered. In order for payment to be made, Consultant's invoice must include an itemization as to the services rendered, date(s) of service, direct and/or subcontract costs and be submitted on an official letterhead or invoice with Consultant's name, address, and telephone number referenced. City shall review the invoices to determine whether services performed, and documents submitted are consistent with this Agreement. Payment shall be made within thirty (30) days following receipt of the invoice or City shall provide Consultant with a written statement objecting to the charges and stating the reasons therefor. Payment by City under this Agreement shall not be deemed a waiver of defects, even if such defects were known to City at the time of payment.

C. Expenses. Consultant shall not be entitled to any additional compensation for expenses.

11. **INSURANCE REQUIREMENTS.**

A. Commencement of Work. Consultant shall not commence work under this Agreement until it has obtained City approved insurance. Before beginning work hereunder, during the entire period of this Agreement, for any extensions hereto, and for periods after the end of this Agreement as may be indicated below, Consultant must have and maintain in place all of the insurance coverages required in this Section. Consultant's insurance shall comply with all items specified by this Agreement. Any subcontractors shall be subject to all of the requirements of this Section and Consultant shall be responsible to obtain evidence of insurance from each subcontractor and provide it to City before the subcontractor commences work. Alternatively, Consultant's insurance may cover all subcontractors.

B. Insurance Company Requirements. All insurance policies used to satisfy the requirements imposed hereunder shall be issued by insurers admitted to do business in the State of California. Insurers shall have a current Best's rating of not less than A-:VII, unless otherwise approved by City.

C. Coverages, Limits and Policy Requirements. Consultant shall maintain the types of coverages and limits indicated below:

1. Commercial General Liability Insurance - a policy for occurrence coverage for bodily injury, personal injury and property damage, including all coverages provided by and to the extent afforded by Insurance Services Office Form CG 2010 ed. 10/93 or 11/85, with no special limitations affecting City. The limit for all coverages under this policy shall be no less than one million dollars ($1,000,000.00) per occurrence.

2. Commercial Auto Liability Insurance - a policy including all coverages provided by and to the extent afforded by Insurance Services Office form CA 0001, ed. 12/93, including Symbol 1 (any auto) with no special limitations affecting City. The limit for bodily injury and property damage liability shall be no less than one million dollars ($1,000,000.00) per accident.

3. Policy Requirements. The policies set forth above shall comply with the following, as evidenced by the policies or endorsements to the policies:

a. The City, its appointed and elected officers, employees, agents and volunteers shall be added as additional insured to the policy.

b. The insurer shall agree to provide City with thirty (30) days prior written notice, return receipt requested, of any cancellation, non-renewal or material change in coverage.

c. For any claims with respect to the Services covered by this Agreement, Consultant's insurance coverage shall be primary insurance as respects the City, its elected and appointed officers, employees, agents and volunteers. Any insurance or self-insurance maintained by the City, its elected and appointed officers, employees, agents and volunteers shall be excess of Consultant's insurance and shall not contribute with it.

4. Worker's Compensation and Employers Liability Insurance - a policy which meets all statutory benefit requirements of the Labor Code, or other applicable law, of the State of California. The minimum coverage limits for said insurance shall be no less than one million dollars per claim. The policy shall be issued by an insurance company which is admitted to do business in the State of California and shall contain a clause that the policy may not be canceled without thirty (30) days prior written notice, return receipt requested, is mailed to City.

5. Professional Errors & Omissions - a policy with minimum limits of one million dollars ($1,000,000.00) per claim and aggregate. This policy shall be issued by an insurance company which is admitted to do business in the State of California and shall contain a clause that the policy may not be canceled until thirty (30) days written notice, return receipt requested, is mailed to City.

D. Additional Requirements. The procuring of such required policies of insurance shall not be construed to limit Consultant's liability hereunder nor to fulfill the indemnification provisions and requirements of this Agreement. There shall be no recourse against City for payment of premiums or other amounts with respect thereto. City shall notify Consultant in writing of changes in the insurance requirements. If Consultant does not deposit copies of acceptable insurance policies or endorsements with City incorporating such changes within sixty (60) days of receipt of such notice, Consultant shall be deemed in default hereunder.

E. Deductibles. Any deductible or self-insured retentions over $25,000 per occurrence must be declared to and approved by City. Any deductible exceeding an amount acceptable to City shall be subject to the following changes: either the insurer shall eliminate or reduce such deductibles or self-insured retentions with respect to City, its officers, employees, agents and volunteers (with additional premium, if any, to be paid by Consultant); or Consultant shall provide satisfactory financial guarantee for payment of losses and related investigations, claim administration and defense expenses.

F. Verification of Compliance. Consultant shall furnish City with original policies or certificates and endorsements effecting coverage required by this Agreement. The endorsements are to be signed by a person authorized by the insurer to bind coverage on its behalf. All endorsements are to be received and approved by City before work commences. Not less than fifteen (15) days prior to the expiration date of any policy of insurance required by this Agreement, Consultant shall deliver to City a binder or certificate of insurance with respect to each renewal policy, bearing a notation evidencing payment of the premium therefor, or accompanied by other proof of payment satisfactory to City. Consultant shall provide full copies of any requested policies to City within three (3) days of any such request by City.

G. Termination for Lack of Required Coverage. If Consultant, for any reason, fails to have in place, at all times during the term of this Agreement, including any extension hereto, all required insurance and coverage, City may immediately obtain such coverage at Consultant's expense and/or terminate this Agreement.

12. **INDEMNIFICATION.** Consultant shall defend, indemnify and hold harmless City, its officers, agents, employees and volunteers from any and all claims, liabilities, expenses, or consequential damages of any nature, including attorney's fees proximately resulting from any act or any omission to act where a duty to act exists on the part of Consultant, its agents, officers, employees, subcontractors, or independent contractors hired by Consultant, in the performance of its obligations pursuant to this Agreement. This indemnity shall apply to all claims and liability regardless of whether any insurance policies are applicable. The policy limits do not act as a limitation upon the amount of indemnification to be provided by Consultant. This indemnity shall not apply if the claim arises out of the sole negligence or willful misconduct of City, its officers, agents, employees or volunteers.

13. **NON-LIABILITY OF CITY.** No official, employee, agent or volunteer of City shall be personally liable for any default or liability under this Agreement.

14. **OWNERSHIP OF WORK PRODUCT.** All documents or other information created, developed, or received by Consultant shall, for purposes of copyright law, be deemed works made for hire for City by Consultant as City employee(s) for hire and shall be the sole property of City. Consultant shall provide City with copies of these items upon demand, and in any event, upon termination or expiration of this Agreement.

15. **WAIVER OR BREACH.** No waiver of any provision of this Agreement shall be deemed, or shall constitute, a waiver of any other provision, whether or not similar, nor shall any such waiver constitute a continuing or subsequent waiver of the same provision. No waiver shall be binding, unless executed in writing by the party making the waiver.

16. **INDEPENDENT CONTRACTOR.** Consultant is and shall at all times remain as to City a wholly independent contractor and shall not obtain rights to any benefits which accrue to City employees. Neither City nor its officers, employees or agents shall have control over the conduct of Consultant or any of its officers, employees or agents, except as expressly set forth herein. Consultant shall not at any time or in any manner represent that it or any of its officers, employees or agents are in any manner officers, employees or agents of City.

17. **COMPLIANCE WITH LAWS.** Consultant shall comply with all applicable laws, ordinances, codes and regulations of the federal, state, and local government.

18. **CONFLICT OF INTEREST AND REPORTING.** Consultant shall at all times avoid conflicts of interest or the appearance of a conflict of interest in the performance of this Agreement. If required, Consultant shall comply with the City's Conflict of Interest reporting requirements. Consultant understands that pursuant to Gardena Municipal Code sections 2.24.020H and 2.24.025G, it is forbidden to make any contribution to a candidate or committee of a candidate for a municipal office of the City, or to an officeholder, until the completion of services to be performed under this Agreement.

19. **EMPLOYMENT OF ALIENS.** Consultant warrants it fully complies with all laws regarding employment of aliens and others, and that all of its employees performing services hereunder meet the citizenship or alien status requirements contained in federal and state statutes and regulations.

20. **NON-DISCRIMINATION.** Consultant covenants there shall be no discrimination based upon race, color, creed, religion, sex, marital status, age, handicap, national origin, or ancestry, in activity pursuant to this Agreement.

21. **FORCE MAJEURE.** Consultant shall not be in default for failing to perform in accordance with the terms of this Agreement if such failure arises out of causes beyond the control and without the fault or negligence of Consultant.

22. **ASSIGNMENT.** Consultant shall not assign or subcontract any of its obligations pursuant to this Agreement, nor any part thereof, except for any monies due the Consultant, without the prior written consent of City. Such consent by City shall not be unreasonably withheld. Consultant shall be fully responsible to City for all work performed by assignees or subcontractors.

23. **NOTICES.** Whenever it shall be necessary for either party to serve notice on the other respecting this Agreement, such notice shall be in writing and shall be given by personal service upon the party to be notified, or by deposit of the same in the

custody of the United States Postal Service, postage prepaid, addressed to the party to be notified as follows:

To City:
City of Gardena
1700 West 162nd Street
Gardena, California 90247
Attn: Kevin Kwak
Principal Civil Engineer

To Consultant:
Kreuzer Consulting Group
320 Main Street, Unit D
Seal Beach CA, 90740
Attn: Rick Kreuzer
President

Notices shall be deemed to have been served upon the date of personal service or three (3) working days after the same has been deposited in the United States Postal Service.

24. **LICENSED STATUS.** Consultant shall, at all times during the term of this Agreement, have in full force and effect, all licenses required of it by law, including, but not limited to, a City Business License.

25. **FAMILIARITY WITH WORK.** By executing this Agreement, Consultant warrants that: (1) it has investigated the work to be performed; (2) it has investigated the site of the work and is aware of all conditions there; and (3) it understands the difficulties and restrictions of the work under this Agreement. Should Consultant discover any conditions materially differing from those inherent in the work or as represented by City, it shall immediately inform City and shall not proceed, except at Consultant's own risk, until written instructions are received from City.

26. **PUBLIC RECORD.** This Agreement is a public record of the City.

27. **MAINTENANCE OF RECORDS.** Consultant shall maintain for a minimum of three (3) years from the completion date of the Services under this Agreement, the following records:

A. All accounts and records, including personnel, property and financial, adequate to identify and account for all costs pertaining to this Agreement and assume proper accounting for all funds;

B. Records which establish that Consultant and all subcontractors who render Services under this Agreement are in full compliance with the requirements of this Agreement and all federal, state and local laws and regulations;

C. Any additional records deemed necessary by City to assume verification of full compliance with this Agreement.

D. The aforementioned records shall be made available to City or any authorized representative thereof upon request for audit.

28. **BINDING EFFECT.** This Agreement shall be binding upon the heirs, executors, administrators, successors and assigns of the parties hereto.

29. **GOVERNING LAW.** This Agreement shall be interpreted and construed according to the laws of the State of California. Any action commenced about this Agreement shall be filed in the appropriate branch of the Los Angeles County Municipal or Superior Court.

30. **SECTION HEADINGS.** The Section headings used in this Agreement are for reference purposes only and shall have no binding effect.

31. **AUTHORITY TO EXECUTE.** The persons executing this Agreement on behalf of the parties warrant that they are duly authorized to execute this Agreement.

32. **ATTORNEY'S FEES.** In the event that legal action is necessary to enforce the provisions of this Agreement, or to declare the rights of the parties hereunder, the parties agree that the prevailing party in the legal action shall be entitled to recover attorney's fees and court costs from the opposing party.

33. **PREPARATION OF AGREEMENT.** Should interpretation of this Agreement, or any portion thereof, be necessary, it is deemed that this Agreement was prepared by the parties jointly and equally and shall not be interpreted against either party on the ground that one party prepared the Agreement or caused it to be prepared.

34. **SEVERABILITY.** If any term or portion of this Agreement is held to be invalid, illegal, or otherwise unenforceable by a court of competent jurisdiction, the remaining provisions of this Agreement shall continue in full force and effect.

35. **ENTIRE AGREEMENT.** This Agreement contains the entire understanding between City and Consultant. Any prior agreement, promises, negotiations or representations not expressly set forth herein are of no force or effect. Subsequent modifications to this Agreement shall be effective only if in writing and signed by both parties. If any term, condition or covenant of this Agreement is held by a court of competent jurisdiction to be invalid, void or unenforceable, the remaining provisions of this Agreement shall be valid and binding.

IN WITNESS WHEREOF, City and Consultant have executed this Agreement as of the date first hereinabove set forth.

CITY OF GARDENA

Ed Medrano, City Manager

ATTEST:

Becky Romero
for City Clerk

APPROVED AS TO FORM:

City Attorney

CONSULTANT

Rick Kreuzer, PE
Name

Sign:
Title: President

City of Gardena

Gardena City Council Meeting

AGENDA REPORT SUMMARY

Agenda Item No. 8.I
Section: CONSENT CALENDAR
Meeting Date: April 12, 2022

TO: THE HONORABLE MAYOR AND MEMBERS OF THE GARDENA CITY COUNCIL

AGENDA TITLE: Approve Contract Increases with MACRO, a Division of Ross & Baruzzini for GTrans Scheduling and Operations Management Project and GTrans Real-Time Information Deployment Project (GRID)
CONTACT: TRANSPORTATION

COUNCIL ACTION REQUIRED:

RECOMMENDATION AND STAFF SUMMARY:
The City of Gardena's GTrans is in the middle of deploying two major technology projects: The GTrans' Real-Time Information Deployment Project (GRID), which includes Computer Aided Dispatch/Automated Vehicle Location (CAD/AVL) Dispatching and Monitoring System, Real-Time Next Bus Arrival Information System, Bus Signal Priority Integration, Vehicle Health Monitoring Solution, and an ITS Data Management/Reporting Solution; and the GTrans Scheduling, Operations Management and Payroll Integration system project that involves the development and implementation of new software to schedule transit service, manage operator bidding, dispatch operator assignments and provide accurate timekeeping functions.

In support of these projects, City Council approved two contracts in 2019 with MACRO, a Division of Ross & Baruzzini to provide professional project management services, one contract for each project. GTrans has been very pleased with the quality of project management services and technical expertise provided by this firm. Both projects have experienced delays due to their complicated nature, coupled with the difficulty of juggling these projects during the COVID-19 pandemic. In order to ensure that each project is sufficiently funded to accomplish full and successful deployment, both project management contracts with MACRO require additional funding for completion.

GTrans Scheduling, Operations Management and Payroll Integration Project
The original value of the project management contract with MACRO was $134,400, and due to the delay of this project, GTrans now requires additional funding to ensure MACRO is able to complete their originally proposed project management services throughout the deployment and testing of the software. In addition there are some minor added tasks that will be performed. The proposal to complete the project is valued at $32,111, for a new total contract value of $166,511. GTrans has reviewed proposed hours and rates and determined that they are fair and reasonable.

GTrans Real-Time Information Deployment Project (GRID) Project

The original value of the project management contract with MACRO was $155,583. This project requires additional scope to complete the project which includes expanded project support prior to and following project sign off, as well as system and procedures review support. The additional additional scope proposal adds $46,119 to the original total, for a new contract total of $201,702. GTrans has reviewed proposed hours and rates and determined that they are fair and reasonable.

Therefore staff recommends Council:

1. Approve increase of $32,111 in contract total with MACRO, a Division of Ross & Baruzzini for a new total of $166,511 for the GTrans Scheduling, Operations Management and Payroll Integration Project
2. Approve increase of $46,119 in contract total with MACRO, a Division of Ross & Baruzzini for a new total of $201,702 for the GTrans Real-Time Information Deployment Project (GRID)

FINANCIAL IMPACT/COST:

Funding for project management services is provided by existing local grant funds available to GTrans and specifically designated for these projects. There is no impact to the General Fund.

ATTACHMENTS:

GTrans Proposal 20220406 R002.pdf
GTrans Cost Estimate to Complete SOMPIS.pdf
GTrans Cost Estimate to Complete GRID.pdf
10-22-2019 MACRO Agmt-1st Amendment EXECUTED.pdf
12102019 Council Meeting - MACRO Contract.pdf
12-10-2019 2nd Amendment to Consultant Agmt - MACRO Fully Executed.pdf

APPROVED:

_____

Clint Osorio, City Manager

CITY OF GARDENA

STATEMENT OF PROPOSAL

Professional Consulting Services for

GTrans Real-Time Information Deployment (GRID) Project

and

Scheduling, Operations Management, and Payroll integration Project

March 2, 2022

Ross & Baruzzini

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CHAPTER 2 Qualifications and Experience of the Firm

CHAPTER 3 Qualifications and Experience of Proposed Staff

CHAPTER 4 Project Management Approach

CHAPTER 5 Work Plan Implementation oversight for GTrans Real-Time Information Deployment (GRID) Project and the Workplan Scheduling, Operations Management, and Payroll integration (OPS) Project.

CHAPTER 6 Cost Proposal

Chapter 1 Company and General Information

Name	Ross & Baruzzini
Address	6 S. Old Orchard Avenue. St. Louis, Missouri, 63119
Primary Contact	Eric Keijzer, Senior Consultant
Telephone/E-mail	(267) 218-5506, ekeijzer@rossbar.com
Year Founded	Ross & Baruzzini: 1953
Firm Size	Ross & Baruzzini employs nearly 400 design professionals and subject matter experts across the United States including regional offices in Atlanta, Chicago, Dallas, Denver, New Haven, Houston, Indianapolis, Kansas City, Miami, New York, Northbrook, Philadelphia, Seattle, and Vancouver.

Chapter 2 Qualifications and Experience of the Firm

About the Firm

Founded in 1953, Ross & Baruzzini has been consistently ranked as one of the premier consulting engineering companies in the world, most recently ranked among the top 500 design and construction firms in Engineering News-Record and in Building Design & Construction's top 40 engineering companies in the United States. With a history of innovation spanning 69 years, the firm approaches each new project with a detailed understanding of business processes, facilities and technology requirements to ensure that personnel, technology, and process are fully integrated for maximum efficiency and effectiveness.

Organizational Structure: Corporation
Size of Firm: Large Business
Years in Business: 69
Name of Owners & Principals: Craig Toder, William Overturf III
Number of Staff: 400+

Ross & Baruzzini offers full-service consulting services to rail and bus clients who want a totally integrated consulting and design solution. By consistently employing structured system engineering processes, modern project management techniques and real-world, hands-on experience, Ross & Baruzzini delivers the value-added knowledge resource clients seek.

Ross & Baruzzini is an independent, full-service, technology, system engineering, and project management consultancy firm proudly serving public mass transit providers and public safety agencies, and public utilities. Ross & Baruzzini offers a strong track record of assisting transit agencies throughout North America and Australia to plan for, procure, and deploy, the widest spectrum of Intelligent Transportation Systems (ITS) for fixed-route bus and paratransit services, such as:

- CAD/AVL systems
- Real-time Passenger Information (APIS)
- Automatic Passenger Counters (APC)
- Private land mobile radio (voice & data)
- Public cellular
- Bus & Paratransit scheduling software
- In-vehicle camera systems
- Interactive Voice Response (IVR)
- Audio/visual annunciators
- Mobile Wi-Fi access
- On-board displays/terminals
- Destination signage
- Automatic vehicle monitoring (AVM)
- Facility security/CCTV
- Paratransit client reservation systems
- Maintenance and asset tracking software
- Vehicle diagnostic monitoring
- Cyber Security

Since its inception, Ross & Baruzzini staff have developed an extensive knowledge base designing and managing the implementation of major subsystems found in a variety of public transit fleet management and communications systems deployed through the practical application of over 45 ITS assignments. Ross & Baruzzini proven system engineering principles and best-practices will be employed to achieve the City of Gardena's (GTrans) system objectives.

Availability of Project Manager

Ross & Baruzzini proposed Project Manager, Eric Keijzer, PMP, has supported several projects in California, including projects with GTrans, SFMTA, and LA Metro. Eric can easily shift his work schedule to be accessible during regular GTrans business hours. Of course, he would also be available outside these regular business hours if the need arises.

Ross & Baruzzini Differentiators

Ross & Baruzzini has been providing consulting services for the planning, specification, and implementation of ITS systems for fixed-route bus service for over 30 years. Many of the earliest ITS systems implemented in the United States were implemented with Ross & Baruzzini assistance.

Part of Ross & Baruzzini 's core business is also its radio and communications group, comprised of an experienced consulting team of established public transit/ public safety radio communications experts. These experts perform system analysis,

specification development, design, and implementation of voice and data Land Mobile Radio and Microwave systems nation-wide. These resources are available for assistance on the various communications needs of this project.

Ross & Baruzzini has successfully completed ITS consulting assignments for a large number and wide range of transit agencies. As shown in the table of similar clients below, the functions/systems GTrans intends to procure, and the consulting services GTrans has specified in it request closely align with the functions and services provided by Ross & Baruzzini on the majority of ITS projects.

A primary advantage of selecting Ross & Baruzzini is the wealth of experience Ross & Baruzzini brings from having done it before.

We are not just planners and/or designers, we are doers.

Ross & Baruzzini 's culture is such that the company is very stable. Many of the same engineers that implemented the early systems are still at Ross & Baruzzini today. The core transit engineering team is located in the Philadelphia, PA office. When assistance is needed to address a situation, it's very likely that there is another engineer who has solved this problem before.

Ross & Baruzzini uses recognized systems engineering and project management processes and tools to ensure that consulting assignment is delivered on time and within budget and exceeds our client's expectations. Our tools are listed below:

- Planning and Specification Guide
- Baseline ITS Functional/Performance Specification that reflects the experience gained from many ITS projects
- Library of project cost data from other projects to aid in the production and accuracy of system cost estimates
- Microsoft Project Scheduling software
- Project SharePoint site for collaboration on deliverables among the Ross & Baruzzini/client team members, storage of reference material, and tracking of project action items and issues
- Deltek Vision project accounting software, which provides Ross & Baruzzini's Project Managers with real-time access to project plans and costs
- Rigorous QA procedures that ensures that every deliverable is reviewed internally prior to delivery to the client

List of Similar Clients

Below is Ross & Baruzzini industry-leading portfolio of completed and ongoing transit/transportation-related consulting assignments pertaining to the planning, design, procurement, installation, and deployment of state-of the art ITS technologies:

- Real-time CAD/AVL platforms with passenger information (bus arrival) delivery/displays
- "Smart bus" in-vehicle subsystems such as, but not limited to, route and schedule adherence tracking and reporting, data messaging, APCs, destination signs, automatic next-stop annunciators, and farebox interface
- Outputs to transit-oriented decision support systems (TODSS)
- Wide-area wireless communications infrastructures (land mobile radio and cellular-based)
- Transit-oriented, multi-modal, operations control centers

Mobility Systems

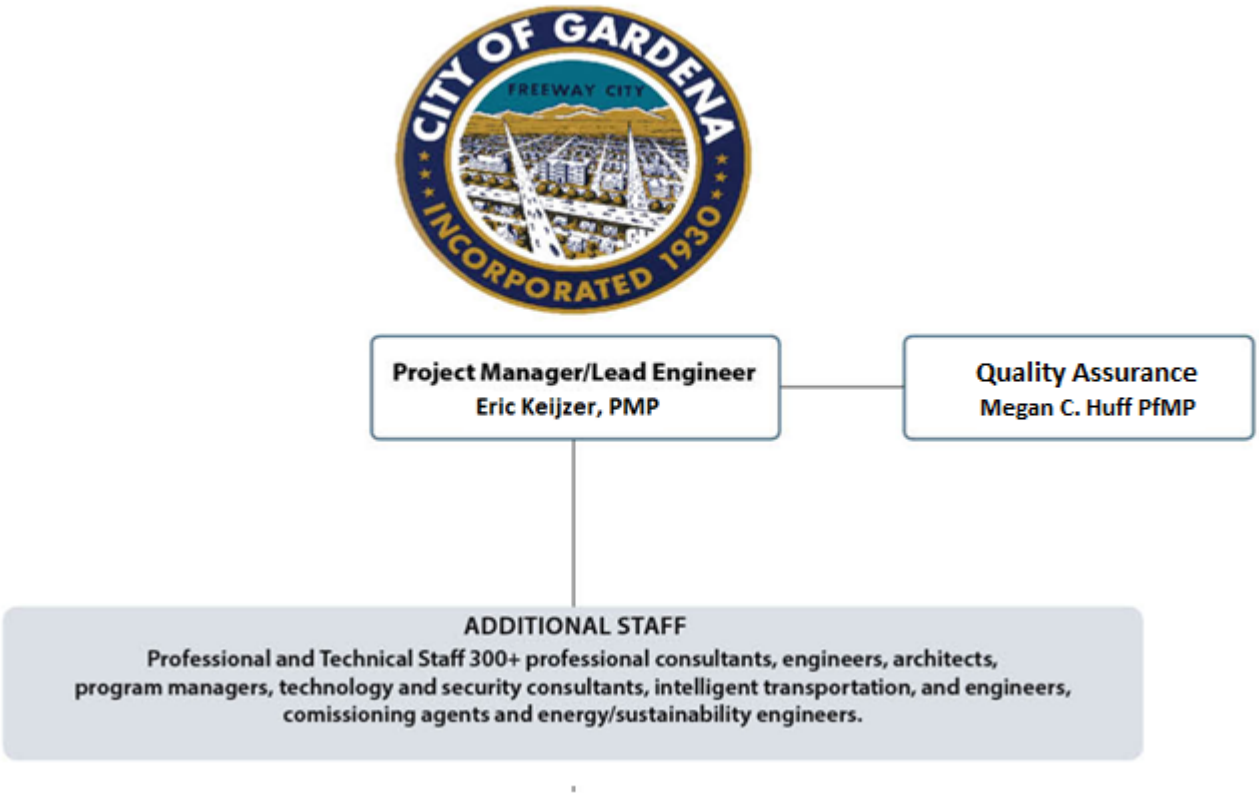
	Strategic Planning	System Specification	Procurement Support	Implementation	CAD	AVL	Voice/Data Radio	Paratransit Manifesting	On-board Annunc	Auto Pngr Counters	Farebox Interface	Customer Info. Systems	Scheduling & Dispatch	Security / Incidents	Regional Integration	Control Center Design
Amtrak, Washington DC	✓	✓	✓	✓	✓		✓							✓	✓	✓
Valley Metro, Phoenix, AZ	✓	✓	✓		✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	
Alameda-Contra Costa (AC) Transit, Oakland, CA	✓	✓	✓	✓	✓	✓	✓		✓	✓	✓	✓	✓	✓	✓	✓
Gardena (GRID), Gardena, CA	✓	✓	✓	✓	✓								✓		✓	
San Diego (SDTC/NCTD), San Diego, CA	✓	✓	✓	✓	✓	✓	✓			✓	✓	✓	✓	✓	✓	✓
San Mateo County Transit ("SamTrans"), San Carlos, CA	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓		✓		
Santa Clara Valley Transit Authority (VTA), San Jose, CA	✓	✓	✓	✓	✓	✓	✓		✓	✓				✓		✓
Los Angeles Metro, CA	✓	✓										✓		✓		
Monterey-Salinas Transit, Monterey, CA		✓	✓		✓	✓	✓							✓		
SFMTA, San Francisco, CA				✓	✓	✓	✓		✓	✓	✓	✓		✓	✓	
Mountain Transit, Colorado Springs, CO	✓			✓	✓	✓		✓				✓			✓	
Greater Bridgeport TA (GBTA), Bridgeport, CT	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	
WMATA, Washington, DC		✓	✓	✓	✓		✓						✓			
State of Connecticut DOT	✓	✓		✓	✓	✓	✓	✓	✓	✓	✓	✓		✓		✓
Walt Disney World, Orlando, FL	✓				✓	✓	✓		✓			✓		✓		✓
Cobb Community Transit, Marietta, GA		✓			✓	✓	✓	✓	✓	✓		✓		✓		
Gwinette County Transit, Norcross, GA		✓	✓		✓	✓	✓	✓	✓		✓	✓		✓		
Metropolitan Atlanta Rapid Transit Authority (MARTA), Atlanta, GA		✓		✓	✓											
Honolulu PTD ("The Bus"), Honolulu, HI	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓		✓		✓		✓
Transit Authority of Northern Kentucky (TANK), Covington, KY	✓				✓	✓	✓	✓	✓							
Des Moines Area Rapid Transit (DART), Des Moines, IO	✓	✓					✓								✓	
Chicago Transit Authority (CTA), Chicago, IL		✓					✓					✓		✓		
Madison County Transit, Granite City, IL	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓				✓		
PACE, Chicago Suburbs, IL	✓	✓	✓		✓	✓	✓		✓	✓	✓	✓		✓		
Montgomery County Transit, Rockville, MD	✓				✓	✓	✓		✓					✓	✓	
Metropolitan Council ("Metro Transit"), Minn-St. Paul, MN	✓	✓	✓	✓	✓	✓	✓			✓	✓	✓		✓		✓
Regional Trans. Commission of Clark County, Las Vegas, NV	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
New Jersey Transit (NJT), Newark, NJ		✓		✓	✓											
Long Island Railroad (LIRR), Queens, NY	✓					✓										
New York City Dept of Education, NY	✓	✓	✓			✓	✓							✓		
NYCT Fixed Route, New York, NY		✓	✓	✓	✓	✓			✓	✓	✓	✓		✓		
NYCT Paratransit, New York, NY		✓	✓	✓	✓	✓		✓								
Port Authority of New York New Jersey (PANYNJ), New York, NY		✓	✓	✓			✓									
Rochester - Genesee County Regional Transit, Rochester, NY	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓		✓		✓
Suffolk County Transit, East Islip, NY	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓		✓		✓
Westchester County ("Bee Line"), White Plains, NY	✓	✓	✓	✓	✓	✓	✓		✓	✓	✓	✓		✓	✓	✓
Central Ohio TA (COTA), Columbus, OH		✓	✓	✓	✓	✓	✓	✓	✓	✓		✓		✓		
Metro RTA, Akron, OH	✓	✓			✓	✓	✓	✓					✓		✓	
Southwest Ohio RTA (SORTA), Cincinnati, OH		✓	✓		✓	✓	✓	✓	✓	✓	✓	✓		✓	✓	
Stark Area Transit, Canton, OH	✓				✓	✓	✓	✓	✓	✓		✓		✓		
Tri-Met Transit, Portland, OR	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
SEPTA, Philadelphia, PA	✓	✓	✓	✓	✓	✓	✓	✓	✓		✓	✓		✓	✓	✓
Rhode Island Public Transit Authority (RIPTA), Providence, RI	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓		✓	✓	
Capital Metro Transit, Austin, TX	✓	✓	✓	✓												
City of El Paso Transit, TX	✓	✓	✓		✓	✓		✓	✓	✓		✓		✓		
Greater Richmond Transit Commission (GRTC), Richmond, VA	✓	✓	✓		✓	✓			✓	✓		✓		✓		
Hampton Roads Transit, Norfolk, VA	✓	✓	✓	✓	✓	✓	✓		✓	✓	✓	✓	✓	✓	✓	✓
PRTC, Woodbridge, VA	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓		✓	✓	
Intercity Transit, Olympia, WA	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓		✓	✓	✓
King County Metro Transit, Seattle, WA	✓	✓	✓			✓					✓					✓
State of Wisconsin DOT	✓				✓	✓						✓		✓	✓	
Milwaukee County Transit, Milwaukee, WI	✓	✓	✓	✓									✓			
Pierce Transit, Tacoma, WA	✓	✓	✓	✓	✓	✓	✓		✓	✓		✓		✓		✓
Sound Transit, Seattle, WA	✓	✓														
Calgary Transit, Calgary, Alberta, Canada	✓	✓	✓		✓	✓	✓		✓	✓		✓		✓		
Edmonton Transit, Alberta, Canada	✓				✓	✓	✓	✓	✓	✓	✓	✓		✓		
Toronto Transit Commission (TTC), Toronto, Canada		✓	✓	✓	✓		✓									✓
TransLink, Vancouver, Canada		✓														✓
Australia Capital Territory, Canberra, Australia		✓	✓	✓	✓	✓	✓		✓	✓	✓	✓		✓	✓	

Chapter 3 Qualifications and Experience of Proposed Staff

Ross & Baruzzini is proposing Eric Keijzer for the implementation oversight of the GTrans Real-Time Information Deployment GTrans (GRID) project and the Scheduling, Operations Management, and Payroll Integration Project (OPS) Eric has been responsible for the previous and mostly completed project phases.

As shown in the organization chart below, Eric Keijzer will be the Project Manager/ Lead Engineer and Meghan Huff will provide quality assurance.

Résumés for Eric Keijzer and Megan Huff are enclosed.



Eric (A.J.M.) Keijzer, PMP, SSCP

Project Manager

Eric has more than 23 years of experience and brings a wealth of specialized skills including CAD/AVL, IVR, ITS/Smart Bus, Scheduling Systems, Maintenance Systems, GPS, Passenger Information Systems , Cyber Security, Database applications, Computer Systems Networking, and SharePoint.. Eric has worked on a variety of fleet monitoring, wireless communications and Transit ITS projects and was involved in all project life cycle phases. Eric is currently responsible for two CAD/AVL projects and provides technical assistance for multiple other AVL, IVR, and CETC projects.

Eric is a Project Management Institute (PMI) Credentialed Project Management Professional (PMP) and is a certified Systems Security Certified Practitioner (SSCP).

Education

B.S., Information Technology – Fontys University, Eindhoven The Netherlands

B.S., Management Science – The Enschede Polytechnic, Enschede, The Netherlands

University Degree in Marketing (NIMA A and B), Enschede, The Netherlands

Certification & Accreditation

Certified Project Management Professional (PMP)

Systems Security Certified Practitioner (SSCP)

Wonderware System Platform 1 and 2

Affiliations

Project Management Institute (PMI)

International Information Systems Security Certification Consortium $(ISC)^2$

Summary of Experience

GTrans, City of Gardena, GTrans Real-Time Information Deployment (GRID), Gardena, California

Project Manager and lead engineer responsible for the planning phase, technical specifications, and proposal evaluation for a robust ITS system that includes a CAD/AVL system, real-time passenger information system, and on-bus hardware for Transit Signal Priority.

GTrans, City of Gardena, Scheduling Operations Management and Payroll Integration System Project, Gardena, California

Project Manager for the implementation of the Scheduling Operations Management and Payroll Integration System Project. The project includes a scheduling, integrated operations and workforce management solution, and a customer complaints module.

DART, Current State Technology Health Assessment, Des Moines Iowa

Lead engineer to conduct a Health Assessment of DART's systems and infrastructure including team members, skill sets and process, coupled with the current technical standards and industry best practices.

Southeastern Pennsylvania Transportation Authority (SEPTA), CAD/AVL System, Philadelphia, Pennsylvania

Project Manager and lead engineer responsible for the specification for replacing a legacy CAD/AVL System supporting approximately 1750 vehicles operating out of nine (9) depots throughout the Philadelphia metropolitan area.

San Francisco Municipal Transportation Authority (SFMTA), Multimodal Transit Management System (MTMS) and Public Service Voice Radio Network (PSVRN), San Francisco, California

Subject Matter Expert of all matters concerning the MTMS, related, CAD/AVL, and other ITS-oriented systems of this state-of-the-art solution. Eric is also the project manager responsible for coordinating Ross & Baruzzini's consulting engineering services related to the new radio system deployment. Eric works closely with SFMTA's team to review the CAD/AVL design package and their system's interface with the new radio system, oversees system staging, factory testing, installation and mini-fleet testing, full fleet deployment and cutover, and related user and system administration training. The MTMS includes CAD/AVL, integrated incident

management/reporting, ADA compliant traveler information, scheduling system interfaces, above and underground radio systems, a primary and secondary control center, 7 radio sites, with equipment installed on all SFMTA vehicles, including the light rail and historical vehicles.

Los Angeles Metro, Integrated Bus and Rail Operations Center, Los Angeles, California
Design Engineer for the new Metro Bus Operations Center (BOC) and Rail Operations Center (ROC) to integrate functions, improve communication and coordination. Responsible for preparing comprehensive assessment of all current bus operations, including existing systems and processes, and providing recommendations for new roles, systems, and processes for the integrated BOC/ROC. Prepared existing process diagrams and future process diagrams for bus operations based upon recommended roles, systems, and processes.

Potomac and Rappahannock Transportation Commission (PRTC), CAD/AVL System, Woodbridge, Virginia
Eric developed procurement specifications, evaluated vendor proposals, and was the project manager for the implementation oversight of replacing a legacy CAD/AVL system supporting PRTC's 135 vehicle fixed route and flex fleet with a system providing CAD/AVL functions, a fleet wide Automatic Passenger Counting (APC) implementation, interfaces to fixed and flex scheduling systems, and real time customer information feeds using the General Transit Feed Real Time Specification (GTFS RT).

Suffolk County Transit, CAD/AVL System, Yaphank, New York
Project manager for the implementation oversight of a new CAD/AVL system supporting Suffolk County's 288 vehicle fixed route and paratransit fleet. Eric participated in the collection and analysis of user requirements and planning, developed procurement specifications, and evaluated vendor proposals for a CAD/AVL system for the Suffolk County Transit System.

Amtrak Northeast Corridor, CETC Replacement Project, Multiple locations
Engaged to replace the current system with a new Central Electrification and Traffic Control (CETC) system that monitors and controls rail traffic on the Northeast Corridor (NEC). Tasks include field and factory testing, developing and maintaining a Microsoft SharePoint Project Management site, and performing security audits.

New York City Transit Authority, Paratransit Division, AVL and IVR Systems, New York, New York
Provided project management and technical support of the Automatic Vehicle Location Monitoring system (AVLM) that adds AVL capabilities to the existing ADEPT paratransit scheduling system with over 1300 vehicles.

NYCT extended Ross & Baruzzini's contract to include an Interactive Voice Response (IVR) system. Eric also provided project management support for this IVR project.

San Diego Trolley, Trolley Control Project, San Diego, California
Provided network and IT support for the development of a new Trolley Control System for centralized management of the San Diego Trolley light rail system. Tasks included field and factory testing and developing and maintaining a Microsoft SharePoint Project Management site.

King County, Transit Radio System Project, Washington, DC

Developed and implemented evaluation databases for a transit radio system procurement. The databases were implemented in a way that the client can reuse them for other projects.

The Connecticut Department of Transportation, AVL Demonstration Project, Connecticut
Supported project management, collected user requirements, and developed procurement specifications for a CAD/AVL System being procured for the Greater Bridgeport Transit Authority.

Megan C. Huff
Quality Assurance

Education
Bachelor of Arts, Arizona State University, 1993

Certifications
PfMP- Portfolio Management Professional

Megan Huff is the Vice President and Managing Principal of Ross & Baruzzini and one of the leading rail, transit and public safety radio systems engineering consultancy firms in the United States.

With more than 25 years of experience in the transportation industry, Megan has an extensive track record in end-to-end delivery of complex, high priority projects on tight schedules within mission critical service organizations and a history of delivering value to the bottom line through process improvements and technology modernization. She has expertise in leading and directing technology related strategic planning, project development and implementation across a variety of public transit agencies.

Summary of Experience

Amtrak, Senior Director Operations Technology, Philadelphia, Pennsylvania
Responsible for leading and directing technology related strategic planning, project development and implementation for all business lines and support organizations in Operations. Partnered with business line, support and information technology leaders in the development and delivery of integrated technology solutions to optimize efficiency, improve performance, and support business decision making.

Managed investment and directed all technology activities for Amtrak's largest division consisting of 19,000 employees and all operational assets to include rolling and fixed assets.
Designed and implemented measurements and controls for analyzing needs against the developed strategic plan.

Amtrak, IT Director of Requirements and Business Planning, Philadelphia, Pennsylvania
Responsible for developing computer systems and coordinating overall technical support for the COO's business operations and objectives and ensuring that they are compatible with the long-term plans for Amtrak's business, enterprise architecture and technology infrastructure. Worked to identify the optimal long-term technology solutions in support of the Operations unit while also balancing the need to deliver near-term business solutions and technical support for day-to-day operations.

Managed project delivery, directed project managers, and managed analytic processes such as Systems Engineering, Business and Functional Requirements and Architecture analysis. Provided consultative guidance to the business units to pro-actively identify technology solutions for their business priorities, as well as assessed IT performance in meeting ongoing development and production support.

Charlotte Area Transit System (CATS), Manager of Systems and Research, Charlotte, NC

Transformational technology leader for major revitalization program across the Charlotte region through implementation of the first light rail line.
Responsible for all operational technology systems for Bus, Rail, Special Transportation(ADA), Safety & Security and Facilities; included Automatic Vehicle Location, Automatic Passenger Counters, Scheduling and Dispatch, Maintenance and Material Management, Signal Priority, Incident Management, Passenger Information Display deployments, etc. Determined future needs and planned projects, was responsible for budgets both capital and operating.

Charlotte Area Transit System (CATS), Business Application Support Specialist, Charlotte, NC
Focused on business process analysis and standards development with an understanding of complex technical solutions as related to current and future transit initiatives. Developed comprehensive transit business requirements from a technological perspective and insured compliance with National ITS standards; which included the development and management of assigned projects insuring schedules, milestones and resource targets were met. Spearheaded data collection and compliance with ITS by implementing and maintaining Turbo Architecture for the organization.

Provided support for the transit GIS systems, data, related sub-systems, and interfaces. Managed the execution of activities and tasks associated with all GIS information including implementations, integration, reporting, upgrades, maintenance, data validation and support. Served as the CATS voting member on all City of Charlotte and Mecklenburg County collaborative committees as relating to GIS.

Port Authority of Allegheny County, Project Manager, Pittsburgh, Pennsylvania
Responsible for formulation and definition of system scope and objectives based on user needs and a good understanding of applicable business systems and industry requirements. Devised or modified procedures to solve complex problems considering computer equipment, capacity, operating time, and form of desired results; included analysis of business and user needs and documentation of requirements.
Delivered Point of Sale System by reengineering existing business processes from Treasury to Finance and at the Customer Service Center. Implemented a Windows Based SQL Driven Touch Screen and Bar-Coded Item Point of Sale System for sale of all fare instruments, including interfacing to existing Subscription and Financial systems. Developed and managed the Corporate Web Site - www.PortAuthority.org / www.RideGold.com. Accountable for the design, development and delivery of the Incident Tracking and Management System that tracked all accidents and incidents that occurred in revenue service from occurrence to discipline and retraining of the responsible party.

Chapter 4 Project Management Approach

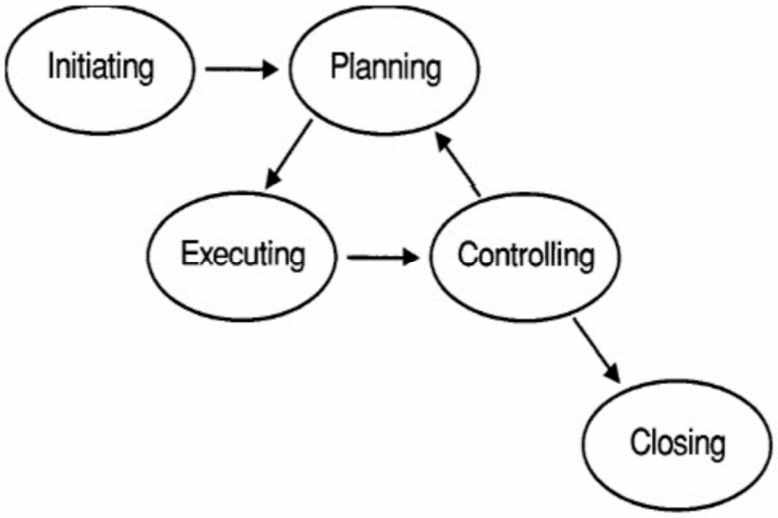
Over more than six decades of consulting, Ross & Baruzzini has developed a methodology that achieves project objectives in a timely and cost-effective fashion. This methodology, well proven in practice, encompasses a comprehensive, yet flexible, set of procedures. These general procedures are briefly discussed in this section in the context of the services proposed for GTrans.

GTrans staff, with its knowledge of their characteristics and practices, together with Ross & Baruzzini, leveraging their background in real-time computer and communications system engineering, form an effective and knowledgeable project team.

While a knowledgeable project team is an indispensable element of any successful project, a successful project also needs: good planning, solid execution, and continual communication with measurements of progress and corrective action when necessary.

Our method fosters a close working relationship between team personnel. To avoid potential oversights and to ensure timely completion of all project tasks, the project team needs the support of a systematic, structured, and tested work methodology. This includes:

- Adherence to PMI's standards for project management;
- Use of our well-tested Planning and Specification Guide Questionnaire for the identification of operational needs and definition of functional requirements;
- Access to Ross & Baruzzini resources and specialists;
- Structured internal audits for quality control;
- Organized information exchange and experience transfer.



Project Planning

We are accustomed to meeting the demands for timely completion of projects.

We understand the importance of maintaining project schedules and the ramifications of falling behind schedule.
Based on the project completion deadline and other scheduling constraints established by GTrans, Ross & Baruzzini will establish a Work Plan and Schedule for every project that is based on critical path elements related to items like; design submittal requirements, equipment/material lead times, and implementation phasing/sequencing requirements. Then working within the overall project schedule, the Ross & Baruzzini team will meet weekly to establish the critical tasks to be accomplished during the subsequent one-week period and monitors progress toward goals. Specific milestone targets will be agreed upon with GTrans and used to gauge and control project progress.

Ross & Baruzzini has proven schedule performance and timeliness in submitting deliverables that are thorough, coordinated, of high quality and that conform to contractual obligations.

Planning and Specification Guide

A structure that effectively organizes the sequence of tasks and keeps the project on schedule is essential. Recognizing the importance of this need, Ross & Baruzzini has developed its Planning and Specification Guide. The Guide consolidates Ross & Baruzzini experience on previous projects for use on subsequent ones. It directs the project team through the initial key steps of determining the operational requirements and the system performance objectives. The analysis of feasible alternatives then follows logically. The Guide ensures orderly, swift, and thorough progress.

Using the Guide, we make best use of your time and ours to exchange information relevant to the project work. Your insights and specific system knowledge are conveyed to our consultants in an expeditious manner. At the same time, we introduce and transfer to your staff the accumulated experience gained on earlier project assignments of similar nature. The Guide keeps the discussions on track during the information exchange meetings and achieves the goals through its exhaustive set of questions aimed at all aspects of your project. By using this method, both the project team and management can be confident that all possible system requirements have been addressed, considered, and decided upon.

Project Activities and Status Reporting. The Project Manager will provide the GTrans Project Manager with a regular update that summarizes the activities and current status for all tasks.

In addition to written material and reports, the most important mechanism for information exchange and transfer of specialized expertise are the regular project meetings. Meetings provide the best opportunities for an expeditious interchange of information and ideas. Poorly planned meetings waste time; while well planned meetings produce results. Ross & Baruzzini emphasizes the preparation for meetings by using a carefully planned agenda distributed prior to each meeting, and by controlling the discussions to obtain productive results. Well-planned meetings also enable GTrans personnel to participate with a minimum of interference with other responsibilities.

No meeting is successful without a brief documentation of the major agreements or understandings reached, as well as an action-item list for follow-up on unresolved issues. Ross & Baruzzini consulting staff is trained in conducting productive meetings that either resolve the outstanding issues or produce a timetable with assigned responsibilities for their resolution.

> Ross & Baruzzini recognizes that transferring information and experience is one of our responsibilities to our clients.

The Supporting Organization

While the responsibility for conducting tasks will lie principally with the Ross & Baruzzini project team under the direction of the Project Manager, Ross & Baruzzini methodology specifically calls for other Ross & Baruzzini staff specialists to provide backup support on a regular basis. In the execution of their project responsibilities, the project team seeks the assistance of these specialist engineers, thereby amplifying the value of our service.

Instead of relying solely on those individuals assigned to a project team, Ross & Baruzzini capitalizes on its total company strength by bringing to bear the depth and breadth of experience of its entire staff. This approach works well at Ross & Baruzzini as we have established an organization of specialists, skilled in the various engineering disciplines. These specialists provide internal consulting support on each project. Internal consultation, regular state-of-the-art seminars, and centralized computer files, as well as modern CADD facilities, all contribute to maximum information transfer among the professional staff. This project structure makes available the full range of Ross & Baruzzini's system engineering experience to the project team, and thence to GTrans.

Additional Tools

The Ross & Baruzzini team also leverages:

Project communications, Ross & Baruzzini maintains an electronic library of standard project templates ranging from agendas, minutes, project tracking to requirements, specification and design documentation.

Project Web Site, A project SharePoint web site will be established to store and present (including to GTrans staff, if desired) the project documentation. Drawings, meeting notes, schedules, cost estimates, and other deliverables will be stored on

this site, thus providing an additional level of interaction and communication among all parties. Extensive security measures protect the GTrans's information from unauthorized access.

Industry research and analysis, Ross & Baruzzini maintains an electronic library with the latest material from system vendors and suppliers for use by our engineers when design decisions must be made. Technical seminars are held frequently with guest speakers from the vendor community or from Ross & Baruzzini own team of experts to discuss the state-of-the-art and important industry developments. Ross & Baruzzini maintains a team of experts on specific areas of technology that are readily available to support project personnel when special needs arise.

Quality Assurance & Quality Control Procedures

The issue of quality assurance/quality control is a very serious one for the Ross & Baruzzini team. We are committed to achieving the highest level of quality in executing projects, with the goal of providing exceptional long term value to our clients. To achieve this goal, we have implemented an aggressive quality review process developed around key elements of internationally recognized quality management standards. All aspects of our services are reviewed from a quality perspective throughout the consulting, design and implementation process. Without exception, all documents receive numerous quality reviews prior to issuance.

In addition to the internal Ross & Baruzzini quality reviews, GTrans personnel will have an opportunity to review any deliverable to ensure they meet the GTrans's needs. Each review will be followed by a meeting to discuss the GTrans's comments and questions.

- **Internal auditing** – auditing of scheduled quality evaluations is performed to ensure quality reviews are being properly conducted.
- **Workforce training** – training associated with the Quality Management system.
- **Scheduled quality reviews** – quality reviews are built into every project plan and are budgeted accordingly.
- **Individual reviews** – this is an on-going review by individual discipline team members performing day-to-day project duties.
- **Peer reviews** – this is conducted by another member of each engineering discipline to check and address issues unique to the discipline. Issues addressed include appropriate systems, compliance with codes and standards and rules of thumb based on experience and industry standards. This is typically led by the engineering practice leader or a senior level associate within the practice as designated by the practice leader.
- **Interdisciplinary coordination reviews** – review conducted with representatives of the entire project team to coordinate and cross-check inter-disciplinary issues and specific items affected by multiple disciplines. This is intended to be interactive and collaborative.
- **Independent reviews** – review conducted by someone independent from the project focused on constructability, coordination, cost control/value engineering and code compliance.
- **Contractual reviews** – review conducted by the project manager to review for contract compliance to assure that all contractual obligations are being fulfilled.
- **Invoicing reviews** – monthly reviews will be conducted with the project team prior to issuing an invoice to ensure compliance with GTrans process.

Ross & Baruzzini is committed to finding solutions to challenges without compromise to GTrans's budget. We help allocate infrastructure dollars wisely, and with reliability, to help free up attention to focus on the primary mission.

Ross & Baruzzini will ensure that the entire design team is involved with and becomes responsible for cost control, so that continuous monitoring, control and corrective actions are achieved. Value engineering will be emphasized early in the design process so that important cost decisions can be made relative to project goals. Quality review at each milestone level will be performed to review cost versus the established budget and to compare cost with a database for previous projects.

Chapter 5 Workplans

The following Work Plans describes the GTrans related implementation oversight activities the Ross & Baruzzini Team will complete for the City of Gardena GRID Project and the Workplan Scheduling, Operations Management, and Payroll integration (OPS) Project.

This work plan has been designed for the particular needs of the GTrans projects, as well as in recognition of the many implementations previously completed by the Ross & Baruzzini Team.

All work will be coordinated by the Ross & Baruzzini Project Manager experienced with managing similar projects. The Ross & Baruzzini project manager will be in close contact with GTrans' designated point of contact throughout the project to ensure that Ross & Baruzzini work and deliverables are on schedule and meeting GTrans' expectations.

Workplan GRID Project

Line Item	Deliverable	Responsible	Due Date	Description
1	Project Support until project sign off	Ross & Baruzzini PM	Prior to project sign off	Ross & Baruzzini PM: • Attend project meetings via conference call and review/approve meeting minutes created by the GRID Vendor. • Manage Action Items and coordinate responses to Action Items assigned to GTrans. • Review GRID vendor milestone invoices. • Support GTrans with system configuration • Review system usage (remote) and provide recommendations.
2	Project Support after project sign off	Ross & Baruzzini PM	After GRID project sign off	Ross & Baruzzini PM: • Setup and attend project meeting via conference call with GTrans • Review system usage (remote) and provide recommendations. • Support GTrans with system configuration. • Develop reports.
3	System and procedures review/support at GTrans. Trip 1	Ross & Baruzzini PM	After GRID project sign off	Ross & Baruzzini PM to attend a working session to review system usage, procedures and provide recommendations and update configuration items.
4	System and procedures review/support at GTrans. Trip 2	Ross & Baruzzini PM	After GRID project sign off	Ross & Baruzzini PM to attend a working session to review system usage, procedures and provide recommendations and update configuration items.

Workplan Scheduling, Operations Management, and Payroll integration (OPS) Project

Line Item	Deliverable	Responsible	Due Date	Description
1	Project Support	Ross & Baruzzini PM	End of project	Ross & Baruzzini PM: • Attend project meetings via conference call and review/approve meeting minutes created by the OPS vendor. • Manage Action Items and coordinate responses to Action Items assigned to GTrans. • Review OPS vendor milestone invoices. • Support GTrans with system configuration • Review system usage (remote) and provide recommendations.
2	Develop OPS Test Procedures	Ross & Baruzzini PM	Prior to round 1 testing	Ross & Baruzzini PM to develop the OPS test procedures
3	Attend Round 1 OPS Testing at GTrans (Trip 1)	Ross & Baruzzini PM	After round 1 configuration	Ross & Baruzzini PM to attend Round 1 OPS Testing.
4	Attend Final OPS Testing at GTrans (Trip 2)	Ross & Baruzzini PM	After final configuration	Ross & Baruzzini PM to attend final OPS Testing.

Chapter 6 Cost Proposal

This proposal is based on Time and Material with a not to exceed price listed below, including expenses.

GTrans Real-Time Information Deployment (GRID) Project. Not to exceed price: $ 46.119.

Scheduling, Operations Management, and Payroll integration (OPS) Project. Not to exceed price: $ 32.111.

INVOICING
Ross & Baruzzini will submit an invoice monthly with detailed accounting of hours and expenses.

Ross&Baruzzini

PROFESSIONAL CONSULTING SERVICES FOR Scheduling, Operations Managements, and Payroll integration PROJECT

COST PROPOSAL - Implementation Oversight Until Project Completion 2/2/2022

FIRM NAME: Ross & Baruzinni

Project Management Phase		**PERSONNEL BREAKDOWN BY HOURS**								
	Enter Job Title:	PM (Eric Keijzer)								**Sub Totals**
1	Project Support until project sign off	60.00								**60.00**
2	Develop OPS Test Procedures	20.00								**20.00**
3	Attend Round 1 OPS Testing at GTrans (Trip 1)	32.00								**32.00**
4	Attend Final OPS Testing at GTrans (Trip 2)	32.00								**32.00**
										0.00
										0.00
										0.00
										0.00
										0.00
										0.00
										0.00
										0.00
										0.00
										0.00
										0.00
	Subtotal of Hours	144.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	**144.00**
	Rate per Hour (Includes Direct Labor + Overhead Burdon)	$177.47	0.00							**Cost:**
	Subtotal per Task	$25,555.37	$0.00	$0.00	$0.00	$0.00	$0.00	$0.00	$0.00	**$25,555.37**

Travel Costs (Description Required)		
1	Attend Round 1 OPS Testing at GTrans Trip 1 (1 person, 3 days on site)	$2,000.00
2	Attend Final OPS Testing at GTrans Trip 2 (1 person, 3 days on site)	$2,000.00
3		
4		
5		
6		
7		
	Sub Total Travel Cost	$4,000.00

	Hours:	***Cost:***
Sub Total	**144.00**	**$25,555.37**
Profit Margin % and Dollars	**10%**	**$2,555.54**
GRAND TOTAL (w/o travel)		**$28,110.90**
Total for Travel Costs		**$4,000.00**
GRAND TOTAL (including travel)		**$32,111**

PROFESSIONAL CONSULTING SERVICES FOR Gardena Real-Time Information Deployment (GRID) PROJECT

COST PROPOSAL - Implementation Oversight Until Project Completion 4/6/2022

FIRM NAME: Ross & Baruzinni

Project Management Phase		**PERSONNEL BREAKDOWN BY HOURS**								
	Enter Job Title:	PM (Eric Keijzer)								**Sub Totals**
1	Project Support until project sign off	80.00								**80.00**
2	Project Support after project sign off	50.00								**50.00**
3	System and procedures review/support at GTrans (Trip 1)	48.00								**48.00**
4	System and procedures review/support at GTrans (Trip 2)	48.00								**48.00**
										0.00
										0.00
										0.00
										0.00
										0.00
										0.00
										0.00
										0.00
										0.00
										0.00
										0.00
										0.00
	Subtotal of Hours	226.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	**226.00**
	Rate per Hour (Includes Direct Labor + Overhead Burdon)	$177.47	0.00							**Cost:**
	Subtotal per Task	$40,107.73	$0.00	$0.00	$0.00	$0.00	$0.00	$0.00	$0.00	**$40,107.73**

Travel Costs (Description Required)		
1	System and procedures review and support at GTrans Trip 1 (1 person)	Use remaining travel budget
2	System and procedures review and support at GTrans Trip 2 (1 person)	$2,000.00
3		
4		
5		
6		
7		
	Sub Total Travel Cost	$2,000.00

	Hours:	***Cost:***
Sub Total	**226.00**	**$40,107.73**
Profit Margin % and Dollars	**10%**	**$4,010.77**
GRAND TOTAL (w/o travel)		**$44,118.50**
Total for Travel Costs		**$2,000.00**
GRAND TOTAL (including travel)		**$46,119**

CITY OF GARDENA
FIRST AMENDMENT TO CONSULTANT AGREEMENT

This First Amendment to Agreement is entered into this 22nd day of October, 2019 by and between the City of Gardena, a municipal corporation ("City") and MACRO, A Division of Ross & Baruzzini. a ("Consultant").

WHEREAS. City and Consultant entered into a Consultant Agreement dated June 26, 2018, ("Agreement") pursuant to which Consultant has provided Traffic Signal/Engineering Services;

WHEREAS. City and Consultant desire to contract for additional services pursuant to section 3 of the Agreement.

WHEREAS. City and Consultant desire to contract for additional consulting services for its Intelligent Transportation System (ITS) Project designated as Project Management for GRID and Scheduling and Operations Management, Payroll Integration Project, in Consultant's proposal dated October 9, 2019 attached hereto as Exhibit "A"

NOW, THEREFORE, the parties agree as follows:

1. Consultant shall perform, as Additional Service, the work designated as Project Management for Scheduling and Operations Management, Payroll Integration Project in Exhibit A;

2. Consultant shall be compensated for time and materials in an amount not to exceed $134,400;

3. Subject to the right of either party to terminate with or without cause as set forth in the Agreement, Consultant shall perform the services set forth in Exhibit A within the time set forth therein;

4. The rights and obligations of the parties with regard to the provision of these Additional Services shall be governed by the Agreement.

IN WITNESS WHEREOF, City and Consultant have executed this Agreement as of the date first hereinabove set forth.

CITY OF GARDENA

BY Tasha Cerda

Tasha Cerda
Mayor

DATE 10/22/2019

ACCEPTED

MACRO

BY _____

Name, Title PRESIDENT

DATE 10/25/19

APPROVED AS TO FORM

BY _____

Peter Wallin
City Attorney

DATE 10/15/2019

CITY OF GARDENA

STATEMENT OF PROPOSAL

Project Coordination Scheduling Operations Management and Payroll Integration System

October 9, 2019

MACRO

A division of Ross&Baruzzini

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Chapter 1 Company and General Information

Name	Ross & Baruzzini | Macro
Address	West Main Street, Suite 500, Lansdale, Pennsylvania 19446
Primary Contact	Megan C. Huff, Vice President/ Managing Principal
Telephone/E-mail	(877) 543-6071, mhuff@macro.com
Year Founded	Macro: 1968 Ross & Baruzzini: 1953
Firm Size	Macro has 24+ subject matter experts located in Philadelphia, Pennsylvania and in the regional areas of New York/New Jersey, Massachusetts, and Utah. Ross & Baruzzini employs nearly 400 design professionals and subject matter experts across the United States including regional offices in Columbia (Illinois), Indianapolis, New York, Philadelphia, Connecticut, Miami, and Toronto.
Organizational Structure	Corporation; Macro is wholly owned by Ross & Baruzzini.

Chapter 2 Qualifications and Experience of the Firm

About the Firm

Founded in 1953, Ross & Baruzzini has been consistently ranked as one of the premier consulting engineering companies in the world, most recently ranked among the top 500 design and construction firms in Engineering News-Record and in Building Design & Construction's top 40 engineering companies in the United States. With a history of innovation spanning 65 years, the firm approaches each new project with a detailed understanding of business processes, facilities and technology requirements to ensure that personnel, technology, and process are fully integrated for maximum efficiency and effectiveness.

Organizational Structure: Corporation
Size of Firm: Large Business
Years in Business: 65
Name of Owners & Principals: Craig Toder, William Overturf III
Number of Staff: 300+

Ross & Baruzzini, along with Macro, a division of Ross & Baruzzini, offers full-service consulting services to rail and bus clients who want a totally integrated consulting and design solution. By consistently employing structured system engineering processes, modern project management techniques and real-world, hands-on experience, Ross & Baruzzini | Macro delivers the value-added knowledge resource clients seek.

Ross & Baruzzini | Macro is an independent, full-service, technology, system engineering, and project management consultancy firm proudly serving public mass transit providers and public safety agencies, and public utilities. Ross & Baruzzini | Macro offers a strong track record of assisting transit agencies throughout North America and Australia to plan for, procure, and deploy, the widest spectrum of Intelligent Transportation Systems (ITS) for fixed-route bus and paratransit services, such as:

- CAD/AVL systems
- Real-time Passenger Information (APIS)
- Automatic Passenger Counters (APC)
- Private land mobile radio (voice & data)
- Public cellular
- Bus & Paratransit scheduling software
- In-vehicle camera systems
- Interactive Voice Response (IVR)
- Audio/visual annunciators
- Mobile Wi-Fi access
- On-board displays/terminals
- Destination signage
- Automatic vehicle monitoring (AVM)
- Facility security/CCTV
- Paratransit client reservation systems
- Vehicle diagnostic monitoring

Since its inception, Ross & Baruzzini | Macro staff have developed an extensive knowledge base designing and managing the implementation of major subsystems found in a variety of public transit fleet management and communications systems deployed through the practical application of over 45 ITS assignments. Ross & Baruzzini | Macro's proven system engineering principles and best-practices will be employed to achieve the City of Gardena's (GTrans) system objectives.

Availability of Project Manager

Ross & Baruzzini | Macro's proposed Project Manager, Eric Keijzer, PMP, has supported several projects in California, including projects with GTrans, SFMTA, and LA Metro. Eric can easily shift his work schedule to be accessible during regular GTrans business hours. Of course, he would also be available outside these regular business hours if the need arises.

Ross & Baruzzini | Macro Differentiators

Ross & Baruzzini | Macro has been providing consulting services for the planning, specification, and implementation of ITS systems for fixed-route bus service for over 30 years. Many of the earliest ITS systems implemented in the United States were implemented with Ross & Baruzzini | Macro assistance.

Part of Ross & Baruzzini | Macro 's core business is also its radio and communications group, comprised of an experienced consulting team of established public transit/ public safety radio communications experts. These experts perform system analysis, specification development, design, and implementation of voice and data Land Mobile Radio and Microwave systems nation-wide. These resources are available for assistance on the various communications needs of this project.

Ross & Baruzzini | Macro has successfully completed ITS consulting assignments for a large number and wide range of transit agencies. As shown in the table of similar clients below, the functions/systems GTrans intends to procure, and the consulting services GTrans has specified in it request closely align with the functions and services provided by Ross & Baruzzini | Macro on the majority of ITS projects.

A primary advantage of selecting Ross & Baruzzini | Macro is the wealth of experience Ross & Baruzzini | Macro brings from having done it before.

We are not just planners and/or designers, we are doers.

Ross & Baruzzini | Macro 's culture is such that the company is very stable. Many of the same engineers that implemented the early systems are still at Ross & Baruzzini | Macro today. The core engineering team is located in the Philadelphia, PA office. When assistance is needed to address a situation, it's very likely that there is another engineer who has solved this problem before.

Ross & Baruzzini | Macro uses recognized systems engineering and project management processes and tools to ensure that Macro's consulting assignment is delivered on time and within budget and exceeds our client's expectations. Our tools are listed below:

- Planning and Specification Guide
- Baseline ITS Functional/Performance Specification that reflects the experience gained from many ITS projects
- Library of project cost data from other projects to aid in the production and accuracy of system cost estimates
- Microsoft Project Scheduling software
- Project SharePoint site for collaboration on deliverables among the Macro/client team members, storage of reference material, and tracking of project action items and issues.
- Deltek Vision project accounting software, which provides Macro's Project Managers with real-time access to project plans and costs
- Rigorous QA procedures that ensures that every deliverable is reviewed internally prior to delivery to the client

List of Similar Clients

Below is Ross & Baruzzini | Macro's industry-leading portfolio of completed and ongoing transit/transportation-related consulting assignments pertaining to the planning, design, procurement, installation, and deployment of state-of the art ITS technologies:

- Real-time CAD/AVL platforms with passenger information (bus arrival) delivery/displays
- "Smart bus" in-vehicle subsystems such as, but not limited to, route and schedule adherence tracking and reporting, data messaging, APCs, destination signs, automatic next-stop annunciators, and farebox interface
- Outputs to transit-oriented decision support systems (TODSS)
- Wide-area wireless communications infrastructures (land mobile radio and cellular-based)
- Transit-oriented, multi-modal, operations control centers

Clients of Macro's Transit ITS Practice

	Fleet Size	Computer Aided Dispatch	Automatic Vehicle Location	Voice/Data Radio	Paratransit Manifesting	On-board Annunciators	Auto. Passenger Counters	Farebox Interface	Customer Info. Systems	Scheduling & Dispatching	Traffic Signal Priority	Trip Planning	Security / Incidents	Regional Integration	Facility Planning	Strategic Planning	System Specification	Procurement Support	Implementation Oversight
Alameda-Contra Costa (AC) Transit, Oakland, CA	748	✓	✓	✓		✓	✓	✓	✓	✓				✓	✓	✓	✓	✓	✓
Tri-Met Transit, Portland, OR	300	✓	✓	✓	✓	✓	✓	✓	✓	✓			✓	✓	✓	✓	✓	✓	✓
Honolulu PTD ("The Bus"), Honolulu, HI	525	✓	✓	✓	✓	✓	✓		✓					✓		✓	✓	✓	✓
Rochester - Genesee County Regional Transit, Rochester, NY	266	✓	✓	✓	✓	✓	✓	✓	✓					✓		✓	✓	✓	✓
Regional Trans. Commission of Clark County ("CAT"), Las Vegas, NV	430	✓	✓	✓	✓	✓	✓	✓	✓	✓				✓	✓	✓	✓	✓	✓
Santa Clara Valley Transit Authority (VTA), San Jose, CA	680	✓	✓	✓		✓	✓				✓			✓		✓	✓	✓	✓
San Diego (SDTC/NCTD), San Diego, CA	598	✓	✓	✓			✓	✓	✓	✓				✓	✓	✓	✓	✓	✓
Valley Metro, Phoenix, AZ	1,195	✓	✓	✓	✓	✓	✓	✓	✓	✓			✓	✓	✓		✓	✓	
San Mateo County Transit ("SamTrans"), San Carlos, CA	409	✓	✓	✓	✓	✓	✓	✓	✓					✓			✓	✓	✓
City of El Paso Transit, TX	574	✓	✓		✓	✓	✓		✓					✓			✓	✓	✓
State of Connecticut DOT	150	✓	✓	✓	✓	✓	✓	✓	✓					✓		✓	✓	✓	✓
Metropolitan Council ("Metro Transit"), Minn-St. Paul, MN	953	✓	✓	✓			✓	✓	✓					✓		✓	✓	✓	✓
PACE, Chicago suburbs, IL	669	✓	✓	✓		✓	✓	✓	✓		✓			✓			✓	✓	
Milwaukee County Transit, Milwaukee, WI	550									✓							✓	✓	✓
Hampton Roads Transit, Norfolk, VA	301	✓	✓	✓		✓	✓	✓	✓	✓			✓	✓	✓	✓	✓	✓	✓
NYCT Fixed Route, New York, NY	250	✓	✓			✓	✓	✓	✓					✓				✓	✓
NYCT Paratransit, New York, NY	1,329	✓	✓		✓													✓	✓
Edmonton Transit, Alberta, CAN.	1,057	✓	✓	✓	✓	✓	✓	✓	✓		✓			✓			✓		
Central Ohio TA (COTA), Columbus, OH	377	✓	✓	✓	✓	✓	✓		✓					✓				✓	✓
Greater Bridgeport TA (GBTA), Bridgeport, CT	90	✓	✓	✓	✓	✓	✓	✓	✓	✓				✓	✓		✓	✓	✓
Intercity Transit, Olympia, WA	97	✓	✓	✓	✓	✓	✓	✓	✓					✓	✓	✓	✓	✓	✓
Madison County Transit, Granite City, IL	114	✓	✓	✓	✓	✓	✓							✓			✓	✓	✓
Monterey-Salinas Transit, Monterey, CA	118	✓	✓	✓										✓				✓	✓
Colorado Springs Transit, CO	92	✓	✓		✓				✓						✓		✓		
Pierce Transit, Tacoma, WA	220	✓	✓	✓		✓	✓		✓					✓		✓	✓	✓	✓
Stark Area Transit, Canton, OH	64	✓	✓	✓	✓	✓	✓		✓					✓			✓		
Suffolk County Transit, East Islip, NY	300	✓	✓	✓	✓	✓	✓	✓	✓					✓		✓	✓	✓	✓
Westchester County ("Bee Line"), White Plains, NY	408	✓	✓	✓		✓	✓	✓	✓					✓	✓	✓	✓	✓	✓
Capital Metro Transit, Austin, TX	310												✓				✓	✓	✓
Rhode Island Public Transit Authority (RIPTA), Providence, RI	234	✓	✓	✓	✓	✓	✓	✓	✓					✓	✓		✓	✓	✓
Montgomery County Transit, Rockville, MD	278	✓	✓	✓		✓								✓	✓		✓		
Greater Richmond Transit Commission (GRTC), Richmond, VA	125	✓	✓			✓	✓		✓					✓			✓	✓	
King County Metro Transit, Seattle, WA	1,225			✓				✓								✓	✓	✓	
Transit Auth. of Northern Kentucky (TANK), Covington, KY	102	✓	✓	✓	✓	✓			✓								✓		
Walt Disney World, Orlando, FL	210	✓	✓	✓		✓			✓					✓		✓	✓		
Long Island Railroad (LIRR), Queens, NY	145		✓														✓		
State of Wisconsin DOT	>5,000		✓	✓					✓					✓	✓		✓		
New York City Dept of Education, NY	8,500		✓	✓										✓			✓	✓	
Los Angeles Metro, CA	2,228								✓					✓			✓	✓	
PRTC, Woodbridge, VA	135	✓	✓	✓	✓	✓	✓	✓	✓					✓	✓		✓	✓	✓
SFMTA, San Francisco, CA	1,200	✓	✓	✓		✓	✓	✓	✓					✓	✓				✓
Canberra, Australia	420	✓	✓	✓		✓	✓	✓	✓					✓	✓			✓	✓
Calgary Transit, Calgary, Alberta, Canada	1,028	✓	✓	✓		✓	✓		✓		✓			✓			✓	✓	✓
Cobb Community Transit, Marietta, Georgia	135	✓	✓	✓	✓	✓	✓		✓					✓				✓	
Gwinette County Transit, Norcross, Georgia	101	✓	✓	✓	✓	✓		✓	✓					✓				✓	✓
SEPTA, Philadelphia, PA	1,750	✓	✓	✓	✓	✓		✓	✓					✓	✓	✓	✓	✓	✓

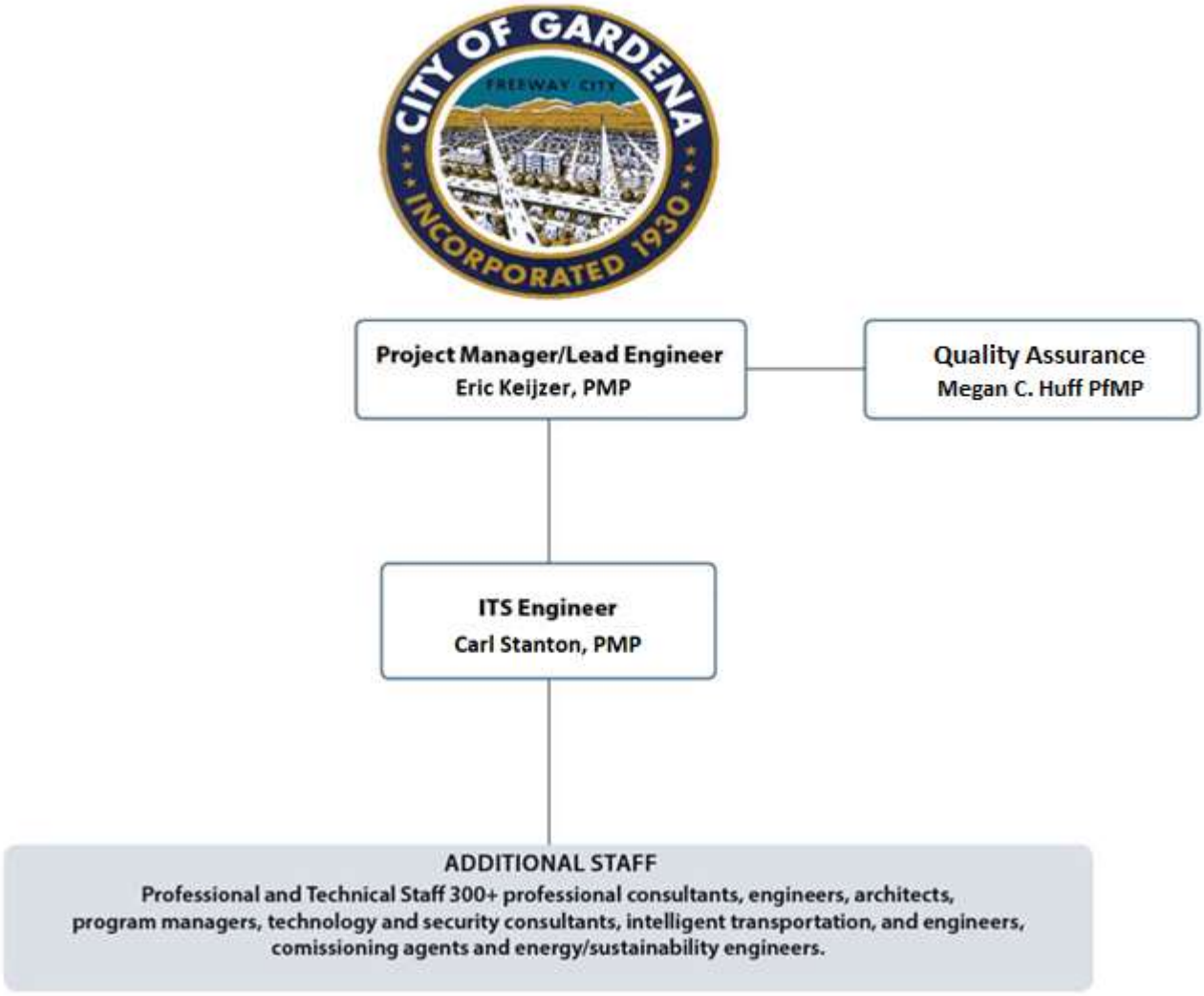
MACRO
A division of Ross&Baruzzini

Chapter 3 Qualifications and Experience of Proposed Staff

Ross & Baruzzini | Macro is proposing Eric Keijzer and Carl Stanton for the project coordination of the Scheduling Operations Management and Payroll Integration System project. This is the same team responsible for the previous and mostly completed GRID project phases.

As shown in the organization chart below, Eric Keijzer will be the Project Manager/ Lead Engineer and Carl Stanton will be the ITS Engineer, supporting Eric. Eric as worked on many transit projects throughout his career.

Résumés for Eric Keijzer, Carl Stan and Megan Huff are enclosed.



Eric (A.J.M.) Keijzer, PMP, SSCP

Project Manager

Education
B.S., Information Technology – Fontys University, Eindhoven The Netherlands

B.S., Management Science – The Enschede Polytechnic, Enschede, The Netherlands

University Degree in Marketing (NIMA A and B), Enschede, The Netherlands

Certification & Accreditation
Certified Project Management Professional (PMP)

Systems Security Certified Practitioner (SSCP)

Wonderware System Platform 1 and 2

Affiliations
Project Management Institute (PMI)

International Information Systems Security Certification Consortium (ISC)²

Eric has more than 23 years of experience and brings a wealth of specialized skills including CAD/AVL, IVR, ITS/Smart Bus, Scheduling Systems, GPS, Passenger Information Systems, Cyber Security, Database applications, Computer Systems Networking, SharePoint,. Eric has worked on a variety of fleet monitoring, wireless communications and Transit ITS projects and was involved in all project life cycle phases. Eric is currently responsible for two CAD/AVL projects and provides technical assistance for multiple other AVL, IVR, and CETC projects.
Eric is a Project Management Institute (PMI) Credentialed Project Management Professional (PMP) and is a certified Systems Security Certified Practitioner (SSCP).

Summary of Experience

GTrans, City of Gardena, GTrans Real-Time Information Deployment (GRID), Gardena, California
Project Manager and lead engineer responsible for the planning phase, technical specifications, and proposal evaluation for a robust ITS system that includes a CAD/AVL system, real-time passenger information system, and on-bus hardware for Transit Signal Priority.

San Francisco Municipal Transportation Authority (SFMTA), Multimodal Transit Management System (MTMS) and Public Service Voice Radio Network (PSVRN), San Francisco, California
Subject Matter Expert of all matters concerning the MTMS, related, CAD/AVL, and other ITS-oriented systems of this state-of-the-art solution. Eric is also the project manager responsible for coordinating Macro's consulting engineering services related to the new radio system deployment. Eric works closely with SFMTA's team to review the CAD/AVL design package and their system's interface with the new radio system, oversees system staging, factory testing, installation and mini-fleet testing, full fleet deployment and cutover, and related user and system administration training. The MTMS includes CAD/AVL, integrated incident management/reporting, ADA compliant traveler information, scheduling system interfaces, above and underground radio systems, a primary and secondary control center, 7 radio sites, with equipment installed on all SFMTA vehicles, including the light rail and historical vehicles.

Southeastern Pennsylvania Transportation Authority (SEPTA), CAD/AVL System, Philadelphia, Pennsylvania
Project Manager and lead engineer responsible for the specification for replacing a legacy CAD/AVL System supporting approximately 1750 vehicles operating out of nine (9) depots throughout the Philadelphia metropolitan area.

Los Angeles Metro, Integrated Bus and Rail Operations Center, Los Angeles, California
Design Engineer for Macro for the new Metro Bus Operations Center (BOC) and Rail Operations Center (ROC) to integrate functions, improve communication and coordination. Responsible for preparing comprehensive assessment of all current bus operations, including existing systems and processes, and providing

recommendations for new roles, systems, and processes for the integrated BOC/ROC. Prepared existing process diagrams and future process diagrams for bus operations based upon recommended roles, systems, and processes.

Potomac and Rappahannock Transportation Commission (PRTC), CAD/AVL System, Woodbridge, Virginia
Eric developed procurement specifications, evaluated vendor proposals, and was the project manager for the implementation oversight of replacing a legacy CAD/AVL system supporting PRTC's 135 vehicle fixed route and flex fleet with a system providing CAD/AVL functions, a fleet wide Automatic Passenger Counting (APC) implementation, interfaces to fixed and flex scheduling systems, and real time customer information feeds using the General Transit Feed Real Time Specification (GTFS RT).

Suffolk County Transit, CAD/AVL System, Yaphank, New York
Project manager for the implementation oversight of a new CAD/AVL system supporting Suffolk County's 288 vehicle fixed route and paratransit fleet. Eric participated in the collection and analysis of user requirements and planning, developed procurement specifications, and evaluated vendor proposals for a CAD/AVL system for the Suffolk County Transit System.

Amtrak Northeast Corridor, CETC Replacement Project, Multiple locations
Engaged to replace the current system with a new Central Electrification and Traffic Control (CETC) system that monitors and controls rail traffic on the Northeast Corridor (NEC). Tasks include field and factory testing, developing and maintaining a Microsoft SharePoint Project Management site, and performing security audits.

New York City Transit Authority, Paratransit Division, AVL and IVR Systems, New York, New York
Provided project management and technical support of the Automatic Vehicle Location Monitoring system (AVLM) that adds AVL capabilities to the existing ADEPT paratransit scheduling system with over 1300 vehicles.

NYCT extended Macro's contract to include an Interactive Voice Response (IVR) system. Eric also provided project management support for this IVR project.

San Diego Trolley, Trolley Control Project, San Diego, California
Provided network and IT support for the development of a new Trolley Control System for centralized management of the San Diego Trolley light rail system. Tasks included field and factory testing and developing and maintaining a Microsoft SharePoint Project Management site.

King County, Transit Radio System Project, Washington, DC
Developed and implemented evaluation databases for a transit radio system procurement. The databases were implemented in a way that the client can reuse them for other projects.

The Connecticut Department of Transportation, AVL Demonstration Project, Connecticut
Supported project management, collected user requirements, and developed procurement specifications for a CAD/AVL System being procured for the Greater Bridgeport Transit Authority.

Carl M. Stanton, PMP
ITS Engineer

Carl has several years of experience designing solutions to transit-related problems. During the completion of his Master's Degree, Carl designed a new and more efficient system of loading and unloading cars onto trains. As a designer at Macro, Carl has been developing future control center technologies through user research, interviews, existing product studies, ideation, and vendor dialogues. Carl also has experience as a Network Administrator & Help Desk Technician, as well as being a trained Educator.

Education
MS, Industrial Design,
Philadelphia University

BS, Technology Education,
Berea College,

Certification & Accreditation
Certified Project Management Professional (PMP)

ECBA (Entry Certificate in Business Analysis)

Affiliations
Industrial Design Society of America (IDSA)

Summary of Experience

GTrans, City of Gardena, ITS Roadmap, Gardena, California
Consultant defining functional requirements specification and procurement support for a robust ITS system that includes CAD/AVL system, real-time passenger information system, and on-bus hardware for Transit Signal Priority. The project is comprised of Business Process analysis of Gtran's current operations and business practices, defining functional requirements for the ITS system, and procurement support consisting of evaluation of bids according to functional requirements.

Versova Bandra Sea Link, Intelligent Transportation System (ITS) Design
Mumbai, India
Consultant for the Intelligent Transportation System technology (ITS) for a designbuild project which will provide an integrated, fully-operational traffic management & control solutions to pro-actively manage and operate the roads, provide information, and provide cashless payment options leading to and within the sea link. This will include all head-end related equipment, accessories, software, licensing, and other equipment necessary for the operations of the system. The toll design incorporates ITS technology to identify vehicles, minimize cash payment, offer better payment system, reduce delays, reduce transaction time and reduce stopping.

Dubai Aviation Engineering Projects (DAEP), Al Maktoum International Airport, ITS Design 450 D West Area Roads, Dubai, UAE
Consultant for the intelligent transportation systems to construct new access roads into the West Terminal. The scope of work includes point & probe detection, CCTV, lane control & dynamic message signs, curbside management and associated telecommunications & electrical infrastructure. Phases include conceptual, preliminary, and detailed designs.

Dubai Airport Engineering Projects, Al Maktoum International Airport, Intelligent Transport Systems, Concourse 1, Dubai, United Arab Emirates
Consultant for 10km of tunnels under concourse 1 and the surrounding area. GSE roads and apron stands are also included. The scope includes tunnel automated

incident detection (AID), CCTV, tracking, and associated telecommunications & electrical infrastructure.

Dubai Airport Engineering Projects, Al Maktoum International Airport, Intelligent Transport Systems, West Area Roads, Dubai, United Arab Emirates
Consultant for new access roads into the West Terminal. The scope includes point and probe detection, CCTV, lane control and dynamic message signs, curbside management and associated telecommunications and electrical infrastructure.

Caltrain, Peninsula Corridor Electrification Program, San Mateo, California
Consultant representing Caltrain for the Design-Build Electrification Services Project as part of the Electrification Program. Responsible for reviewing communication systems design submittals, systems integration plan, verification and validation plan, and other system related submittals

Southeastern Pennsylvania Transportation Authority, New Payment Technologies Installation Acceptance Testing, Philadelphia, Pennsylvania
On-Site Representative for performing installation acceptance testing on newly installed fare collection hardware (TVM's, Turnstiles, ADA gates, Platform Validators, Sales Devices). The results of the testing using the pre-written Installation Acceptance Test procedure were recorded.

Southeastern Pennsylvania Transportation Authority, Real-Time Vehicle Location, Philadelphia, Pennsylvania
Consultant for field testing and visual validation for Passenger information system upgrades on SEPTA's commuter rail system. Visual mockups for the Concept of Operations of new passenger information displays being installed on the subway lines were created. Field research was conducted on the accuracy of current vehicle location tracking in SEPTA's trolley tunnel.

Southeastern Pennsylvania Transportation Authority, Real Time Vehicle Location, Phase 2, Philadelphia, Pennsylvania
Consultant for system design and construction-related services to during the implementation of Real Time Vehicle Location (RTVL). The project focused on implementing new vehicle equipment, LTE communications, specialized servers to acquire and broadcast geographic location and scheduled arrival status data feeds, and GTFS real time data feeds for regional rail, heavy rail, light rail, and bus. The project included implementing enhancements to Automatic Train Control systems, a new Audio Visual Public Address system to accommodate RTVL data feeds and to produce real time train status for regional and heavy rail systems, development assistance on SEPTA's new mobile app, data warehousing, and data analytics.

American Public Transit Association, Control Center of the Future, Pennsylvania
Consultant for leading an internal research effort about new technologies that will impact transit control centers. This research culminated in presentations regarding future technologies in Transit Control Centers at the American Public Transit Association's (APTA) Rail conference in 2017, and for the Research and Technology Committee of APTA.

Megan C. Huff
Quality Assurance

Education
Bachelor of Arts, Arizona State University, 1993

Certifications
PfMP- Portfolio Management Professional

Megan Huff is the Vice President and Managing Principal of Macro, a division of Ross & Baruzzini and one of the leading rail, transit and public safety radio systems engineering consultancy firms in the United States.

With more than 25 years of experience in the transportation industry, Megan has an extensive track record in end-to-end delivery of complex, high priority projects on tight schedules within mission critical service organizations and a history of delivering value to the bottom line through process improvements and technology modernization. She has expertise in leading and directing technology related strategic planning, project development and implementation across a variety of public transit agencies.

Summary of Experience

Amtrak, Senior Director Operations Technology, Philadelphia, Pennsylvania
Responsible for leading and directing technology related strategic planning, project development and implementation for all business lines and support organizations in Operations. Partnered with business line, support and information technology leaders in the development and delivery of integrated technology solutions to optimize efficiency, improve performance, and support business decision making.

Managed investment and directed all technology activities for Amtrak's largest division consisting of 19,000 employees and all operational assets to include rolling and fixed assets.
Designed and implemented measurements and controls for analyzing needs against the developed strategic plan.

Amtrak, IT Director of Requirements and Business Planning, Philadelphia, Pennsylvania
Responsible for developing computer systems and coordinating overall technical support for the COO's business operations and objectives and ensuring that they are compatible with the long-term plans for Amtrak's business, enterprise architecture and technology infrastructure. Worked to identify the optimal long-term technology solutions in support of the Operations unit while also balancing the need to deliver near-term business solutions and technical support for day-to-day operations.

Managed project delivery, directed project managers, and managed analytic processes such as Systems Engineering, Business and Functional Requirements and Architecture analysis. Provided consultative guidance to the business units to pro-actively identify technology solutions for their business priorities, as well as assessed IT performance in meeting ongoing development and production support.

Charlotte Area Transit System (CATS), Manager of Systems and Research, Charlotte, NC
Transformational technology leader for major revitalization program across the Charlotte region through implementation of the first light rail line.
Responsible for all operational technology systems for Bus, Rail, Special Transportation(ADA), Safety & Security and Facilities; included Automatic Vehicle Location, Automatic Passenger Counters, Scheduling and Dispatch, Maintenance and Material Management, Signal Priority, Incident Management, Passenger Information Display deployments, etc. Determined future needs and planned projects, was responsible for budgets both capital and operating.

Charlotte Area Transit System (CATS), Business Application Support Specialist, Charlotte, NC
Focused on business process analysis and standards development with an understanding of complex technical solutions as related to current and future transit initiatives. Developed comprehensive transit business requirements from a technological perspective and insured compliance with National ITS standards; which included the development and management of assigned projects insuring schedules, milestones and resource targets were met. Spearheaded data collection and compliance with ITS by implementing and maintaining Turbo Architecture for the organization.

Provided support for the transit GIS systems, data, related sub-systems, and interfaces. Managed the execution of activities and tasks associated with all GIS information including implementations, integration, reporting, upgrades, maintenance, data validation and support. Served as the CATS voting member on all City of Charlotte and Mecklenburg County collaborative committees as relating to GIS.

Port Authority of Allegheny County, Project Manager, Pittsburgh, Pennsylvania
Responsible for formulation and definition of system scope and objectives based on user needs and a good understanding of applicable business systems and industry requirements. Devised or modified procedures to solve complex problems considering computer equipment, capacity, operating time, and form of desired results; included analysis of business and user needs and documentation of requirements.
Delivered Point of Sale System by reengineering existing business processes from Treasury to Finance and at the Customer Service Center. Implemented a Windows Based SQL Driven Touch Screen and Bar-Coded Item Point of Sale System for sale of all fare instruments, including interfacing to existing Subscription and Financial systems. Developed and managed the Corporate Web Site - www.PortAuthority.org / www.RideGold.com. Accountable for the design, development and delivery of the Incident Tracking and Management System that tracked all accidents and incidents that occurred in revenue service from occurrence to discipline and retraining of the responsible party.

Chapter 4 Workplan

The following Work Plan describes the GTrans related project coordination activities the Ross & Baruzzini | Macro Team will complete for the City of Gardena Scheduling Operations Management and Payroll Integration System Project. This work plan has been designed for the particular needs of the GTrans Scheduling Operations Management and Payroll Integration System Project, as well as in recognition of the many implementations previously completed by the Ross & Baruzzini | Macro Team.

All work will be coordinated by the Ross & Baruzzini | Macro Project Manager experienced with managing similar projects. The Ross & Baruzzini | Macro project manager will be in close contact with GTrans' designated point of contact throughout the project to ensure that Ross & Baruzzini | Macro's work and deliverables are on schedule and meeting GTrans' expectations. A project-specific SharePoint site will be established to make it easier for GTrans personnel to have access to project-related documentation. Progress and costs will be tracked and reported monthly.

Line Item	Deliverable	Responsible	Due Date	Description
1	Project Coordination	Macro PM	Weekly	Macro team to manage Action Items and coordinate responses to Action Items assigned to GTrans.
1	Project Coordination	Macro PM	Monthly	Macro team to manage Requirements Traceability Matrix (RTM)
1	Project Coordination	GTrans PM	Weekly	GTrans PM to approve closure of Action Items.
1	Project Coordination	Macro PM	Weekly	Macro team to manage test variation items.
1	Project Coordination	GTrans PM	Weekly	GTrans PM to approve closure of test variation items.
1	Project Coordination	Macro PM	Monthly	Macro team to review vendor milestone invoices.
1	Project Coordination	GTrans PM	Monthly	GTrans PM to approve vendor milestone invoices.
2	Project Kick-off	Macro PM	Once	Macro PM to setup and attend via conference call project kick off meeting and create or review meeting minutes.
3	Monthly Progress Meetings	Macro PM	Monthly	Macro PM to setup and attend Monthly Progress meetings and create or review minutes of the meetings
4	Bi-Weekly Calls	Macro PM	Bi-weekly	Macro team setup and attend via conference call and create or review minutes of the meetings
5	Project Design Review (Fixed Route Scheduling)	Joint	Once	Macro PM to setup and attend the Project Design Review of the Fixed Route Scheduling software and create minutes of the meetings.

6	Project Design Review (Operations Management)	Joint	Once	Macro PM to setup and attend the Project Design Review of the Operations Management software and create minutes of the meetings.
7	Project Design Review (COM Design)	Joint	Once	Macro PM to setup and attend the Project Design Review of the COM Design software and create minutes of the meetings.
8	Review Draft Project Design Review Documents	Joint	Once	Macro team to review Draft Project Design Review Documents and generate questions and comments.
9	Review Final Project Design Review Documents	Joint	Once	Macro team to review Final Project Design Review Documents and generate questions and comments.
10	Review Test Plans and Test Procedures	Joint	Once	Macro team to review Test Plans and Test Procedures and generate questions and comments.
11	Review Training Plans and Manuals	Joint	Once	Macro team to review Training Plans and Manuals and generate questions and comments.
12	Review Trapeze Internal Test Results	Joint	Once	Macro team to review Trapeze Internal Test Results and generate questions and comments.
13	Acceptance Testing	Joint	Once	Macro PM to setup and attend Payroll Testing.
14	Payroll Testing	Joint	Once	Macro PM to setup and attend Payroll Testing.
15	OPS-Web Pilot Testing	Joint	Once	Macro PM to setup and attend OPS-Web Pilot Testing.
16	Parallel System Acceptance Testing	Joint	Once	Macro PM to setup and attend Parallel System Acceptance Testing.

Chapter 5 Cost Proposal

This proposal is for a firm fixed price of **$134,400**, including expenses, for a 14-month period.
This will be billed in 14 equal payments of **$9,600**, beginning 30 days from contract start date.

PERIOD OF PERFORMANCE: The Ross & Baruzzini | Macro shall provide all level of effort, trips, data and reports required by GTrans for the scope described in Chapter 4, page 13 and 14 of this document for a period of 14 months. Should the project extend beyond 14 months, a "Change Order" or new agreement will be required.

Additionally, while the fixed price entitles GTrans to flexible consultation with us, if questions or issues require additional research and analysis beyond the agreed to scope, that work will be subject to an additional price negotiation before the service is to be performed, and a "Change Order" will be issued before delivery of the additional service, with payment terms agreed to in advance.

INVOICING
Ross & Baruzzini | Macro will submit an invoice monthly, based on the agreed to equal monthly payment. Detailed accounting of hours or expenses are not required. Detail will be available upon request of GTrans.

PROFESSIONAL CONSULTING SERVICES FOR Gardena Scheduling Operations Management and Payroll Integration System PROJECT

COST PROPOSAL - Project Coordination

FIRM NAME: Macro

Project Management Phase		**PERSONNEL BREAKDOWN BY HOURS**								
	Enter Job Title:	PM (Eric)	ITS Engr (Carl)							**Sub Totals**
1	Project Coordination	104.00								**104.00**
2	Project Kick-off Meeting (Remote)	2.00	4.00							**6.00**
3	Attend 14 monthly progress meeting (on-site at Gardena) 16 hours per trip. Combined trip with GRID monthly meeting.	112.00								**112.00**
4	28 Biweekly Conf. Calls	28.00	56.00							**84.00**
5	Attend Project Design Review - Fixed Route Scheduling (on-site at Gardena)	24.00								**24.00**
6	Attend Project Design Review - Operations Management (on-site at Gardena)	40.00								**40.00**
7	Attend Project Design Review COM Design (on-site at Gardena)	16.00								**16.00**
8	Review Draft Project Design Review Documents	20.00	40.00							**60.00**
9	Review Final Project Design Review Documents	8.00	10.00							
10	Review Test Plans and Test Procedures	8.00	40.00							**48.00**
11	Review Training Plans and Manuals	8.00	40.00							**48.00**
12	Review Trapeze Internal Test Results	20.00	40.00							**60.00**
13	Acceptance Testing (on-site at Gardena)	40.00								**40.00**
14	Payroll Testing (on-site at Gardena)	8.00								**8.00**
15	OPS-Web Pilot Testing (on-site at Gardena)	8.00								**8.00**
16	Parallel System Acceptance Testing (on-site at Gardena)	16.00								**16.00**
										0.00
	Subtotal of Hours	462.00	230.00	0.00	0.00	0.00	0.00	0.00	0.00	**692.00**
	Rate per Hour	$165.32	$86.32							**Cost:**
	Subtotal per Task	$76,378.09	$19,852.45	$0.00	$0.00	$0.00	$0.00	$0.00	$0.00	**$96,230.54**

Travel Costs (Description Required)		
1	14 monthly progress meeting (1 person, 2 days on site)	$20,916.00
2	Project Design Review Fixed Route Scheduling meeting and COM Design (1 person, 5 days on site)	$2,028.00
3	Project Design Review Operations Management (1 person, 5 days on site)	$2,028.00
4	Acceptance Testing (1 person, 5 days on site)	$2,028.00
5	Payroll, OPS-Web Pilot and Parallel System Testing (1 person, 5 days on site)	$2,028.00
	Sub Total Travel Cost	$29,028.00

	Hours:	***Cost:***
Sub Total	**692.00**	**$96,230.54**
Profit Margin % and Dollars	**10%**	**$9,623.05**
Not to Exceed GRAND TOTAL (w/o travel)		**$105,853.60**
Total for Travel Costs		**$29,028.00**
GRAND TOTAL (including travel)		**$134,400.00**
14 Equal payments		**$9,600.00**

City of Gardena
City Council Meeting

Agenda Item No. 5.D. (3)
Department: Consent Calendar
Meeting Date: December 10, 2019

AGENDA REPORT SUMMARY

TO: THE HONORABLE MAYOR AND CITY COUNCIL MEMBERS

AGENDA TITLE: APPROVAL OF AGREEMENT AMENDMENT WITH MACRO, A DIVISION OF ROSS & BARUZZINI FOR A CONTRACT AMENDMENT TOTAL OF $155,583 AND A PROJECT TOTAL OF $171,141

COUNCIL ACTION REQUIRED:

Approve Amendment

Action Taken

RECOMMENDATION AND STAFF SUMMARY:

The City of Gardena's GTrans is preparing to proceed its GTrans' Real-Time Information Deployment Project (GRID), which includes Computer Aided Dispatch/Automated Vehicle Location (CAD/AVL) Dispatching and Monitoring System, Real-Time Next Bus Arrival Information System, Bus Signal Priority Integration, Vehicle Health Monitoring Solution, and an ITS Data Management/Reporting Solution. GTrans wishes to pursue professional project management services that will guide this project with critical expertise to ensure a successful deployment.

To that end, GTrans is able to leverage its existing contract with MACRO, a Division of Ross & Baruzzini by amending it to include project management services. MACRO was hired in 2018 to provide technical expertise to GTrans in recommending and developing requirements for the ITS project. In September 2019, GTrans amended its original contract with MACRO to include project management services for the implementation of its Scheduling and Operations Management project. Staff is extremely pleased with the work MACRO has performed, and is confident that GTrans will benefit greatly from a continuation of their work to manage the GRID project. MACRO has significant experience working on ITS projects with small and large transit agencies not only in California, but also throughout the country.

MACRO's proposal to manage the GRID project is $155,583. GTrans is also requesting an additional contingency of 10 percent or $15,558 to accommodate any unforeseen changes that may arise. Such funds would not be expended without prior GTrans approval.

Therefore, it is recommended that the Council authorize the execution of a contract amendment to the existing agreement with MACRO, a Division of Ross & Baruzzini in the amount of $155,583, and a contingency of $15,558 for a project total of $171,141.

FINANCIAL IMPACT/COST:

This project is funded through existing federal, state and local grant funds available to GTrans and specifically designated for both projects. There is no impact to the General Fund.

ATTACHMENTS:

A. Contract Amendment between City of Gardena and MACRO, a Division of Ross & Baruzzini
B. MACRO Statement of Proposal – Implementation Oversight for GTrans Real-Time Information Deployment (GRID) System Project

Submitted by _____, Ernie Crespo, Transportation Director Date 12/3/19

Concurred by _____, Clint Osorio, Interim City Manager Date 12/4/19

CITY OF GARDENA
SECOND AMENDMENT TO CONSULTANT AGREEMENT

This Second Amendment to Agreement is entered into this 10th day of December, 2019 by and between the City of Gardena, a municipal corporation ("City") and MACRO, A Division of Ross & Baruzzini. a ("Consultant").

WHEREAS. City and Consultant entered into a Consultant Agreement dated June 26, 2018, ("Agreement") pursuant to which Consultant has provided Traffic Signal/Engineering Services;

WHEREAS. City and Consultant desire to contract for additional services pursuant to section 3 of the Agreement.

WHEREAS. City and Consultant desire to contract for additional consulting services for its Intelligent Transportation System (ITS) Project designated as Project Management for GRID, in Consultant's proposal dated November 20, 2019 attached hereto as Exhibit "A"

NOW, THEREFORE, the parties agree as follows:

1. Consultant shall perform, as Additional Service, the work designated as Project Management for GTrans Real-Time Information Deployment (GRID) Project in Exhibit A;

2. Consultant shall be compensated for time and materials in an amount not to exceed $155,583;

3. Subject to the right of either party to terminate with or without cause as set forth in the Agreement, Consultant shall perform the services set forth in Exhibit A within the time set forth therein;

4. The rights and obligations of the parties with regard to the provision of these Additional Services shall be governed by the Agreement.

IN WITNESS WHEREOF, City and Consultant have executed this Agreement as of the date first hereinabove set forth.

CITY OF GARDENA

BY Tasha Cerda

Tasha Cerda
Mayor

DATE December 10, 2019

ACCEPTED

MACRO

BY _____

DATE 12/17/19

APPROVED AS TO FORM

BY _____

Peter Wallin
City Attorney

DATE 12/4/2019

CITY OF GARDENA

STATEMENT OF PROPOSAL

Implementation Oversight for GTrans Real-Time Information Deployment (GRID) System Project

November 20,2019

MACRO

A division of Ross&Baruzzini

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CHAPTER 6 Cost Proposal

Chapter 1 Company and General Information

Name	Ross & Baruzzini | Macro
Address	West Main Street, Suite 500, Lansdale, Pennsylvania 19446
Primary Contact	Megan C. Huff, Vice President/ Managing Principal
Telephone/E-mail	(877) 543-6071, mhuff@macro.com
Year Founded	Macro: 1968 Ross & Baruzzini: 1953
Firm Size	Macro has 24+ subject matter experts located in Philadelphia, Pennsylvania and in the regional areas of New York/New Jersey, Massachusetts, and Utah. Ross & Baruzzini employs nearly 400 design professionals and subject matter experts across the United States including regional offices in Columbia (Illinois), Indianapolis, New York, Philadelphia, Connecticut, Miami, and Toronto.
Organizational Structure	Corporation; Macro is wholly owned by Ross & Baruzzini.

Chapter 2 Qualifications and Experience of the Firm

About the Firm

Founded in 1953, Ross & Baruzzini has been consistently ranked as one of the premier consulting engineering companies in the world, most recently ranked among the top 500 design and construction firms in Engineering News-Record and in Building Design & Construction's top 40 engineering companies in the United States. With a history of innovation spanning 65 years, the firm approaches each new project with a detailed understanding of business processes, facilities and technology requirements to ensure that personnel, technology, and process are fully integrated for maximum efficiency and effectiveness.

Organizational Structure: Corporation
Size of Firm: Large Business
Years in Business: 65
Name of Owners & Principals: Craig Toder, William Overturf III
Number of Staff: 300+

Ross & Baruzzini, along with Macro, a division of Ross & Baruzzini, offers full-service consulting services to rail and bus clients who want a totally integrated consulting and design solution. By consistently employing structured system engineering processes, modern project management techniques and real-world, hands-on experience, Ross & Baruzzini | Macro delivers the value-added knowledge resource clients seek.

Ross & Baruzzini | Macro is an independent, full-service, technology, system engineering, and project management consultancy firm proudly serving public mass transit providers and public safety agencies, and public utilities. Ross & Baruzzini | Macro offers a strong track record of assisting transit agencies throughout North America and Australia to plan for, procure, and deploy, the widest spectrum of Intelligent Transportation Systems (ITS) for fixed-route bus and paratransit services, such as:

- CAD/AVL systems
- Real-time Passenger Information (APIS)
- Automatic Passenger Counters (APC)
- Private land mobile radio (voice & data)
- Public cellular
- Bus & Paratransit scheduling software
- In-vehicle camera systems
- Interactive Voice Response (IVR)
- Audio/visual annunciators
- Mobile Wi-Fi access
- On-board displays/terminals
- Destination signage
- Automatic vehicle monitoring (AVM)
- Facility security/CCTV
- Paratransit client reservation systems
- Vehicle diagnostic monitoring

Since its inception, Ross & Baruzzini | Macro staff have developed an extensive knowledge base designing and managing the implementation of major subsystems found in a variety of public transit fleet management and communications systems deployed through the practical application of over 45 ITS assignments. Ross & Baruzzini | Macro's proven system engineering principles and best-practices will be employed to achieve the City of Gardena's (GTrans) system objectives.

Availability of Project Manager

Ross & Baruzzini | Macro's proposed Project Manager, Eric Keijzer, PMP, has supported several projects in California, including projects with GTrans, SFMTA, and LA Metro. Eric can easily shift his work schedule to be accessible during regular GTrans business hours. Of course, he would also be available outside these regular business hours if the need arises.

Ross & Baruzzini | Macro Differentiators

Ross & Baruzzini | Macro has been providing consulting services for the planning, specification, and implementation of ITS systems for fixed-route bus service for over 30 years. Many of the earliest ITS systems implemented in the United States were implemented with Ross & Baruzzini | Macro assistance.

Part of Ross & Baruzzini | Macro 's core business is also its radio and communications group, comprised of an experienced consulting team of established public transit/ public safety radio communications experts. These experts perform system

analysis, specification development, design, and implementation of voice and data Land Mobile Radio and Microwave systems nation-wide. These resources are available for assistance on the various communications needs of this project.

Ross & Baruzzini | Macro has successfully completed ITS consulting assignments for a large number and wide range of transit agencies. As shown in the table of similar clients below, the functions/systems GTrans intends to procure, and the consulting services GTrans has specified in it request closely align with the functions and services provided by Ross & Baruzzini | Macro on the majority of ITS projects.

A primary advantage of selecting Ross & Baruzzini | Macro is the wealth of experience Ross & Baruzzini | Macro brings from having done it before.

We are not just planners and/or designers, we are doers.

Ross & Baruzzini | Macro 's culture is such that the company is very stable. Many of the same engineers that implemented the early systems are still at Ross & Baruzzini | Macro today. The core engineering team is located in the Philadelphia, PA office. When assistance is needed to address a situation, it's very likely that there is another engineer who has solved this problem before.

Ross & Baruzzini | Macro uses recognized systems engineering and project management processes and tools to ensure that Macro's consulting assignment is delivered on time and within budget and exceeds our client's expectations. Our tools are listed below:

- Planning and Specification Guide
- Baseline ITS Functional/Performance Specification that reflects the experience gained from many ITS projects
- Library of project cost data from other projects to aid in the production and accuracy of system cost estimates
- Microsoft Project Scheduling software
- Project SharePoint site for collaboration on deliverables among the Macro/client team members, storage of reference material, and tracking of project action items and issues
- Deltek Vision project accounting software, which provides Macro's Project Managers with real-time access to project plans and costs
- Rigorous QA procedures that ensures that every deliverable is reviewed internally prior to delivery to the client

List of Similar Clients

Below is Ross & Baruzzini | Macro's industry-leading portfolio of completed and ongoing transit/transportation-related consulting assignments pertaining to the planning, design, procurement, installation, and deployment of state-of the art ITS technologies:

- Real-time CAD/AVL platforms with passenger information (bus arrival) delivery/displays
- "Smart bus" in-vehicle subsystems such as, but not limited to, route and schedule adherence tracking and reporting, data messaging, APCs, destination signs, automatic next-stop annunciators, and farebox interface
- Outputs to transit-oriented decision support systems (TODSS)
- Wide-area wireless communications infrastructures (land mobile radio and cellular-based)
- Transit-oriented, multi-modal, operations control centers

Clients of Macro's Transit ITS Practice

	Fleet Size	Computer Aided Dispatch	Automatic Vehicle Location	Voice/Data Radio	Paratransit Manifesting	On-board Annunciators	Auto. Passenger Counters	Farebox Interface	Customer Info. Systems	Scheduling & Dispatching	Traffic Signal Priority	Trip Planning	Security / Incidents	Regional Integration	Facility Planning	Strategic Planning	System Specification	Procurement Support	Implementation Oversight
Alameda-Contra Costa (AC) Transit, Oakland, CA	748	✓	✓	✓		✓	✓	✓	✓	✓				✓	✓	✓	✓	✓	✓
Tri-Met Transit, Portland, OR	300	✓	✓	✓	✓	✓	✓	✓	✓	✓			✓	✓	✓	✓	✓	✓	✓
Honolulu PTD ("The Bus"), Honolulu, HI	525	✓	✓	✓	✓	✓	✓		✓					✓		✓	✓	✓	✓
Rochester - Genesee County Regional Transit, Rochester, NY	266	✓	✓	✓	✓	✓	✓	✓	✓					✓		✓	✓	✓	✓
Regional Trans. Commission of Clark County ("CAT"), Las Vegas, NV	430	✓	✓	✓	✓	✓	✓	✓	✓	✓				✓	✓	✓	✓	✓	✓
Santa Clara Valley Transit Authority (VTA), San Jose, CA	680	✓	✓	✓		✓	✓				✓			✓		✓	✓	✓	✓
San Diego (SDTC/NCTD), San Diego, CA	598	✓	✓	✓			✓	✓	✓	✓				✓	✓	✓	✓	✓	✓
Valley Metro, Phoenix, AZ	1,195	✓	✓	✓	✓	✓	✓	✓	✓	✓			✓	✓	✓		✓	✓	✓
San Mateo County Transit ("SamTrans"), San Carlos, CA	409	✓	✓	✓	✓	✓	✓	✓	✓					✓			✓	✓	✓
City of El Paso Transit, TX	574	✓	✓		✓	✓	✓		✓					✓			✓	✓	✓
State of Connecticut DOT	150	✓	✓	✓	✓	✓	✓	✓	✓					✓		✓	✓	✓	
Metropolitan Council ("Metro Transit"), Minn-St. Paul, MN	953	✓	✓	✓			✓	✓	✓					✓		✓	✓	✓	✓
PACE, Chicago suburbs, IL	669	✓	✓	✓		✓	✓	✓	✓		✓			✓			✓	✓	✓
Milwaukee County Transit, Milwaukee, WI	550									✓							✓	✓	✓
Hampton Roads Transit, Norfolk, VA	301	✓	✓	✓		✓	✓	✓	✓	✓			✓	✓	✓	✓	✓	✓	✓
NYCT Fixed Route, New York, NY	250	✓	✓			✓	✓	✓	✓					✓				✓	✓
NYCT Paratransit, New York, NY	1,329	✓	✓		✓													✓	✓
Edmonton Transit, Alberta, CAN.	1,057	✓	✓	✓	✓	✓	✓	✓	✓		✓			✓			✓		
Central Ohio TA (COTA), Columbus, OH	377	✓	✓	✓	✓	✓	✓		✓					✓				✓	✓
Greater Bridgeport TA (GBTA), Bridgeport, CT	90	✓	✓	✓	✓	✓	✓	✓	✓	✓				✓	✓		✓	✓	✓
Intercity Transit, Olympia, WA	97	✓	✓	✓	✓	✓	✓	✓	✓					✓	✓	✓	✓	✓	✓
Madison County Transit, Granite City, IL	114	✓	✓	✓	✓	✓	✓							✓			✓	✓	✓
Monterey-Salinas Transit, Monterey, CA	118	✓	✓	✓										✓				✓	✓
Colorado Springs Transit, CO	92	✓	✓		✓				✓						✓		✓		
Pierce Transit, Tacoma, WA	220	✓	✓	✓		✓	✓		✓					✓		✓	✓	✓	✓
Stark Area Transit, Canton, OH	64	✓	✓	✓	✓	✓	✓		✓					✓			✓		
Suffolk County Transit, East Islip, NY	300	✓	✓	✓	✓	✓	✓	✓	✓					✓		✓	✓	✓	✓
Westchester County ("Bee Line"), White Plains, NY	408	✓	✓	✓		✓	✓	✓	✓					✓	✓	✓	✓	✓	✓
Capital Metro Transit, Austin, TX	310												✓				✓	✓	✓
Rhode Island Public Transit Authority (RIPTA), Providence, RI	234	✓	✓	✓	✓	✓	✓	✓	✓					✓	✓		✓	✓	✓
Montgomery County Transit, Rockville, MD	278	✓	✓	✓		✓								✓	✓		✓		
Greater Richmond Transit Commission (GRTC), Richmond, VA	125	✓	✓			✓	✓		✓					✓			✓	✓	✓
King County Metro Transit, Seattle, WA	1,225			✓				✓								✓	✓	✓	✓
Transit Auth. of Northern Kentucky (TANK), Covington, KY	102	✓	✓	✓	✓	✓											✓		
Walt Disney World, Orlando, FL	210	✓	✓	✓		✓			✓					✓		✓	✓		
Long Island Railroad (LIRR), Queens, NY	145		✓														✓		
State of Wisconsin DOT	>5,000		✓	✓					✓					✓	✓		✓		
New York City Dept of Education, NY	8,500		✓	✓										✓			✓	✓	✓
Los Angeles Metro, CA	2,228								✓					✓			✓	✓	
PRTC, Woodbridge, VA	135	✓	✓	✓	✓	✓	✓	✓	✓					✓	✓		✓	✓	✓
SFMTA, San Francisco, CA	1,200	✓	✓	✓		✓	✓	✓	✓					✓	✓				✓
Canberra, Australia	420	✓	✓	✓		✓	✓	✓	✓					✓	✓			✓	✓
Calgary Transit, Calgary, Alberta, Canada	1,028	✓	✓	✓		✓	✓		✓		✓			✓			✓	✓	✓
Cobb Community Transit, Marietta, Georgia	135	✓	✓	✓	✓	✓	✓		✓					✓				✓	
Gwinette County Transit, Norcross, Georgia	101	✓	✓	✓	✓	✓		✓	✓					✓				✓	✓
SEPTA, Philadelphia, PA	1,750	✓	✓	✓	✓	✓		✓	✓					✓	✓	✓	✓	✓	✓

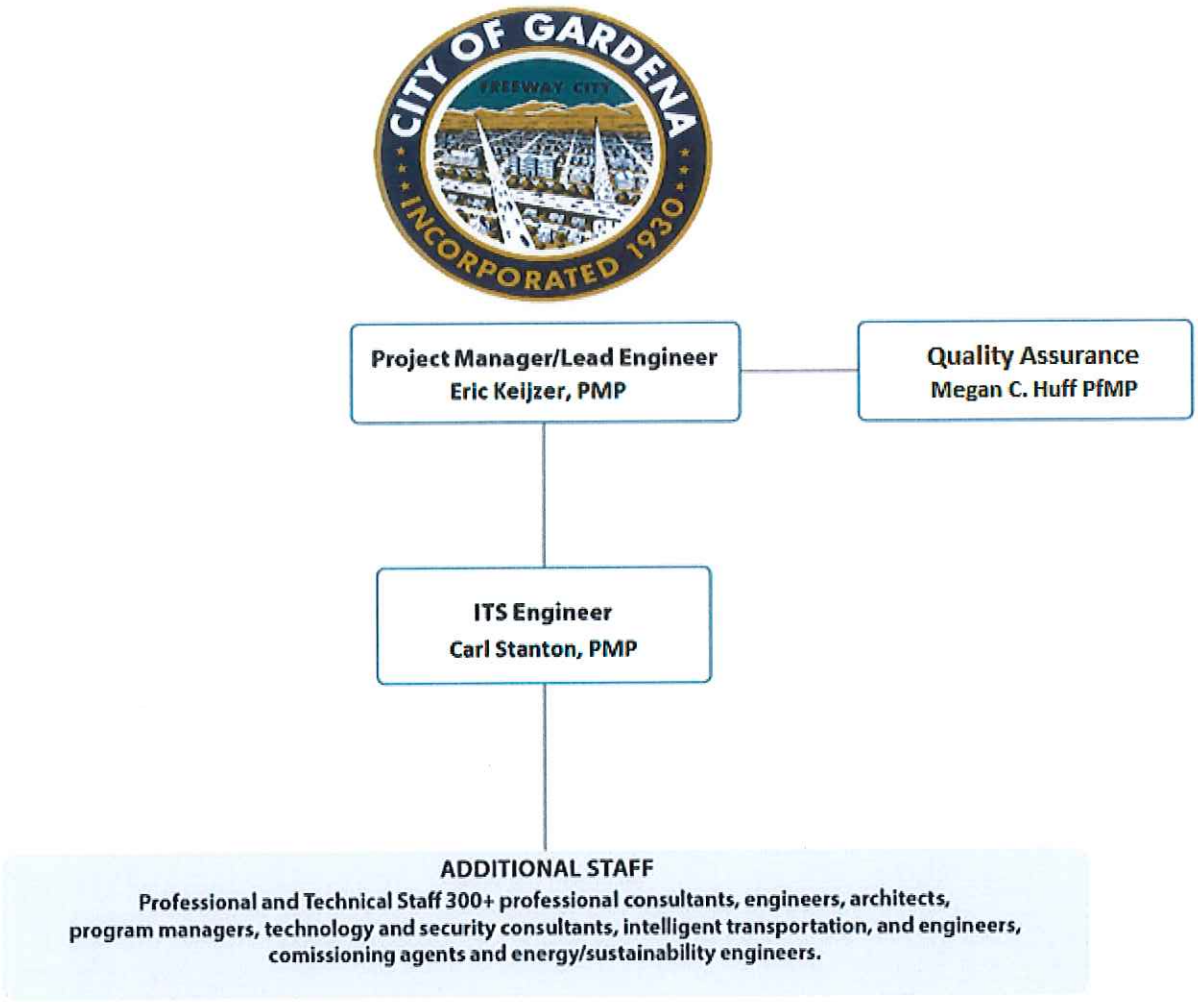
MACRO
A division of Ross&Baruzzini

Chapter 3 Qualifications and Experience of Proposed Staff

Ross & Baruzzini | Macro is proposing Eric Keijzer and Carl Stanton for the implementation oversight of GTrans GRID project. This is the same team responsible for the previous and mostly completed GRID project phases.

As shown in the organization chart below, Eric Keijzer will be the Project Manager/ Lead Engineer and Carl Stanton will be the ITS Engineer, supporting Eric. Eric as worked on many transit projects throughout his career.

Résumés for Eric Keijzer, Carl Stan and Megan Huff are enclosed.



Eric (A.J.M.) Keijzer, PMP, SSCP
Project Manager

Eric has more than 23 years of experience and brings a wealth of specialized skills including CAD/AVL, IVR, ITS/Smart Bus, Scheduling Systems, GPS, Passenger Information Systems , Cyber Security, Database applications, Computer Systems Networking, SharePoint,. Eric has worked on a variety of fleet monitoring, wireless communications and Transit ITS projects and was involved in all project life cycle phases. Eric is currently responsible for two CAD/AVL projects and provides technical assistance for multiple other AVL, IVR, and CETC projects.

Eric is a Project Management Institute (PMI) Credentialed Project Management Professional (PMP) and is a certified Systems Security Certified Practitioner (SSCP).

Education

B.S., Information Technology – Fontys University, Eindhoven The Netherlands

B.S., Management Science – The Enschede Polytechnic, Enschede, The Netherlands

University Degree in Marketing (NIMA A and B), Enschede, The Netherlands

Certification & Accreditation

Certified Project Management Professional (PMP)

Systems Security Certified Practitioner (SSCP)

Wonderware System Platform 1 and 2

Affiliations

Project Management Institute (PMI)

International Information Systems Security Certification Consortium $(ISC)^2$

Summary of Experience

GTrans, City of Gardena, GTrans Real-Time Information Deployment (GRID), Gardena, California

Project Manager and lead engineer responsible for the planning phase, technical specifications, and proposal evaluation for a robust ITS system that includes a CAD/AVL system, real-time passenger information system, and on-bus hardware for Transit Signal Priority.

San Francisco Municipal Transportation Authority (SFMTA), Multimodal Transit Management System (MTMS) and Public Service Voice Radio Network (PSVRN), San Francisco, California

Subject Matter Expert of all matters concerning the MTMS, related, CAD/AVL, and other ITS-oriented systems of this state-of-the-art solution. Eric is also the project manager responsible for coordinating Macro's consulting engineering services related to the new radio system deployment. Eric works closely with SFMTA's team to review the CAD/AVL design package and their system's interface with the new radio system, oversees system staging, factory testing, installation and mini-fleet testing, full fleet deployment and cutover, and related user and system administration training. The MTMS includes CAD/AVL, integrated incident management/reporting, ADA compliant traveler information, scheduling system interfaces, above and underground radio systems, a primary and secondary control center, 7 radio sites, with equipment installed on all SFMTA vehicles, including the light rail and historical vehicles.

Southeastern Pennsylvania Transportation Authority (SEPTA), CAD/AVL System, Philadelphia, Pennsylvania

Project Manager and lead engineer responsible for the specification for replacing a legacy CAD/AVL System supporting approximately 1750 vehicles operating out of nine (9) depots throughout the Philadelphia metropolitan area.

Los Angeles Metro, Integrated Bus and Rail Operations Center, Los Angeles, California

Design Engineer for Macro for the new Metro Bus Operations Center (BOC) and Rail Operations Center (ROC) to integrate functions, improve communication and coordination. Responsible for preparing comprehensive assessment of all current bus operations, including existing systems and processes, and providing recommendations for new roles, systems, and processes for the integrated BOC/ROC.

Prepared existing process diagrams and future process diagrams for bus operations based upon recommended roles, systems, and processes.

Potomac and Rappahannock Transportation Commission (PRTC), CAD/AVL System, Woodbridge, Virginia
Eric developed procurement specifications, evaluated vendor proposals, and was the project manager for the implementation oversight of replacing a legacy CAD/AVL system supporting PRTC's 135 vehicle fixed route and flex fleet with a system providing CAD/AVL functions, a fleet wide Automatic Passenger Counting (APC) implementation, interfaces to fixed and flex scheduling systems, and real time customer information feeds using the General Transit Feed Real Time Specification (GTFS RT).

Suffolk County Transit, CAD/AVL System, Yaphank, New York
Project manager for the implementation oversight of a new CAD/AVL system supporting Suffolk County's 288 vehicle fixed route and paratransit fleet. Eric participated in the collection and analysis of user requirements and planning, developed procurement specifications, and evaluated vendor proposals for a CAD/AVL system for the Suffolk County Transit System.

Amtrak Northeast Corridor, CETC Replacement Project, Multiple locations
Engaged to replace the current system with a new Central Electrification and Traffic Control (CETC) system that monitors and controls rail traffic on the Northeast Corridor (NEC). Tasks include field and factory testing, developing and maintaining a Microsoft SharePoint Project Management site, and performing security audits.

New York City Transit Authority, Paratransit Division, AVL and IVR Systems, New York, New York
Provided project management and technical support of the Automatic Vehicle Location Monitoring system (AVLM) that adds AVL capabilities to the existing ADEPT paratransit scheduling system with over 1300 vehicles.

NYCT extended Macro's contract to include an Interactive Voice Response (IVR) system. Eric also provided project management support for this IVR project.

San Diego Trolley, Trolley Control Project, San Diego, California
Provided network and IT support for the development of a new Trolley Control System for centralized management of the San Diego Trolley light rail system. Tasks included field and factory testing and developing and maintaining a Microsoft SharePoint Project Management site.

King County, Transit Radio System Project, Washington, DC
Developed and implemented evaluation databases for a transit radio system procurement. The databases were implemented in a way that the client can reuse them for other projects.

The Connecticut Department of Transportation, AVL Demonstration Project, Connecticut
Supported project management, collected user requirements, and developed procurement specifications for a CAD/AVL System being procured for the Greater Bridgeport Transit Authority.

Carl M. Stanton, PMP
ITS Engineer

Carl has several years of experience designing solutions to transit-related problems. During the completion of his Master's Degree, Carl designed a new and more efficient system of loading and unloading cars onto trains. As a designer at Macro, Carl has been developing future control center technologies through user research, interviews, existing product studies, ideation, and vendor dialogues. Carl also has experience as a Network Administrator & Help Desk Technician, as well as being a trained Educator.

Education
MS, Industrial Design, Philadelphia University

BS, Technology Education, Berea College,

Certification & Accreditation
Certified Project Management Professional (PMP)

ECBA (Entry Certificate in Business Analysis)

Affiliations
Industrial Design Society of America (IDSA)

Summary of Experience

GTrans, City of Gardena, ITS Roadmap, Gardena, California
Consultant defining functional requirements specification and procurement support for a robust ITS system that includes CAD/AVL system, real-time passenger information system, and on-bus hardware for Transit Signal Priority. The project is comprised of Business Process analysis of Gtran's current operations and business practices, defining functional requirements for the ITS system, and procurement support consisting of evaluation of bids according to functional requirements.

Versova Bandra Sea Link, Intelligent Transportation System (ITS) Design
Mumbai, India
Consultant for the Intelligent Transportation System technology (ITS) for a designbuild project which will provide an integrated, fully-operational traffic management & control solutions to pro-actively manage and operate the roads, provide information, and provide cashless payment options leading to and within the sea link. This will include all head-end related equipment, accessories, software, licensing, and other equipment necessary for the operations of the system. The toll design incorporates ITS technology to identify vehicles, minimize cash payment, offer better payment system, reduce delays, reduce transaction time and reduce stopping.

Dubai Aviation Engineering Projects (DAEP), Al Maktoum International Airport, ITS Design 450 D West Area Roads, Dubai, UAE
Consultant for the intelligent transportation systems to construct new access roads into the West Terminal. The scope of work includes point & probe detection, CCTV, lane control & dynamic message signs, curbside management and associated telecommunications & electrical infrastructure. Phases include conceptual, preliminary, and detailed designs.

Dubai Airport Engineering Projects, Al Maktoum International Airport, Intelligent Transport Systems, Concourse 1, Dubai, United Arab Emirates
Consultant for 10km of tunnels under concourse 1 and the surrounding area. GSE roads and apron stands are also included. The scope includes tunnel automated incident detection (AID), CCTV, tracking, and associated telecommunications & electrical infrastructure.

Dubai Airport Engineering Projects, Al Maktoum International Airport, Intelligent Transport Systems, West Area Roads, Dubai, United Arab Emirates
Consultant for new access roads into the West Terminal. The scope includes point and probe detection, CCTV, lane control and dynamic message signs, curbside management and associated telecommunications and electrical infrastructure.

Caltrain, Peninsula Corridor Electrification Program, San Mateo, California
Consultant representing Caltrain for the Design-Build Electrification Services Project as part of the Electrification Program. Responsible for reviewing communication systems design submittals, systems integration plan, verification and validation plan, and other system related submittals

Southeastern Pennsylvania Transportation Authority, New Payment Technologies Installation Acceptance Testing, Philadelphia, Pennsylvania
On-Site Representative for performing installation acceptance testing on newly installed fare collection hardware (TVM's, Turnstiles, ADA gates, Platform Validators, Sales Devices). The results of the testing using the pre-written Installation Acceptance Test procedure were recorded.

Southeastern Pennsylvania Transportation Authority, Real-Time Vehicle Location, Philadelphia, Pennsylvania
Consultant for field testing and visual validation for Passenger information system upgrades on SEPTA's commuter rail system. Visual mockups for the Concept of Operations of new passenger information displays being installed on the subway lines were created. Field research was conducted on the accuracy of current vehicle location tracking in SEPTA's trolley tunnel.

Southeastern Pennsylvania Transportation Authority, Real Time Vehicle Location, Phase 2, Philadelphia, Pennsylvania
Consultant for system design and construction-related services to during the implementation of Real Time Vehicle Location (RTVL). The project focused on implementing new vehicle equipment, LTE communications, specialized servers to acquire and broadcast geographic location and scheduled arrival status data feeds, and GTFS real time data feeds for regional rail, heavy rail, light rail, and bus. The project included implementing enhancements to Automatic Train Control systems, a new Audio Visual Public Address system to accommodate RTVL data feeds and to produce real time train status for regional and heavy rail systems, development assistance on SEPTA's new mobile app, data warehousing, and data analytics.

New Jersey Transit Corporation, New Train Control and Management (TMAC) Upgrade, New Jersey
Consultant for the creation of a requirements traceability matrix for the upgrade to the NJ Transit TMAC Train control system.

American Public Transit Association, Control Center of the Future, Pennsylvania
Consultant for leading an internal research effort about new technologies that will impact transit control centers. This research culminated in presentations regarding future technologies in Transit Control Centers at the American Public Transit Association's (APTA) Rail conference in 2017, and for the Research and Technology Committee of APTA.

Quality Assurance

Megan Huff is the Vice President and Managing Principal of Macro, a division of Ross & Baruzzini and one of the leading rail, transit and public safety radio systems engineering consultancy firms in the United States.

With more than 25 years of experience in the transportation industry, Megan has an extensive track record in end-to-end delivery of complex, high priority projects on tight schedules within mission critical service organizations and a history of delivering value to the bottom line through process improvements and technology modernization. She has expertise in leading and directing technology related strategic planning, project development and implementation across a variety of public transit agencies.

Education
Bachelor of Arts, Arizona State University, 1993

Certifications
PfMP- Portfolio Management Professional

Summary of Experience

Amtrak, Senior Director Operations Technology, Philadelphia, Pennsylvania
Responsible for leading and directing technology related strategic planning, project development and implementation for all business lines and support organizations in Operations. Partnered with business line, support and information technology leaders in the development and delivery of integrated technology solutions to optimize efficiency, improve performance, and support business decision making.

Managed investment and directed all technology activities for Amtrak's largest division consisting of 19,000 employees and all operational assets to include rolling and fixed assets.
Designed and implemented measurements and controls for analyzing needs against the developed strategic plan.

Amtrak, IT Director of Requirements and Business Planning, Philadelphia, Pennsylvania
Responsible for developing computer systems and coordinating overall technical support for the COO's business operations and objectives and ensuring that they are compatible with the long-term plans for Amtrak's business, enterprise architecture and technology infrastructure. Worked to identify the optimal long-term technology solutions in support of the Operations unit while also balancing the need to deliver near-term business solutions and technical support for day-to-day operations.

Managed project delivery, directed project managers, and managed analytic processes such as Systems Engineering, Business and Functional Requirements and Architecture analysis. Provided consultative guidance to the business units to pro-actively identify technology solutions for their business priorities, as well as assessed IT performance in meeting ongoing development and production support.

Charlotte Area Transit System (CATS), Manager of Systems and Research, Charlotte, NC
Transformational technology leader for major revitalization program across the Charlotte region through implementation of the first light rail line.

Responsible for all operational technology systems for Bus, Rail, Special Transportation(ADA), Safety & Security and Facilities; included Automatic Vehicle Location, Automatic Passenger Counters, Scheduling and Dispatch, Maintenance and Material Management, Signal Priority, Incident Management, Passenger Information Display deployments, etc. Determined future needs and planned projects, was responsible for budgets both capital and operating.

Charlotte Area Transit System (CATS), Business Application Support Specialist, Charlotte, NC

Focused on business process analysis and standards development with an understanding of complex technical solutions as related to current and future transit initiatives. Developed comprehensive transit business requirements from a technological perspective and insured compliance with National ITS standards; which included the development and management of assigned projects insuring schedules, milestones and resource targets were met. Spearheaded data collection and compliance with ITS by implementing and maintaining Turbo Architecture for the organization.

Provided support for the transit GIS systems, data, related sub-systems, and interfaces. Managed the execution of activities and tasks associated with all GIS information including implementations, integration, reporting, upgrades, maintenance, data validation and support. Served as the CATS voting member on all City of Charlotte and Mecklenburg County collaborative committees as relating to GIS.

Port Authority of Allegheny County, Project Manager, Pittsburgh, Pennsylvania

Responsible for formulation and definition of system scope and objectives based on user needs and a good understanding of applicable business systems and industry requirements. Devised or modified procedures to solve complex problems considering computer equipment, capacity, operating time, and form of desired results; included analysis of business and user needs and documentation of requirements.

Delivered Point of Sale System by reengineering existing business processes from Treasury to Finance and at the Customer Service Center. Implemented a Windows Based SQL Driven Touch Screen and Bar-Coded Item Point of Sale System for sale of all fare instruments, including interfacing to existing Subscription and Financial systems. Developed and managed the Corporate Web Site - www.PortAuthority.org / www.RideGold.com. Accountable for the design, development and delivery of the Incident Tracking and Management System that tracked all accidents and incidents that occurred in revenue service from occurrence to discipline and retraining of the responsible party.

Chapter 4 Project Management Approach

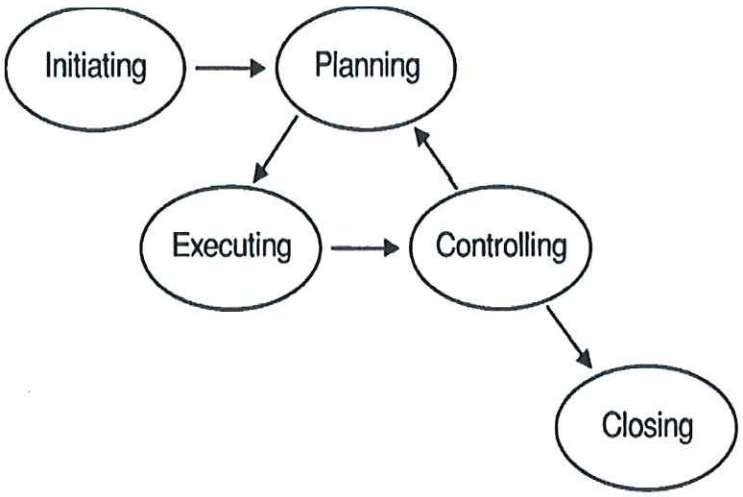
Over more than six decades of consulting, Ross & Baruzzini | Macro has developed a methodology that achieves project objectives in a timely and cost-effective fashion. This methodology, well proven in practice, encompasses a comprehensive, yet flexible, set of procedures. These general procedures are briefly discussed in this section in the context of the services proposed for GTrans.

GTrans staff, with its knowledge of their characteristics and practices, together with Ross & Baruzzini | Macro, leveraging their background in real-time computer and communications system engineering, form an effective and knowledgeable project team.

While a knowledgeable project team is an indispensable element of any successful project, a successful project also needs: good planning, solid execution, and continual communication with measurements of progress and corrective action when necessary.

Our method fosters a close working relationship between team personnel. To avoid potential oversights and to ensure timely completion of all project tasks, the project team needs the support of a systematic, structured, and tested work methodology. This includes:

- Adherence to PMI's standards for project management;
- Use of our well-tested Planning and Specification Guide Questionnaire for the identification of operational needs and definition of functional requirements;
- Access to Ross & Baruzzini | Macro resources and specialists;
- Structured internal audits for quality control;
- Organized information exchange and experience transfer.



Project Planning

We are accustomed to meeting the demands for timely completion of projects.

We understand the importance of maintaining project schedules and the ramifications of falling behind schedule.
Based on the project completion deadline and other scheduling constraints established by GTrans, Ross & Baruzzini | Macro will establish a Work Plan and Schedule for every project that is based on critical path elements related to items like; design submittal requirements, equipment/material lead times, and implementation phasing/sequencing requirements. Then working within the overall project schedule, the Ross & Baruzzini | Macro team will meet weekly to establish the critical tasks to be accomplished during the subsequent one-week period and monitors progress toward goals. Specific milestone targets will be agreed upon with GTrans and used to gauge and control project progress.

Ross & Baruzzini | Macro has proven schedule performance and timeliness in submitting deliverables that are thorough, coordinated, of high quality and that conform to contractual obligations.

Planning and Specification Guide

A structure that effectively organizes the sequence of tasks and keeps the project on schedule is essential. Recognizing the importance of this need, Ross & Baruzzini | Macro has developed its Planning and Specification Guide. The Guide consolidates Ross & Baruzzini | Macro experience on previous projects for use on subsequent ones. It directs the project team through the initial key steps of determining the operational requirements and the system performance objectives. The analysis of feasible alternatives then follows logically. The Guide ensures orderly, swift, and thorough progress.

Using the Guide, we make best use of your time and ours to exchange information relevant to the project work. Your insights and specific system knowledge are conveyed to our consultants in an expeditious manner. At the same time, we introduce and transfer to your staff the accumulated experience gained on earlier project assignments of similar nature. The Guide keeps the discussions on track during the information exchange meetings and achieves the goals through its exhaustive set of questions aimed at all aspects of your project. By using this method, both the project team and management can be confident that all possible system requirements have been addressed, considered, and decided upon.

Project Activities and Status Reporting. The Project Manager will provide the GTrans Project Manager with a regular report that summarizes the activities and current status for all tasks. This Project Activity and Status Report will contain at least the following information:

- Status of overall project, including;
  - project milestone events, project task progress, risk and issue tracking, action items
- Project budget (total and broken down by subconsultants) authorized and billed to date
- Summary of significant events during the period (such as meetings, submissions, and technical problems encountered).

In addition to written material and reports, the most important mechanism for information exchange and transfer of specialized expertise are the regular project meetings. Meetings provide the best opportunities for an expeditious interchange of information and ideas. Poorly planned meetings waste time; while well planned meetings produce results. Ross & Baruzzini | Macro emphasizes the preparation for meetings by using a carefully planned agenda distributed prior to each meeting, and by controlling the discussions to obtain productive results. Well-planned meetings also enable GTrans personnel to participate with a minimum of interference with other responsibilities.

No meeting is successful without a brief documentation of the major agreements or understandings reached, as well as an action-item list for follow-up on unresolved issues. Ross & Baruzzini | Macro consulting staff is trained in conducting productive meetings that either resolve the outstanding issues or produce a timetable with assigned responsibilities for their resolution.

> Ross & Baruzzini | Macro recognizes that transferring information and experience is one of our responsibilities to our clients.

The Supporting Organization

While the responsibility for conducting tasks will lie principally with the Ross & Baruzzini | Macro project team under the direction of the Project Manager, Ross & Baruzzini | Macro methodology specifically calls for other Ross & Baruzzini staff specialists to provide backup support on a regular basis. In the execution of their project responsibilities, the project team seeks the assistance of these specialist engineers, thereby amplifying the value of our service.

Instead of relying solely on those individuals assigned to a project team, Ross & Baruzzini | Macro capitalizes on its total company strength by bringing to bear the depth and breadth of experience of its entire staff. This approach works well at Ross & Baruzzini | Macro as we have established an organization of specialists, skilled in the various engineering disciplines. These specialists provide internal consulting support on each project. Internal consultation, regular state-of-the-art seminars, and centralized computer files, as well as modern CADD facilities, all contribute to maximum information transfer among the professional staff. This project structure makes available the full range of Ross & Baruzzini's system engineering experience to the project team, and thence to GTrans.

Additional Tools

The Ross & Baruzzini | Macro team also leverages:

Project communications, Ross & Baruzzini | Macro maintains an electronic library of standard project templates ranging from agendas, minutes, project tracking to requirements, specification and design documentation.

Project Web Site, A project SharePoint web site will be established to store and present (including to GTrans staff, if desired) the project documentation. Drawings, meeting notes, schedules, cost estimates, and other deliverables will be stored on this site, thus providing an additional level of interaction and communication among all parties. Extensive security measures protect the GTrans's information from unauthorized access.

Industry research and analysis, Ross & Baruzzini | Macro maintains an electronic library with the latest material from system vendors and suppliers for use by our engineers when design decisions must be made. Technical seminars are held frequently with guest speakers from the vendor community or from Ross & Baruzzini | Macro own team of experts to discuss the state-of-the-art and important industry developments. Ross & Baruzzini | Macro maintains a team of experts on specific areas of technology that are readily available to support project personnel when special needs arise.

Quality Assurance & Quality Control Procedures

The issue of quality assurance/quality control is a very serious one for the Ross & Baruzzini team. We are committed to achieving the highest level of quality in executing projects, with the goal of providing exceptional long term value to our clients. To achieve this goal, we have implemented an aggressive quality review process developed around key elements of internationally recognized quality management standards. All aspects of our services are reviewed from a quality perspective throughout the consulting, design and implementation process. Without exception, all documents receive numerous quality reviews prior to issuance.

In addition to the internal Ross & Baruzzini | Macro quality reviews, GTrans personnel will have an opportunity to review any deliverable to ensure they meet the GTrans's needs. Each review will be followed by a meeting to discuss the GTrans's comments and questions.

- **Internal auditing** – auditing of scheduled quality evaluations is performed to ensure quality reviews are being properly conducted.
- **Workforce training** – training associated with the Quality Management system.
- **Scheduled quality reviews** – quality reviews are built into every project plan and are budgeted accordingly.
- **Individual reviews** – this is an on-going review by individual discipline team members performing day-to-day project duties.
- **Peer reviews** – this is conducted by another member of each engineering discipline to check and address issues unique to the discipline. Issues addressed include appropriate systems, compliance with codes and standards and rules of thumb based on experience and industry standards. This is typically led by the engineering practice leader or a senior level associate within the practice as designated by the practice leader.
- **Interdisciplinary coordination reviews** – review conducted with representatives of the entire project team to coordinate and cross-check inter-disciplinary issues and specific items affected by multiple disciplines. This is intended to be interactive and collaborative.
- **Independent reviews** – review conducted by someone independent from the project focused on constructability, coordination, cost control/value engineering and code compliance.
- **Contractual reviews** – review conducted by the project manager to review for contract compliance to assure that all contractual obligations are being fulfilled.
- **Invoicing reviews** – monthly reviews will be conducted with the project team prior to issuing an invoice to ensure compliance with GTrans process.

Ross & Baruzzini | Macro is committed to finding solutions to challenges without compromise to GTrans's budget. We help allocate infrastructure dollars wisely, and with reliability, to help free up attention to focus on the primary mission.

Ross & Baruzzini | Macro will ensure that the entire design team is involved with and becomes responsible for cost control, so that continuous monitoring, control and corrective actions are achieved. Value engineering will be emphasized early in the design process so that important cost decisions can be made relative to project goals. Quality review at each milestone level will be performed to review cost versus the established budget and to compare cost with a database for previous projects.

Chapter 5 Workplan

The following Work Plan describes the GTrans related implementation oversight activities the Ross & Baruzzini | Macro Team will complete for the City of Gardena GRID Project. This work plan has been designed for the particular needs of the GTrans GRID project, as well as in recognition of the many implementations previously completed by the Ross & Baruzzini | Macro Team.

All work will be coordinated by the Ross & Baruzzini | Macro Project Manager experienced with managing similar projects. The Ross & Baruzzini | Macro project manager will be in close contact with GTrans' designated point of contact throughout the project to ensure that Ross & Baruzzini | Macro's work and deliverables are on schedule and meeting GTrans' expectations. A project-specific SharePoint site will be established to make it easier for GTrans personnel to have access to project-related documentation. Progress and costs will be tracked and reported monthly.

Line Item	Deliverable	Responsible	Due Date	Description
1	Develop/Update Project Charter	Macro PM	Prior to kick off meeting	Develop/update project charter • Project Objectives • Key Stakeholders • Risks • Constraints • Deliverable Descriptions
1	Distribute Project Charter	GTrans PM	Prior to kick off meeting	GTrans PM will review/approve project charter and distribute to key stakeholders.
2	Develop/Update Project Plan	Macro PM	Prior to kick off meeting	Develop/update Project Plan • Scope Management – including Change Management Process • Project Schedule – including Stakeholder Management Process • Communications Plan • Risk Management Plan
2	Approve Project Plan	GTrans PM	Prior to kick off meeting	GTrans PM to review/approve project plan prior to initiation of next project phase.
3	Project Execution	Macro PM	Weekly	Macro team to manage Action Items and coordinate responses to Action Items assigned to GTrans.
3	Project Execution	Macro PM	Weekly	Macro team to manage test variation items.
3	Project Execution	Macro PM	Monthly	Macro team to review GRID vendor milestone invoices.
3	Project Execution	GTrans PM	Monthly	GTrans PM to approve GRID vendor milestone invoices.
3	Project Execution	Macro PM	Weekly	Macro PM to review Project Schedule. Task Delays will be escalated to GTrans PM.
3	Project Execution	GTrans PM	Weekly	Review / Resolve project delays
3	Project Execution	Macro PM	Monthly	Update Risk Register and Review with Project Team at monthly progress meeting
3	Project Execution	Joint	Bi-Weekly	Develop Risk Mitigation
3	Project Execution	Joint	Bi-Weekly	Review Scope and Change Management.
4	Project Kick-off	Macro PM	Once	Macro PM to setup and attend project kick off meeting and review/approve meeting minutes created by the GRID Vendor.

5	Monthly Progress Meetings	Macro PM	Monthly	Setup and attend Monthly Progress meetings. Macro PM will present: Risk Register and Scope/Change Management and review/approve meeting minutes created by the GRID Vendor.
6	Bi-Weekly Calls	Macro PM	Bi-weekly	Macro team setup and attend via conference call and review/approve meeting minutes created by the GRID Vendor.
7	Preliminary Design Review Documents	Joint	Once	Macro team to review Preliminary Design Review Documents and generate questions and comments.
8	Preliminary Design Review	Joint	Once	Macro PM to setup and attend the Preliminary Design Review and review/approve meeting minutes created by the GRID Vendor.
9	Final Design Review Documents	Joint	Once	Macro team to review Final Design Review Documents and generate questions and comments.
10	Final Design Review	Joint	Once	Macro PM to setup and attend the Final Design Review and review/approve meeting minutes created by the GRID Vendor.
11	Test plan and Factory Test Documents	Joint	Once	Macro team to review Test plan and Factory Test Documents and generate questions and comments.
12	Factory Test	Joint	Once	Macro PM to setup and attend the Factory Test.
13	Training Plans	Joint	Once	Macro team to review Training Plans and generate questions and comments.
14	Installation and Cutover Plans	Joint	Once	Macro team to review Installation and Cutover Plans and generate questions and comments.
15	Minifleet Documents	Joint	Once	Macro team to review the Minifleet documents and generate questions and comments.
16	Minifleet	Joint	Once	Macro PM to attend the Minifleet.
17	Availability Test	Joint	Once	Macro PM to setup and attend the Availability Test

Chapter 6 Cost Proposal

This proposal is based on Time and Material with a not to exceed price of $155,583, including expenses.

INVOICING
Ross & Baruzzini | Macro will submit an invoice monthly with detailed accounting of hours and expenses.

PROFESSIONAL CONSULTING SERVICES FOR Gardena Real-Time Information Deployment (GRID) PROJECT

COST PROPOSAL - Implementation Oversight 11/19/2019

FIRM NAME: Macro

Project Management Phase		PERSONNEL BREAKDOWN BY HOURS								
	Enter Job Title:	PM (Eric)	ITS Engr (Carl)							Sub Totals
1	Develop Project Charter	16.00								16.00
2	Develop Project Plan	32.00								32.00
3	Project Execution Support	146.00								146.00
4	Attend Project Kick-off Meeting (on-site at Gardena, was remote call as part of original contract)	16.00								16.00
5	Attend 13 monthly progress meeting (on-site at Gardena) 16 hours per trip	208.00								208.00
6	13 Biweekly Conf. Calls	13.00	26.00							39.00
7	Review Preliminary Design Review Documents	20.00	40.00							60.00
8	Attend Preliminary Design Review (on-site at Gardena)	40.00								40.00
9	Review Final Design Review Documents	8.00	30.00							38.00
10	Attend Final Design Review (on-site at Gardena)	40.00								40.00
11	Review Test plan and Factory Test Documents	20.00	40.00							60.00
12	Attend Factory Test (on-site at Vendor location)	40.00								40.00
13	Review Training Plans	1.00	8.00							9.00
14	Review Installation and Cutover Plans	4.00	12.00							16.00
15	Review Minifleet Documents	16.00	20.00							36.00
16	Attend Minifleet (on-site at Gardena)	40.00								40.00
17	Attend Availability Test (on-site at Gardena)	40.00								40.00
	Subtotal of Hours	700.00	176.00	0.00	0.00	0.00	0.00	0.00	0.00	876.00
	Rate per Hour	$165.32	$86.32							Cost:
	Subtotal per Task	$115,724.39	$15,191.44	$0.00	$0.00	$0.00	$0.00	$0.00	$0.00	$130,915.83

Travel Costs (Description Required)		
1	13 monthly progress meeting (Travel part of scheduling project)	
1	Kickoff meeting (1 person, 1 days on site)	$1,186.00
2	Preliminary Design Review (1 person, 5 days on site)	$2,078.00
3	Final Design Review (1 person, 5 days on site)	$2,078.00
4	Factory Test (1 person, 5 days on site)	$2,078.00
5	Minifleet (1 person, 5 days on site)	$2,078.00
6	Availability Test (1 person, 5 days on site)	$2,078.00
	Sub Total Travel Cost	$11,576.00

	Hours:	*Cost:*
Sub Total	876.00	$130,915.83
Profit Margin % and Dollars	10%	$13,091.58
GRAND TOTAL (w/o travel)		$144,007.41
Total for Travel Costs		$11,576.00
GRAND TOTAL (including travel)		$155,583

City of Gardena

Gardena City Council Meeting

AGENDA REPORT SUMMARY

Agenda Item No. 11.A
Section: DEPARTMENTAL ITEMS - ADMINISTRATIVE SERVICES
Meeting Date: April 12, 2022

TO: THE HONORABLE MAYOR AND MEMBERS OF THE GARDENA CITY COUNCIL

AGENDA TITLE: Approve Contract with TCS Risk Management Services for Third Party Administrator (TPA) Selection Process for Worker's Compensation Claims Administration

COUNCIL ACTION REQUIRED:

Staff Recommendation: Approve Contract

RECOMMENDATION AND STAFF SUMMARY:

In September 2007 the City conducted a Request for Proposals for firms to provide Third Party Administrator (TPA) Services for our workers' compensation claims administration and received ten proposals. The top three candidates were interviewed and AdminSure was determined to be the top candidate and was awarded the contract. Since the initial selection, the City has exercised two five-year contract extensions: one from October 31, 2012 - November 1, 2017, and subsequently one from November 1, 2017, to October 31, 2022.

Since the City's current contract with AdminSure will expire October 31, 2022, with a current yearly cost of $144,360, staff is recommending that an RFP be conducted for a complete TPA selection process for workers' compensation claims administration. The City has utilized AdminSure for the past 15 years and staff feels it is prudent to contract with a consultant who is familiar with the most current, efficient and effective systems to process claims in a proactive manner that ensures a timely outcome for both the employee and the City.

Staff is recommending TCS Risk Management Services, LLC to assist in and see the RFP process to completion for TPA Services for our workers' compensation claims administration. TCS Risk Management Services, LLC provides workers' compensation program management consulting services to public and private clients. Since 2001, TCS Risk Management Services, LLC has helped clients more effectively manage their workers' compensation risks by employing program metrics to identify program cost drivers and loss trends, then formulate and implement solutions and quantify results and savings. Outcomes are measured to assess the effectiveness of the solutions and to refine solutions to provide the greatest financial results. Staff therefore recommends that Council approve the contract.

FINANCIAL IMPACT/COST:

Workers Compensation Fund: $31,000

ATTACHMENTS:

Agreement between Gardena and TCS Risk Management Services LLC.pdf

APPROVED:

_____

Clint Osorio, City Manager

AGREEMENT BETWEEN THE
THE CITY OF GARDENA
AND
TCS RISK MANAGEMENT SERVICES, LLC (TCS)
FOR THIRD PARTY ADMINISTRATOR (TPA) SELECTION PROCESS

This contract, hereinafter referred to as Agreement, is entered into by and between THE CITY OF GARDENA ("City") and TCS RISK MANAGEMENT SERVICES (TCS), a LLC ("Consultant"). Based on the mutual promises and covenants contained herein, the Parties hereto agree as follows:

1. Recitals.

A. City is desirous of obtaining services necessary to provide RFP development and TPA selection.

B. Consultant is qualified by virtue of experience, training, education and expertise to provide these services.

C. City has determined that the public interest, convenience, and necessity require the execution of this Agreement.

2. Services.

A. The services to be performed by Consultant shall consist of the following ("Services"): As specified in Exhibit "A", attached hereto and incorporated herein by reference, unless otherwise instructed by City.

B. The Services shall be performed in accordance with the Project Schedule set forth in Exhibit A. Consultant shall not be liable for any failure or delay in furnishing proposed services resulting from fire, explosion, flood, storm, Act of God, governmental acts, orders or regulations, hostilities, civil disturbances, strikes, labor difficulties, difficulty in obtaining parts, supplies, or shipping facilities, inability to obtain or delays in obtaining suitable material or facilities required for performance, temporary unavailability of qualified personnel, failure by City to provide appropriate access to equipment or personnel, or other causes beyond Consultant's reasonable control.

3. Additional Services. If City determines that additional services are required to be provided by Consultant in addition to the Services set forth above, City shall authorize Consultant to perform such additional services in writing ("Additional Services"). Such Additional Services shall be specifically described and approved by City in writing prior to the performance thereof. Consultant shall be compensated for such Additional Services in accordance with the amount agreed upon in writing by the Parties. No compensation shall be paid to Consultant for Additional Services which are not

specifically approved by City in writing.

4. Agreement Administrator. For purposes of this Agreement, City designates Ray Beeman as the Agreement Administrator who shall monitor Consultant's performance under this Agreement. All notices, invoices or other documents shall be addressed to the Agreement Administrator, as well as all substantive issues relating to this contract. City reserves the right to change this designation upon written notice to Consultant.

5. Consultant's Proposal. This Agreement shall include Consultant's proposal or bid which is incorporated herein as Exhibit A. In the event of any inconsistency between the terms of the proposal and this Agreement, this Agreement shall govern.

6. Timing of Performance. Time is of the essence with respect to Consultant's performance of the Services required by this Agreement. Consultant shall diligently and timely pursue and complete the performance of the Services required of it by this Agreement as set forth in Exhibit A. City, in its sole discretion, may extend the time for performance of any Service.

7. Compensation. Compensation for the Services shall be billed as set forth in Exhibit A, attached hereto. The Compensation is inclusive of all costs that may be incurred by Consultant in performance of the Services, including but not limited to such items as travel, copies, delivery charges, phone charges, and facsimile charges, unless otherwise noted.

8. Term of Agreement/Termination.

A. This Agreement shall be effect until all Services are completed as specified in Exhibit A or until terminated as provided for herein.

B. City may terminate this Agreement without cause by providing written notice to Consultant not less than three days prior to an effective termination date. City's only obligation in the event of termination will be payment of fees and allowed expenses incurred up to and including the effective date of termination.

C. Unless for cause, Consultant may not terminate this Agreement. If Consultant is terminating this Agreement for cause, it must provide the City with thirty (30) days written notice.

D. Upon receipt of a termination notice, Consultant shall: (1) promptly discontinue all Services, unless the notice directs otherwise; and (2) within ten (10) days, deliver to City all files, data, reports, estimates, summaries, and such other information and materials as may have been accumulated or prepared to date by Consultant in performing the Services under this Agreement, whether completed or in progress. Consultant shall provide these documents by both hard copy and in

electronic format if available. In the event of termination for other than cause attributable to Consultant, Consultant shall be entitled to reasonable compensation for the services it performs up to the date of termination and shall be deemed released from liability for any work assigned but not completed as of the effective date of termination.

9. Invoices and Payments.

A. Payment shall be made upon receipt and approval of invoices for Services rendered. In order for payment to be made, Consultant's invoice must include an itemization as to the services rendered, date(s) of service, direct and/or subcontract costs, and be submitted on an official letterhead or invoice with Consultant's name, address, and telephone number referenced.

B. The Agreement Administrator shall review the invoices to determine whether services performed and documents submitted are consistent with this Agreement. Payment shall be made within forty-five (45) days following receipt of the invoice or the Agreement Administrator shall provide Consultant with a written statement objecting to the charges and stating the reasons therefore.

C. Payment by City under this Agreement shall not be deemed a waiver of defects, even if such defects were known to City at the time of payment.

10. Records/Audit.

A. Consultant shall be responsible for ensuring accuracy and propriety of all billings and shall maintain all supporting documentation for a minimum of three (3) years from the completion date of the Services under this agreement the following records:

1. All accounts and records, including personnel, property and financial, adequate to identify and account for all costs pertaining to this Agreement and assure proper accounting for all funds;

2. Records which establish that Consultant and any subconsultant who renders Services under this Agreement are in full compliance with the requirements of this Agreement and all federal, state and local laws and regulations

3. Any additional records deemed necessary by City to assume verification of full compliance with this Agreement.

B. City shall have the right to audit Consultant's invoices and all supporting documentation for purposes of compliance with this Agreement for a period of three years following the completion of Services under this Agreement.

C. Upon reasonable notice from City or any other governmental agency, Consultant shall cooperate fully with any audit of its billings conducted by, or of, City and shall permit access to its books, records and accounts as may be necessary to conduct such audits.

11. Successors and Assignment. This Agreement covers professional services of a specific and unique nature. Except as otherwise provided herein, Consultant shall not assign or transfer its interest in this Agreement or subcontract any services to be performed without amending this Agreement. This Agreement shall be binding upon the heirs, executors, administrators, successors and assigns of the parties hereto.

12. Change in Name, Ownership or Control. Consultant shall notify the Agreement Administrator, in writing, of any change in name, ownership or control of Consultant's firm or subconsultant. Change of ownership or control of Consultant's firm may require an amendment to the Agreement.

13. Key Personnel. City has relied upon the professional training and ability of Consultant to perform the services hereunder as a material inducement to enter into this Agreement. Consultant shall provide properly skilled professional and technical personnel to perform all services under this Agreement. In the event that City, in its sole discretion, at any time during the Agreement, desires the removal of any person or persons assigned by Consultant to perform Services pursuant to this Agreement, Consultant shall remove any such person immediately upon receiving notice from City.

14. Use of Materials.

A. City shall make available to Consultant such materials from its files as may be required by Consultant to perform Services under this Agreement. Such materials shall remain the property of City while in Consultant's possession. Upon termination of this Agreement and payment of outstanding invoices of Consultant, or completion of work under this Agreement, Consultant shall return to City any property of City in its possession and any calculations, notes, reports, electronic files, or other materials prepared by Consultant in the course of performance of this Agreement.

B. City may utilize any material prepared or work performed by Consultant pursuant to this Agreement, including computer software, in any manner, which City deems proper without additional compensation to Consultant. Consultant shall have no responsibility or liability for any revisions, changes, or corrections made by City, or any use or reuse pursuant to this paragraph unless Consultant accepts such responsibility in writing.

15. Nonuse of Intellectual Property of Third Parties. Consultant shall not use, disclose or copy any intellectual property of any third parties in connection with work carried out under this Agreement, except for intellectual property for which Consultant

has a license. Consultant shall indemnify and hold City harmless against all claims raised against City based upon allegations that Consultant has wrongfully used intellectual property of others in performing work for City, or that City has wrongfully used intellectual property developed by Consultant pursuant to this Agreement.

16. Ownership of Work Product. All documents or other information created, developed, or received by Consultant shall, for purposes of copyright law, be deemed worked made for hire for City by Consultant and shall be the sole property of City. Consultant shall provide City with copies of these items upon demand, and in any event, upon termination of this Agreement.

17. Legal Requirements.

A. Consultant shall secure and maintain all licenses or permits required by law, including a City business license, and shall comply with all ordinances, laws, orders, rules, and regulations pertaining to the work.

B. Consultant warrants that it shall perform the services required by this Agreement in compliance with all applicable Federal and California employment laws, including, but not limited to, those laws related to minimum hours and wages; occupational health and safety; fair employment and employment practices; workers' compensation insurance and safety in employment; and all other Federal, State and local laws and ordinances applicable to the services required under this Agreement. Consultant shall indemnify and hold harmless City from and against all claims, demands, payments, suits, actions, proceedings, and judgments of every nature and description including attorneys' fees and costs, presented, brought, or recovered against City for, or on account of any liability under any of the above-mentioned laws, which may be incurred by reason of Consultant's performance under this Agreement.

C. Consultant covenants that thee shall be no discrimination based upon race, color, creed, religion, sex, marital status, age, handicap, national origin or ancestry, or any other category forbidden by law in performance of this Agreement.

18. Conflict of Interest and Reporting.

A. Consultant shall at all times avoid conflicts of interest or the appearance of a conflict of interest in the performance of this Agreement. If required, Consultant shall comply with the City's Conflict of Interest reporting requirements. Consultant understands that pursuant to Gardena Municipal Code sections 2.24.020H and 2.24.025G, it is forbidden to make any contribution to a candidate or committee of a candidate for a municipal office of the City, or to an officeholder, until the completion of services to be performed under this Agreement.

B. Consultant and its representatives shall refrain from lobbying City of

Gardena officials, employees and representatives for the duration of this Agreement.

19. Guarantee and Warranty. Consultant warrants to City that the material, analysis, data, programs and SERVICES to be delivered or rendered hereunder will be of the kind and quality designated and will be performed by qualified personnel. Without waiver of City's other rights or remedies, City may require Consultant to re-perform any of said services, which were not performed in accordance with these standards. Consultant shall perform the remedial services at its sole expense.

20. Insurance.

A. Commencement of Work. Consultant shall not commence work under this Agreement until it has obtained City approved insurance. Before beginning work hereunder, during the entire period of this Agreement, for any extensions hereto, and for periods after the end of this Agreement as may be indicated below, Consultant must have and maintain in place all of the insurance coverage required in this Section. Consultant's insurance shall comply with all items specified by this Agreement. Any subcontractors shall be subject to all of the requirements of this Section and Consultant shall be responsible to obtain evidence of insurance from each subcontractor and provide it to City before the subcontractor commences work. Alternatively, Consultant's insurance may cover all subcontractors.

B. Insurance Company Requirements. All insurance policies used to satisfy the requirements imposed hereunder shall be issued by insurers admitted to do business in the State of California. Insurers shall have a current Best's rating of not less than A-:VII, unless otherwise approved by City.

C. Coverage, Limits and Policy Requirements. Consultant shall maintain the types of coverage and limits indicated below:

1. Commercial General Liability Insurance - a policy for occurrence coverage for bodily injury, personal injury and property damage, including all coverage provided by and to the extent afforded by Insurance Services Office Form CG 2010 ed. 10/93 or 11/85, with no special limitations affecting City. The limit for all coverage under this policy shall be no less than one million dollars ($1,000,000.00) per occurrence.

2. Commercial Auto Liability Insurance - a policy including all coverage provided by and to the extent afforded by Insurance Services Office form CA 0001, ed. 12/93, including Symbol 1 (any auto) with no special limitations affecting City. The limit for bodily injury and property damage liability shall be no less than one million dollars ($1,000,000.00) per accident.

3. Policy Requirements. The policies set forth above shall comply with the following, as evidenced by the policies or endorsements to the policies:

a. The City, its appointed and elected officers, employees, agents and volunteers shall be added as additional insured to the policy.

b. The insurer shall agree to provide City with thirty (30) days prior written notice, return receipt requested, of any cancellation, non-renewal or material change in coverage.

c. For any claims with respect to the Services covered by this Agreement, Consultant's insurance coverage shall be primary insurance as respects the City, its elected and appointed officers, employees, agents and volunteers. Any insurance or self-insurance maintained by the City, its elected and appointed officers, employees, agents and volunteers shall be excess of Consultant's insurance and shall not contribute with it.

4. Worker's Compensation and Employer's Liability Insurance - a policy which meets all statutory benefit requirements of the Labor Code, or other applicable law, of the State of California. The minimum coverage limits for said insurance shall be no less than one million dollars per claim. The policy shall be issued by an insurance company which is admitted to do business in the State of California and shall contain a clause that the policy may not be canceled without thirty (30) days prior written notice, return receipt requested, is mailed to City.

5. Professional Errors & Omissions - a policy with minimum limits of one million dollars ($1,000,000.00) per claim and aggregate. This policy shall be issued by an insurance company which is admitted to do business in the State of California and shall contain a clause that the policy may not be canceled until thirty (30) days written notice, return receipt requested, is mailed to City.

D. Additional Requirements. The procuring of such required policies of insurance shall not be construed to limit Consultant's liability hereunder or to fulfill the indemnification provisions and requirements of this Agreement. There shall be no recourse against City for payment of premiums or other amounts with respect thereto. City shall notify Consultant in writing of changes in the insurance requirements. If Consultant does not deposit copies of acceptable insurance policies or endorsements with City incorporating such changes within sixty (60) days of receipt of such notice, Consultant shall be deemed in default hereunder.

E. Deductibles. Any deductible or self-insured retention over $25,000 per occurrence must be declared to and approved by City. Any deductible exceeding an amount acceptable to City shall be subject to the following changes: either the insurer shall eliminate or reduce such deductibles or self-insured retentions with respect to City, its officers, employees, agents and volunteers (with additional premium, if any, to be paid by Consultant); or Consultant shall provide satisfactory financial guarantee for

payment of losses and related investigations, claim administration and defense expenses.

F. Verification of Compliance. Consultant shall furnish City with original policies or certificates and endorsements effecting coverage required by this Agreement. The endorsements are to be signed by a person authorized by the insurer to bind coverage on its behalf. All endorsements are to be received and approved by City before work commences. Not less than fifteen (15) days prior to the expiration date of any policy of insurance required by this Agreement, Consultant shall deliver to City a binder or certificate of insurance with respect to each renewal policy, bearing a notation evidencing payment of the premium therefore, or accompanied by other proof of payment satisfactory to City. Consultant shall provide full copies of any requested policies to City within three (3) days of any such request by City.

G. Termination for Lack of Required Coverage. If Consultant, for any reason, fails to have in place, at all times during the term of this Agreement, including any extension hereto, all required insurance and coverage, City may immediately obtain such coverage at Consultant's expense and/or terminate this Agreement.

21. Indemnity.

A. Consultant assumes all risk of injury to its employees, agents, and contractors, including loss or damage to property.

B. Consultant agrees to defend, indemnify, hold free and harmless the City, its elected officials, officers, agents, employees and volunteers, at Consultant's sole expense, from and against any and all claims, actions, suits or other legal proceedings brought against the City, its elected officials, officers, agents, employees and volunteers arising out of the performance of the Consultant, its employees, and/or authorized subcontractors, of the work undertaken pursuant to this Agreement. The defense obligation provided for hereunder shall apply without any advance showing of negligence or wrongdoing by the Consultant, its employees, and/or authorized subcontractors, but shall be required whenever any claim, action, complaint, or suit asserts as its basis the negligence, errors, omissions or misconduct of the Consultant, its employees, and/or authorized subcontractors, and/or whenever any claim, action, complaint or suit asserts liability against the City, its elected officials, officers, agents, employees and volunteers based upon the work performed by the Consultant, its employees, and/or authorized subcontractors under this Agreement, whether or not the Consultant, its employees, and/or authorized subcontractors are specifically named or otherwise asserted to be liable. Notwithstanding the foregoing, the Consultant shall not be liable for the defense or indemnification of the City for claims, actions, complaints or suits arising out of the sole negligence or willful misconduct of the City. This provision shall supersede and replace all other indemnity provisions contained either in the City's specifications or Consultant's Proposal, which shall be of no force and effect.

C. No official, employee, agent or volunteer of City shall be personally liable for any default or liability under this Agreement.

22. Independent Contractor. Consultant agrees to furnish consulting services in the capacity of an independent contractor and neither Consultant nor any of its employees shall be considered to be an employee or agent of City.

23. PERS Eligibility Indemnification. In the event that Consultant or any employee, agent, or subcontractor of Consultant providing services under this Agreement claims or is determined by a court of competent jurisdiction or the California Public Employees Retirement System (PERS) to be eligible for enrollment in PERS as an employee of the City, Consultant shall indemnify, defend, and hold harmless City for the payment of any employee and/or employer contributions for PERS benefits on behalf of Consultant or its employees, agents, or subcontractors, as well as for the payment of any penalties and interest on such contributions, which would otherwise be the responsibility of City.

Notwithstanding any other agency, state or federal policy, rule, regulation, law or ordinance to the contrary, Consultant and any of its employees, agents, and subcontractors providing service under this Agreement shall not qualify for or become entitled to, and hereby agree to waive any claims to, any compensation, benefit, or any incident of employment by City, including but not limited to eligibility to enroll in PERS as an employee of City and entitlement to any contribution to be paid by City for employer contribution and/or employee contributions for PERS benefits.

24. Notices. Any notice or communication given under this Agreement shall be effective when deposited, postage prepaid, with the United States Postal Service and addressed to the contracting parties. Name, address, telephone and facsimile numbers of the parties are as follows:

City of Gardena:
1700 West 162nd Street
Gardena, California 90247-3732
Attn: Ray Beeman
Telephone Number: (310) 217-9516
E-mail: rbeeman@cityofgardena.org

Consultant: TCS
Attn: Tony Su, President
Telephone Number: (925) 216-7682
Facsimile Number:
E-mail: tony@tcsrisk.com

Either party may change the information to which notice or communication is to be sent by providing advance written notice to the other party.

25. Severability. If any provision of this Agreement shall be held illegal, invalid, or unenforceable, in whole or in part, such provision shall be modified to the minimum extent necessary to make it legal, valid, and enforceable, and the legality, validity, and enforceability of the remaining provisions shall not be affected thereby.

26. Jurisdiction and Venue. This Agreement shall be deemed a contract under the laws of the State of California and for all purposes shall be interpreted in accordance with such laws. Both parties hereby agree and consent to the exclusive jurisdiction of the courts of the State of California and that the venue of any action brought hereunder shall be Los Angeles County, California.

27. Waiver. No delay or failure by either Party to exercise or enforce at any time any right or provision of this Agreement shall be considered a waiver thereof or of such Party's right thereafter to exercise or enforce each and every right and provision of this Agreement. To be valid a waiver shall be in writing but need not be supported by consideration. No single waiver shall constitute a continuing or subsequent waiver.

28. Entire Agreement.

A. This writing contains the entire agreement of the Parties relating to the subject matter hereof; and the Parties have made no agreements, representations, or warranties either written or oral relating to the subject matter hereof which are not set forth herein. Except as provided herein, this Agreement may not be modified or altered without formal amendment thereto.

B. Notwithstanding the foregoing, and to realize the purpose of this Agreement, the Agreement Administrator may issue a written modification to the Scope of Work, if this modification will not require a change to any other term of this Agreement.

29. Joint Drafting. Each party acknowledges that it has had an adequate opportunity to review each and every provision in this Agreement and to submit the same to counsel and other consultants for review and comment and that the parties jointly drafted this Agreement. No provision of this Agreement or any Assignment shall be construed more strictly against one party than the other party by reason that one or the other party proposed, drafted or modified such provision or any other existing or proposed provision.

30. Public Records Act Disclosure. Consultant has been advised and is aware that this Agreement and all reports, documents, information and data, including, but not limited to, computer tapes, discs or files furnished or prepared by Consultant, or any of its subcontractors, pursuant to this Agreement and provided to City may be subject to public disclosure as required by the California Public Records Act (California Government Code section 6250 *et seq.*). Exceptions to public disclosure may be those documents or information that qualify as trade secrets, as that term is defined in the California Government Code section 6254.7, and of which Consultant informs City of

such trade secret. The City will endeavor to maintain as confidential all information obtained by it that is designated as a trade secret. The City shall not, in any way, be liable or responsible for the disclosure of any trade secret including, without limitation, those records so marked if disclosure is deemed to be required by law or by order of the Court.

31. Authority to Execute. The persons executing this Agreement on behalf of the parties warrant that they are duly authorized to execute this Agreement.

32. Attorney's Fees. In the event that legal action is necessary to enforce the provisions of this Agreement, or to declare the rights of the parties hereunder, the parties agree that the prevailing party in the legal action shall be entitled to recover attorney's fees and court costs from the opposing party.

33. Section Headings. The Section headings used in this Agreement are for reference purposes only and shall have no binding effect.

IN WITNESS WHEREOF, the parties have hereunto affixed their names as of the day and year written below.

CITY OF GARDENA

By_____
Clint D. Osorio, MPA
City Manager

Date_____

ACCEPTED: TCS Risk Management, LLC

By_____
Tony Su, President

Date 4/5/2022

APPROVED AS TO FORM:

_____
Carmen Vasquez, City Attorney

Exhibit A

TCS
Risk Management Services

March 9, 2022

Ray Beeman, CPA
Dir. Of Administrative Services
City of Gardena

Diana Schnur, HR Analyst
Human Resources
City of Gardena

Delivery via email to:

Dear Ray and Diana,

Thank you for taking the time to discuss with me last week the need for the City to complete a TPA selection process for the City's WC claims administration. I understand the current TPA contract expires Oct 31. 2022. I appreciate the opportunity to provide you with this proposal to assist and guide you through a third-party WC claims administration RFP and if need, the associated transition to the selected TPA.

I have broken this proposal out into two parts. The RFP Development Process will clarify the key objectives of City's workers' compensation program so that an effective RFP can be drafted. The TPA Selection Process will assist City to select the best TPA to help the City achieve its workers' compensation program objectives. This proposal is based on the following factors. The City's current self-insured workers' compensation claims have been administered by Adminsure for many years and it is time to conduct a complete TPA selection process. The City currently has approximately 171 open workers' compensation claims with annual average claim frequency of between 65-80 claims per year. Total outstanding claim liabilities have risen to over $8 million with annual WC payments of more than $2.3 million and growing.

Based on the above, I have prepared the following proposal.

RFP Development Process

TCS Risk Management Services, LLC will assist the City to define its program objectives and service needs with respect to selecting a TPA to manage its self-insured workers' compensation claims. The following items will be completed as part of this process.

- Interview key City staff (program administrators and key departments) to determine the program objectives and goals, desired service requirements, ancillary service providers (legal panel, bill review, utilization review, etc.)
- Provide the City with recommendations as to TPA service requirements for inclusion in the RFP
-

- Assist the City with developing claims management service standards for inclusion in the RFP to ensure the City's service needs are met by the selected TPA
- Assist with design of claim and litigation review process to implement with the selected TPA
- Draft an RFP and screen potential qualified TPAs with a transition target date of 11/1/2022.

TPA Selection Process

TCS Risk Management Services will assist the City with a TPA selection including distribution of the RFP to qualified third-party administrator candidates and selection of the most qualified candidate following the timeline below. This process will include:

- Assisting in the identification of potential TPA firms and distribution of the RFP to those TPAs
- Assist with the review of responses to the RFP, participation in oral presentations and selection meeting(s)
- Written summary of RFP responses and recommendations
- Assist the City in the development of a transition plan and work with the outgoing and incoming TPA on the migration of active claims and all claims data
- Assist as needed with data conversion, location/department/occupation coding, injury, nature/type coding and define excess reporting standards, monitor Self-Insurance Plans transition reporting (OSIP) and notification to excess carriers of new TPA
- Advise the City with notification letters from the new TPA to vendors, counsel and claimants
- Identification of key cases prior to the transfer (i.e. case set for hearing/trial, cases where benefit payments are due, etc.)
- Assist in the coordination of mail delivery post-transition to new TPA
- Assist the City with identifying data reporting requirements so the new TPA is ready to provide needed data and reports following claim transition and program implementation

Expected Timeline

May 2022 – define City service needs and TPA qualifications/standards, begin drafting RFP and claim service standards

June 2022 – Complete RFP, issue RFP to specific TPAs for response and post to City website as needed. RFP issue date approximately June 17, 2022. Closing date for anticipated responses to TPA of July 22, 2022

TCS
Risk Management Services

August 2022 – Receive and review RFP responses, check TPA references and design matrix for evaluating proposals, meet with the City to select finalist for oral presentations and develop timeframe for final selection process. Oral interviews end of August or early Sept.

Sept 2022 – Final decision on TPA selection, contract negotiations, City council approval. Data transition process to begin.

Oct 2022 – Complete data transition to new TPA to verify data migration occurs smoothly and data elements are correctly mapped to new claim system. Secure sample reports to validate data migration is completed correctly. Review claim transfer plan and identify active litigation claims along with cases with benefits due so new TPA can pick up those cases immediately. Objects is Nov 1, 2022 "go live" date on claims.

Nov 1, 2022 – Go live with new TPA. Claim system access is active.

Our proposed fee to provide the services described above have been broken out in to the two phases described above. I have included three days of travel to City of Gardena in each phase of this project and the cost associated with that travel is included in the proposed fee (6 days total). Should travel be required beyond the 6 days it will be billed at a rate of $1,850 per day inclusive of expenses.

RFP Development Process $10,500 (travel and expenses included)

TPA Selection Process $20,500 (travel and expenses included)

Total Fee: $31,000

I believe I have described the services requested by the City with respect to the TPA selection. If there are changes or questions, please feel free to contact me and I can make the appropriate modifications. Thank you again for your interest and the opportunity to provide this proposal. I look forward to working on this project for the City.

Tony Su, MBA, ARM
TCS Risk Management Services, LLC

City of Gardena

Gardena City Council Meeting
AGENDA REPORT SUMMARY

Agenda Item No. 11.B
Section: DEPARTMENTAL ITEMS - ADMINISTRATIVE SERVICES
Meeting Date: April 12, 2022

TO: THE HONORABLE MAYOR AND MEMBERS OF THE GARDENA CITY COUNCIL

AGENDA TITLE: Capital Improvement Project Update

COUNCIL ACTION REQUIRED:
Staff Recommendation: Receive and File

RECOMMENDATION AND STAFF SUMMARY:

Staff recommends that the City Council receive and file the City of Gardena Capital Improvement Plan (CIP) Update as of December 31, 2021.

The Capital Improvement Plan provides a roadmap to maintain the infrastructure required for a community to operate including streets, parks and recreation areas, sidewalks and bike ways, sanitary sewers, and storm drains. The City's goal is to utilize this roadmap to continually maintain the safety and aesthetics of City streets, facilities, parks, medians and equipment at the highest levels possible.

The Capital Improvement Plan offers a comprehensive framework for infrastructure improvements planned within the City, as well as providing a clear and concise summary of those planned improvements to the City Council. The attached presentation details the current status of work in progress as well as upcoming projects.

FINANCIAL IMPACT/COST:
Detailed per job in presentation

ATTACHMENTS:
April_12_2022_City_Council_Meeting-_CIP_Update_thru_12-31-2021.pdf

APPROVED:

_____

Clint Osorio, City Manager

CITY OF GARDENA

CAPITAL IMPROVEMENT PROGRAM (CIP) UPDATE

AS OF DECEMBER 31, 2021

PARKS & FACILITIES
COMPLETED OR IN CONSTRUCTION

Job #	Funding Sources	Project Name	Budget	Expenditures	Status	Progress
820	**Park in Lieu**	**Mas Fukai Improvements – Fence Rehab**	**$83,730**	**$83,730**	**Completed**	
820	**Park in Lieu**	**Mas Fukai Improvements – Shade Structures & Landscaping**	**$160,841**	**$160,841**	**Completed**	
502	**Park in Lieu**	**NCC Roof Rehabilitation**	**$222,667**	**$205,629**	**Completed**	
501	Deferred Maintenance	City Hall Roof Rehabilitation	$188,999	$750	In Construction	Begin April 2022
968	Park in Lieu	Rowley Park Baseball Diamond Restroom Rehabilitation	$344,000	$76,641	In Construction	80% Completed
		TOTAL	**$1,000,237**	**$503,390**		

PARKS & FACILITIES
JN 820 - MAS FUKAI IMPROVEMENTS

- Fence Improvements

PARKS & FACILITIES
JN 820 - MAS FUKAI IMPROVEMENTS

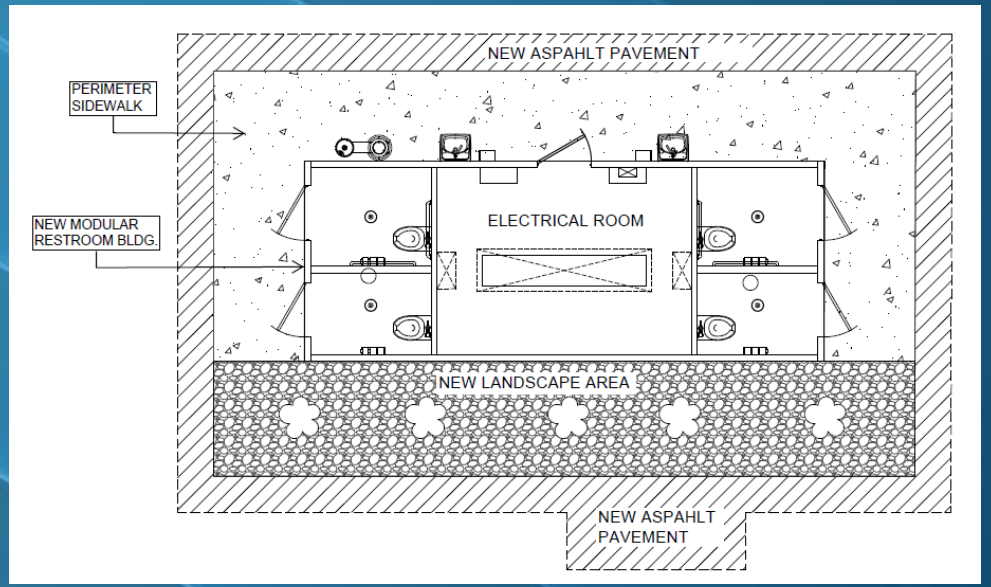
- New Shade Structure & Landscape Improvements

PARKS & FACILITIES
JN 502 – NCC ROOF REHABILITATION

- New roof at Nakao Community Center

PARKS & FACILITIES
JN 968 – ROWLEY PARK RESTROOM REHAB

- Ready to receive the modular restroom building



PARKS & FACILITIES IN DESIGN OR PLANNING

Job #	Funding Sources	Project Name	Budget	Expenditures	Status	Progress
820	Park in Lieu	Mas Fukai Improvements – Master Plan	$71,500	-	In Study	95% Completed
505	2021 Bonds Proceeds (Paid by Measure G)	Rosecrans Community Center – Property Acquisition Phase	$3,500,000	$3,524,841	In Planning	Completed Property Acquisition
978	2021 Bond Proceeds (Paid by Measure G)	Gardena Community Aquatic & Senior Center – Design Phase	$1,227,625	$183,453	In Design	Preliminary
509	Deferred Maintenance	Fire Station 158 Roof Rehabilitation	$194,906	$34,750	In Design	75% Completed
		TOTAL	**$4,994,031**	**$3,743,044**		

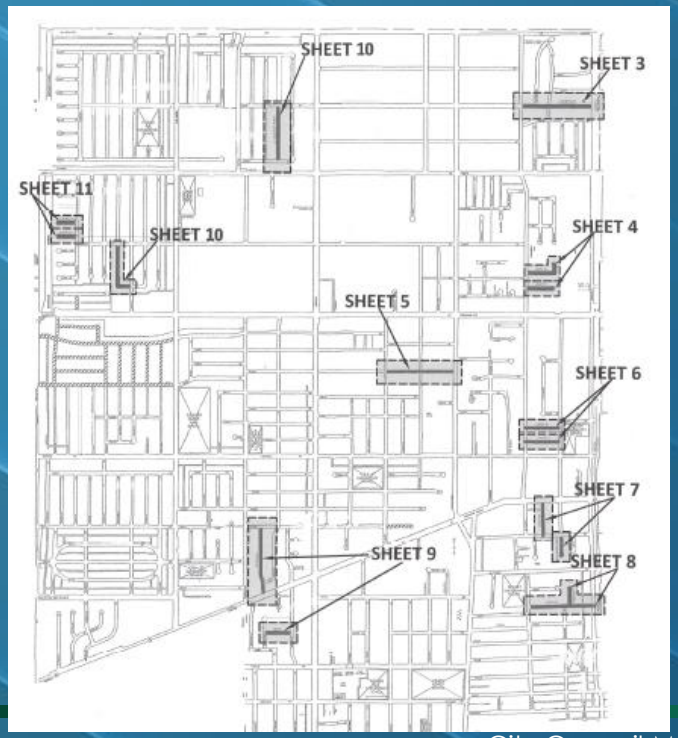
STREETS, SEWER & STORMWATER COMPLETED OR IN CONSTRUCTION

Job #	Funding Sources	Project Name	Budget	Expenditures	Status	Progress
946	**Gas Tax**	**Local Street Improvement 2018-19**	**$700,000**	**$682,556**	**Completed**	
991	**Sewer Fund**	**PW Sewer Equipment Purchase**	**$800,000**	**$510,766**	**Completed**	
996	**Measure M**	**Pavement Management Program**	**$30,000**	**$29,818**	**Completed**	
955	**SB 1**	**Western Ave Street Improvement – Rodondo Beach to Artesia Blvd**	**$1,900,000**	**$1,437,177**	**Completed**	
952	Prop C & Measure M	Van Ness Ave Street Improvement - (Rosecrans to 135th) & 139th St (Van Ness to Western)	$1,400,000	$503,329	In Construction	90% Completed
511	Sewer Fund	PD Sewer Pump Replacement	$80,244	-	In Construction	Begin April 2022
993	SB 821 & Measure R	Pedestrian Safety Improvement 2020-21	$380,000	-	In Construction	Bid Soliciting
		TOTAL	**$5,290,244**	**$2,660,317**		

City of Gardena's streets PCI is 81.2

STREETS, SEWER & STORMWATER
JN 946 – LOCAL STREET IMPROVEMENT

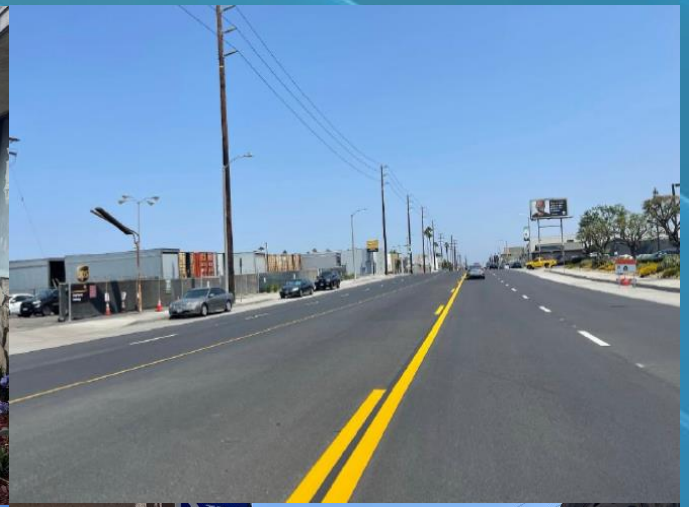
- Overlaid 375 sf A.C.
- 12 new curb ramps



STREETS, SEWER & STORMWATER
JN 991 – SEWER EQUIPMENT PURCHASE

- To maintain 88 miles of sewer lines and 354 6-inch storm drain lines

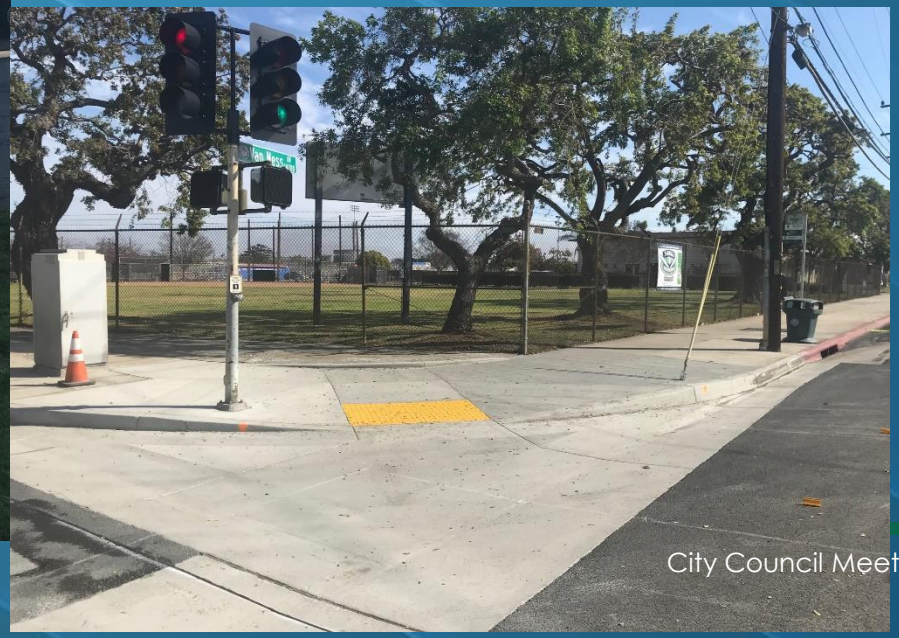
STREETS, SEWER & STORMWATER
JN 955 – WESTERN AVE STREET IMPROVEMENT



- Overlaid 370,000 sf of A. C.
- 30 new curb ramps
- 61 new trees
- 10,100 sf sidewalk reconstruction
- 135 lf C & G

STREETS, SEWER & STORMWATER
JN 952 – VAN NESS AVE & 139TH STREET IMPROVEMENTS

- Overlaid 260,000 sf of A. C.
- 22 new curb ramps
- 18 new trees
- 7,000 sf sidewalk reconstruction



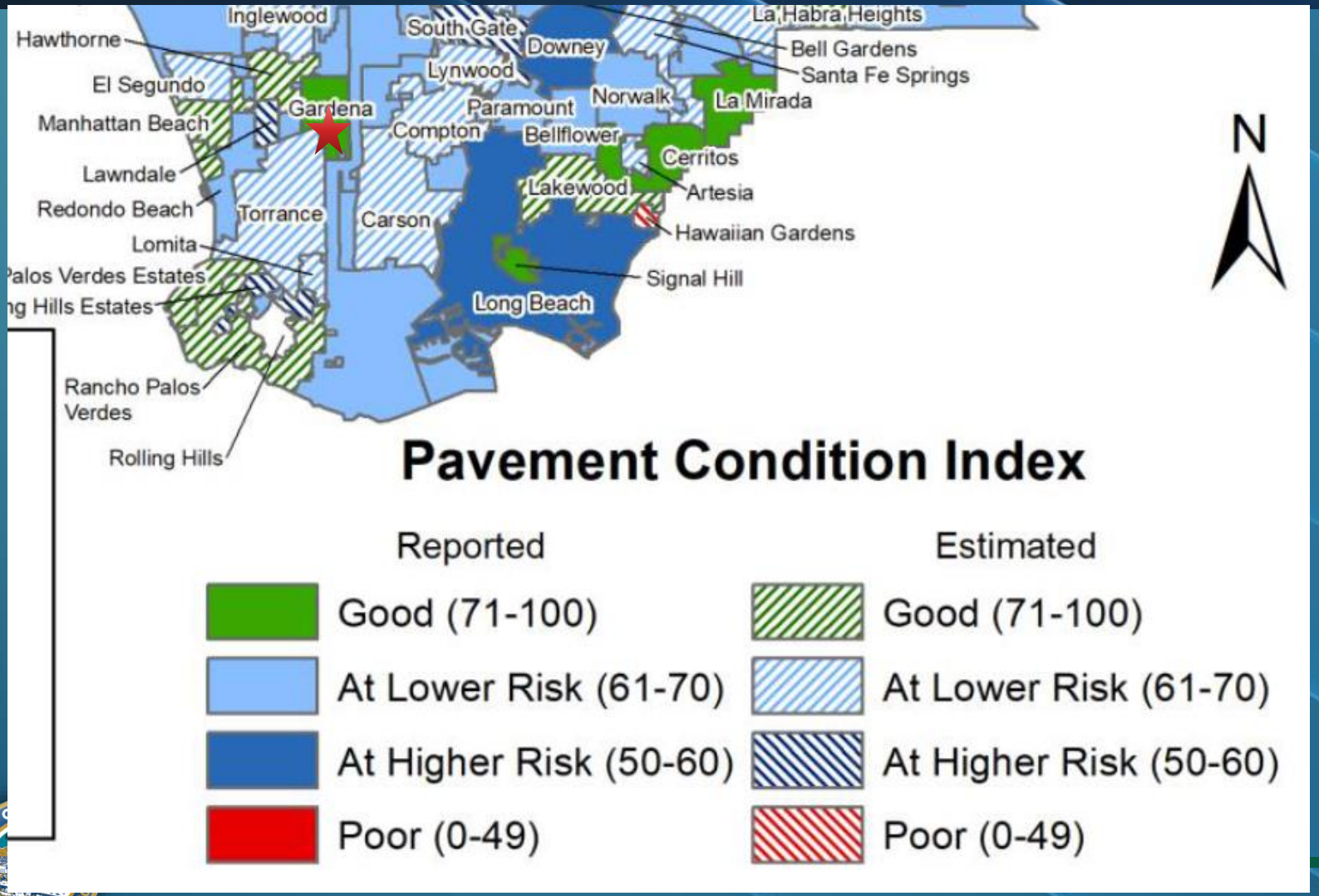
STREETS, SEWER & STORMWATER IN DESIGN OR PLANNING

Job #	Funding Sources	Project Name	Budget	Expenditures	Status	Progress
930	Measure R Highway	Vermont Ave Traffic Signal Improvement – RBB to Rosecrans	$1,500,000	$162,157	In Design	95% Completed
935	Measure R Highway & Prop C	Artesia Blvd Street Improvement – Western to Vermont	$3,173,000	$177,023	In Design	90% Completed
944	STPL	170th Street Improvement – Normandie to Vermont	$500,000	$88,405	In Design	95% Completed
972	STPL & Measure M	New Crosswalk at Vermont & 133rd	$167,000	$39,919	In Design	95% Completed
973	Measure R Highway	New Traffic Signal at Vermont & Magnolia	$144,000	$52,216	In Design	Preliminary
945	Measure M Highway	Redondo Beach Blvd Arterial Improvement	$2,940,000	-	In Design	Contract Procurement
987 & 994	Measure M & SB 1	Local Street Improvement 2021-22	$2,445,047	$80,970	In Design	75% Completed
998 & 999	Measure W	Storm Drain Debris Screen	$380,000	-	In Design	50% Completed

STREETS, SEWER & STORMWATER IN DESIGN OR PLANNING

Job #	Funding Sources	Project Name	Budget	Expenditures	Status	Progress
990	Sewer Fund	Sewer Master Plan	$600,000	$12,000	In Design	Preliminary
959	STPL & Measure M	Vermont Street Improvements – Artesia to Gardena	$600,000	$5,160	In Design	Preliminary
996	Measure M	Vermont Street Improvements (Multi-year) – Rosecrans to 135th	$150,000	$5,160	In Design	Preliminary
507	Gas Tax	Citywide Wayfinding Program	$100,000	$8,984	In Design	75% Completed
985	Measure M	Budlong (135th to RBB) & Halldale (135th to El Segundo) Street Impr.	$900,000	$4,810	In Planning	RFP in Development
988	Prop C	Crenshaw Blvd Street Improvement – Rosecrans to El Segundo	$600,000	$4,480	In Planning	RFP in Development
992	Prop C & Measure M	Van Ness Street Improvement (Multi-year) – Redondo to Marine	$1,450,000	$4,920	In Planning	RFP in Development
		TOTAL	**$15,649,047**	**$646,204**		

CITY OF GARDENA'S STREETS & ROADS



- Current PCI is 81.2
- Highest in South Bay
- CA average is 66

Based on 2020 California Statewide Local Streets and Roads Needs Assessment

GTRANS
CIP UPDATES

Funding Sources	Project Name	Budget	Expenditures	Status	Progress
Federal & Local	**Purchase of (18) CNG Buses**	**$13,325,524**	**$13,325,524**	**Completed**	
Federal & Local	**Big Belly Solar Trash Receptacles**	**$210,178**	**$210,178**	**Completed**	
Federal & Local	GTrans Realtime Information Deployment System	$2,634,511	$1,082,645	In Progress	41% Completed
Federal & Local	Scheduling & Operations Management System	$933,387	$442,220	In Progress	47% Completed
Federal & Local	CNG Fueling Station Project	$5,298,660	$859,543	In Progress	16% Completed
Local	Bus Signal Priority Project	$739,934	$352,428	In Progress	48% Completed
Local	Digital Radio Migration Project	$433,488	-	In Progress	Procurement
	TOTAL	**$23,575,682**	**$16,272,538**		

GTRANS
NEW CNG BUSES

- 18 New CNG Buses

GTRANS
NEW SOLAR TRASH RECEPTACLES

- 20 New Big Belly Solar Trash Receptables

MAJOR COMMUNITY PROJECT UPDATE

Project Name	Total Budget	YTD Expenditures	Estimated Remaining Cost	Funding Available	Funding Sources	Current Phase	Estimated Completion
Mas Fukai Park Improvements	$6.9M	-	$6.9M	$6.9M	Park in Lieu, Measure A, 2021 Bonds	In Planning	December 2024
Rosecrans Community Center Project	TBD	($3.5M)	TBD	$3.4M	Park in Lieu, Maxine Waters 2022 Community Projects & 2021 Bonds	In Planning	December 2025
Gardena Community Aquatic & Senior Center	$18.3M	($2.8M)	$15.5M	$15.5M	Prop 68 & 2021 Bonds	In Design	June 2024

CITY OF GARDENA

CAPITAL IMPROVEMENT PROGRAM (CIP) UPDATE

AS OF DECEMBER 31, 2021

THANK YOU!

City of Gardena

Gardena City Council Meeting

AGENDA REPORT SUMMARY

Agenda Item No. 12.A
Section: DEPARTMENTAL ITEMS - COMMUNITY DEVELOPMENT
Meeting Date: April 12, 2022

TO: THE HONORABLE MAYOR AND MEMBERS OF THE GARDENA CITY COUNCIL

AGENDA TITLE: PUBLIC HEARING: RESOLUTION 6570, Upholding the Decision of the Planning Commission Approving Site Plan Review #5-21, Conditional Use Permit #5-21, and Conditional Use Permit #6-21 to Develop A 121-Unit Single Room Occupancy Housing Development, With Seven Affordable Units, and Two, Six-Tier Automated Parking Structures on a One-Acre Property in the M-1 (Industrial) Zone with, and Directing Staff to File A Notice of Exemption for a Class 32 In-Fill Development **Or** Reversing the Decision and Denying the Applications
APPLICANT: West Realty Group, Inc., Lee Johnson
LOCATION: 13126 South Western Avenue

COUNCIL ACTION REQUIRED:

Staff Recommendation: Open the public hearing and take additional testimony from the applicant and public, close the public hearing and discuss the matter, take one of the following courses of action:

- **Option 1 - Adopt Resolution No. 6570, denying the project; OR**
- **Option 2 - Make a motion to rescind the previous action on this matter denying the project and adopt Resolution No. 6570 approving the project**

RECOMMENDATION AND STAFF SUMMARY:

On July 30, 2021, the applicant West Realty Group, Inc. submitted an application to construct a 121-unit single room occupancy (SRO) housing development, including seven affordable units located at 13126 South Western Avenue.
On February 15, 2022, the Planning Commission considered the project, and approved Resolution No. 4-22, approving the project.
At the City Council Meeting held February 22, 2022, the project was called for review, and o n March 22, 2022, the City Council held a public hearing and voted 3 to 2 to direct staff to draft a resolution denying the project.
At the direction of the Mayor, a second public hearing was noticed for April 12, 2022 to consider and receive any additional information and public testimony prior to making a final decision.
Staff has prepared a presentation for this item.

FINANCIAL IMPACT/COST:

None.

ATTACHMENTS:

Staff Report.pdf
Attachment A - Architectural Plans .pdf
Attachment B - Planning Commission packet dated February 15, 2022
Attachment C - City Council staff report of March 22, 2022.pdf
Attachment D - Resolution No. 6570, denying the project.pdf
Attachment - E - Resolution No. 6570 with Exhibits, approving the project
Attachment F - Additional project materials provided by the Applicant.pdf

APPROVED:

_____

Clint Osorio, City Manager

City of Gardena

Gardena City Council Meeting
AGENDA REPORT SUMMARY

Agenda Item No.12.A
Section: DEPARTMENTAL ITEMS - COMMUNITY DEVELOPMENT
Meeting Date: April 12, 2022

AGENDA STAFF REPORT

AGENDA TITLE: PUBLIC HEARING: RESOLUTION NO. 6570, Upholding the Decision of the Planning Commission Approving Site Plan Review #5-21, Conditional Use Permit #5-21, and Conditional Use Permit #6-21 to Develop A 121-Unit Single Room Occupancy Housing Development, With Seven Affordable Units, and Two, Six-Tier Automated Parking Structures on a One-Acre Property in the M-1 (Industrial) Zone with, And Directing Staff to File A Notice of Exemption for a Class 32 In-Fill Development **Or** Reversing the Decision and Denying the Applications

APPLICANT: West Realty Group, Inc., Lee Johnson

LOCATION: 13126 South Western Avenue

RECOMMENDATION:

Staff respectfully recommends that Council:

1. Open the Public Hearing
2. Receive testimony from the Public; and
3. Take action on the Project.

BACKGROUND

On July 30, 2021, the applicant West Realty Group, Inc., represented by Lee Johnson, submitted an application for a site plan review and conditional use permit to construct the 121-unit single room occupancy (SRO) housing development, including seven affordable units, with two automated parking structures, on the property at 13126 S. Western Avenue. The subject property is a one-acre lot with a 2,100-square-foot (sf) convenience store and a 10,080-sf industrial building for an automobile repair facility. The property is located towards the northern end of the City at the northeast corner of Western Avenue and West 132nd Street, and is zoned Industrial (M-1).

On February 15, 2022, the Planning Commission of the City of Gardena held a duly noticed public hearing on the project after which the Commission voted 5-0-0 to adopt Resolution No. PC 4-22 approving the project and directing staff to file a notice of exemption.

On February 22, 2022, the project was called for review by Council Member Francis, and seconded by Mayor Cerda. At the same meeting Mayor Cerda stated she wanted to see the proposed color palette of the building, the landscape and lighting.

A duly noticed public hearing was held on March 22, 2022. After the close of the public hearing, the City Council voted 3 to 2 to direct staff to draft a resolution denying the project. During the meeting and by email received immediately after the meeting, the applicant's partner threatened to bring litigation against the City. Although the project was not approved a preference was indicated for the first alternative color palette that included a blue accent featured on the development, and the draft conditions of approval include that requirement.

At the direction of the Mayor, a second public hearing was noticed for April 12, 2022 to receive additional public testimony on the project prior to making a final decision.

The Planning Commission's staff report and resolution of approval, are attached hereto to provide further detail on the project, along with the prior staff report to the City Council. This staff report is to provide further information regarding the project and the applicable laws.

Also, attached are additional materials that were provided to the City Council by the applicant's representative, Lee Johnson.

Follow-Up Issues

Contamination - On March 22, 2022 a question was raised regarding possible contamination from previous uses. Both a Phase I and Phase II report were provided to the City. Based on the Phase II, a condition has been added which requires the use of a vapor mitigation system to control vapor intrusion into the proposed residential buildings. Vapor intrusion systems have been used in numerous residential developments in Gardena including the 265-unit Dinnerstein apartment project on Crenshaw Boulevard, the 116 unit Melia Homes project on 178th Street, and the 105 unit G3 project on Rosecrans Avenue at the former taxi site.

Objective Standards - Over the past few years both the statutes and case law have made clear that a city may only deny a housing project based on objective standards. Last year the Court of Appeal decided *California Renters Legal Advocacy & Education Fund v. City of San Mateo* (2021) 68 Cal.App.5th 820. The city denied a housing project based on a local height guideline which provided that if there was more than a one-story variation in height between adjacent buildings, a transition or step in height is necessary, including stepped back upper floors. The court of appeal determined that the height guideline was neither objective nor quantifiable and the city violated the Housing Accountability Act (Government Code § 65589.5) in denying the project.

Density Bonus – The Density Bonus Law is a mandatory provision of State law that all jurisdictions must follow. Attached is a chart prepared by Community Development staff based on the Density Bonus Law. This project is providing 7% very low-income units, entitling it to a density bonus of 25%. Density bonus projects are also entitled to concessions and waivers.

A concession is a reduction in site development standards or a modification of zoning code requirements or architectural design requirements that exceed the minimum building standards

that result in identifiable and actual cost reductions. This project would be entitled to one concession.

A waiver or reduction in development standards are required where the development standard would have the effect of physically precluding the construction of an affordable development. There is no limit on the number of waivers an applicant may receive.

The mechanical parking system would qualify as both a concession and a waiver.

Location of Density Bonus Units – A question was asked at the March 22, 2022 meeting regarding the location of the other projects which have provided affordable units/density bonus units. To date, the City has approved 4 density bonus units – 1 at Gardena Apartments and 3 at Normandie Place. Two additional affordable units were provided at Moneta Gardens without any request by the developer. G3's pending development at 2545 Marine Avenue includes two more affordable units. A map of these locations is attached.

Traffic – Concerns were raised regarding traffic. The traffic study prepared for this project showed that the proposed use would have 1,054 fewer daily trips than the existing uses at the property; AM peak hour trips would be reduced by 108 trips and PM peak hour trips would be reduced by 21 trips.

Recommendation

The City Council should:

1. Open the public hearing and take additional testimony from the applicant and public;

2. Close the public hearing and discuss the matter.

3. Take one of the following courses of action:

    - Option 1 – Adopt Resolution No. 6570 denying the project; ***OR***
    - Option 2 – Make a motion to rescind the previous action on this matter denying the project and adopt Resolution No. 6570 approving the project

Submitted by: Amanda Acuna, Senior Planner Date: 4/6/2022

ATTACHMENTS
Attachment A – Architectural Plans
Attachment B – Planning Commission packet dated February 15, 2022
Attachment C – City Council staff report of March 22, 2022
Attachment D – Resolution No. 6570, denying the project
Attachment E - Resolution No. 6570 to rescind the previous action and approve the project
- Exhibit A – Conditions of Approval
- Exhibit B – Management Plan

Attachment F – Additional project materials provided by the Applicant

WESTERN SRO APARTMENTS
121 UNIT SINGLE ROOM OCCUPANCIES

NARRATIVE EXPLANATION OF PROPOSED PROJECT

The project is a 4 story, 121 unit single room occupancy development located on a corner lot in the M1 zone. 114 units are market rate and 7 units are very low income housing. The building mass is biased toward the corner of 132nd Street and Western Avenue and most of the parking is situated within a 6 tier automated parking structure located in the south west corner of the lot.

Since the adjacent blocks consist of 1 and 2 story industrial buildings, the project is designed to create its own pedestrian oriented urban context, as well as provide a base context for potential future residential projects. The building mass is stepped from 4 stories to 2 stories at the northeast corner, to act as a transition to the scale of the surrounding neighborhood. Ground floor units along 132nd street, and Western Avenue are set back 10'-0" from the property line and separated by a landscape buffer, providing pedestrian orientation.

Although the neighborhood is considered somewhat walkable (walk score 68), and somewhat bikeable (bike score 48), we felt it was important that the project provide sufficient private and common open space on site. Every unit has a balcony or patio, and by providing an automated parking structure the 7,374 sf courtyard is not over structure, allowing more landscaping and a pool and spa in addition to a recreation room and resident fitness center. Outdoor decks at the 2nd and 3rd floors help energize the corner of 132nd and Western.

The exterior of the building is fine sand acrylic stucco and a bright accent color at the exterior wall accentuates the massing. Since the unit modules are less than 14'-0" wide, a white decorative stucco frame exaggerates the horizontality of the 2 main elevations and allows for privacy screening between units. The balcony railings are a prefinished, perforated, corrugated metal that pay homage to the industrial nature of the neighborhood and further emphasize the horizontality.

PROJECT INFORMATION

ADDRESS:	13126 S. WESTERN AVENUE GARDENA, CA 90249
APN:	6102-006-013
OWNER: CONTACT:	13126 S. WESTERN AVE., LLC LEE JOHNSON LEE@WESTREALTYGROUP.COM 11901 SANTA MONICA BLVD. #530 LOS ANGELES, CA 90025
LEGAL DESCRIPTION:	LOT 30 of BLOCK 6 OF PANAMA ACRES, IN THE CITY OF GARDENA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 15, PAGE(S) 138 AND 139 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY, CALIFORNIA.
EXISTING USE:	ONE STORY 9,981 SF INDUSTRIAL BUILDING ONE STORY 2,755 SF COMMERCIAL BUILDING SURFACE PARKING LOT
PROPOSED USE:	NEW CONSTRUCTION – 121 UNIT SINGLE ROOM OCCUPANCY (350 SF) 4 STORIES WITH FREESTANDING 6 TIER, 114 CAR AUTOMATED PARKING STRUCTURE
FUNDING:	PROJECT IS 100% PRIVATELY FUNDED AND IS NOT PUBLICLY FUNDED HOUSING
CONSTRUCTION TYPE:	TYPE VA 1HR FULLY SPINKLERED NFPA 13 SPRINKLERS REQUIRED EMERGENCY STAND BY GENERATOR REQUIRED FOR ELEVATOR

ZONING INFORMATION

ZONE:	M1 – INDUSTRIAL ZONE
PERMITTED USES:	SINGLE ROOM OCCUPANCIES (SUBJECT TO A CONDITIONAL USE PERMIT)
LOT AREA:	43,811 SF (1.006 ACRES)
ALLOWABLE FAR:	1.0
STATE DENSITY BONUS:	THIS PROJECT WILL REQUEST A 25% FLOOR ARE INCREASE BONUS BY PROVIDING 7% VERY LOW INCOME HOUSING (1 CONCESSION ALLOWED)
ALLOWABLE FAR: W/ DENSITY BONUS	1.25
ALLOWABLE FLOOR AREA:	43,811 x 1.25 = 54,764 SF
PROPOSED FLOOR AREA:	54,416 SF (SEE SHEET A03)
HEIGHT LIMIT:	MAXIMUM – 65'-0" 50'-0" IF 100'-0" FROM R3 OR R4 ZONE 35'-0" IF 100'-0" FROM R1 ZONE
PROPOSED HEIGHT:	NOT TO EXCEED 50'-0"
STORIES:	NO LIMIT (4 STORIES PROPOSED, 6 TIERS AUTOMATED PARKING)
PROP. BASE DENSITY:	97 UNITS
DENSITY W/ BONUS:	97 x 1.25 = 121.25 (121 PROPOSED)
VERY LOW INCOME:	7% OF BASE DENSITY (97 x .07 = 7 UNITS)
REQUIRED SETBACKS:	FRONT YARD – 10'-0" STREET SIDEYARD – 10'-0" SIDEYARD – 0'-0" REARYARD – 0'-0"
PROPOSED SETBACKS:	FRONT YARD – 10'-0" STREET SIDEYARD – 10'-0" SIDEYARD – 5'-0" REARYARD – 5'-0"

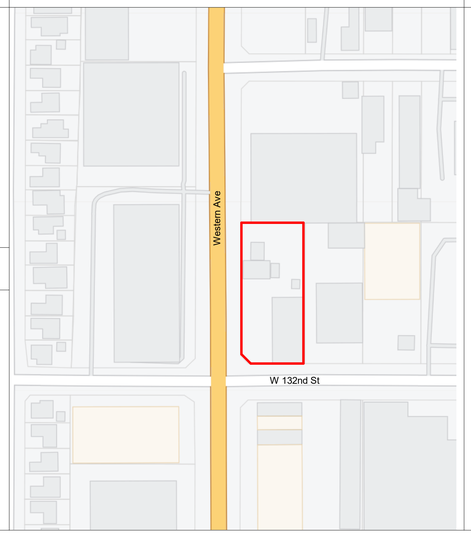
PARKING REQUIREMENTS

REQUIRED PARKING:	1 space per unit/ 2 spaces for manager's unit 120 x 1.0 + 1 x 2.0 = 122 SPACES (INCLUDES ACCESSIBLE PARKING)
REQ. ACCESSIBLE PARKING:	122 x .02 = 3 SPACES (1 VAN ACCESSIBLE)
PROVIDED PARKING:	114 STANDARD SPACES WITHIN 6 TIER AUTOMATED STRUCTURE 8 SPACES (6 STANDARD, 2 COMPACT COVERED PARKING) 122 SPACES TOTAL (INCLUDES 3 ACCESSIBLE SPACES)
BICYCLE PARKING	THIS PROJECT IS VOLUNTARILY PROVIDING 40 BICYCLE PARKING SPACES IN A STACKED RACK SYSTEM

OPEN SPACE

OPEN SPACE	(SEE SHEET A04)
REQUIRED OPEN SPACE:	10 SF PER UNIT (121 x 10 = 1,210 SF)
PROVIDED OPEN SPACE:	PRIVATE OPEN SPACE – 9,314 SF COMMON OPEN SPACE – 8,080 SF TOTAL OPEN SPACE – 17,394 SF

VICINITY MAP



SHEET INDEX

ARCHITECTURE	
A00	COVER SHEET
	SURVEY
	SURVEY
A01	DEMOLITION PLAN
A02	SITE PLAN
A03	FAR CALCULATION
A04	OPEN SPACE CALCULATIONS
A06	GROUND FLOOR PLAN
A07	SECOND FLOOR PLAN
A08	THIRD FLOOR PLAN
A09	FOURTH FLOOR PLAN
A10	ROOF PLAN
A11	BUILDING ELEVATIONS
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A16	RENDERING
A17	RENDERING
A18	RENDERING
LANDSCAPE	
L-1	FIRST FLOOR PLANTING PLAN
L-2	THIRD FLOOR PLANTING PLAN
L-3	FOURTH FLOOR PLANTING PLAN
L-4	FOURTH FLOOR PLANTING LAYOUT

DEA

DE ARCHITECTS AIA
1335 6TH STREET, SUITE 101
SANTA MONICA, CA 90401
310.451.7917

WWW.DEARCHITECTS.NET

THE ABOVE DRAWINGS, SPECIFICATIONS AND DESIGNS ARE THE PROPERTY OF DE ARCHITECTS, AIA. NO PART THEREOF SHALL BE COPIED OR USED WITH ANY OTHER WORK OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN DEVELOPED WITHOUT THE WRITTEN CONSENT OF DE ARCHITECTS, AIA.

DE ARCHITECTS AIA, DON EMPAKERIS WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

PROJECT
13126 S Western Ave
SINGLE ROOM OCCUPANCIES
13126 S Western Ave
Gardena, CA 90249

SHEET NAME
COVER SHEET

ISSUE
PLANNING SUBMITTAL
01/04/2022

SHEET NO.
A00

PRELIMINARY TITLE REPORT

PRELIMINARY TITLE REPORT NO. 995-30043507-JS3, DATED FEBRUARY7, 2020, PREPARED BY FIDELITY NATIONAL TITLE COMPANY, 555 SOUTH FLOWER STREET, SUITE 4420, LOS ANGELES, CA 90071, WAS USED IN THE PREPARATION OF THIS SURVEY AND IS MADE A PART HEREOF BY REFERENCE.

OWNERSHIP

TITLE TO SAID ESTATE OR INTEREST AT THE DATE HEREOF IS VESTED IN:

13126 S. WESTERN AVE., LLC, A CALIFORNIA LIMITED LIABILITY COMPANY

BASIS OF BEARINGS

THE BEARING N 89°54'45"E OF THE NORTHERLY RIGHT -OF-WAY (TRANSFERED TO CENTERLINE) OF 132ND ST (FORMERLY GRAND AVE.) AS SHOWN ON THE PANAMA ACRES TRACT, AS RECORDED IN BOOK 15, PAGES 138 AND 139 OF MAPS, IN THE OFFICE OF THE LOS ANGELES COUNTY RECORDER, WAS TAKEN AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

BENCHMARK

BM ID: RY7945
RDBM TAG IN SOUTH CURB 2FT E/O BCR AT SE CORNER 132ND ST & NORMANDIE AVE.

ELEV = 87.63 (NAVD 88)(2013 ADJ.)

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF GARDENA, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOT 30 OF BLOCK 6 OF PANAMA ACRES, IN THE CITY OF GARDENA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 15, PAGE(S) 138 AND 139 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY, CALIFORNIA.

EXCEPTING THEREFROM THAT PORTION OF SAID LOT 30, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWESTERLY CORNER OF SAID LOT;

THENCE NORTHERLY ALONG THE WESTERLY LINE OF SAID LOT, A DISTANCE OF 17.00 FEET;

THENCE SOUTHEASTERLY IN A DIRECT LINE 24.03 FEET TO A POINT IN THE SOUTHERLY LINE OF SAID LOT DISTANT EASTERLY THEREON 17.00 FEET FROM TO THE POINT OF BEGINNING;

THENCE WESTERLY ALONG SAID SOUTHERLY LINE 17.00 FEET TO SAID TO THE POINT OF BEGINNING.

ALSO EXCEPTING THEREFROM ALL OIL, OIL RIGHTS, NATURAL GAS RIGHTS, MINERAL RIGHTS, ALL OTHER HYDROCARBON SUBSTANCES BY WHATSOEVER NAME KNOWN, AND ALL WATER, CLAIMS OR RIGHTS TO WATER, TOGETHER WITH APPURTENANT RIGHTS THERETO, WITHOUT HOWEVER, ANY RIGHT TO ENTER UPON THE SURFACE OF SAID LAND FOR ANY PORTION OF THE SUBSURFACE LYING ABOVE A DEPTH OF 500 FEET, AS EXCEPTED OR RESERVED IN DEEDS OF RECORD.

APN: 6102-006-013

SUMMARY OF SCHEDULE "B" - SECTION "B" - EXCEPTIONS NOT REPORTED IN THIS SURVEY

ITEM	SUBJECT
A - C	PROPERTY TAXES AND ASSESSMENTS, IF ANY
1	WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS.
2	COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED IN BOOK 4586, PAGE 37, OF OFFICIAL RECORDS
3	A DEED OF TRUST RECORDED MAY 29, 2014 AS INSTRUMENT NO. 20140551342, O.R.
4	AN ASSIGNMENT OF ALL THE MONEYS DUE, OR TO BECOME DUE AS RENTAL, AS ADDITIONAL SECURITY FOR THE OBLIGATIONS SECURED BY DEED OF TRUST SHOWN AS ITEM NO. 3. RECORDED MAY 29, 2014 AS INSTRUMENT NO. 20140551343, O.R.
5	MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED "HAZARDOUS SUBSTANCES CERTIFICATE AND INDEMNITY AGREEMENT" RECORDED MAY 29, 2014 AS INSTRUMENT NO. 20140551344, O.R.
6	A DEED OF TRUST RECORDED JULY 1, 2014 AS INSTRUMENT NO. 2014679413, O.R.
7	A DEED OF TRUST RECORDED SEPTEMBER 17, 2014 AS INSTRUMENT NO. 20140980576, O.R.
8	A DEED OF TRUST RECORDED FEBRUARY 2, 2018 AS INSTRUMENT NO. 20180114407, O.R.
9	MATTERS WHICH MAY BE DISCLOSED BY AN INSPECTION AND/OR BY A CORRECT ALTA/NSPS LAND TITLE SURVEY OF SAID LAND THAT IS SATISFACTORY TO THE COMPANY, AND/OR BY INQUIRY OF THE PARTIES IN POSSESSION THEREOF. (MAY REFER TO THIS SURVEY)
10	ANY RIGHTS OF THE PARTIES IN POSSESSION OF A PORTION OF, OR ALL OF, SAID LAND, WHICH RIGHTS ARE NOT DISCLOSED BY THE PUBLIC RECORDS.

EASEMENTS

NO EASEMENTS WERE CITED IN THE ABOVE REFERENCED TITLE REPORT

AREA

43,811 SQ. FT.
1.006 ACRES

ZONING

ZONE: M1

PARKING SUMMARY

16 STANDARD SPACES
\+ 2 HANDICAP SPACES
= 18 TOTAL PARKING SPACES (MARKED)

UNDERGROUND (BURIED) UTILITIES DISCLAIMER:

INFORMATION SHOWN HEREON REGARDING UNDERGROUND (BURIED) UTILITIES WAS GATHERED FROM OBSERVED SURFACE EVIDENCE AND/OR PUBLIC RECORD SOURCES AND MAY NOT REPRESENT A COMPLETE, TRUE OR ACCURATE PHYSICAL LOCATION OF SAID UTILITIES. DESIGNERS AND CONTRACTORS ARE CAUTIONED TO VERIFY LOCATION OF BURIED UTILITIES BY INDEPENDENTLY CHECKING ALL AVAILABLE SOURCES AND/OR POTHOLEING AS REQUIRED PRIOR TO DESIGN OR CONSTRUCTION. NO LIABILITY IS EITHER EXPRESSED OR IMPLIED FOR ANY LOSS SUFFERED AS A RESULT OF THE SOLE RELIANCE UPON THIS SURVEY AS IT PERTAINS TO SAID UTILITIES.

CITY OF GARDENA — INCORPORATED 1930

DEPARTMENT of COMMUNITY DEVELOPMENT
1700 WEST 162nd STREET / GARDENA, CALIFORNIA 90247-3732 / WWW.CITYOFGARDENA.ORG / PHONE (310) 217-9530

Industrial Zone Summary

The following is a summary of the development standards and does not include all requirements.
For exact requirements and additional information, please see the Gardena Municipal Code.

Zone	M-1 & M-2	Code Section
Uses	• Various commercial, manufacturing, and industrial uses	18.36.020-050
Building Height	• If 100' of R-1/R-2 zone: 35' • If 100' of R-3 zone: 45' • Maximum: 65'	18.36.060.A
Building Intensity	• 1.0 Floor Area Ratio (FAR)	18.36.060.A
Building Opening	• Opening towards R zone prohibited (certain exceptions apply)	18.36.060.B
Yards	• Front: 10' landscaped setback along street 20' if adjacent or facing R zone • Side/rear: 5' if adjacent to R zone • Yards must be landscaped • Rear yard may be used for parking	18.42.080 18.42.085
Fences	• Materials: wrought iron, tubular steel, stone, brick, stucco, decorative block • 8'H along rear or side property line o Min. 3' landscaping along street • In required front yard setback: 3½'H (interior lots); 3'H (corner lots) • Required ≥8'H solid masonry wall abutting R zone (3½'H next to street)	18.42.070
Parking	• Standard Size: 9'x18' Next to wall: 10'x20' Parallel: 9'x25' • Compact: 8'x17' for up to 25% of required parking • Aisle Width = 26' for 90 degree stalls • Wheel Stops = 3' from wall or property line	Ch. 18.40
Loading	• One 12'x40' space for each 20,000 SF gross area • None for structures under 7,500 SF	18.40.100
Landscaping	• Landscape plan required for new or expanded buildings/structures o Certain exceptions apply • Min. 5% of total paved area used for driveways and parking o Areas not used for parking or aisleway must be landscaped o Distribute landscape evenly throughout parking lot • Landscape berm or similar required for parking lot next to street	18.40.060.O 18.40.090 18.42.075
Fire & Explosion Hazards	• All incineration is prohibited • Subject to Fire Prevention Code	18.36.040.A Ch. 8.08
Radioactivity or Electrical Disturbances	• Interference with activities beyond property line is prohibited	18.36.040.B
Noise & Vibration	• Noise levels and vibration detrimental to the public health, safety & welfare are prohibited	18.36.040.C-D Ch. 8.36
Smoke, Dust, Odors, Heat & Glare	• Uses cannot emit dust, heat or glare in such quantities or degree as to be readily detectable off-site • Regulations of the South Coast Air Quality Management District apply	18.36.040.E-G
Outdoor Storage and Waste Disposal	• Conceal view of fuel, materials & products from streets & nearby property • Depositing material/waste easily transferred by natural causes is prohibited • Closed containers required for all materials/wastes that: o Might cause fumes or dust o Constitutes a fire hazard o May be edible or attractive to rodents or insects • Rear setbacks may be used for parking or storage, except if abutting R zone	18.36.040.H 18.42.085
Hours of Operation	• If adjacent or abutting residential areas, hours of operation shall be established upon business license application	18.36.040.I
Refuse Enclosure	• Place in least visible area from right-of-way whenever possible	Ch. 8.20
Enclosure of Mechanical Equipment	• Incorporate the following into building envelope: o All mechanical equipment o Plumbing lines o Heating and cooling units o Storage tanks and ductwork (roof- or ground-mounted) • If not feasible, screen all sides with solid material compatible with main structure	18.42.140
Security & Lighting	• Provide complete security and lighting plan o Requirement: 2-foot candle (average) with min. 1-foot candle for all public/common areas	18.42.150
Signs	• Sign permit required	Ch. 18.58

ABBREVIATIONS
R zone = any property zoned or suitable for residential development (includes R-1/R-2/R-3 zones)
H = height/high
SF = square feet
W = width/wide

PLN-1600, rev. Feb. 2020
JFS

BOUNDARY ESTABLISHEMENT

CORNER RECORD

Agency Index
Document Number
City of GARDENA County of LOS ANGELES, California
Brief Legal Description LOT 30, BLOCK 6, PANAMA ACRES TRACT, M.B. 15-138/139

CORNER TYPE: Government Corner ☐ Control ☐ Meander ☐ Property ☒ Rancho ☐ Other ☐

COORDINATES (Optional) N. ____ E. ____ Elevation ____ Units Metric ☐ U.S. Survey Foot ☐ Horizontal Datum ____ Zone ____ Epoch Date ____ Vertical Datum ____
☐ Complies with Public Resources Code SS 8801–8819
☐ Complies with Public Resources Code SS 8890–8902

Date of Survey APRIL 26, 2021

PLS Act Ref: ☒ 8765( ) ☐ 8771 ☐ 8773 ☐ Other:
Corner/Monument: ☒ Left as found ☐ Found and tagged ☐ Established ☒ Reestablished ☐ Rebuilt ☐ Referenced ☐ Pre-Construction ☐ Post-Construction

Narrative of corner identified and monument as found, set, reset, replaced, or removed:
☐ See sheet #2 for description(s):

(A) FD S&W "RCE 27743" AT C/L INT. PER R5
(B) FD S&W "LS 7707" AT C/L INT. PER R2
(C) FD S&W "LS 7707" AT C/L INT. PER R3
(D) FD S&W "RCE 27743" AT C/L INT. PER R4
(E) SET L&TAG "LS 7570" AT PROPERTY CORNER
(F) SET L&TAG "LS 7570" ON P/L PROD. 1.00' S/O PROPERTY CORNER
(G) SET L&TAG "LS 7570" ON P/L PROD. 1.00' W/O PROPERTY CORNER
(H) SET 3/4" I.P. "LS 7570" AT PROP. COR.

SEE PLAT ON PAGE 2

SURVEYOR'S STATEMENT

This Corner Record was prepared by me or under my direction in conformance with the Professional Land Surveyors' Act on MAY 5, 2021.
Signed ____ P.L.S. or ~~R.C.E.~~ No. 7570

LICENSED LAND SURVEYOR — JEFF STUART VOORHEIS — No. 7570 Exp. 12/31/21 — STATE OF CALIFORNIA

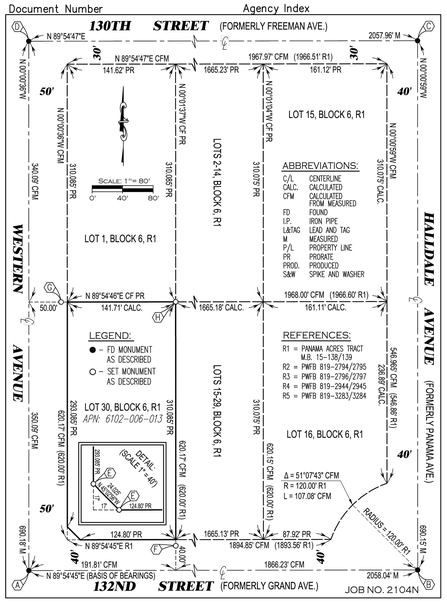
COUNTY SURVEYOR'S STATEMENT

This Corner Record was received ____, ____
and examined and filed ____, ____,
Signed ____ P.L.S. or R.C.E. No. ____
Title ____
County Surveyor's Comment

APN: 6102-006-013 TG: 733-H2

BPELSG-2016 Page 1 of 2

Document Number Agency Index



BPELSG-2016 Page 2 of 2

FLOOD HAZARD STATEMENT

THE SUBJECT PROPERTY LIES ENTIRELY WITHIN FLOOD ZONE "X" (AREAS OF MINIMAL FLOODING) AS SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 06037C1795F PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY SEPTEMBER 26, 2008.

NOTE:

THIS MAP AND THE INFORMATION SHOWN HEREON ARE INTENDED FOR THE SOLE USE OF THE CLIENT OF VOORHEIS AND VOORHEIS, INC. THIS COMPANY ACCEPTS NO LIABILITY FOR USE OF THIS MAP OR THE INFORMATION HEREON BY THIRD PARTIES OR PARTIES NOT INVOLVED WITH THE ORIGINAL INTENT OF THE SURVEY.

SURVEYOR'S CERTIFICATE

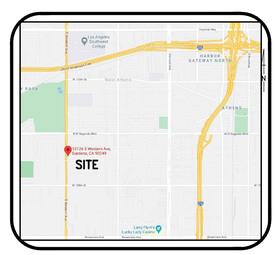
TO 13126 S. WESTERN AVE. LLC, FIDELITY NATIONAL TITLE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 7(b)(1), 7(c), 8, 9, 13, 14, 16, AND 19 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, THE UNDERSIGNED FURTHER CERTIFIES THAT, IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

DATE: ____

JEFF S. VOORHEIS, L.S. 7570

LICENSED LAND SURVEYOR — JEFF STUART VOORHEIS — No. 7570 Exp. 12/31/21 — STATE OF CALIFORNIA



VICINITY MAP
NOT TO SCALE

REVISIONS:

DATE	BY	REVISION

Client:
13126 S. WESTERN AVE. LLC
2216 MAIN STREET, SUITE 201
SANTA MONICA, CA 90405
Phone: (310) 892-2244
Fax:

ALTA/NSPS LAND TITLE SURVEY
13126 S WESTERN AVE.
GARDENA, CA. 90249

DATE: 5/5/2021 JOB NO. 2104N

VOORHEIS & VOORHEIS, INC.
PROFESSIONAL LAND SURVEYORS SINCE 1974
17049 Sunburst Street, Northridge, CA 91325
Phone: (818) 993-5611
mail@isSurveyLA.com

SHEET 1 OF 2

SCALE: 1" = 10'

0' 10' 20'

ABBREVIATIONS

BLDG	BUILDING	GS	GROUND SHOT
BW	BACK OF WALK	OHC	OVERHEAD CABLE
CATV	CABLE TV PULL BOX	OHF	OVERHEAD FIBER OPTIC
CD	CURB DRAIN	OHP	OVERHEAD POWER
CF	CURB FACE	OHT	OVERHEAD TELEPHONE
CLF	CHAIN LINK FENCE	PP	POWER POLE
CO	SEWER CLEANOUT	SD	STORM DRAIN
CONC	CONCRETE	SMH	SANITARY MANHOLE
EG	EDGE OF GUTTER	TC	TOP OF CURB
EP	EDGE OF PAVEMENT	TG	TOP OF GRATE
FF	FINISHED FLOOR	T.O.P.	TOP OF PARAPET
FL	FLOW LINE	TSPB	TRAFFIC SIGNAL PULL BOX
FS	FINISHED SURFACE	TW	TOP OF WALL
GM	GAS METER	WM	WATER METER
GP	GUARD POST		

SYMBOL LEGEND

- TREE (SIZE, TYPE AS NOTED)
- STORM/SANITARY MANHOLE (AS NOTED)
- CATV – CABLE TV PULL BOX
- TSPB – TRAFFIC SIGNAL PULL BOX
- WM – WATER METER
- WV – WATER VALVE
- GV – GAS VALVE
- SIGN
- TRAFFIC SIGNAL
- MONUMENT FOUND (SIZE, TYPE AS NOTED)
- MONUMENT SET (SIZE, TYPE AS NOTED)

LINETYPES

- BUILDING LINE
- CENTER LINE
- PROPERTY LINE
- RIGHT OF WAY LINE
- FENCE LINE (SIZE, TYPE AS NOTED)
- 300 – MAJOR CONTOUR
- 300 – INTERVAL CONTOUR
- UTILITY LINE (TYPE AS NOTED)
- BLDG. EAVES
- OHC – OVERHEAD CABLE LINES
- OHF – OVERHEAD FIBER OPTIC LINES
- OHP – OVERHEAD POWER LINES
- OHT – OVERHEAD TELEPHONE LINES
- WALL (SIZE, TYPE AS NOTED)

BENCHMARK

BM ID: RY7945
RDBM TAG IN SOUTH CATCH BASIN 2FT E/O BCR
@ SE CORNER 132ND ST & NORMANDIE AVE.

ELEV = 87.63 (NAVD 88)(2013 ADJ.)

SHEET REFERENCES

R1 - PANAMA ACRES TRACT, M.B. 15-138/139
R2 - PWFB 819, PAGES 2794-2795
R3 - PWFB 819, PAGES 2796-2797
R4 - PWFB 819, PAGES 2944-2945
R5 - PWFB 819, PAGES 3283-3284

TO FOUND SPIKE AND WASHER "LS 7707" AT C/L INTERSECTION PER R3
N 00°00'59"W 690.15'
FD S&W "LS 7707" PER R2
1866.23'
2058.04'

HALLDALE AVENUE

ONE STORY BRICK INDUSTRIAL BUILDING
OWNER: ADRIAN GARCIA DE ALBA
1735 W 132ND ST
GARDENA, CA 90249
APN: 6102-006-020
80.29 T.O.P.
80.39 T.O.P.
SET ¾" IRON PIPE "LS 7570" AT PROPERTY CORNER ELEVATION = 63.98'
N 00°01'37"W
CHAIN LINK FENCE
LOT 29, BLOCK 6, R1
LOT 30, BLOCK 6, R1
8" BLOCK WALL
CLF
BLDG. 0.58' W/O P/L
[143.90']
310.08S'
BLDG. 0.41' W/O P/L
APRON
DRIVEWAY
40'
30'
10'
SET LEAD AND TAG "LS 7570" ON P/L PROD, 1.00' S/O PROPERTY CORNER ELEVATION = 57.13'
TELEPHONE VAULT
SHRUB
SIDEWALK
CONC. CURB AND GUTTER
CATCH BASIN
CONCRETE
TREE
CURB WALL
LOADING DOCK
TILE RAMP
TILE OVERHANG
8" BLOCK WALL
8 PARKING SPACES
1 HANDICAP PARKING SPACE
HANDICAP HATCH
5 PARKING SPACES
CROSSWALK
(H = 22.6')
132ND STREET (PUBLIC RIGHT - OF - WAY)
OWNER: 13126 S WESTERN AVE LLC
ONE STORY BRICK INDUSTRIAL BUILDING
"J & D COLLISION CENTER"
13130 S WESTERN AVE,
GARDENA, CA 90249
APN: 6102-006-013
BLDG. FOOTPRINT AREA: 9981 SqFt
OWNER: 13008 S WESTERN BUILDING LLC
TWO STORY TILT UP STRUCTURE
13008 S WESTERN AVE.
GARDENA, CA 90249
APN: 6102-006-001
ASPHALT PARKING LOT
CONCRETE
CORRUGATED TIN ROOF
CONCRETE DRIVEWAY
AIR COMPRESSOR
TRASH ENCLOSURE
78.76 T.O.P.
60.79 FF SLAB
3 POST
4" POST
CHAIN LINK FENCE
CONCRETE RIBBON
92.63 PARAPET
92.04 T.O.P.
93.14 T.O.P.
3 x 24" PALM
BROKEN PAVING
ROLLING W/F GATE
CONCRETE PATIO
[41.73']
[33.72']
[15.52']
[28.01']
OWNER: 13126 S WESTERN AVE LLC
ONE STORY METAL CLAD COMMERCIAL BUILDING
13126 S WESTERN AVE,
GARDENA, CA 90249
APN: 6102-006-013
BLDG. FOOTPRINT AREA: 2755 SqFt
[75.26']
75.91 PEAK
(H = 16.3')
ROCK WALL
1 HANDICAP PARKING SPACE
HANDICAP HATCH
GAS PAINT
AT&T PAINT
ELECTRIC PAINT
SECURITY ROLL-GATE
2' S.C.O.
3' C.O.
EAVES
SIGN
STAIRS
6" GP
4" GP
LOT 1, BLOCK 6, R1
LOT 30, BLOCK 6, R1
ASPHALT DRIVEWAY
CLF 1.57' N/O P/L
N 89°54'45"E
N 00°00'36"W
340.09'
293.08S'
350.09'
690.18'
191.81' (BASIS OF BEARINGS)
SMH 60.50 RIM
SMH 55.32 RIM
CD 3"
CD 4"
TRANSFORMERS
PP 228953E
PP 228954E
18" FICUS
15" FICUS
"NO PARKING" SIGN
CATCH BASIN
SD
WM
CATV
TS
SET LEAD AND TAG "LS 7570" ON P/L PROD, 1.00' W/O PROPERTY CORNER ELEVATION = 60.79'
SET LEAD AND TAG "LS 7570" AT PROPERTY CORNER ELEVATION = 55.56'
SET LEAD AND TAG "LS 7570" AT PROPERTY CORNER ELEVATION = 56.01'
50'
40'
TO FOUND SPIKE AND WASHER "RCE 27743" AT C/L INTERSECTION PER R4
FD S&W "RCE 27743" PER R5
WESTERN AVENUE (PUBLIC RIGHT - OF - WAY)

REVISIONS:

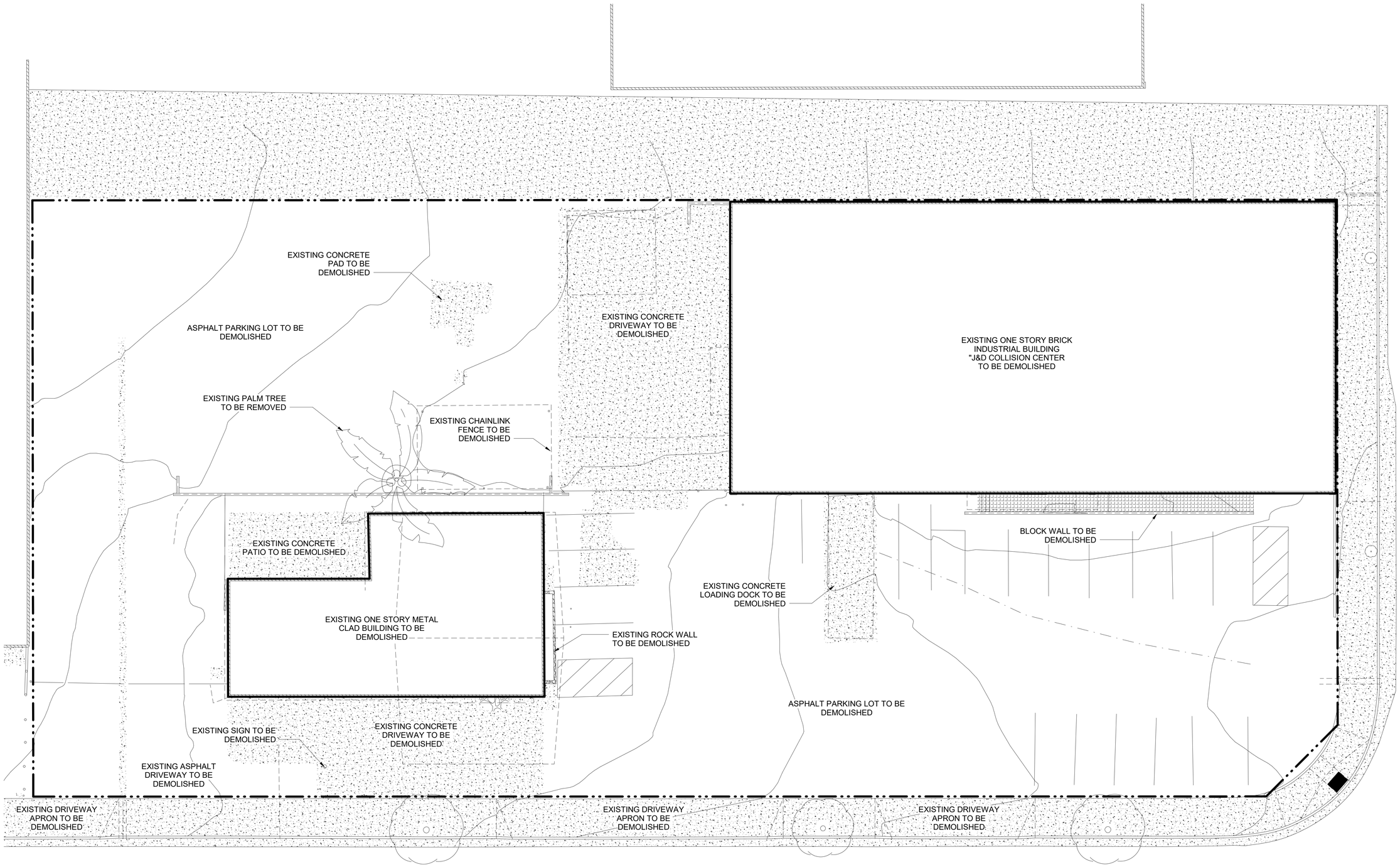
DATE	BY	REVISION

Client:
13126 S. WESTERN AVE. LLC
2216 MAIN STREET, SUITE 201
SANTA MONICA, CA 90405
Phone: (310) 892-2244
Fax:

ALTA/NSPS LAND TITLE SURVEY
13126 S WESTERN AVE.
GARDENA, CA. 90249
DATE: 5/5/2021 JOB NO. 2104N

VOORHEIS & VOORHEIS, INC.
PROFESSIONAL LAND SURVEYORS SINCE 1974
17049 Sunburst Street, Northridge, CA 91325
Phone: (818) 993-5611
mail@SurveyLA.com

SHEET 2 OF 2



DEA

DE ARCHITECTS AIA

1535 6TH STREET, SUITE 101
SANTA MONICA, CA 90401
310.451.7917

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PROJECT
13126 S Western Ave
SINGLE ROOM OCCUPANCIES
13126 S Western Ave
Gardena, CA 90249

SHEET NAME
DEMOLITION PLAN

ISSUE
PLANNING SUBMITTAL
01/04/2022

SHEET NO.
A01

ONE STORY ADJACENT BUILDING

TWO STORY ADJACENT BUILDING

141' - 8"

44" WIDE EXIT STAIR WITH 146 OCCUPANT LOAD CAPACITY

44" WIDE EXIT STAIR WITH 146 OCCUPANT LOAD CAPACITY

6'- 0" WROUGHT IRON ENTRANCE GATE WITH KNOX BOX

310' - 1"

6' - 10 5/8"

8' - 0" HIGH WALL

13,750 SF
TYPE 1A CONSTRUCTION

6 TIER AUTOMATED PARKING

57 SPACES
(50' MAX HEIGHT)

(NOT PART OF SCOPE)DEFERRED SUBMITTAL
SEPARATE PERMIT REQUIRED

44' - 6 3/4"

42' - 9 1/2"

8' - 0" HIGH PROPERTY LINE WALL

28' - 0"

FIRE DEPARTMENT TURNAROUND

PRIVATE DRIVE AND FIRE LANE (OPEN TO SKY)

118' - 10"

BALCONY PROJECTION AREA

7' - 1 1/8"

5' - 0"

13' - 6"

68' - 11"

5' - 9"

63' - 7"

6' - 0"

51' - 6"

22' - 2"

22' - 5"

18' - 3"

8' - 3"

8' - 4"

34' - 11"

26' - 7"

82' - 6"

109' - 10"

6' - 3"

5' - 9"

SPA

POOL

62' - 0"

72' - 4"

BALCONY PROJECTION AREA

COURTYARD
6,443 SF

(SEE LANDSCAPE PLANS)

59.15'

BALCONY PROJECTION AREA

23' - 1"

17' - 4"

13' - 6"

5' - 0"

51' - 7"

5' - 9"

8.33%

59.15'

BALCONY PROJECTION AREA

BUILDING FOOTPRINT:
21,004 SF

121 SINGLE ROOM OCCUPANCIES

4 STORIES TYPE VA 1HR CONSTRUCTION
47' - 0" HIGH

68' - 11"

120' - 4 1/4"

15' - 9"

63' - 7"

10' - 0"

5' - 0"

56.90'

56.90'

56.83'

TELEPHONE VAULT

EXISTING TREE

59.15'

WM

WV

CATCH BASIN

SD

55.82'

EXISTING TREE

55.72'

55.54'

CATCH BASIN

SD

DN

W 132nd St

15' - 0 5/8"

55.61'

TSPB

55.42'

TRAFFIC SIGNAL

13,750 SF
TYPE 1A CONSTRUCTION

6 TIER AUTOMATED PARKING

57 SPACES
(50' MAX HEIGHT)

(NOT PART OF SCOPE)DEFERRED SUBMITTAL
SEPARATE PERMIT REQUIRED

44' - 6 3/4"

42' - 9 1/2"

6' - 8 7/16"

28' SLIDING GARAGE GATE

GATE W/ KNOX BOX

TRANS
8' x 10'

SWITCH
7' x 11'

20' - 11"

SEE LANDSCAPE PLANS

5' - 0"

60.21'

2.37%

28' - 0"

59.44'

15' - 9"

5' - 0"

9' - 6"

15' - 9"

60.65'

57.89'

59.15'

56.98'

5' - 0"

10' - 0"

15' - 9"

56.04'

TSPB

TRAFFIC SIGNAL

EXISTING DRIVEWAY

60.01'

EXISTING CURB CUT TO BE REMOVED

POWER POLE

SMH

UW

59.79'

59.46'

EXISTING TREE

NEW PUBLIC FIRE HYDRANT

CATV

EXISTING DRIVEWAY

POWER LINES

EXISTING CURB CUT TO BE REMOVED

57.74'

57.18'

EXISTING TREE

POWER POLE

EXISTING DRIVEWAY

EXISTING CURB CUT TO BE REMOVED

EXISTING SIGN

CATCH BASIN

SD

EXISTING TREE

55.68'

203' - 0"

S WESTERN AVE

DEA

DE ARCHITECTS AIA

1535 6TH STREET, SUITE 101
SANTA MONICA, CA 90401
310.451.7917

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PROJECT

13126 S Western Ave
SINGLE ROOM OCCUPANCIES

13126 S Western Ave
Gardena, CA 90249

SHEET NAME
SITE PLAN

ISSUE
PLANNING SUBMITTAL
12/23/2021

SHEET NO.

A02

TOTAL PROPOSEDFLOOR AREA	
Level	Area
Not Placed	0 SF
01 - GROUND FLOOR	13,157 SF
02 - SECOND FLOOR	15,260 SF
03 - THIRD FLOOR	13,819 SF
04 - FOURTH FLOOR	12,181 SF
	54,416 SF

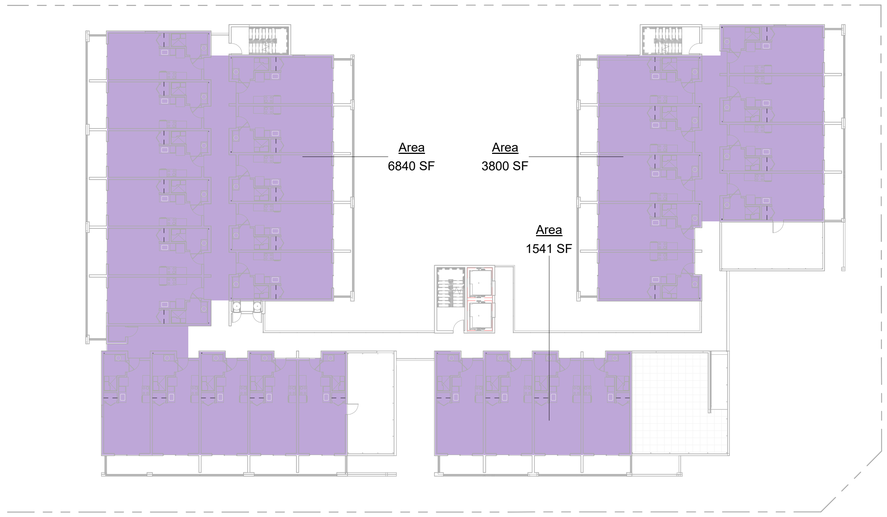
LOT AREA: 43,811 SF (1.006 ACRES)

ALLOWABLE FAR: 1.0

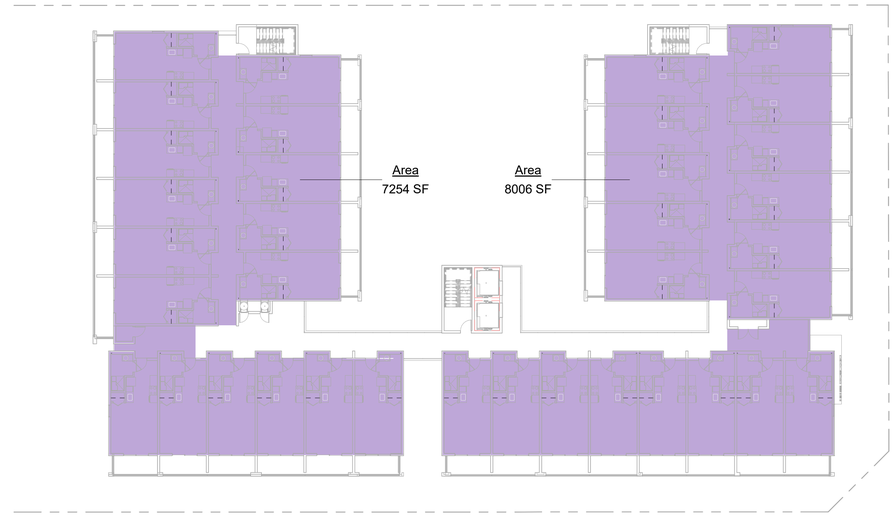
ALLOWABLE FAR: W/ DENSITY BONUS 1.25

ALLOWABLE FLOOR AREA: 43,811 x 1.25 = 54,764 SF

PROPOSED FLOOR AREA: 54,416 SF



4 FOURTH FLOOR
1" = 20'-0"



2 SECOND FLOOR
1" = 20'-0"

3 THIRD FLOOR
1" = 20'-0"

1 GROUND FLOOR
1" = 20'-0"

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PROJECT
13126 S Western Ave
SINGLE ROOM OCCUPANCIES
13126 S Western Ave
Gardena, CA 90249

SHEET NAME
FAR CALCULATION

ISSUE
PLANNING SUBMITTAL
01/04/2022

SHEET NO.
A03

COMMON OPEN SPACE CALCULATIONS

Level	Name	Area
01 - GROUND FLOOR	(C) - COURTYARD	6,443 SF
03 - THIRD FLOOR	(C) - OUTDOOR DECK	981 SF
04 - FOURTH FLOOR	(C) - OUTDOOR DECK	656 SF
Grand total: 3		**8,080 SF**

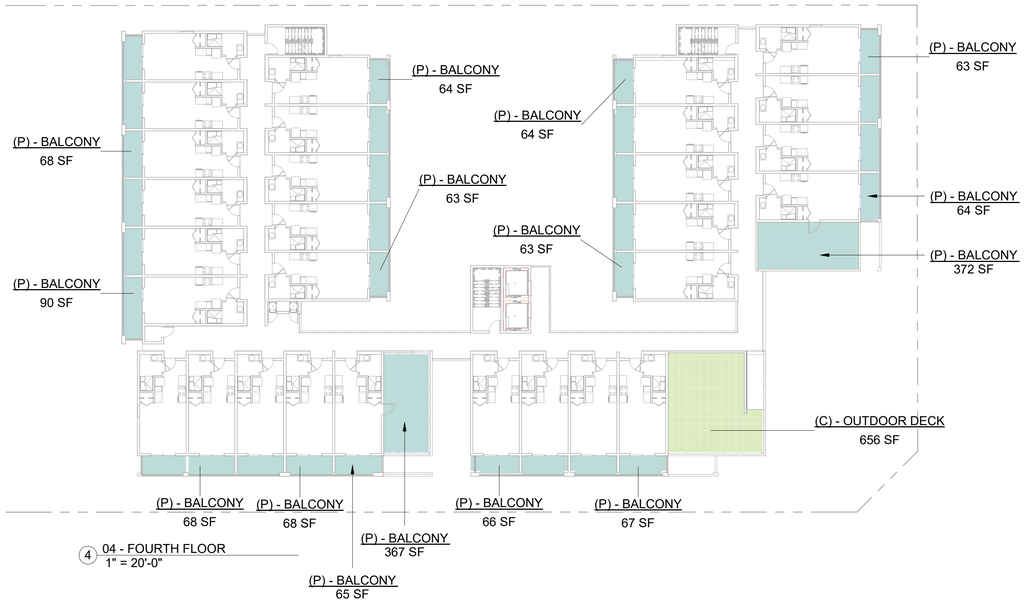
PRIVATE OPEN SPACE CALCULATIONS

Level	Name	Area
01 - GROUND FLOOR	(P) - PATIOS	2,011 SF
02 - SECOND FLOOR	(P) - BALCONIES	2,415 SF
03 - THIRD FLOOR	(P) - BALCONIES	2,216 SF
04 - FOURTH FLOOR	(P) - BALCONIES	2,671 SF
Grand total: 121		**9,314 SF**

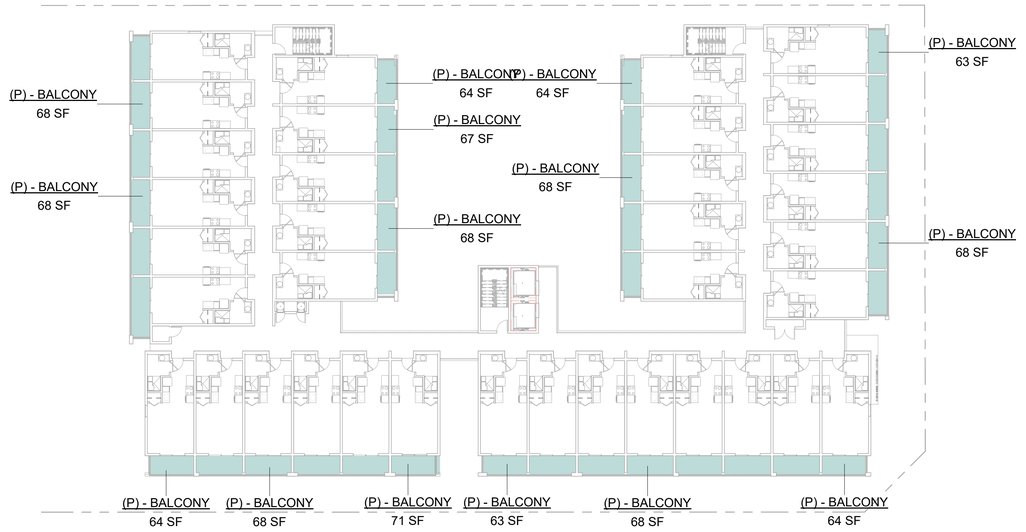
OPEN SPACE

REQUIRED OPEN SPACE: 10 SF PER UNIT (121 x 10 = 1,210 SF)

PROVIDED OPEN SPACE:
PRIVATE OPEN SPACE – 9,314 SF
COMMON OPEN SPACE – 8,080 SF
TOTAL OPEN SPACE – 17,394 SF



4 04 - FOURTH FLOOR
1" = 20'-0"



2 02 - SECOND FLOOR
1" = 20'-0"

3 03 - THIRD FLOOR
1" = 20'-0"

1 01 - GROUND FLOOR
1" = 20'-0"

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PROJECT
13126 S Western Ave
SINGLE ROOM OCCUPANCIES
13126 S Western Ave
Gardena, CA 90249

SHEET NAME
OPEN SPACE CALCULATIONS

ISSUE
PLANNING SUBMITTAL
01/04/2022

SHEET NO.
A04

ONE STORY ADJACENT BUILDING

TWO STORY ADJACENT BUILDING

LINE OF BUILDING ABOVE

13,750 SF
TYPE 1A CONSTRUCTION
6 TIER AUTOMATED PARKING
57 SPACES
(50' MAX HEIGHT)
(NOT PART OF SCOPE|DEFERRED SUBMITTAL
SEPARATE PERMIT REQUIRED

13,750 SF
TYPE 1A CONSTRUCTION
6 TIER AUTOMATED PARKING
57 SPACES
(50' MAX HEIGHT)
(NOT PART OF SCOPE|DEFERRED SUBMITTAL
SEPARATE PERMIT REQUIRED

8' - 0" HIGH PROPERTY LINE WALL

FIRE DEPARTMENT TURNAROUND

PRIVATE DRIVE AND FIRE LANE (OPEN TO SKY)

115 COMPAT
116
117
118
119 H/C
120 H/C
121 H/C
122 COMPACT

40 BIKES
BICYCLE RM 407 SF
FITNESS 690 SF
REC ROOM 955 SF
MAIL ROOM
TRASH RM 411 SF
ELECTRICAL ROOM 259 SF
PARCEL STORAGE 108 SF
MANAGER'S OFFICE 271 SF

IN GROUND SPA
IN GROUND POOL
5' HIGH FENCE

COURTYARD
6,443 SF
(SEE LANDSCAPE PLANS)

UNIT 348 SF

GATE WITH KNOX BOX
28' SLIDING GARAGE GATE
GATE W/ KNOX BOX
TRANS 8' x 10'
SWITCH 7' x 11'
SEE LANDSCAPE PLANS
EXISTING DRIVEWAY
NEW PUBLIC FIRE HYDRANT
NEW PROPOSED CURB CUT
TREE TO BE RELOCATED PER CITY OF GARDENA PUBLIC WORKS REQUIREMENTS
ALL PATIOS AND BALCONIES TO HAVE EXTERIOR LIGHTING TYP.
LINE OF CANOPY ABOVE
T.O. PLANTER
LOWEST ADJACENT GRADE
100' - 0" TO EXISTING FIRE HYDRANT
135' - 0" TO EXISTING FIRE HYDRANT
LV
DN
UP

W 132nd St

S WESTERN AVE

NOTE:

- DUE TO FIRE DEPARTMENT COMMENTS, WIDTH OF DRIVEWAY HAS BEEN INCREASED BY 10' -0" (28'- 0" TO 38'- 0") TO ALLOW FIRE DEPARTMENT ACCESS, RESULTING IN COURTYARD WIDTH TO BE DECREASED BY 10'- 0".
- SETBACK AT THE SOUTH SIDE OF THE WEST PORTION OF THE BUILDING DECREASED FROM 20'- 2" TO 15'- 1".
- PARKING SPACE 122 HAS BEEN RELOCATERED.
- BAMBOO SCREENING THE PARKING STRUCTURE HAS BEEN REMOVED. (FIRE DEPARTMENT REQUIREMENT)
- WEST ENTRANCE GATE HAS BEEN RELOCATED AND MANAGER'S OFFICE HAS BEEN REDESIGNED TO ACCOMMODATE FOR PARCEL STORAGE
- LANDSCAPEING AND PRIVATE PATIO ON THE CORNER OF S WESTERN AND W 132nd ST HAS BEEN MODIFIED

0' 10' 20' 50'

GROUND FLOOR PLAN - 23 SRO's
SCALE: 3/32" = 1'- 0"

N

DE ARCHITECTS AIA
1535 6TH STREET, SUITE 101
SANTA MONICA, CA 90401
310.451.7917
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PROJECT
13126 S Western Ave
SINGLE ROOM OCCUPANCIES
13126 S Western Ave
Gardena, CA 90249

SHEET NAME
GROUND FLOOR PLAN

ISSUE
PLANNING SUBMITTAL
01/04/2022

SHEET NO.
A06

0' 10' 20' 50'

SECOND FLOOR PLAN - 36 SRO's
SCALE: 3/32" = 1'- 0"

N

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1535 6TH STREET, SUITE 101
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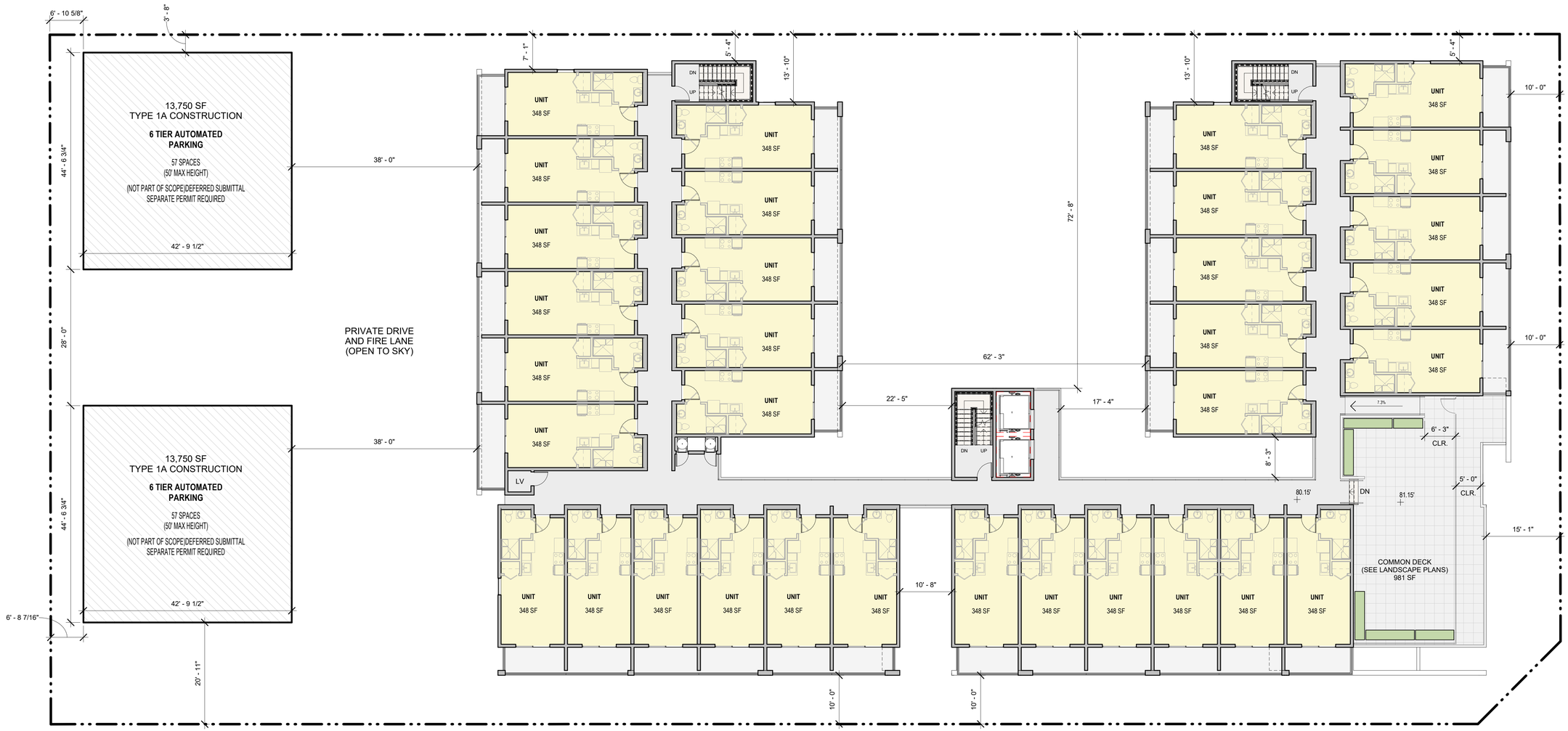
PROJECT
13126 S Western Ave
SINGLE ROOM OCCUPANCIES
13126 S Western Ave
Gardena, CA 90249

SHEET NAME
SECOND FLOOR PLAN

ISSUE
PLANNING SUBMITTAL
01/04/2022

SHEET NO.
A07



THIRD FLOOR PLAN - 33 SRO's
SCALE: 3/32" = 1'- 0"

N

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PROJECT
13126 S Western Ave
SINGLE ROOM OCCUPANCIES
13126 S Western Ave
Gardena, CA 90249

SHEET NAME
THIRD FLOOR PLAN

ISSUE
PLANNING SUBMITTAL
01/04/2022

SHEET NO.
A08

FOURTH FLOOR PLAN - 29 SRO's
SCALE: 3/32" = 1'- 0"

N

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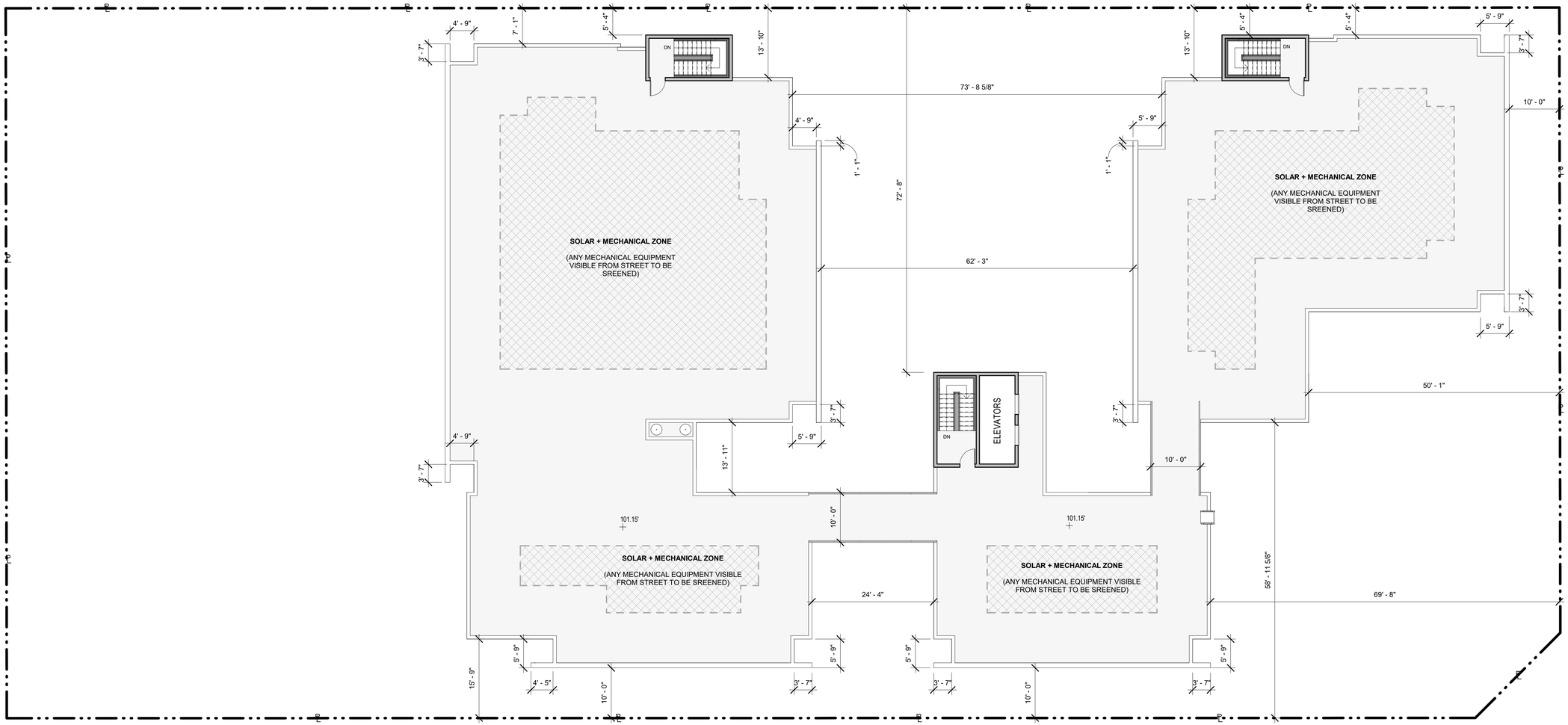
PROJECT
13126 S Western Ave
SINGLE ROOM OCCUPANCIES
13126 S Western Ave
Gardena, CA 90249

SHEET NAME
FOURTH FLOOR PLAN

ISSUE
PLANNING SUBMITTAL
12/23/2021

SHEET NO.
A09



0' 10' 20' 50'

ROOF PLAN
SCALE: 3/32" = 1'- 0"

N

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PROJECT
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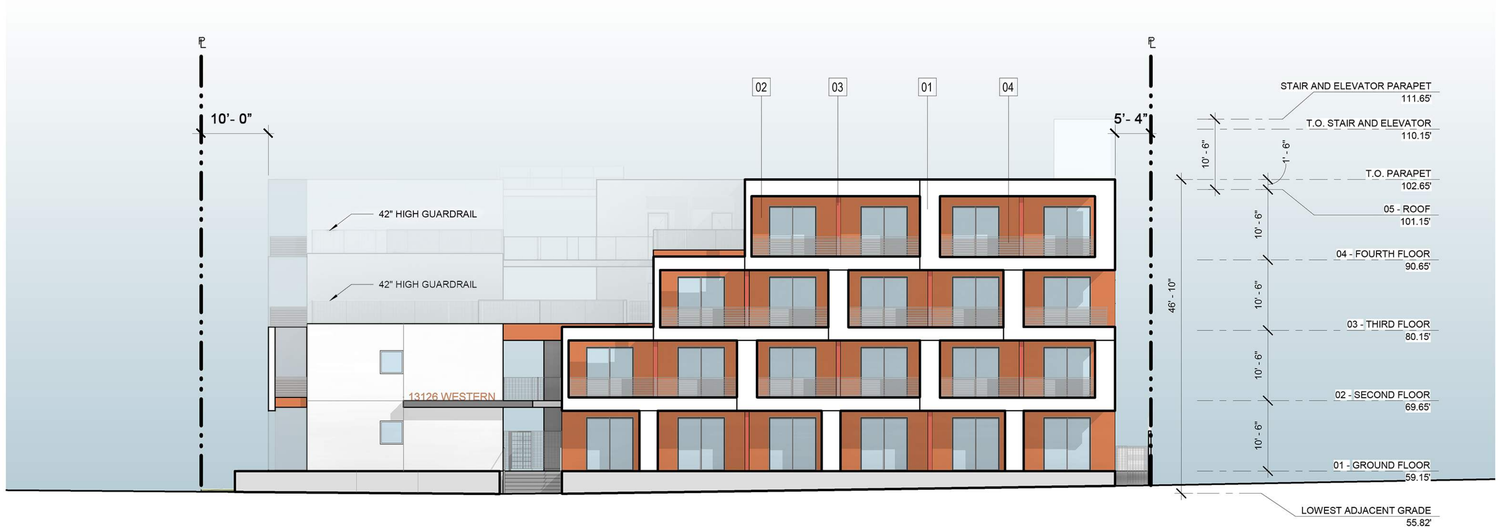
SINGLE ROOM OCCUPANCIES
13126 S Western Ave
Gardena, CA 90249

SHEET NAME
ROOF PLAN

ISSUE
PLANNING SUBMITTAL
12/23/2021

SHEET NO.
A10



SOUTH ELEVATION
SCALE: 3/32" = 1'- 0"

WEST ELEVATION
SCALE: 3/32" = 1'- 0"

0' 10' 20' 50'

MATERIAL LEGEND	
NUMBER	MATERIAL
01	FINE SAND ACRYLIC - OMEGA 9202 WHITE
02	FINE SAND ACRYLIC - SHERWIN-WILLIAMS COPPER HARBOR, SW6634
03	FINE SAND ACRYLIC - SHERWIN-WILLIAMS QUITE CORAL, SW6614
04	PERFORATED CORRUGATED GUARDRAIL - SHERWIN-WILLIAMS ARMADILLO, SW9160

DEA

DE ARCHITECTS AIA
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310.451.7917

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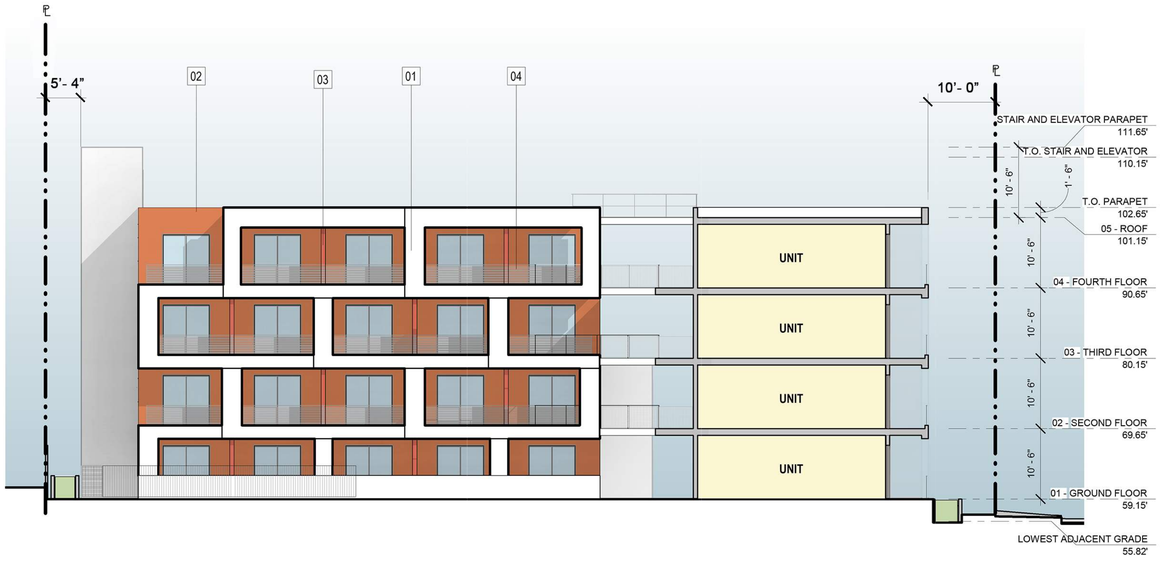
PROJECT
13126 S Western Ave
SINGLE ROOM OCCUPANCIES
13126 S Western Ave
Gardena, CA 90249

SHEET NAME
BUILDING ELEVATIONS

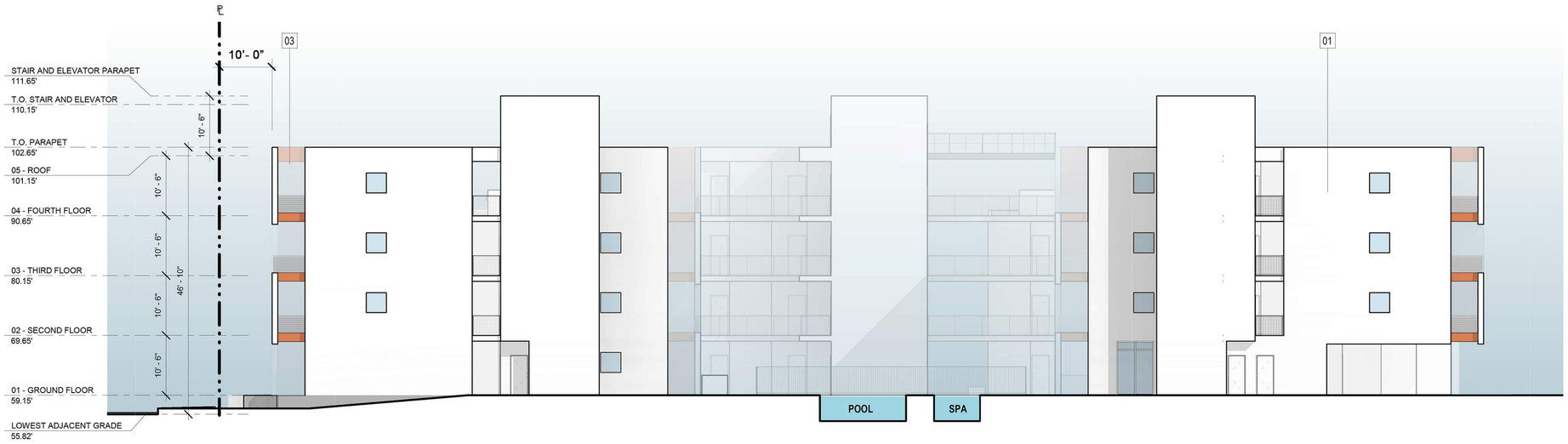
ISSUE
PLANNING SUBMITTAL
01/04/2022

SHEET NO.
A11

COURTYARD ELEVATION - NORTH
SCALE: 3/32" = 1'- 0"



COURTYARD ELEVATION - SOUTH
SCALE: 3/32" = 1'- 0"



COURTYARD ELEVATION - EAST FACING
SCALE: 3/32" = 1'- 0"

0' 10' 20' 50'

MATERIAL LEGEND	
NUMBER	MATERIAL
01	FINE SAND ACRYLIC - OMEGA 9202 WHITE
02	FINE SAND ACRYLIC - SHERWIN-WILLIAMS COPPER HARBOR, SW6634
03	FINE SAND ACRYLIC - SHERWIN-WILLIAMS QUITE CORAL, SW6614
04	PERFORATED CORRUGATED GUARDRAIL - SHERWIN-WILLIAMS ARMADILLO, SW9160

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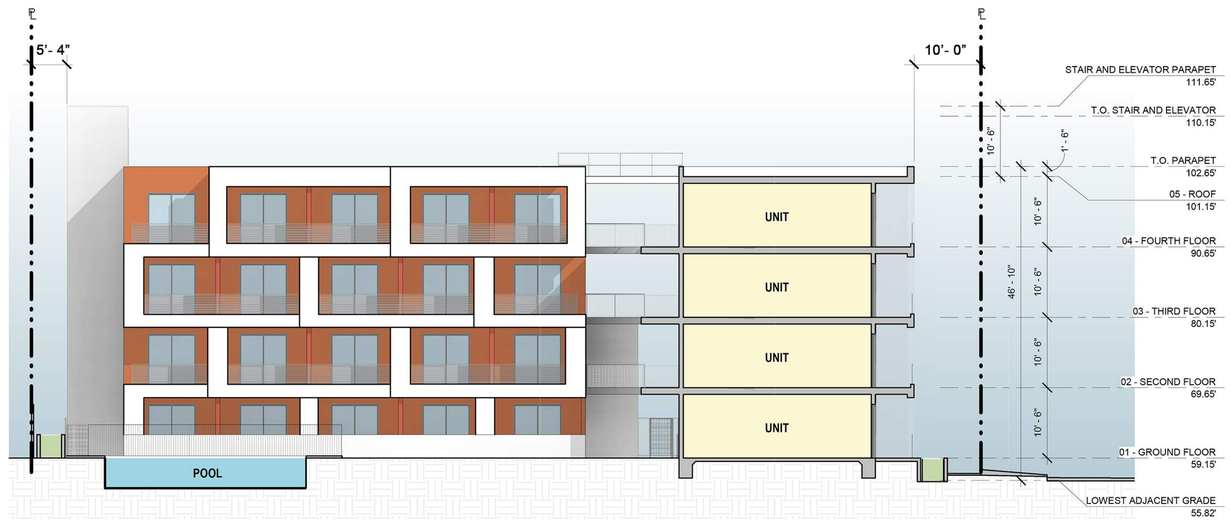
Gardena, CA 90249

SHEET NAME
COURTYARD ELEVATIONS

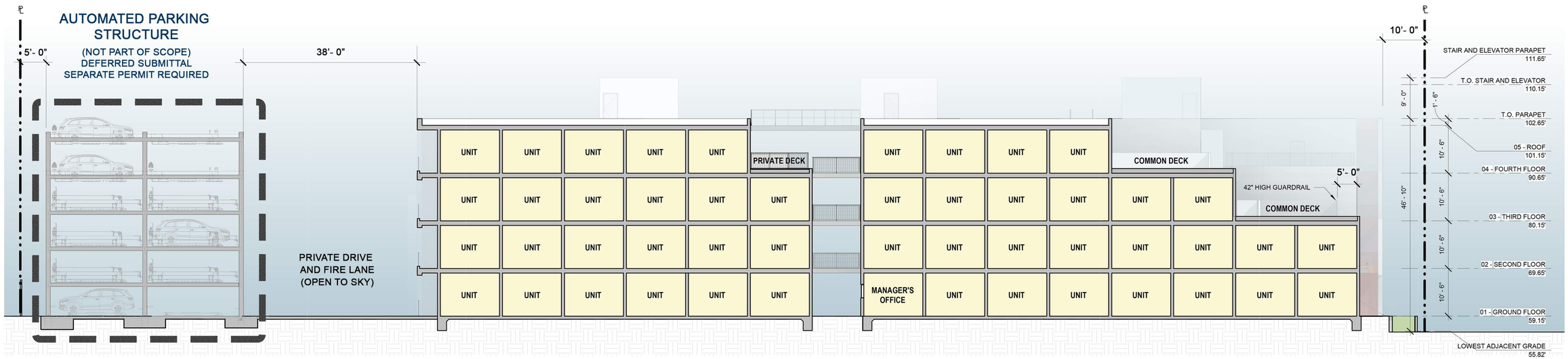
ISSUE
PLANNING SUBMITTAL
01/04/2022

SHEET NO.
A12

ELEVATION / CROSS SECTION THROUGH COURTYARD - NORTH
SCALE: 3/32" = 1'- 0"



ELEVATION / CROSS SECTION THROUGH COURTYARD - SOUTH
SCALE: 3/32" = 1'- 0"



LONGITUDINAL SETION
SCALE: 3/32" = 1'- 0"

0' 10' 20' 50'

DE

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SHEET NAME
BUILDING SECTIONS

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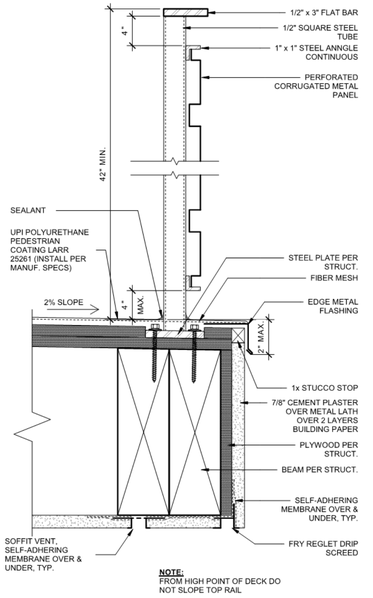
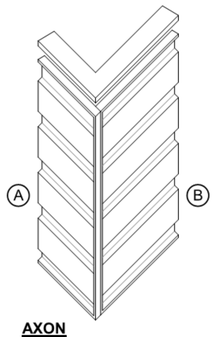
PLANNING SUBMITTAL
01/04/2022

SHEET NO.
A13



NOTE:
FROM HIGH POINT OF DECK DO NOT SLOPE TOP RAIL



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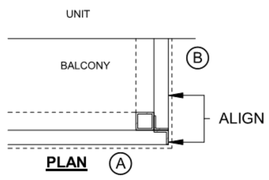
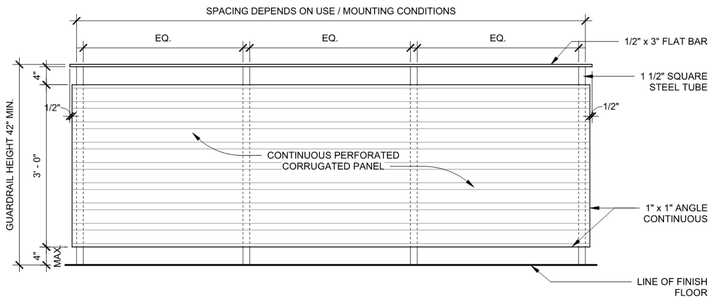
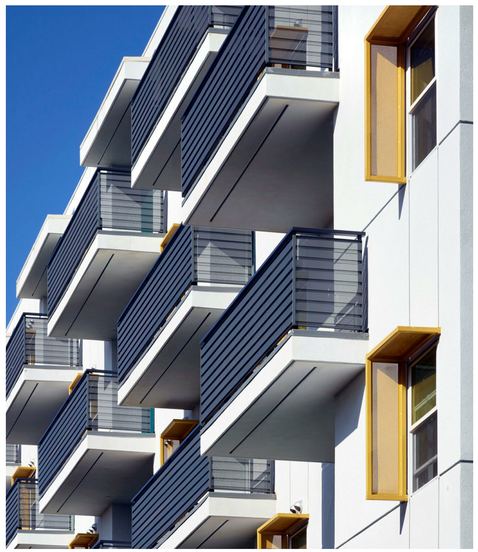
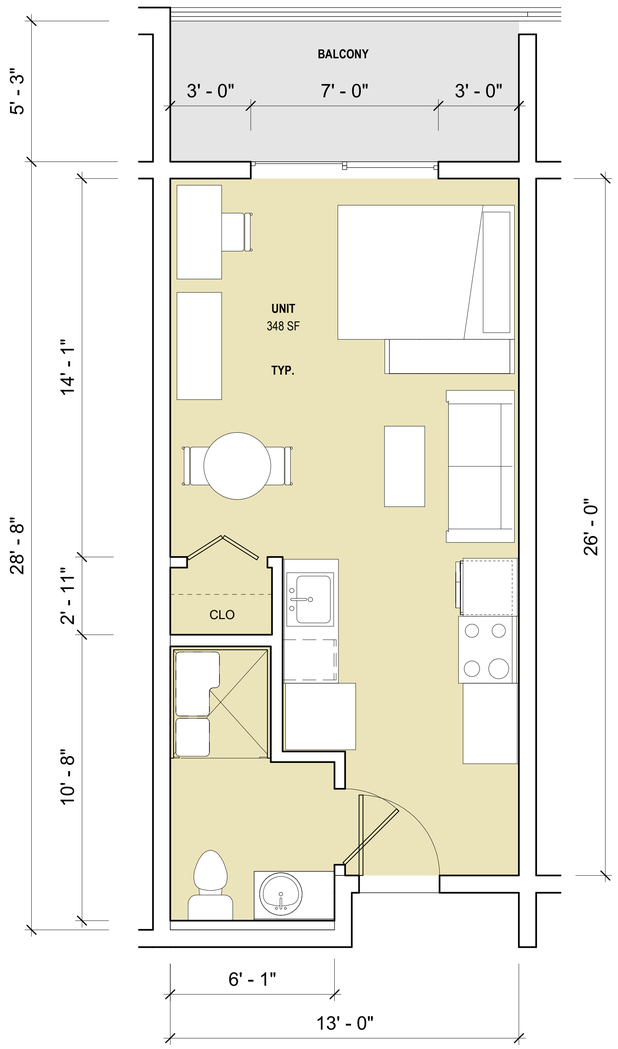


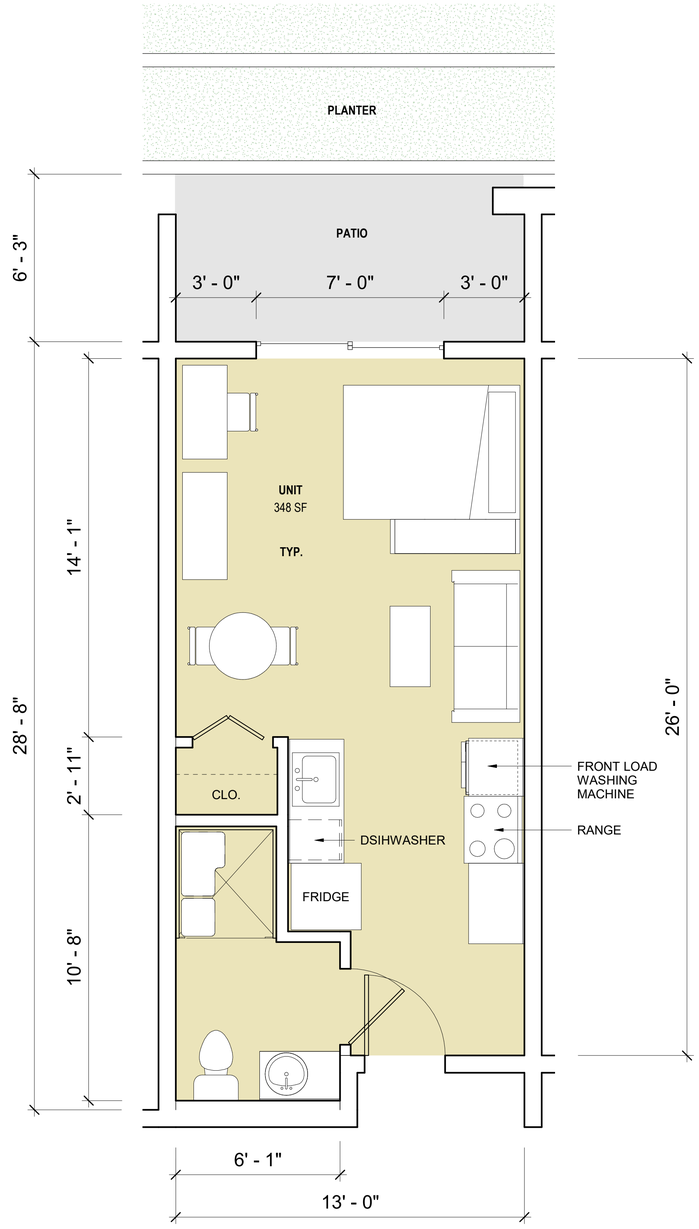
PLAN







UNIT PLAN (TYP.)
SCALE: 3/8" = 1'- 0"



UNIT PLAN (TYP.) AT GROUND FLOOR
SCALE: 3/8" = 1'- 0"

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PROJECT
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SINGLE ROOM OCCUPANCIES
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Gardena, CA 90249

SHEET NAME
BUILDING ELEVATIONS

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SHEET NO.
A14

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PROJECT
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SINGLE ROOM OCCUPANCIES
13126 S Western Ave
Gardena, CA 90249

SHEET NAME
RENDERING

ISSUE
PLANNING SUBMITTAL
01/04/2022

SHEET NO.
A16

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DE ARCHITECTS AIA

1535 6TH STREET, SUITE 101
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SHEET NAME
RENDERING

ISSUE
PLANNING SUBMITTAL
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A17

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SHEET NAME
RENDERING

ISSUE
PLANNING SUBMITTAL
01/04/2022

SHEET NO.

A18

TREE LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
	Arbutus 'Marina'	Marina Strawberry Tree	36"box	1		low 0.3
	Lophostemon confertus	Brisbane Box	24"box	4		low 0.3
	Olea europaea 'Wilsonii'	Wilson Fruitless Olive Tree	36"box	1		low 0.3
	Podocarpus e. 'Monmal'	Blue Ice Yellowwood	36"box	11		low 0.3

SHRUBS AND GROUND COVER LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
	Bambusa oldhamii	Oldham Bamboo	5-gal	13		low 0.3
	Carex divulsa	Berkeley Sedge	5-gal	30"oc		low 0.3
	Chondropetalum elephantinum	Large Cape Rush	5-gal	22		low 0.3
	Dianella r. 'Little Rev'	Flax Lilly	5-gal	23		low 0.3
	Dietes bicolor	Fortnight Lily	5-gal	5		low 0.3
	Dietes iridioides 'Variegata'	Variegated Fortnight Lily	5-gal	31		low 0.3
	Hypericum x inodorum 'Kolros'		5-gal	5		low 0.3
	Juncus patens	Ca. Grey Rush	5-gal	15		low 0.3
	Muhlenbergia dubia	Pine Muhly	5-gal	81		low 0.3
	Senecio adonidifolius	Snapdragon Vine	1-gal	12"oc		low 0.3
	Senecio vitalis		1-gal	18"oc		low 0.3

Landscape Form items		
Item	Model	Color
Table	Cheap Chic square top	Flambe Orange
Chairs	Catena	Flambe Orange
Trash	Lakeside	Stainless Steel
Lounge chair	Chill	Flambe Orange

tel: 800.521.2546

NOTE:
All groundcover areas where plants are 3'oc or greater to have 2 layers of geotextile fabric in 2 different directions geotextile fabric installed 3" below finished grade w/ 3" shredded bark above to eliminate weed growth.

Waterproofing and drains in planters by others.

All trees to be planted with commercial root barriers.
2" deep shredded Cedar bark to spread between plants.

PLANTING NOTES

1. DRAWING IS DIAGRAMMATIC: CONTRACTOR TO VERIFY ALL LOCATIONS AND CONDITIONS ON SITE. COUNT ALL PLANT MATERIAL BEFORE BIDDING.
2. CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS ON SITE AND LOCATE ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS.
3. CONTRACTOR TO REPAIR AT HIS OWN EXPENSE ALL PROPERTY DAMAGE WHICH OCCURS DURING PROJECT INSTALLATION.
4. NOTE ADDITIONAL REMARKS ON SPECIFIC PLANTS IN PLANT LIST.
5. ALL EXISTING PLANT MATERIAL TO BE REMOVED EXCEPT WHERE NOTED ON PLAN.
6. CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR 90 DAYS FROM THE DATE OF ACCEPTANCE BY OWNER. PALM TO BE GUARANTEED FOR THE PERIOD OF 1 YEAR.
7. FINISH GRADE TO BE 2" BELOW ALL WALKS, CURBS, AND PAVING.
8. ALL PLANTED AREAS SHALL RECEIVE THE FOLLOWING AMENDMENTS PER 1,000 SQ. FT. OF SURFACE AREA. ROTO-TILL AMENDMENTS TO A DEPTH OF 6"

   *150 LBS. GRO-POWER
   *3 CU YDS NITROGENIZED, MINERALIZED FIR BARK
   *ADD 8 LBS OF GRO-POWER CONTROLLED RELEASE 12-8-8 PER CU YD OF MIX.

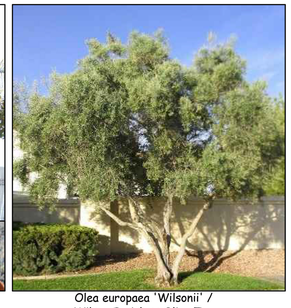
9. PLANT HOLE TO BE TWICE AS WIDE AND DEEP AS THE PLANT ROOT BALL. BACKFILL AND COMPACT TO 80 % SOIL OF SITE AND 20 % FIR BARK, AS DEFINED IN #8. PROVIDE GRO-POWER PLANT TABLETS AT THE FOLLOWING RATES:

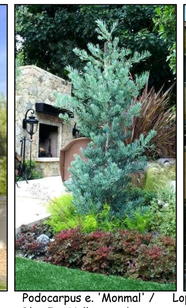
   5 GAL 6-9
   24" box 14-16

   PLACE RECOMMENDED TABLETS BETWEEN THE BOTTOM AND THE TOP OF THE ROOT BALL BUT NO HIGHER THAN 1/3 OF THE WAY UP TO THE TOP OF THE ROOT BALL. SPACE TABLETS EQUALLY AROUND THE PERIMETER OF THE ROOT BALL APPROXIMATELY 2" FROM THE ROOT TIPS. PALM TREES ARE NOT TO RECEIVE TABLETS.

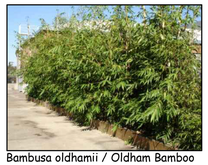
10. ALL PROPOSED SHRUBS AND GROUND COVER AREAS ARE TO BE TREATED WITH A PRE-EMERGENT WEED KILLER (EPTAM / RONSTAR). APPLY PER MANUFACTURER'S SPECIFICATIONS: A) IMMEDIATELY AFTER PLANTING, B) AT THE BEGINNING OF THE MAINTENANCE PERIOD, AND C) AT THE END OF THE MAINTENANCE PERIOD.
11. CONTRACTOR TO INSTALL AND MAINTAIN LANSCAPE PLANTING IN ACCORDANCE WITH THE GOVERNING AGENCY'S GUIDELINES AND SPECIFICATIONS UNLESS NOTED OTHERWISE IN THESE NOTES OR ON THE PLANS.
12. SOIL SAMPLES TAKEN FROM VARIOUS LOCATIONS IN THE PLANTING AREAS WILL BE SENT TO A SOIL LAB FOR PROFESSIONAL ANALYSIS AND RECOMMENDATIONS FOR SOIL IMPROVEMENT. CONTRACTOR TO FOLLOW SOIL TESTING RECOMMENDATIONS.

Arbutus 'Marina' / Marina Strawberry Tree


Olea europaea 'Wilsonii' / Wilson Fruitless Olive Tree


Podocarpus e. 'Monmal' / Blue Ice Yellowwood

Lophostemon confertus / Brisbane Box


Bambusa oldhamii / Oldham Bamboo

Carex divulsa / Berkeley Sedge

Chondropetalum elephantinum / Large Cape Rush

Dianella r. 'Little Rev' / Flax Lilly

Dietes bicolor / Fortnight Lily

Dietes iridioides 'Variegata' / Variegated Fortnight Lily

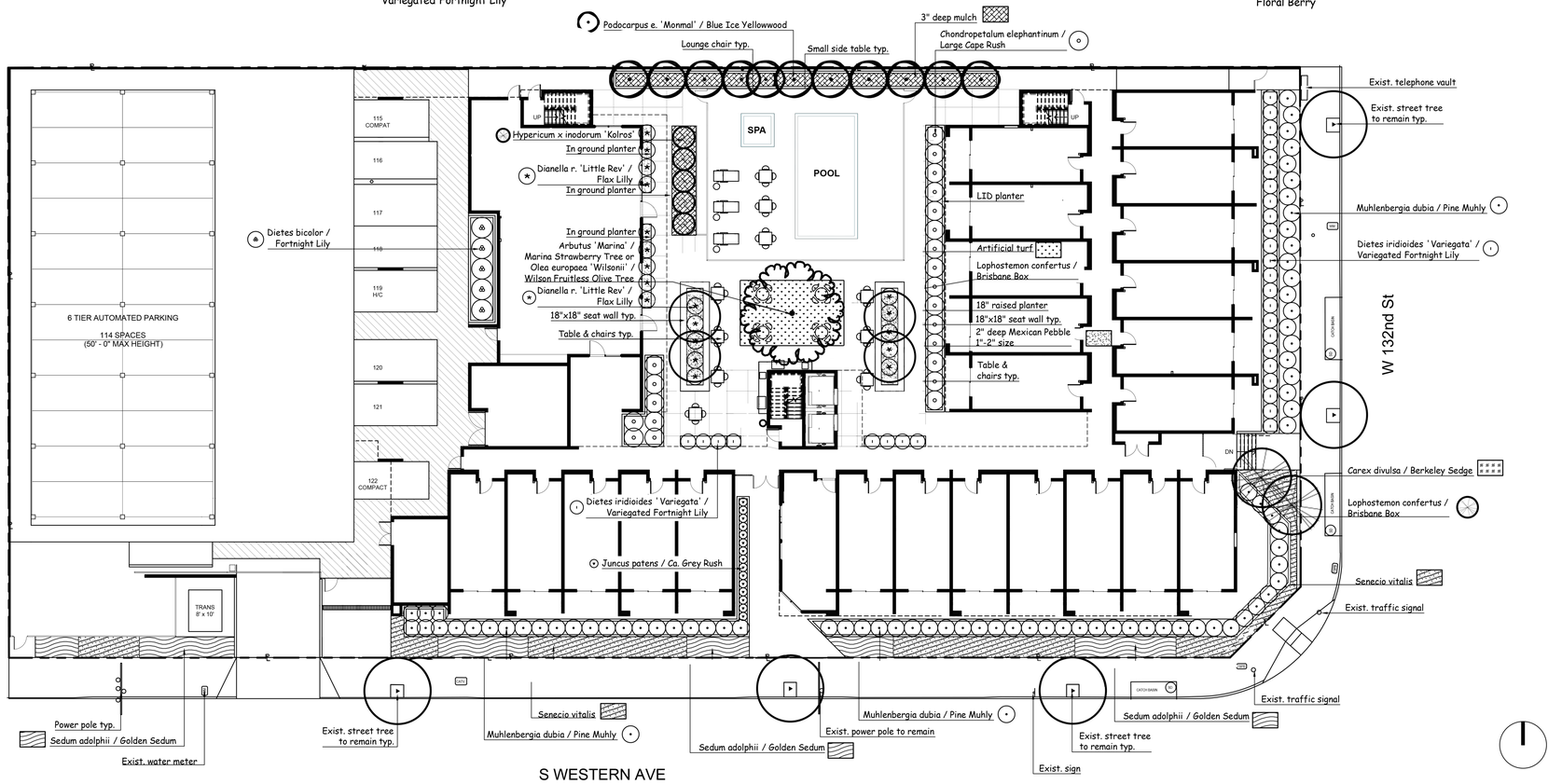
Juncus patens / Ca. Grey Rush

Muhlenbergia dubia / Pine Muhly

Sedum adolphii / Golden Sedum

Senecio vitalis

Hypericum x inodorum 'Kolpinot' / Floral Berry



REVISIONS	DATE
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YAEL Lir
ASLA
Yael Lir Landscape Architects
1010 Sycamore Ave. Suite 313
South Pasadena, CA 91030
Tel 323.258.5222
Fax 323.258.5333
yael@yaellir.com

13126 WESTERN AVE.
GARDENA, CA 90249

FIRST FLOOR PLANTING PLAN

LICENSED LANDSCAPE ARCHITECT
YAEL LIR 3171
Signature
12-31-21
Renewal Date
STATE OF CALIFORNIA

DATE:	JUNE 28, 2021
SCALE:	1/16"=1'-0"
JOB NUMBER:	224221
DRAWN BY:	

L-1

SHRUBS AND GROUND COVER LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
○	Chondropetalum tectorum	Cape Rush	5-gal	9		low 0.3
▽	Euphorbia tirucalli 'Sticks on Fire'	Red Pencil Tree	5-gal	12		low 0.3
✳	Senecio mandraliscae		5-gal	24		low 0.3
⊙	Senecio vitalis		5-gal	19		low 0.3
★	Tradescantia zebrina 'Purpusii'	Wandering Jew	5-gal	11		low 0.3

Landscape Form items		
Item	Model	Color
Table	Cheap Chic square top	Flambe Orange
Chairs	Catena	Flambe Orange
Trash	Lakeside	Stainless Steel

tel: 800.521.2546

NOTES:
Waterproofing and drains in planters by others.

Chondropetalum tectorum / Cape Rush

Euphorbia tirucalli 'Sticks on Fire' / Red Pencil Tree

Pole lighting

Senecio mandraliscae

Senecio vitalis

Tradescantia zebrina 'Purpusii' / Wandering Jew

SELUX LIGHT LEGEND

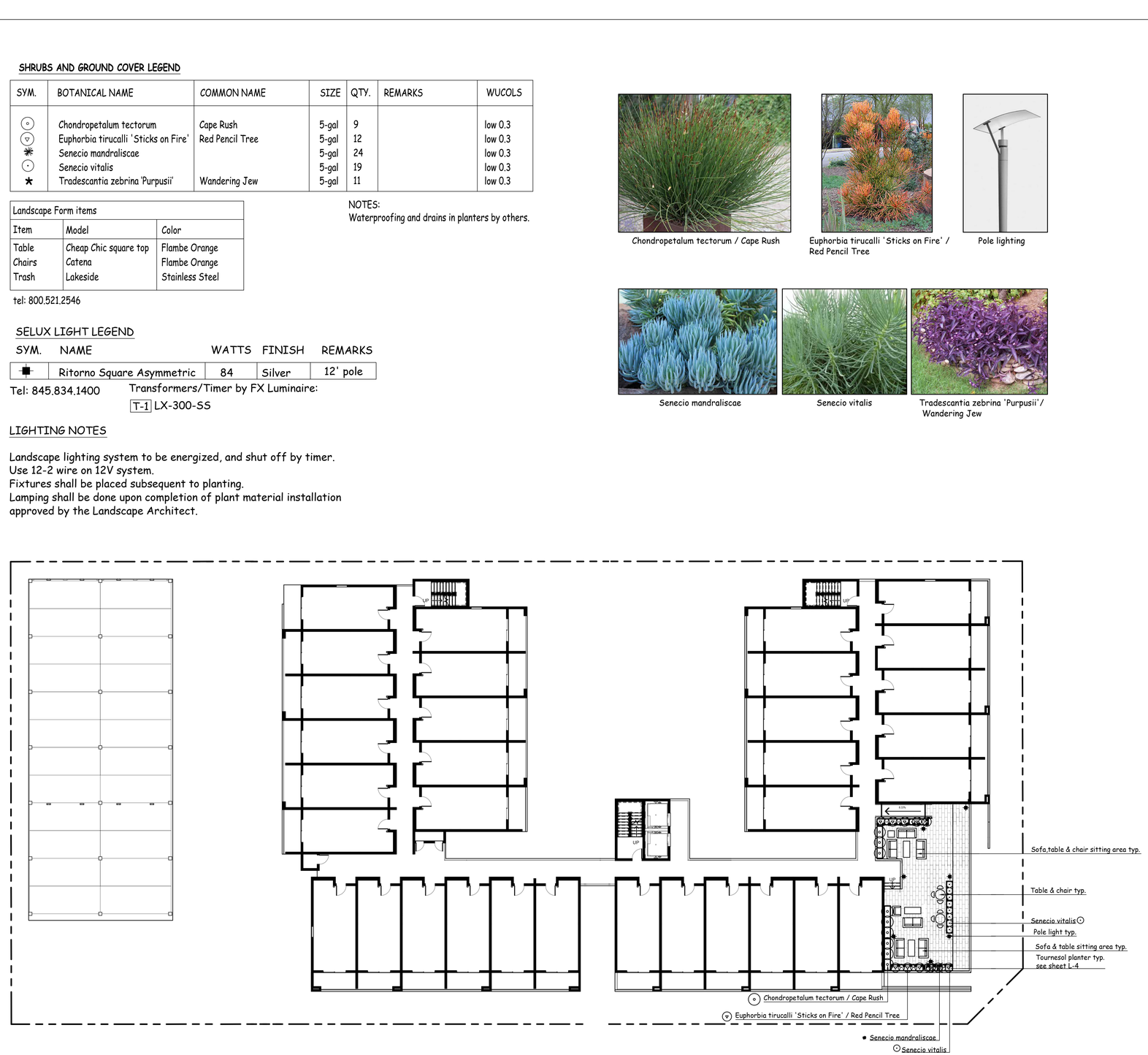
SYM.	NAME	WATTS	FINISH	REMARKS
■	Ritorno Square Asymmetric	84	Silver	12' pole

Tel: 845.834.1400

Transformers/Timer by FX Luminaire:
T-1 LX-300-SS

LIGHTING NOTES

Landscape lighting system to be energized, and shut off by timer.
Use 12-2 wire on 12V system.
Fixtures shall be placed subsequent to planting.
Lamping shall be done upon completion of plant material installation approved by the Landscape Architect.



REVISIONS DATE
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13126 WESTERN AVE.
GARDENA, CA 90249

THIRD FLOOR
PLANTING PLAN

LICENSED LANDSCAPE ARCHITECT
YAEL LIR 3171
Signature
12-31-21
Renewal Date
Date
STATE OF CALIFORNIA

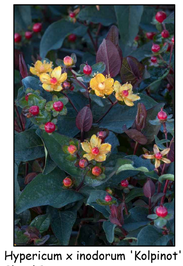
DATE: JUNE 28, 2021
SCALE: 1/16"=1'-0"
JOB NUMBER: 224221
DRAWN BY:

L-2

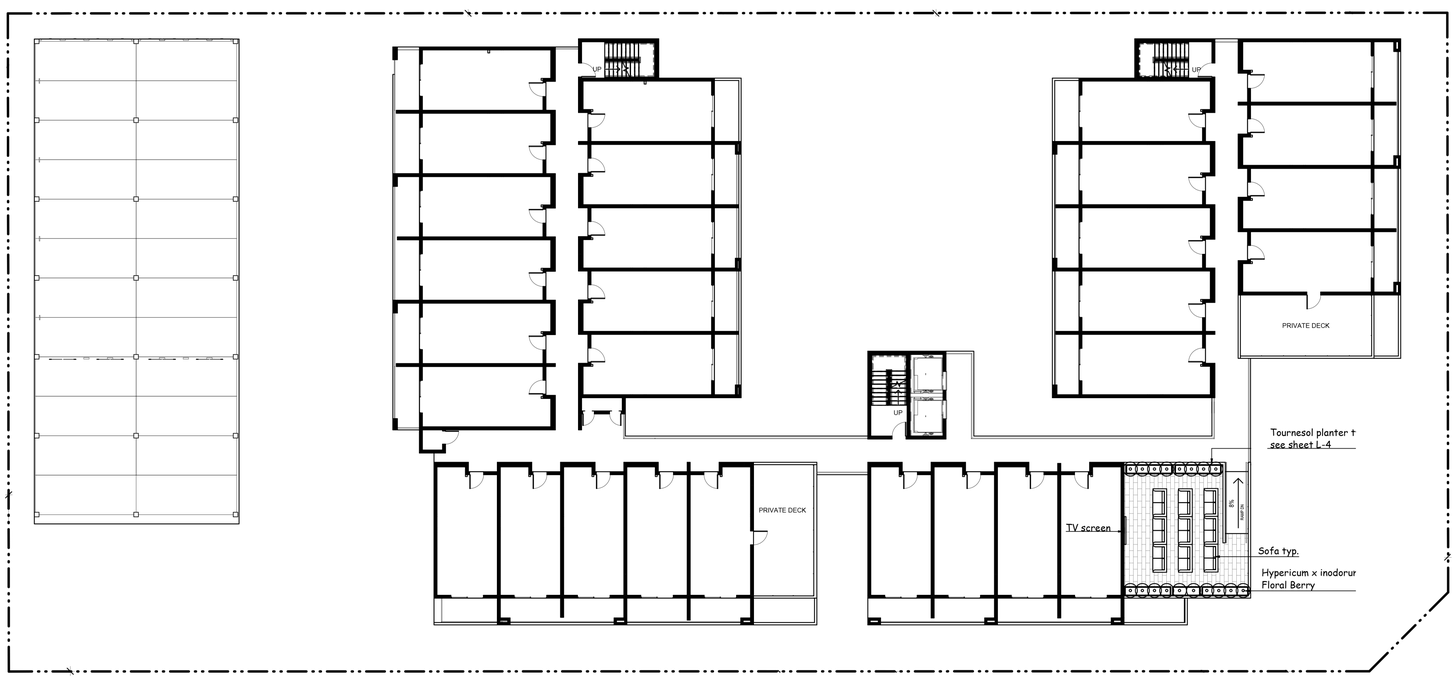
SHRUBS AND GROUND COVER LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
⊙	Hypericum x inodorum 'Kolpinot'	Floral Berry	5-gal	18		low 0.3

NOTES:
Waterproofing and drains in planters by others.



Hypericum x inodorum 'Kolpinot' /
Floral Berry



REVISIONS	DATE
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YAEL LIR

ASLA
Yael Lir Landscape Architects
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13126 WESTERN AVE.
GARDENA, CA 90249

FOURTH FLOOR
PLANTING PLAN

LICENSED LANDSCAPE ARCHITECT
YAEL LIR 3177
Signature
12-31-21
Renewal Date
Date
STATE OF CALIFORNIA

DATE:	JUNE 28, 2021
SCALE:	1/16"=1'-0"
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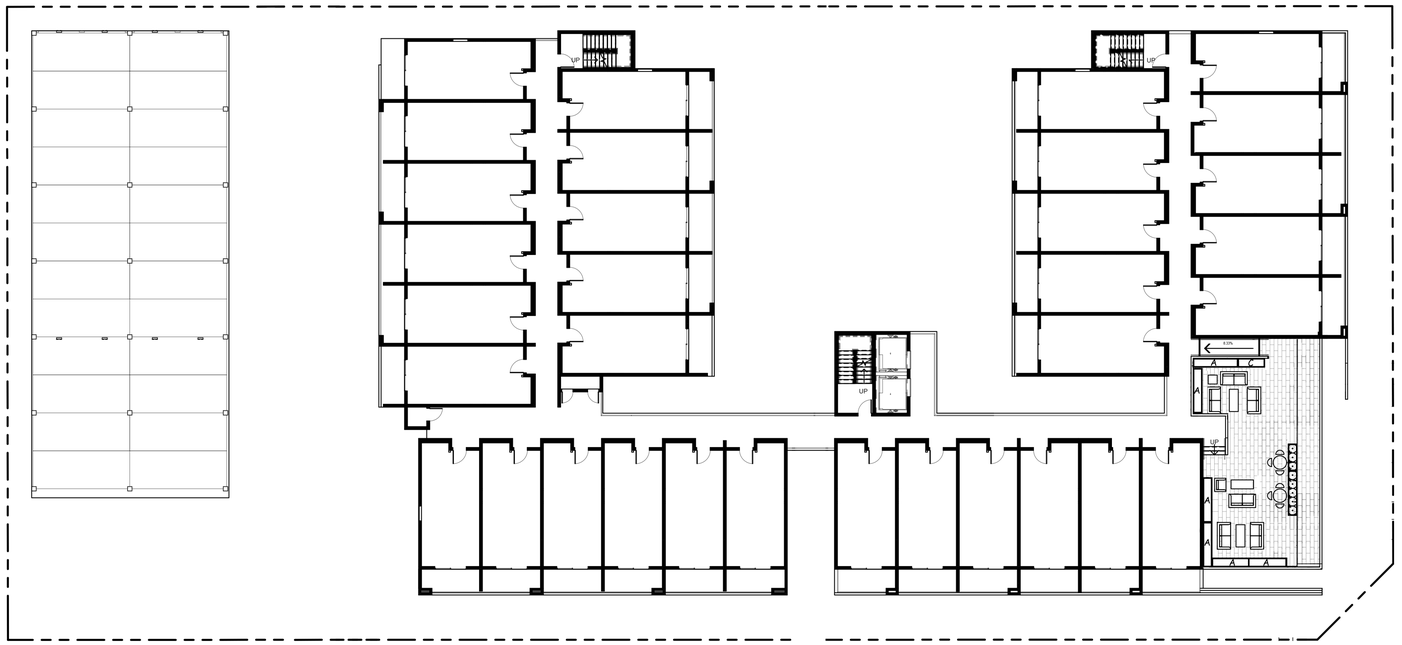
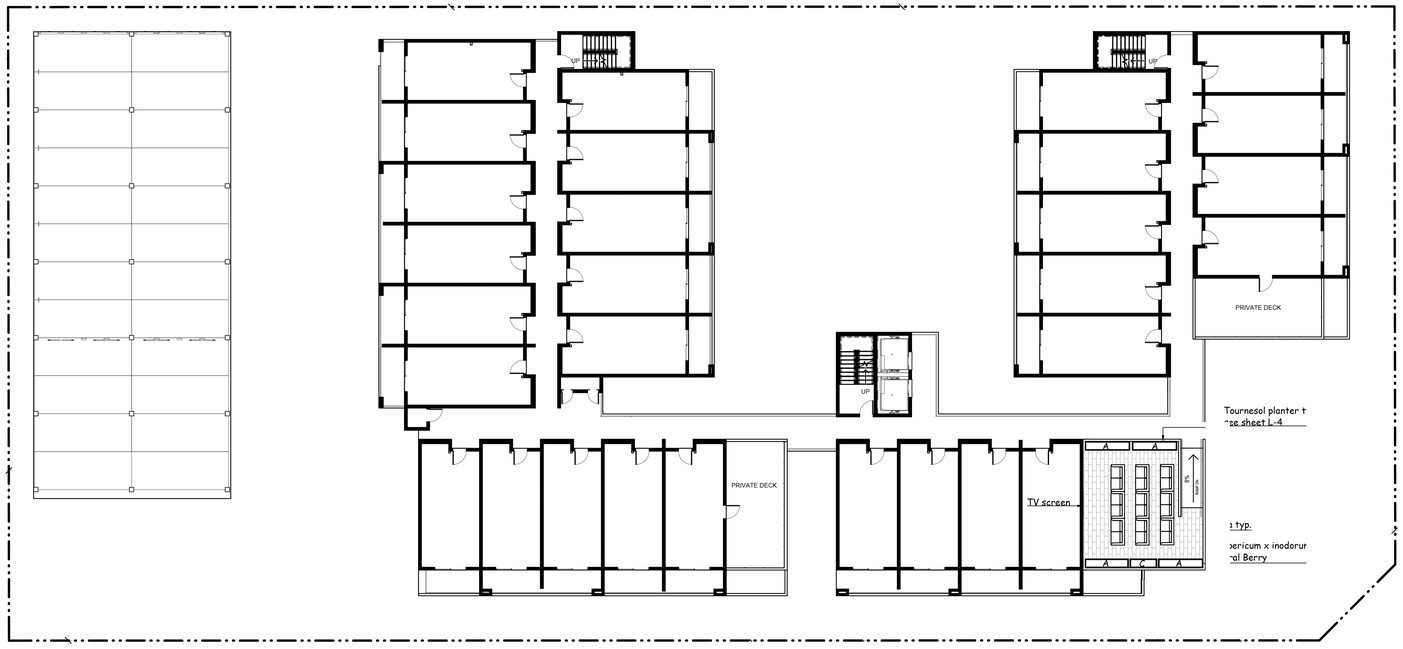


TOURNESOL PLANTER				
PLANTER	MAKE	MODEL	COLOR	
A	Wilshire	WR1202430	Shadow	rectangle
B	Wilshire	WR482430	Shadow	rectangle
C	Wilshire	WR722430	Shadow	rectangle

EVC-30 1.5" thick mat to be installed
at the bottom of planter and under.

www.tournesol.com
tel: 800.542.2282



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FOURTH FLOOR
PLANTER LAYOUT

LICENSED LANDSCAPE ARCHITECT
YAEL LIR 3177
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DRAWN BY:

L-4

Figure 1: First Alternative Color Palette

Figure 2: Third Alternative Color Palette

Figure 3: Third Alternative Color Palette

CITY OF GARDENA
PLANNING AND ENVIRONMENTAL QUALITY COMMISSION

STAFF REPORT
RESOLUTION NO. PC 4-22
SITE PLAN REVIEW #5-21; CONDITIONAL USE PERMIT #5-21;
CONDITIONAL USE PERMIT #6-21
AGENDA ITEM #5.A

DATE: February 15, 2022

TO: Chair Langley and Members of the Planning and Environmental Quality Commission

FROM: Greg Tsujiuchi, Director of Community Development

Prepared by: Amanda Acuna, Senior Planner

APPLICANT: West Realty Group, Inc. (Representative: Lee John son)

LOCATION: 13126 S. Western Avenue (APN: 6102-006-013)

REQUEST: The applicant requests the following to develop a 121-unit single room occupancy housing development, with seven affordable units, on a one-acre property:

1. Site Plan Review (SPR #5-21) to construct a four-story residential building for 121 single room occupancy units fronting Western Avenue;
2. Conditional Use Permit (CUP #5-21) to permit the construction of a single room occupancy (SRO) residential development in the Industrial (M-1) zone;
3. Conditional Use Permit (CUP #6-21) to permit the construction of two, six-tier automated parking structures per Section 18.40.080B.5 of the Gardena Municipal Code;
4. Density Bonus to allow the density increase and FAR increase as the project includes seven affordable, very low-income units; and
5. Direct staff to file a Notice of Exemption for a Class 32 exemption pursuant to CEQA Guidelines section 15332 for an in-fill development project.

BACKGROUND/SETTING

On July 30, 2021, the applicant West Realty Group, Inc., represented by Lee Johnson, submitted an application for a site plan review and conditional use permit to construct the 121-unit single room occupancy (SRO) housing development, including seven affordable

units, on the property at 13126 S. Western Avenue. After review of the application, staff determined a second conditional use permit to allow the use of two automated parking structures was needed.

The subject property is a one-acre, rectangular shaped lot that is developed with a 2,100-square-foot (sf) convenience store and a 10,080-sf industrial building for an automobile repair facility. The property is located towards the northern end of the City at the northeast corner of Western Avenue and West 132nd Street (Figure 1: Vicinity Map). The property is zoned Industrial (M-1) and is bounded by the same zoning district to the north and east, and the General Industrial (M-2) zone to the south and west (Figure 2: Zoning Map). Adjacent land uses include manufacturing, warehousing, and professional office spaces.

Figure 1: Vicinity Map

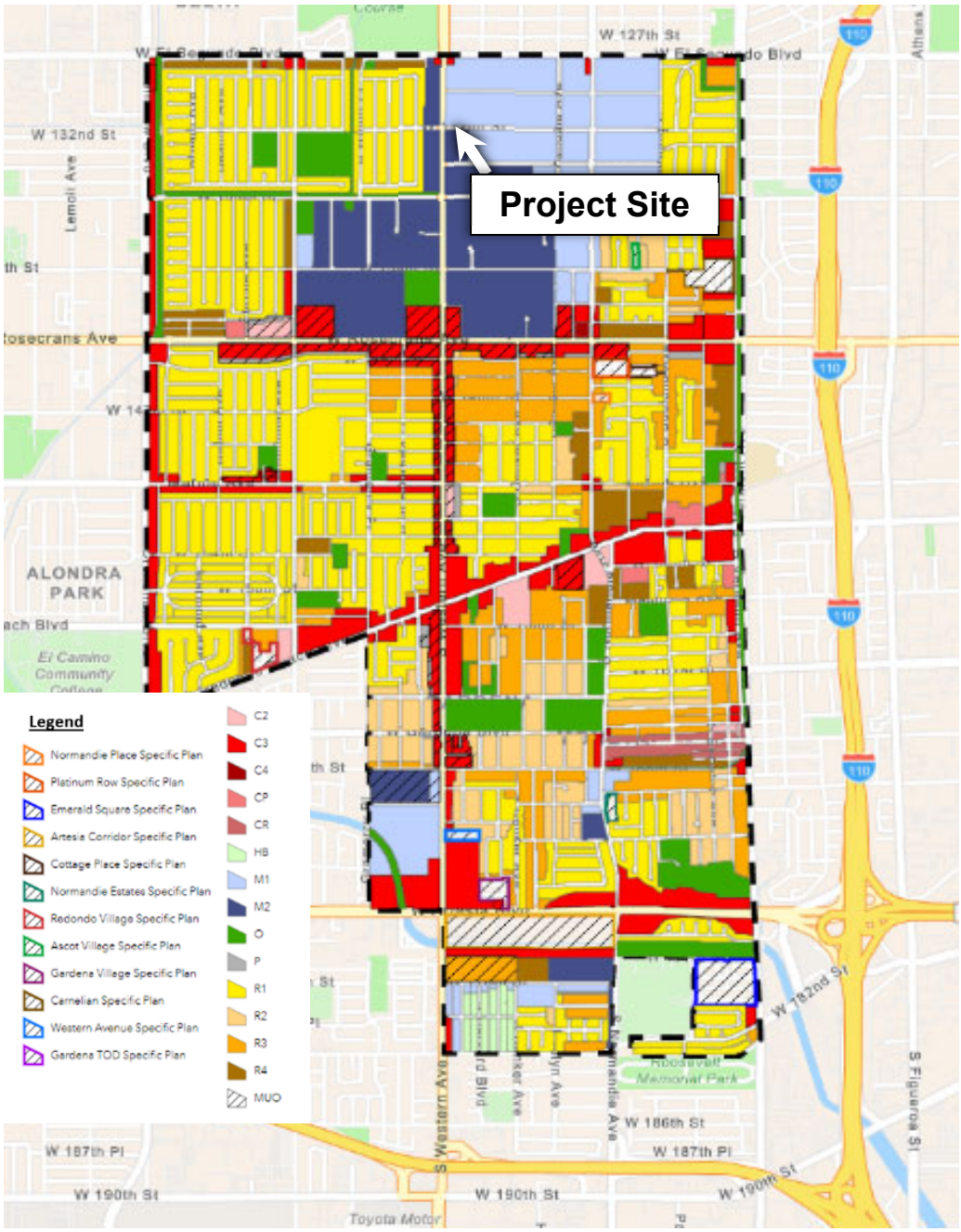
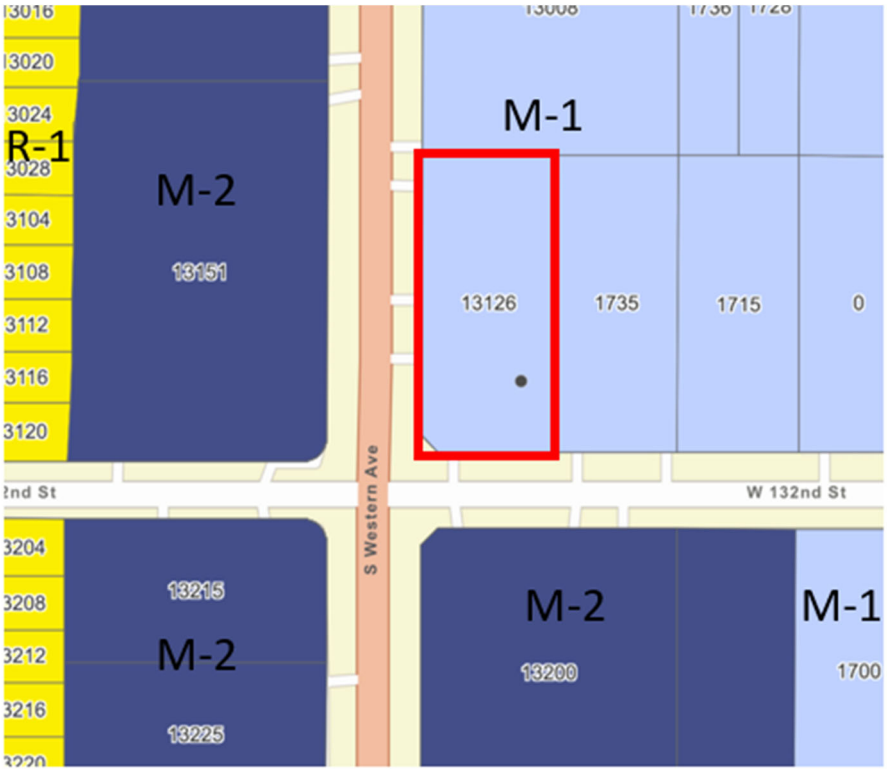


Figure 2: Zoning Map



PROJECT DESCRIPTION

The applicant is proposing to demolish all existing structures and construct a new 54,416-sf, four-story, multifamily residential building, containing 121 SRO rental units, inclusive of a manger's unit. Each will have a floor area of 350-sf and include a kitchen, full bath and personal washer. The new residential building is oriented towards the corner of Western Avenue and West 132nd Street. Communal facilities, including outdoor courtyard, pool and spa, fitness room and indoor recreational space are located towards the center of the development (Figure 3: Site Plan). Additionally, each unit has a private balcony or patio, and outdoor common decks will be provided on the second and third floors. Most of the parking is situated within the two six-tier automated parking structures located on the north end of the lot. Additionally, eight covered parking spaces, including three accessible spaces, will be provided on the ground floor.

The proposed structure is of contemporary architectural style. Ground floor units are setback ten feet from the property line and separated by a landscape buffer. The building is stepped back four stories to two stories at the southwest corner, which helps reduce the buildings massing, while emphasizing the ground-level elements.

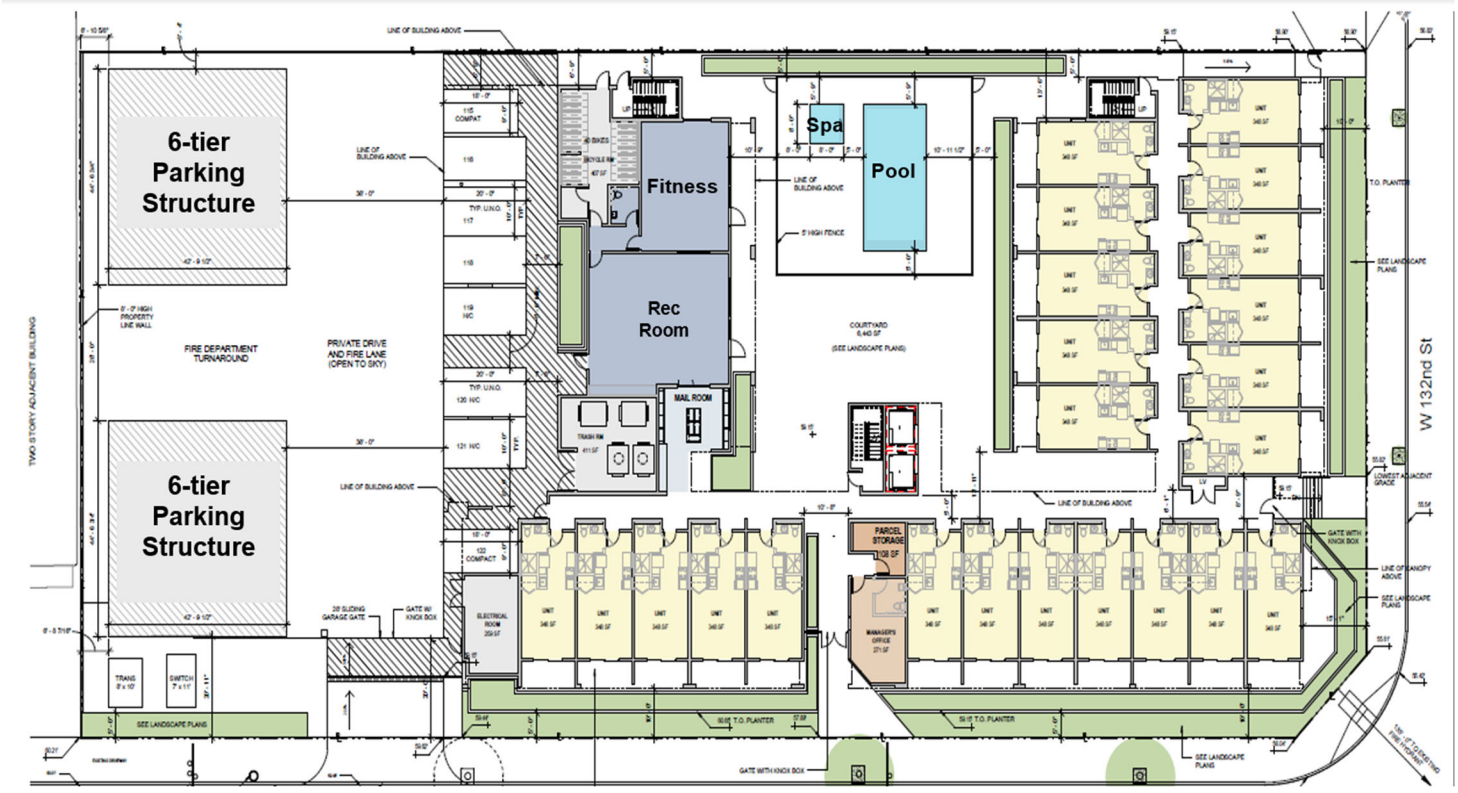
The applicant's proposal includes seven affordable units, at a very-low-income level. In accordance with the State's Density Bonus law, the applicant is requesting an increase in density and waiver of development standards to construct 121 SRO units and two automated parking structures. The project's density and development standards are

based on the Density Bonus law (Government Code § 65915), which are consistent with Gardena Municipal Code Chapter (GMC) 18.43.

To allow for the construction of the 121-unit single room occupancy housing development, with seven affordable units, the applicant is seeking approval of the following entitlements:

1. Site Plan Review (SPR #5-21) to construct a four-story residential building for 121 single room occupancy units fronting Western Avenue;
2. Conditional Use Permit (CUP #5-21) to permit the construction of a single room occupancy (SRO) residential development in the Industrial (M-1) zone;
3. Conditional Use Permit (CUP #6-21) to permit the construction of two, six-tier automated parking structures per GMC Section 18.40.080B.5;
4. Density Bonus to allow the density increase and FAR increase as the project includes seven affordable, very low-income units; and
5. Direct staff to file a Notice of Exemption for a Class 32 exemption pursuant to CEQA Guidelines section 15332 for an in-fill development project.

Figure 3: Site Plan



ANALYSIS

SITE PLAN REVIEW #5-21

In accordance with GMC Section 18.44.010.B, site plan review is required for all development projects that front Western Avenue. Site plan review approval requires the following findings to be made: (1) the development is consistent with the intent and purpose of the general plan and provisions of the municipal code, and (2) the development will not adversely affect the orderly and harmonious development of the area and the general welfare of the City. Therefore, the following analysis is presented to describe the proposed project and any anticipated effects it may have on other properties in the vicinity and the city as a whole.

The subject property is located in the M-1 zone. The proposed structure complies with the development standards of the M-1 zone set forth in GMC Chapter 18.36 (Table 1: Development Standards).

Table 1: Development Standards

Development Standard	M-1 Zone Requirement	Project Proposal	Project Compliant?
Maximum Floor Area Ratio (FAR)	1.0	1.25	Waiver under Density Bonus Law
Minimum Unit Sizes	150-sf	350	Yes
Maximum Unit Sizes	350-sf	350	Yes
Building Height			
SRO Building	65 ft	46 ft 10 in.	Yes
Parking Structures		50 ft	Yes
Setback			
Front	10 ft	10 ft	
Side	10 ft	10 ft	Yes
Rear	0 ft	6.8 ft	
Landscaping			
Street frontage	First 10 ft	First 10 ft	Yes
Maximum Height of Walls/Fencing	8 ft	8ft	Yes
Minimum Common Area			
10-sf/du	1,210-sf	Private: 9,314 Common: 8,080	Yes

Development Standard	M-1 Zone Requirement	Project Proposal	Project Compliant?
		Total: 17,394	
Parking			
1 space/du	120 spaces	Total: 122 spaces	Yes
2 spaces/residential manger unit	2 spaces		

In accordance with GMC Section 18.36.030 an SRO project shall provide parking at a rate of one parking space per unit plus an additional two spaces for the resident manager. The project includes 120 SRO units plus one manger's unit, therefore, requiring a total of 122 spaces. The applicant meets the parking requirements by providing two automated parking structures that contain the capacity for 57 spaces each, plus eight spaces, including three accessible spaces, at ground level. In accordance with GMC Section 18.40.080, a conditional use permit is required for all mechanical vehicle storage. Therefore, the applicant's request includes approval of a conditional use permit for the two six-tier parking structures.

Each SRO unit will have a size of 350-sf, the maximum allowed per the Gardena Municipal Code. Each unit includes a kitchen, full bath, and personal washing machine. Additionally, each unit will have their own private balcony or deck and access to communal open spaces such as outdoor courtyards, pool and spa, fitness room and multipurpose room. The project exceeds the open space requirements for a SRO development, providing a total of 17,394-sf split up between private and common spaces.

As shown, the project meets or exceeds all of the minimum development standards of the M-1 zone, therefore, the development will not adversely affect the orderly and harmonious development of the area and the general welfare of the City.

The General Plan Land Use Plan designates the subject property as Industrial. Allowing the 121-unit single room occupancy housing development would be consistent with various goals and policies of the General Plan including the following:

Table 2: General Plan Consistency

Table 2a – Land Use

<u>LU Goal 1</u> Preserve and protect existing single-family and low/medium-density residential neighborhoods while promoting the development of additional high quality housing types in the City.	
LU 1.1: Promote sound housing and attractive and safe residential neighborhoods.	The project design is of high-quality, with a well-articulated building and pedestrian orientated environment that creates an attractive and safe residential neighborhood.
LU 1.5: Provide adequate residential amenities such as open space, recreation,	The property provides an abundant amount of open space which includes, open decks,

off-street parking and pedestrian features in multifamily residential developments.	outdoor courtyards, private balconies, a pool and spa, fitness room and multipurpose room. The project includes a total of 17,394-sf of open space.
LU 1.9: Allow well designed and attractive residential mixed-use development to occur on existing underutilized commercial/industrial blocks designed as Mixed-Use Overlay.	While the development is not located in the Mixed-Use Overlay zone, it is a well-designed and attractive residential development on an existing underutilized industrial property.

Table 2b – Community Design Plan

DS Goal 2 Enhance the aesthetic quality of the residential neighborhoods in the City.	
DS 2.3: Encourage a variety of architectural styles, massing, floor plans, color schemes, building materials, façade treatments, elevation and wall articulations.	The building is stepped back four stories to two stories at the southwest corner, which helps reduce the building massing. The building mass and design act as a transition to the scale of the surrounding neighborhood.
DS 2.10: Provide landscape treatments (trees, shrubs, groundcover, and grass areas) within multi-family development projects in order to create a "greener" environment for residents and those viewing from public areas.	The building is setback ten feet from the property line and separated by a landscape buffer that includes varies plants and shrubs. In the common outdoor courtyard, there are multiple trees of various sizes, as well as raised planters that help created a greener environment for the residents.
DS 2.11: Incorporate quality residential amenities such as private and communal open spaces into multi-unit development projects in order to improve the quality of the project and to create more attractive and livable spaces for residents to enjoy.	The project provides common open space through open decks, outdoor courtyards, a pool and spa, fitness room and a multipurpose room.
DS 2.9: Integrate new residential developments with the surrounding built environment, in addition, encourage a strong relationship between the dwelling and the street	The residential development uses landscape setbacks from public rights-of-way and stepped building design that reduces the scale of the building, while emphasizing the ground-level elements. The parking structures buffer the residential development from the industrial uses to the north.

Table 2c – Circulation Plan

CI Goal 1 Promote a safe and efficient circulation system that benefits residents and businesses and integrates with the greater Los Angeles/South Bay transportation system.	
CI 1.1: Prioritize long-term sustainability for the City of Gardena, in alignment with regional and state goals, by promoting infill development, reduced reliance on single-occupancy vehicle trips, and improved multi-modal transportation networks, with the goal of reducing air pollution and greenhouse gas emissions, thereby improving the health and quality of life for residents.	The project is an infill project in a high-quality transit area.
CI Goal 3 Develop Complete Streets to promote alternative modes of transportation that are safe and efficient for commuters, and available to persons of all income levels and disabilities.	
CI 3.3: Maintain and expand sidewalk installation and repair programs, particularly in areas where sidewalks link residential neighborhoods to local schools, parks, and shopping areas.	As a condition of approval, the applicant will be required to replace the sidewalk in front of the project site.

Table 2d – Conservation Plan

CN Goal 2 Conserve and protect groundwater supply and water resources.	
CN 2.2: Comply with the water conservation measures set forth by the California Department of Water Resources.	The project will be conditioned to ensure that the landscape and irrigation plans comply with the State's Water Efficient Landscape Guidelines, as adopted by the Gardena Municipal Code.
CN Goal 3 Reduce the amount of solid waste produced in Gardena.	
CN 3.1: Comply with the requirements set forth in the City's Source Reduction and Recycling Element.	The Applicant will be required to prepare construction and demolition waste recycling plans for review and approval by the Building Division. Applicant/developer shall enroll in the city's waste diversion program.

CN Goal 4 Conserve energy resources through the use of technology and conservation methods.	
CN 4.2: Require compliance with Title 24 regulations to conserve energy.	The project will be conditioned to comply with the current California Building Code, which includes the CalGreen Code.

Table 2e – Public Safety Plan

PS Goal 2 Protect the community from dangers associated with geologic instability, seismic hazards and other natural hazards.	
PS 2.3: Require compliance with seismic safety standards in the Unified Building Code.	The project will be conditioned to comply with the current California Building Code relating to seismic safety.
PS 2.4: Require geotechnical studies for all new development projects located in an Alquist-Priolo Earthquake Fault Zone or areas subject to liquefaction.	The applicant is required to submit and comply with a Geotechnical investigation.

Table 2f – Noise Plan

N Goal 3 Develop measures to control non-transportation noise impacts.	
N 3.1: Require compliance with a quantitative noise ordinance based on the Model Noise Ordinance developed by the (now-defunct) State of California Office of Noise Control.	The project will be conditioned to show compliance with interior noise standards.
N 3.3: Require compliance with construction hours to minimize the impacts of construction noise on adjacent land.	The project will be conditioned to comply with the City's hours of construction. Additionally, the project is conditioned on implementing noise reduction methods.

Table 2g – 2021-2029 Housing Element

GOAL 2.0 Provide opportunity for increasing the supply of affordable housing within the City with special emphasis on housing for special needs groups.	
Policy 2.2: Provide incentives for new housing construction, to encourage the production of affordable units. Encourage provision of units of various sizes to accommodate the diverse needs of the community, including seniors, students and young workers, and large households.	The project will create a new 121 SRO each with a floor area of 350-sf. Each unit will have dishwasher, front loading washing machine and private balcony or patio. The project also includes seven affordable units, at a very-low-income level, that will have the same high-quality design of the other SRO units. This project helps satisfy the City's RHNA allocation of 5,735 units including 1,485 very low units.

GOAL 5.0 Promote equal opportunity for all residents to reside in the housing of their choice.	
Policy 5.2: Provide a range of housing options, locational choices, and price points to accommodate the diverse needs in Gardena and to allow for housing mobility	Each unit is a 350 square foot, self-sufficient unit and allows for a maximum of two residents per unit. The majority of the housing stock in the City is single family, townhome/condo, or apartments. The proposed project will offer a more compact housing type that can adapt to meet ADA standards.

Subject to the approval of the site plan review and the issuance of the conditions of approval, the proposed use will be consistent with the General Plan and Gardena Municipal Code, compatible with the surrounding area, and will not be detrimental to the public health, safety, or welfare

DENSITY BONUS

The applicant has proposed to provide seven affordable, very-low-income units. Under the Density Bonus Law (Government Code § 65915), the project qualifies for increased density. The amount of the density bonus is set on a sliding scale based upon the percentage of affordable units at each income level. In addition to the density bonus, the applicant is entitled to waivers to development standards or modification of the Zoning Code. Density Bonus Law is a state mandate, therefore, a developer who meets the requirements of the law is entitled to receive the density bonus and other benefits as a matter of right. The following is a breakdown of the density bonus calculation for this project.

Density Bonus Calculation

The State's Density Bonus Law allows a 20% density bonus for residential projects that provide 5% of affordable units at a very-low income, and then an additional 2.5% increase for every 1% above the threshold – up to a maximum of a 35% density bonus.

The subject property is located in the M-1 zone. The M-1 zone does not have a maximum density for SRO developments, however, does include other development provisions such as maximum floor area ratio (FAR), setbacks, and building height requirements that could limit the amount of SRO units allowed on a property. For the subject property the applicant determined a total 97 SRO units of 350-sf each, could be developed on the lot, with meeting all applicable development standards on the property. Out of the 97 SRO units, seven units were set aside for very-low-income units. Therefore, the base project included a total of 7% percent of affordable housing, which would allow the project to have a density bonus of 25%.

As shown in Table 3, the project qualifies for a 25% density increase, or 25. With the base number of units being 97, the project could develop a total of 122 SRO units on the lot. The applicant is proposing to develop 121 SRO units, including the seven affordable units, therefore, the project's density is compliant with the Density Bonus Law.

Table 3: Summary of Density Bonus

Base number of units allowed by-right	97 units
Lot Size	1 acre
Number of Affordable Units	7 Very Low-Income Units
Percentage of Very Low-Income Units	7%
Density Bonus for 7% Very Low-Income	25% (from table in GMC 18.43.040.A)
Density Bonus Units (97 x 25% = 24.25)	**25**
Total units (97 original + bonus units)	**122**

Waiver from Maximum FAR

In accordance with GMC Section 18.43.060, the City shall not apply any development standards that will have the effect of physically precluding the construction of an affordable housing development. Under the State's Density Bonus Law, the applicant is requesting a waiver to allow the increase in floor area ratio (FAR) of the project. The subject property is located in the M-1 zone, which allows a maximum FAR of 1.0. The subject property has a size of approximately one acre or 43,560-sf. The proposed four-story residential building has a floor area of 54,416-sf. Therefore, the project has a total FAR of 1.25. In order to develop to the 25% increase in density that is allowed under State Law, the applicant is requesting a 25% increase to the FAR. The City may only deny the waiver if it finds that there is substantial evidence:

1. It would have a specific, adverse impact upon the public health or safety which cannot be mitigated;
2. It would have a specific adverse impact on the physical environment which cannot be mitigated;
3. It would have a specific adverse impact on historical property; or
4. It would be contrary to law.

Allowing the 25% increase in FAR would not adversely impact the public health or safety of the city or the physical environment. The project is designed to integrate the new residential development with the surrounding built environment, and in addition, to encourage a strong relationship between the dwelling and the two street frontages. The property and existing buildings do not include any historical resources. Lastly, requiring the development to meet the required FAR standard would physically preclude the project at the approved density so a waiver of FAR requirements should be granted.

CONDITIONAL USE PERMIT #5-21

Per GMC Section 18.36.030.P, a conditional use permit is required for all single-room occupancy uses in the M-1 zone.

In order to grant a conditional use permit, the Planning Commission must make the following findings:

1. **That the use if one for which a conditional use permit is authorized;**

   As set forth under GMC Section 18.36.030.P, SRO units are subject to a conditional use permit.

2. **That such use is necessary or desirable for the development of the community and is compatible with the surrounding uses; is in harmony with the general plan; is not detrimental to the surrounding properties, existing uses or to uses specifically permitted in the zone in which the proposed use is to be located; and will not be detrimental to the public health, safety or welfare;**

   Under the recently adopted 2021-2029 Housing Element, the City of Gardena was allocated a regional housing need of 5,735 residential units for the eight-year period, including 1,485 very low income units. The subject project would assist the City in reaching this allocation and continue to provide different housing options. As shown above the property will be compatible with various goals and policies of the City's Land Use Plan, Community Design Plan, Circulation Plan, Conservation Plan, Public Safety Plan, Noise Plan, and Housing Element.

3. **That the site for the intended use is adequate in size and shape to accommodate such use and all of the yards, setbacks, walls, fences, landscaping and other features required in order to adjust such use to those existing or permitted future uses on land in the neighborhood;**

   The property has a dimension of 141 feet by 310 feet. As shown above, the project meets or exceeds all of the minimum development standards of the M-1 zone, including setbacks, walls, fencing, landscaping, and parking.

4. **That the site for the proposed use relates to streets and highways properly designed and improved so as to carry the type and quantity of traffic generated or to be generated by the proposed use; and**

   The Circulation Plan of the Gardena General Plan designates Western Avenue as an arterial roadway and West 132nd Street as a collector roadway. Arterial roadways are designed to connect traffic from smaller roadways to freeway interchanges and regional roadway corridors and are the principal urban thoroughfares of the City. Collector roadways are intended to provide general access to all types of land uses. The use of the property for 121 units is not expected to generate more traffic than the existing uses, and therefore, the surrounding streets are properly designed to carry the quantity of traffic generated by the proposed use.

5. **That the conditions stated in the decision are deemed necessary to protect the public health, safety and general welfare.**

   The conditions of approval for Conditional Use Permit #5-21, will ensure that the SRO development will be compatible with, and not detrimental to, the surrounding uses in the vicinity.

GMC Section 18.36.030P.11, requires that a management plan be approved by the Planning Commission for SRO developments. The management plan must address the management and operation of the facility, rental procedures, safety and security of the residents and building maintenance. Additionally, the Code requires a 24-hour resident manager for any SRO with at least 10 units.

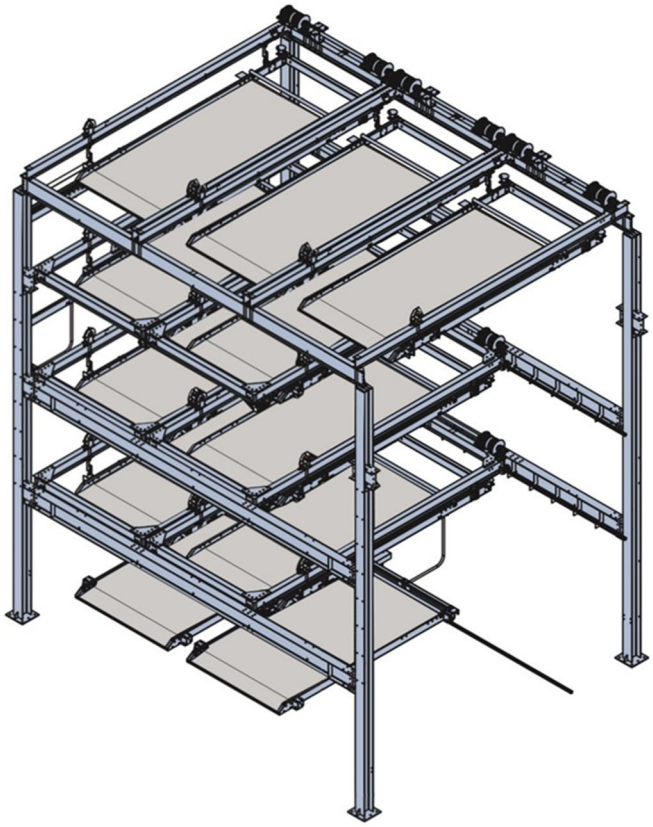
The Management Plan is attached as Exhibit C to Resolution No. PC 4-22, and staff finds that it complies with the Code requirements.

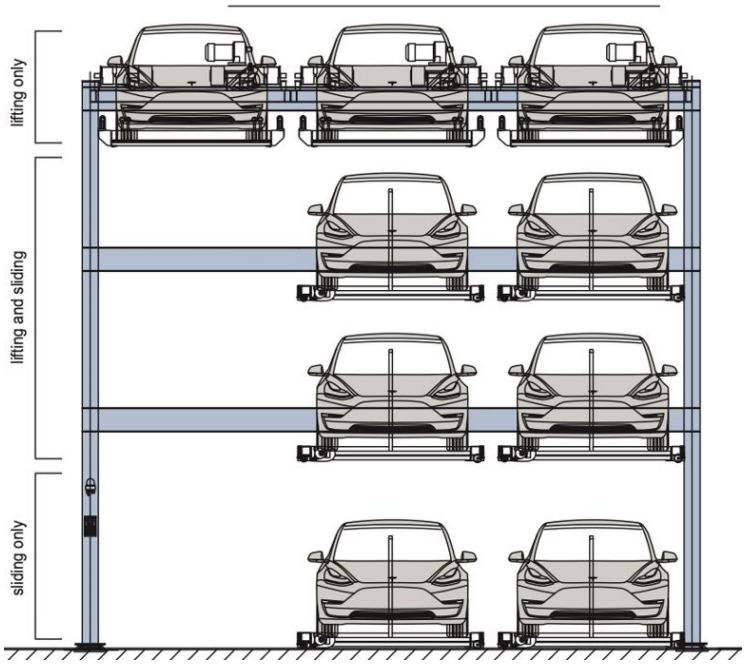
CONDITIONAL USE PERMIT #6-21

GMC Section 18.40.080.B.5, allows parking flexibility through valet parking, mechanical vehicle storage, shared parking, and other configurations, pursuant to obtaining a conditional use permit. As such, the applicant is requesting an additional conditional use to permit the construction of two six-tier automated parking structure as part of the project.

Each parking structure will have the capacity to store 57 vehicles, for a total of 114 parking spaces. The parking structures use a mechanical parking system that helps to stack cars on multiple vertical levels resulting in maximizing the space for parking and saving valuable land (Figure 4: Parking Structure). Each individual parking spot is a moveable platform that the system can lift, slide sidewards, or a combination of both. In addition to the parking spaces within the automated structure, eight covered parking spaces, including three accessible spaces, will be provided on the ground floor.

Figure 4: Parking Structure





In order to grant a conditional use permit for the automated parking structures, the Planning Commission must make the following findings:

1. **That the use if one for which a conditional use permit is authorized;**

   GMC Section 18.40.080.B.5 allows for parking flexibility through mechanical vehicles storages, pursuant to a conditional use permit. Therefore, the application's request for a conditional use permit is deemed proper and, if approved, will authorize the applicant to construct two automated parking structures.

2. **That such use is necessary or desirable for the development of the community and is compatible with the surrounding uses; is in harmony with the general plan; is not detrimental to the surrounding properties, existing uses or to uses specifically permitted in the zone in which the proposed use is to be located; and will not be detrimental to the public health, safety or welfare;**

   Allowing the six-tier automated parking structures would allow the project to meet the minimum parking requirements in less space than a traditional surface parking lots or garages would require. Automated parking structures utilizes the land more efficiently as they do not need ramps for drivers to get in and out of spaces, making it more desirable for developments in the City. Additionally, the six-tier automated parking structures do not need to be as tall as a traditional six-story parking structure. The two automated parking structures will also be conditioned to provide screening on the west and south elevations, to screen away from public rights-of way. As shown above, the development is consistent with various goals and policies of the General Plan which are in part made possible by being able to utilize this more efficient system. The automated parking structure will not be detrimental to the surrounding properties, existing uses or to uses specifically permitted in the M-1 zone.

3. **That the site for the intended use is adequate in size and shape to accommodate such use and all of the yards, setbacks, walls, fences, landscaping and other features required in order to adjust such use to those existing or permitted future uses on land in the neighborhood;**

   The property has a dimension of 141 feet by 310 feet. As shown above, the project, including the automated parking structures, meets or exceeds all of the minimum development standards of the M-1 zone, including setbacks, walls, fencing, landscaping, and parking.

4. **That the site for the proposed use relates to streets and highways properly designed and improved so as to carry the type and quantity of traffic generated or to be generated by the proposed use; and**
   The Circulation Plan of the Gardena General Plan designates Western Avenue as an arterial roadway and West 132nd Street as a collector roadway. The parking structures are accessory uses to that of the SRO residential development and do not add traffic above that of the SRO units themselves. The primary use of the 121 SRO units is not expected to generate more traffic than existing uses, and therefore, the surrounding streets are properly designed to carry the quantity of traffic generated by the proposed use.

5. **That the conditions stated in the decision are deemed necessary to protect the public health, safety and general welfare.**
   The conditions of approval for Conditional Use Permit #6-21, will ensure that the automated parking will be compatible with, and not detrimental to, the surrounding uses in the vicinity.

NO NET LOSS, 2021-2029 HOUSING ELEMENT:

In accordance with Government Code section 65583, each city's housing element must include an inventory of land suitable and available for residential development to meet the locality's housing need for each of the designated income levels of the assigned regional housing need. Additionally, if the City allows development of a site with less units by income level than identified in the housing element for that site, the City must make written findings supported by substantial evidence as to whether there are remaining sites identified in the housing element to accommodate the City's share of regional housing needs, including a quantification of the remaining unmet need for each income level.

The subject property is identified in the 2021-2029 Gardena housing element for a housing development that would include 15 lower income units, 4 moderate income units, and 11 above moderate-income units. The subject project includes seven affordable units at the very-low-income level, while the remaining 114 units would be at above moderate income. As shown in Table 4, the project will meet the above moderate housing units that were identified for the site and provide seven out of the 15 identified lower income units. While the project is providing more overall units than identified in the housing element, the project does not provide the total lower and moderate-income units assumed.

Table 4: Housing Sites and Income Distribution

	Address	Lower Income Units	Moderate Income Units	Above Moderate Income Units	Total Units

Identified in Housing Element	13126 S WESTERN AVE	15	4	11	30
Provided		7		114	121
Remaining		**8**	**4**		

The City was allocated a regional housing need of 5,735 units to plan for the 2021-2029 planning period, broken down as follows: very low/low-income – 2,246 units; moderate-income – 894 units; and above moderate-income – 2,595 units. However, the housing element plans for a total of 7,399 units, exceeding the City's allocation by 1,664 units or 29%. This buffer was necessary in order to address the no net loss requirement, of maintaining an adequate inventory of sites. While the project is not providing the number of housing units of each identified income level as assumed in the housing element, there are more than sufficient sites remaining that are identified in the housing element to accommodate the City's share of regional housing for the 2021-2029 planning period (Table 5: No Net Loss Calculation).

The City is in the beginning of the 2021-2029 housing period, and the first reported progress in reaching the regional housing need has not been completed at this time. However, the housing element does identify several residential development projects with completed entitlements and pending projects in the City, totaling 528 units, that can be completed within the timeframe of this Housing Element. This project will also assist the City in reaching this allocation and continue to provide different housing options.

Table 5: No Net Loss Calculation

	Very Low/Low	Moderate	Above Moderate
Allocation	2,246	894	2,595
Number of Housing Units in 2021-2029 HE	2,833	1,770	2,796
Buffer	587	876	201
Reported Progress	-	-	-
Proposed Project	***7***		***114***
Remaining Allocation	2,239	894	2,481
Remaining Buffer	580	876	2,675

ENVIRONMENTAL CONSIDERATIONS

The project is an infill development project under Class 32 of the California Environmental Quality (CEQA) Guidelines. As demonstrated above, the project is consistent with applicable general plan policies, and also consistent with applicable requirements of the City's zoning ordinance. The project is within City limits, on a site less than five acres, and surrounded by urban uses. The site has no value as a habitat for endangered, rare, or threatened species. The project site is able to be served by all required utilities and public services. The City's environmental consultant, Kimley-Horn, prepared technical studies (Exhibit D) that showed the proposed project would have less than significant impacts concerning traffic, noise, and air. Additionally, compliance with the National Pollution Discharge Elimination System and requirements of the Gardena Municipal Code would ensure the project's construction-related activities would not violate any water quality standards or otherwise substantially degrade surface or groundwater quality, resulting in a less than significant impact. Therefore, the City does not foresee any adverse impacts to traffic, noise, air quality, or water quality.

The proposed project is not subject to any of the exceptions for exemption under Section 15300.2 of the CEQA Guidelines. The location of the project is predominantly urban and not considered a sensitive environment; therefore, the project will not result in any significant impacts that may otherwise occur in a sensitive environmental area. The cumulative impact of this project, and the approval of other projects like it in the vicinity, is not expected to have any significant environmental impact.

The project is not located along any state designated scenic highway nor within any designated hazardous waste site. Kimley-Horn also prepared a Cultural Resources Assessment (Exhibit D) that found that neither of the two existing buildings on the property appear to have historical significance. Staff does not expect any significant impacts or unusual circumstances related to the approval and construction of this project.

Therefore, the proposed project is categorically exempt from CEQA under CEQA Guidelines section 15332, Infill Exemption.

NOTICING

The public hearing notice for the project was published in the Gardena Valley News and mailed first class to owners and occupants within a 300-foot radius of the site on January 20, 2022, for the February 1, 2022, Planning Commission meeting. At the February 1, 2022, meeting the public hearing was opened and continued to the February 15, 2022, meeting. A copy of Proof of Publication and Affidavit of Mailing are on file in the office of the Community Development Department, Room 101, City Hall, and are considered part of the administrative record.

RECOMMENDATION

Staff recommends the Planning and Environmental Quality Commission to:

1) Continue the public hearing;

2) Receive testimony from the public; and

3) Adopt Resolution PC 4-22 approving Site Plan Review #5-21, Conditional Use Permit #5-21, and Conditional Use Permit #6-21 subject to the attached conditions of approval and directing staff to file a Notice of Exemption.

ATTACHMENTS

Resolution No. PC 4-22
Exhibit A – Draft Conditions of Approval
Exhibit B – Architectural Plans
Exhibit C – Property Management Plan
Exhibit D – CEQA Class 32 Categorical Exemption Technical Studies

RESOLUTION NO. PC 4-22

A RESOLUTION OF THE PLANNING AND ENVIRONMENTAL QUALITY COMMISSION OF THE CITY OF GARDENA, CALIFORNIA, APPROVING SITE PLAN REVIEW #5-21, CONDITIONAL USE PERMIT #5-21, AND CONDITIONAL USE PERMIT #6-21 TO DEVELOP A 121-UNIT SINGLE ROOM OCCUPANCY HOUSING DEVELOPMENT, WITH SEVEN AFFORDABLE UNITS, AND TWO, SIX-TIER AUTOMATED PARKING STRUCTURES ON A ONE-ACRE PROPERTY IN THE M-1 (INDUSTRIAL) ZONE WITH, AND DIRECTING STAFF TO FILE A NOTICE OF EXEMPTION FOR A CLASS 32 IN-FILL DEVELOPMENT

13126 S. WESTERN AVENUE (APN: 6102-006-013)

THE PLANNING COMMISSION OF THE CITY OF GARDENA, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. RECITALS.

A. On July 30, 2021, the applicant West Realty Group, Inc., represented by Lee Johnson, submitted an application for a site plan review and conditional use permit to construct the 121-unit single room occupancy (SRO) housing development, including seven affordable units, and an additional conditional permit for the construction of two, six-tier automated parking structures (the "Project") on the property at 13126 S. Western Avenue (the "Property");

B. The General Plan Land Use Plan designation of the Property is Industrial, and the zoning is M-1 (Industrial);

C. The Property is bounded by warehouse buildings to the north and east, Western Avenue to the west and West 132nd Street to the south;

D. On January 20, 2022, a public hearing was duly noticed for a virtual Planning and Environmental Quality Commission meeting for February 1, 2022, at 7 PM;

E. On February 1, 2022, the Planning Commission opened and continued the public hearing to February 15, 2022;

F. On February 15, 2022, the Planning and Environmental Quality Commission held a public hearing at which time it considered all material and evidence, whether written or oral; and

G. In making the various findings set forth herein, the Planning and Environmental Quality Commission has considered all of the evidence presented by staff, the applicant, and the public, whether written or oral, and has considered the procedures and the standards required by the Gardena Municipal Code.

SECTION 2. SITE PLAN REVIEW #5-21

Site Plan Review (#5-21) for the construction of a four-story residential building for 121

SRO units fronting Western Avenue, is hereby approved based on the following findings and subject to the conditions attached hereto as Exhibit A. The plans being approved are dated January 4, 2022, and attached hereto as Exhibit B, as the same may be modified by the conditions of approval.

A. The proposed development, including the uses and physical design, is consistent with the intent and general purpose of the general plan and provisions of the municipal code.

The General Plan Land Use Plan designates the Property as Industrial. Allowing the 121-unit single room occupancy housing development would be consistent with various goals and policies of the General Plan including the following:

- LU Goal 1 Preserve and protect existing single-family and low/medium-density residential neighborhoods while promoting the development of additional high quality housing types in the City.
- Policy LU 1.1: Promote sound housing and attractive and safe residential neighborhoods
- Policy LU 1.5: Provide adequate residential amenities such as open space, recreation, off-street parking, and pedestrian features in multifamily residential developments
- Policy LU 1.9: Allow well designed and attractive residential mixed-use development to occur on existing underutilized commercial/industrial blocks designed as Mixed-Use Overlay.
- Policy DS 2.3: Encourage a variety of architectural styles, massing, floor plans, color schemes, building materials, façade treatments, elevation and wall articulations.
- Policy DS 2.10: Provide landscape treatments (trees, shrubs, groundcover, and grass areas) within multi-family development projects in order to create a "greener" environment for residents and those viewing from public areas.
- Policy DS 2.11: Incorporate quality residential amenities such as private and communal open spaces into multi-unit development projects in order to improve the quality of the project and to create more attractive and livable spaces for residents to enjoy.
- Policy DS 2.9: Integrate new residential developments with the surrounding built environment, in addition, encourage a strong relationship between the dwelling and the street.
- CI Goal 1 Promote a safe and efficient circulation system that benefits residents and businesses and integrates with the greater Los Angeles/South Bay transportation system.
- Policy CI 1.1: Prioritize long-term sustainability for the City of Gardena, in alignment with regional and state goals, by promoting infill development,

reduced reliance on single-occupancy vehicle trips, and improved multi-modal transportation networks, with the goal of reducing air pollution and greenhouse gas emissions, thereby improving the health and quality of life for residents.

- CI Goal 3 Develop Complete Streets to promote alternative modes of transportation that are safe and efficient for commuters, and available to persons of all income levels and disabilities.
- Policy CI 3.3: Maintain and expand sidewalk installation and repair programs, particularly in areas where sidewalks link residential neighborhoods to local schools, parks, and shopping areas.
- CN Goal 2 Conserve and protect groundwater supply and water resources.
- Policy CN 2.2: Comply with the water conservation measures set forth by the California Department of Water Resources.
- CN Goal 3 Reduce the amount of solid waste produced in Gardena.
- Policy CN 3.1: Comply with the requirements set forth in the City's Source Reduction and Recycling Element.
- CN Goal 4 Conserve energy resources through the use of technology and conservation methods.
- Policy CN 4.2: Require compliance with Title 24 regulations to conserve energy.
- PS Goal 2 Protect the community from dangers associated with geologic instability, seismic hazards and other natural hazards.
- Policy PS 2.3: Require compliance with seismic safety standards in the Unified Building Code.
- Policy PS 2.4: Require geotechnical studies for all new development projects located in an Alquist-Priolo Earthquake Fault Zone or areas subject to liquefaction.
- N Goal 3 Develop measures to control non-transportation noise impacts.
- Policy N 3.1: Require compliance with a quantitative noise ordinance based on the Model Noise Ordinance developed by the (now-defunct) State of California Office of Noise Control.
- Policy N 3.3: Require compliance with construction hours to minimize the impacts of construction noise on adjacent land.
- Housing Goal 2.0 Provide opportunity for increasing the supply of affordable housing within the City with special emphasis on housing for special needs groups.
- Policy 2.2: Provide incentives for new housing construction, to encourage the production of affordable units. Encourage provision of units of various sizes to

accommodate the diverse needs of the community, including seniors, students and young workers, and large households.

- Housing Goal 5.0 Promote equal opportunity for all residents to reside in the housing of their choice.
- Policy 5.2: Provide a range of housing options, locational choices, and price points to accommodate the diverse needs in Gardena and to allow for housing mobility.

The Project's design is high-quality, with a well-articulated building and pedestrian orientated environment that creates an attractive and safe residential neighborhood. The Project includes an abundant amount of open space including, open decks, outdoor courtyards, private balconies, a pool and spa, fitness room and multipurpose room. The building is stepped back four stories to two stories at the southwest corner, helping to reduce the building massing. The building mass and design act as a transition to the scale of the surrounding neighborhood.

The Project is an infill project in a high-quality transit area. While the Property is not located in the Mixed-Use Overlay zone, the Project is a well-designed and attractive residential development on an existing underutilized industrial property. The Property is zoned M-1, and SRO uses are allowed by conditional use permit. The building is setback ten feet from the property line and separated by a landscape buffer that includes varies plants and shrubs. In the common outdoor courtyard, there are multiple trees of various sizes, as well as raised planters that help create a greener environment for the residents.

The Project creates 121 SRO units each with a floor area of 350-sf. Each unit will have a dishwasher, front loading washing machine and private balcony or patio. The Project includes seven affordable units, at a very-low-income level, that will have the same high-quality design of the other SRO units. This Project helps satisfy the City's regional housing need allocation of 5,735 units including 1,485 very low units

Upon approval of the site plan review and issuance of the conditions of approval, the Project will not change the character of the community and will be consistent with the Gardena Municipal Code and General Plan.

B. The proposed development will not adversely affect the orderly and harmonious development of the area and the general welfare of the city.

As set forth above and in the staff report, which is incorporated by reference, the site plan meets all applicable development requirements of the Gardena Municipal Code, and as conditioned, will be compatible with, and not detrimental to, the surrounding land uses and general welfare of the City.

SECTION 3. CONDITIONAL USE PERMIT #5-21

Conditional Use Permit #5-21 for the construction of a SRO residential development in the Industrial (M-1) zone, is hereby approved based on the following findings and subject to the conditions attached hereto as Exhibit A.

A. That the use if one for which a conditional use permit is authorized;

As set forth under Section 18.36.030.P of the Gardena Municipal Code (GMC), SRO units are, allowed pursuant to a conditional use permit.

B. That such use is necessary or desirable for the development of the community and is compatible with the surrounding uses; is in harmony with the general plan; is not detrimental to the surrounding properties, existing uses or to uses specifically permitted in the zone in which the proposed use is to be located; and will not be detrimental to the public health, safety or welfare;

Under the recently adopted 2021-2029 housing element, the City of Gardena was allocated a regional housing need of 5,735 residential units for the eight-year period, including 1,485 very low-income units. The Project will assist the City in reaching this allocation and continue to provide different housing options. As shown in Section 2 of this Resolution, the Property is compatible with various goals and policies of the City's Land Use Plan, Community Design Plan, Circulation Plan, Conservation Plan, Public Safety Plan, Noise Plan, and Housing Element.

C. That the site for the intended use is adequate in size and shape to accommodate such use and all of the yards, setbacks, walls, fences, landscaping and other features required in order to adjust such use to those existing or permitted future uses on land in the neighborhood;

The Property has a dimension of 141 feet by 310 feet. As set forth above and in the staff report, which is incorporated by reference, the Project meets or exceeds all of the minimum development standards of the M-1 zone, including setbacks, walls, fencing, landscaping, and parking.

D. That the site for the proposed use relates to streets and highways properly designed and improved so as to carry the type and quantity of traffic generated or to be generated by the proposed use;

The Circulation Plan of the Gardena General Plan designates Western Avenue as an arterial roadway and West 132nd Street as a collector roadway. Arterial roadways are designed to connect traffic from smaller roadways to freeway interchanges and regional roadway corridors and are the principal urban thoroughfares of the City. Collector roadways are intended to provide general access to all types of land uses. The use of the Property for 121 units is not expected to generate more traffic than the existing uses, and therefore, the surrounding streets are properly designed to carry the quantity of traffic generated by the Project.

E. That the conditions stated in the decisions are deemed necessary to protect the public health, safety, and general welfare.

The conditions of approval for Conditional Use Permit #5-21 will ensure that the SRO development will be compatible with, and not detrimental to, the surrounding uses in the vicinity.

GMC Section 18.36.030P.11, requires that a management plan be approved by the Planning Commission for SRO developments. The Project's Management Plan, attached hereto as Exhibit C, addresses the management and operation of the facility, rental procedures, safety, and security of the residents and building maintenance. Staff finds that the Management Plan complies with the requirements as set forth GMC Section 18.36.030P.11.

SECTION 4. CONDITIONAL USE PERMIT #6-21

Conditional Use Permit #6-21 for the construction of two, six-tier automated parking structures, is hereby approved based on the following findings and subject to the conditions attached hereto as Exhibit A.

A. That the use if one for which a conditional use permit is authorized;

GMC Section 18.40.080.B.5 allows for parking flexibility through mechanical vehicles storages, pursuant to a conditional use permit.

B. That such use is necessary or desirable for the development of the community and is compatible with the surrounding uses; is in harmony with the general plan; is not detrimental to the surrounding properties, existing uses or to uses specifically permitted in the zone in which the proposed use is to be located; and will not be detrimental to the public health, safety or welfare;

The six-tier automated parking structures allows the Project to meet the minimum parking requirements in less space than a traditional surface parking lots or garages would require. Automated parking structures utilizes the land more efficiently as they do not need ramps for drivers to get in and out of spaces, making it more desirable for developments in the City. Additionally, the six-tier automated parking structures do not need to be as tall as a traditional six-story parking structure. As shown above, the development is consistent with various goals and policies of the General Plan which are in part made possible by being able to utilize this more efficient system. The automated parking structure will not be detrimental to the surrounding properties, existing uses or to uses specifically permitted in the M-1 zone.

C. That the site for the intended use is adequate in size and shape to accommodate such use and all of the yards, setbacks, walls, fences, landscaping and other features required in order to adjust such use to those existing or permitted future uses on land in the neighborhood;

The Property has a dimension of 141 feet by 310 feet. As shown above, the Project, including the automated parking structures, meets or exceeds all of the minimum

development standards of the M-1 zone, including setbacks, walls, fencing, landscaping, and parking.

D. That the site for the proposed use relates to streets and highways properly designed and improved so as to carry the type and quantity of traffic generated or to be generated by the proposed use;

The Circulation Plan of the Gardena General Plan designates Western Avenue as an arterial roadway and West 132nd Street as a collector roadway. The parking structures are accessory uses to that of the SRO residential development and do not add traffic above that of the SRO units themselves. The primary use of the 121 SRO units is not expected to generate more traffic than existing uses, and therefore, the surrounding streets are properly designed to carry the quantity of traffic generated by the Project.

E. That the conditions stated in the decisions are deemed necessary to protect the public health, safety, and general welfare.

The conditions of approval for Conditional Use Permit #6-21, will ensure that the automated parking will be compatible with, and not detrimental to, the surrounding uses in the vicinity.

SECTION 5. NO NET LOSS FINDINGS.

In accordance with Government Code section 65583, each city's housing element must include an inventory of land suitable and available for residential development to meet the locality's housing need for each of the designated income levels of the assigned regional housing need. Additionally, if the City allows development of a site with less units by income level than identified in the housing element for that site, the City must make written findings supported by substantial evidence as to whether there are remaining sites identified in the housing element to accommodate the City's share of regional housing needs, including a quantification of the remaining unmet need for each income level.

A. The Property is identified in the 2021-2029 Gardena housing element for a housing development that would include 15 lower income units, 4 moderate income units, and 11 above moderate-income units. The Project includes seven affordable units at the very-low-income level, while the remaining 114 units would be at above moderate income. The Project will meet the above moderate housing units that were identified for the site and provide seven out of the 15 identified lower income units. While the Project is providing more overall units than identified in the housing element, the Project does not provide the total lower and moderate-income units assumed.

B. The City was allocated a regional housing need of 5,735 units to plan for the 2021-2029 planning period, broken down as follows: very low/low-income – 2,246 units; moderate-income – 894 units; and above moderate-income – 2,595 units. However, the housing element plans for a total of 7,399 units, exceeding the City's allocation by 1,664 units or 29%. This buffer was necessary in order to address the no net loss requirement, of maintaining an adequate inventory of sites. While the Project is not providing the number of housing units of each identified income level as assumed in

the housing element, there are more than sufficient sites remaining that are identified in the housing element to accommodate the City's share of regional housing for the 2021-2029 planning period.

C. The City is in the beginning of the 2021-2029 housing period, and the first reported progress in reaching the regional housing need has not been completed at this time. However, the housing element does identify several residential development projects with completed entitlements and pending projects in the City, totaling 528 units, that can be completed within the timeframe of this Housing Element. The Project will also assist the City in reaching this allocation and continue to provide different housing options.

SECTION 6. CALIFORNIA ENVIROMENTAL QUALITY ACT FINDINGS.

The Project is exempt from the provisions of the California Environmental Quality Act (CEQA), pursuant to the following exemption:

A. Class 32 — Section 15332 – Infill Development Project. The Project is consistent with applicable general plan policies, and also consistent with applicable requirements of the City's zoning ordinance. The Project is within City limits, on a site less than five acres, and surrounded by urban uses. The Property has no value as a habitat for endangered, rare, or threatened species. The Property is able to be served by all required utilities and public services. The City's environmental consultant, Kimley-Horn, prepared technical studies (Exhibit D) that showed the Project would have less than significant impacts concerning traffic, noise, and air. Additionally, compliance with the National Pollution Discharge Elimination System and requirements of the Gardena Municipal Code would ensure the Project's construction-related activities would not violate any water quality standards or otherwise substantially degrade surface or groundwater quality, resulting in a less than significant impact. Therefore, the City does not foresee any adverse impacts to traffic, noise, air quality, or water quality.

B. The Project is not subject to any of the exceptions for exemption under Section 15300.2 of the CEQA Guidelines. The location of the Project is predominantly urban and not considered a sensitive environment; therefore, the Project will not result in any significant impacts that may otherwise occur in a sensitive environmental area. The cumulative impact of this Project, and the approval of other projects like it in the vicinity, is not expected to have any significant environmental impact. The Project is not located along any state designated scenic highway nor within any designated hazardous waste site. Kimley-Horn also prepared a Cultural Resources Assessment (Exhibit D) that found that neither of the two existing buildings on the Property appear to have historical significance. Staff does not expect any significant impacts or unusual circumstances related to the approval and construction of this Project

C. Staff is hereby directed to file a Notice of Exemption for a Class 32 categorical exemption.

SECTION 7. APPEAL.

The approvals granted by this Resolution may be appealed within 10 calendar days from adoption of this resolution. All appeals must be in writing and filed with the City Clerk within this time period with the appropriate fee. Failure to file a timely written appeal will constitute a waiver of any right of appeal. The City Council may also call this matter for review within the same time period.

SECTION 8. RECORD.

Each and every one of the findings and determinations in this Resolution are based on the competent and substantial evidence, both oral and written, contained in the entire record relating to the Project. All summaries of information in the findings which precede this section are based on the entire record. The absence of any particular fact from any such summary is not an indication that a particular finding is not based in part on that fact.

SECTION 9. CUSTODIAN OF RECORD.

The Custodian of Record for the proceedings relating to the Project is Greg Tsujiuchi, Community Development Director, City of Gardena, 1700 West 162nd Street, Gardena, California 90247. Mr. Tsujiuchi's email is gtsujiuchi@cityofgardena.org and his phone number is (310) 217-9530.

SECTION 10. EFFECTIVE DATE.

This Resolution shall take effect immediately.

SECTION 11. CERTIFICATION.

The Secretary shall certify the passage of this resolution.

PASSED, APPROVED, AND ADOPTED this 15th day of February 2022.

_____
LANGLEY STEPHEN, CHAIR
PLANNING AND ENVIRONMENTAL
QUALITY COMMISSION

ATTEST:

_____
GREG TSUJIUCHI, SECRETARY
PLANNING AND ENVIRONMENTAL QUALITY COMMISSION
STATE OF CALIFORNIA
COUNTY OF LOS ANGELES
CITY OF GARDENA

I, Greg Tsujiuchi, Planning and Environmental Quality Commission Secretary of the City of Gardena, do hereby certify the following:

1. That a copy of this Resolution and the Conditions of Approval (Exhibit A) will be sent to the applicant and to the City Council as a report of the findings and action of the Planning and Environmental Quality Commission; and

2. That the foregoing Resolution was duly adopted by the Planning and Environmental Quality Commission of the City of Gardena at a regular meeting thereof, held the 15th day of February 2022, by the following vote of the Planning and Environmental Quality Commission:

AYES:
NOES:
ABSENT:

Attachments:

- Exhibit A – Draft Conditions of Approval
- Exhibit B – Architectural Plans
- Exhibit C – Property Management Plan
- Exhibit D – CEQA Class 32 Categorical Exemption Technical Studies

Kimley»Horn

TECHNICAL MEMORANDUM

To: Amanda Acuna, Senior Planner, Lisa Kranitz, Assistant City Attorney, City of Gardena

From: Rita Garcia, Project Manager, and Ryan Chiene, Technical Manager

Date: November 30, 2021

Subject: Western SRO Apartments Project, City of Gardena – Air Quality Analysis

1.0 INTRODUCTION & PURPOSE

The purpose of this Technical Memorandum is to identify the air quality emissions associated with construction and operations of the proposed Western SRO Apartments project (project), located at 13126 Western Avenue, in the City of Gardena, California (City). This Technical Memorandum has been prepared to support an exemption from the California Environmental Quality Act (CEQA) in accordance with State CEQA Guidelines Section 15332 (In-Fill Development Projects). Specifically, this analysis addresses the project's potential effects relating to air quality referenced in State CEQA Guidelines Section 15332(d).

2.0 PROJECT DESCRIPTION

Project Location

The proposed project site is located northeast of the West 132nd Street at Western Avenue intersection, at 13126 South Western Avenue in the northern portion of the City of Gardena, County of Los Angeles, California. The assessor's parcel number (APN) for the project site is APN 6102-006-013. The site is bordered by light-industrial uses; there are single-family residences to the west on Manhattan Place.

Regional access to the project site is provided via Interstate 105 (I-105) from the north and Interstate 110 (I-110) from the east. Local access to the site is provided via Western Avenue and 132nd Street. The project site and surrounding area are characterized as built out and urbanized, with mainly industrial and residential land uses.

Project Characteristics

The project site is designated as Industrial and zoned General Industrial (M-1). The project site is currently developed with a convenience store (2,755 square feet) and autobody shop (9,981 square feet) with surface parking. The project proposes to demolish all on-site improvements and, in their place, construct a four-story, 121 unit single-room occupancy (SRO) residential development including 7 very low-income residential units. All units, including the very low-income units, would be 350 square feet. The project's total proposed floor area is 54,461 square feet with a proposed building height maximum of 50 feet. Further, the project proposes to provide 20,115 square feet of open space, exceeding the City's open space requirement of 10 square feet per unit.

The project would provide 122 parking spaces, of which 114 spaces would be provided in a freestanding six-level automated parking structure, and 8 covered parking spaces (6 standard and 2 compact) would be provided to the south of the parking structure on the ground level. Additionally, 40 bicycle parking spaces in a stacked rack system would be provided.

3.0 AIR QUALITY IMPACTS

SCAQMD Thresholds

The SCAQMD CEQA Air Quality Handbook provides significance thresholds for volatile organic compounds (VOC) (also referred to as reactive organic gases [ROG]), nitrogen oxides (NO_X), carbon monoxide (CO), sulfur oxides (SO_X), particulate matter 10 microns or less in diameter (PM_{10}), and particulate matter 2.5 microns or less in diameter ($PM_{2.5}$). The thresholds apply to both project construction and operation within the SCAQMD jurisdictional boundaries. If a project proposes development in excess of the SCAQMD established thresholds, as outlined in **Table 1: South Coast Air Quality Management District Significance Thresholds**, a significant air quality impact may occur, and additional analysis is warranted to fully assess the significance of impacts. However, ultimately the lead agency determines the thresholds of significance for impacts.

Table 1: South Coast Air Quality Management District Significance Thresholds		
	Mass Daily Thresholds (pounds per day)	
Pollutant	**Construction**	**Operations**
Nitrogen Oxides (NO_X)	100	55
Volatile Organic Compounds (VOC)[1]	75	55
Particulate Matter up to 10 Microns (PM_{10})	150	150
Particulate Matter up to 2.5 Microns ($PM_{2.5}$)	55	55
Sulphur Oxides (SO_X)	150	150
Carbon Monoxide (CO)	550	550
1. VOCs and ROGs are subsets of organic gases that are emitted from the incomplete combustion of hydrocarbons or other carbon-based fuels. Although they represent slightly different subsets of organic gases, they are used interchangeably for the purposes of this analysis.		
Source: South Coast Air Quality Management District, *South Coast AQMD Air Quality Significance Thresholds*, April 2019.		

Construction Emissions

Construction associated with the proposed project would generate short-term emissions of criteria air pollutants. The criteria pollutants of primary concern are ozone-precursor pollutants (i.e., ROG and NO_X), PM_{10}, and $PM_{2.5}$. Construction-generated emissions are short term and of temporary duration, lasting only as long as construction activities occur. Emissions would be considered a significant air quality impact if the volume of pollutants generated exceeds the SCAQMD's thresholds of significance.

Construction results in the temporary generation of emissions resulting from demolition, site preparation, site grading, road paving, motor vehicle exhaust associated with construction equipment and worker trips, and the movement of construction equipment, especially on unpaved surfaces. Emissions of airborne particulate matter are largely dependent on the amount of ground disturbance associated with site preparation activities as well as weather conditions and the appropriate application of water.

The duration of construction activities is estimated to be approximately 16 months, beginning in June 2022. Construction-generated emissions associated with the project were calculated using the California Air Resources Board (CARB)-approved California Emissions Estimator Model version 2020.4.0 (CalEEMod), which is designed to model emissions for land use development projects, based on typical construction requirements. See **Appendix A: Air Quality Emissions Data** for more information regarding the construction assumptions used in this analysis. Predicted maximum daily construction-generated emissions for the proposed project are identified in **Table 2: Project Construction Emissions**.

Table 2: Project Construction Emissions						
	Emissions (pounds per day)[1]					
Description	**ROG**	**NO_X**	**CO**	**SO_2**	**PM_{10}**	**$PM_{2.5}$**
Maximum Daily Emissions[2]	12.22	12.39	10.53	0.02	2.91	1.61
SCAQMD Threshold	75	100	550	150	150	55
SCAQMD Threshold Exceeded?	**No**	**No**	**No**	**No**	**No**	**No**

1. SCAQMD Rule 403 Fugitive Dust applied. The Rule 403 reduction/credits include the following: properly maintain mobile and other construction equipment; replace ground cover in disturbed areas quickly; water exposed surfaces three times daily; water all haul roads twice daily; and limit speeds on unpaved roads to 15 miles per hour. Reductions percentages from the SCAQMD CEQA Handbook (Tables XI-A through XI-E) were applied. No mitigation was applied to construction equipment. Refer to **Appendix A** for Model Data Outputs.
2. To be conservative, the emissions provided here show the maximum daily emissions even though such emissions would not occur throughout the entirety of the construction phase.

Source: CalEEMod version 2020.4.0. Refer to **Appendix A** for model outputs.

Table 2 shows that construction pollutant emissions would remain below their respective thresholds with implementation of required SCAQMD Rule 403. The project would also be required to comply with SCAQMD Rules 402 and 1113, which prohibit nuisances and limit VOC content in paints, respectively. Compliance with SCAQMD Rules 402 and 1113 would further reduce specific construction-related emissions. As shown above, all criteria pollutant emissions would be below their respective thresholds and impacts would be less than significant.

Operational Emissions

Operational emissions are typically associated with mobile sources (i.e., motor vehicle use) and area sources (such as the use of landscape maintenance equipment, consumer products, and architectural coatings). Energy source emissions would be generated from electricity and natural gas usage. **Table 3: Operational Emissions** summarizes the operational emissions attributable to the proposed project. As shown in **Table 3**, the project's emissions would not exceed SCAQMD thresholds. Therefore, regional operations emissions would result in a less than significant long-term regional air quality impact. It is noted these emissions estimates are conservative, since no credit was taken for the existing land uses (i.e., convenience store and autobody shop) that would be displaced.

Table 3: Operational Emissions						
	Emissions (pounds per day)[1]					
Source	**ROG**	**NO_X**	**CO**	**SO_2**	**PM_{10}**	**$PM_{2.5}$**
Area	6.38	2.42	40.42	0.11	5.04	5.04
Energy	0.04	0.34	0.15	0.00	0.03	0.03
Mobile	2.01	2.30	20.73	0.04	4.77	1.29
Total	8.43	5.06	61.29	0.16	9.84	6.36
SCAQMD Threshold	55	55	550	150	150	55
SCAQMD Threshold Exceeded?	**No**	**No**	**No**	**No**	**No**	**No**
1. Emissions were calculated using the California Emissions Estimator Model version 2020.4.0 (CalEEMod), as recommended by the SCAQMD. Worst-case seasonal maximum daily emissions are reported.						
Source: CalEEMod version 2020.4.0. Refer to **Appendix A** for model outputs.						

Localized Construction Impacts

The nearest sensitive receptors to the project site are single-family residences located approximately 430 feet to the west of the site. To identify impacts to sensitive receptors, the SCAQMD recommends addressing Localized Significance Thresholds (LSTs) for construction. LSTs were developed in response to SCAQMD Governing Boards' Environmental Justice Enhancement Initiative (I-4). The SCAQMD provided the *Final Localized Significance Threshold Methodology* (dated June 2003 [revised 2008]) for guidance. The LST methodology assists lead agencies in analyzing localized impacts associated with project-specific developments.

Since CalEEMod calculates construction emissions based on the number of equipment hours and the maximum daily soil disturbance activity possible for each piece of equipment, **Table 4: Equipment-Specific Grading Rates** is used to determine the maximum daily disturbed acreage for comparison to LSTs. For this project, the appropriate source receptor area (SRA) for the localized significance thresholds is the Southwest Coastal LA County (SRA 3) area because since this SRA includes the project site. LSTs apply to NO_X, CO, PM_{10}, and $PM_{2.5}$. The SCAQMD has look-up tables for projects that disturb areas less than or equal to five acres in size. Based on the daily equipment modeled in CalEEMod, project construction is anticipated to disturb approximately 1.5 acres in a single day. As the LST guidance provides thresholds for projects disturbing 1-, 2-, and 5-acres in size and the thresholds increase with size of the site, the LSTs for a 1.5-acre threshold were interpolated and used for this analysis.

Table 4: Equipment-Specific Grading Rates					
Construction Phase	**Equipment Type**	**Equipment Quantity**	**Acres Graded per 8-Hour Day**	**Operating Hours per Day**	**Acres Graded per Day**
Grading	Tractor	1	0.5	8	0.5
	Graders	1	0.5	8	0.5
	Dozers	1	0.5	8	0.5
	Scrapers	0	1	8	0
				Total Acres Graded per Day	**1.5**
Source: CalEEMod version 2020.4.0.					

The SCAQMD's methodology indicates that "off-site mobile emissions from the project should not be included in the emissions compared to LSTs." Therefore, for purposes of the construction LST analysis, only emissions included in the CalEEMod "on-site" emissions outputs were considered. The nearest sensitive receptors to the project site are residences located approximately 430 feet (131 meters) to the west of the site. LST thresholds are provided for distances to sensitive receptors of 25, 50, 100, 200, and 500 meters. Therefore, LSTs for 100 meters were conservatively used in this analysis**. Table 5: Localized Significance of Construction Emissions**, presents the results of localized emissions during construction activity. **Table 5** shows that the emissions of these pollutants on the peak day of construction would not result in significant concentrations of pollutants at nearby sensitive receptors. Therefore, no significant impacts would occur concerning LSTs during construction activities.

Table 5: Localized Significance of Construction Emissions				
Source/Activity	**Emissions (pounds per day)[1,2]**			
	NO_X	**CO**	**PM_{10}**	**$PM_{2.5}$**
Demolition (2022)	6.41	7.47	0.59	0.36
Site Preparation (2022)	6.93	3.96	0.48	0.26
Grading (2022)	12.00	5.94	2.79	1.57
Building Construction (2022)	7.03	7.15	0.37	0.34
Building Construction (2023)	6.42	7.10	0.32	0.29
Paving (2023)	5.50	7.02	0.26	0.25
Architectural Coating (2023)	1.30	1.81	0.07	0.07
Maximum Daily Emissions	*12.39*	*10.53*	*2.91*	*1.61*
SCAQMD LST (for 1.5 acre at 100 meters)	123	1,377	33	11
Maximum Daily Emissions Exceed SCAQMD Threshold?	**No**	**No**	**No**	**No**
1. CalEEMod version 2020.4.0. Worst-case seasonal maximum daily emissions are reported.				

Table 5: Localized Significance of Construction Emissions				
Source/Activity	**Emissions (pounds per day)[1,2]**			
	NO_X	**CO**	**PM_{10}**	**$PM_{2.5}$**
2. SCAQMD Rule 403 Fugitive Dust applied for construction emissions. The Rule 403 reduction/credits include the following: properly maintain mobile and other construction equipment; replace ground cover in disturbed areas quickly; water exposed surfaces three times daily; water all haul roads twice daily; and limit speeds on unpaved roads to 15 miles per hour. Reductions percentages from the SCAQMD CEQA Handbook (Tables XI-A through XI-E) were applied. No mitigation was applied to construction equipment. Refer to **Appendix A** for Model Data Outputs.				

Localized Operational Impacts

According to the SCAQMD localized significance threshold methodology, operational LSTs apply to on-site sources. LSTs for receptors located at 100 meters for SRA 3 were conservatively used in this analysis. The 1-acre LST threshold was used for the 1-acre project site. The on-site operational emissions were calculated using CalEEMod and are compared to the LST thresholds in **Table 6: Localized Significance of Operational Emissions**. The operational emissions shown in **Table 6** include all on-site project-related stationary sources (i.e., area and energy sources). The table shows that the project would not generate localized emissions during project operations. Therefore, the project would result in a less than significant impact concerning LSTs during operational activities.

Table 6: Localized Significance of Operational Emissions				
Activity	**Emissions (pounds per day)[1]**			
	NO_X	**CO**	**PM_{10}**	**$PM_{2.5}$**
On-Site Emissions (Area and Energy Sources)	2.28	10.91	0.23	0.23
SCAQMD Localized Screening Threshold (adjusted for 1 acre at 100 meters)	*107*	*1,156*	*7*	*3*
Exceed SCAQMD Threshold?	**No**	**No**	**No**	**No**
1. Emissions were calculated using the California Emissions Estimator Model version 2020.4.0 (CalEEMod), as recommended by the SCAQMD. Worst-case seasonal maximum daily emissions are reported.				
Source: CalEEMod version 2020.4.0. Refer to **Appendix A** for model outputs.				

Carbon Monoxide Hotspots

An analysis of CO "hot spots" is needed to determine whether a change in the level of service (LOS) of an intersection caused by the proposed project would have the potential to result in exceedances of the California Ambient Air Quality Standards or National Ambient Air Quality Standards. It has long been recognized that CO exceedances are caused by vehicular

emissions, primarily when vehicles are idling at intersections. Vehicle emissions standards have become increasingly stringent in the last 20 years. Currently, the CO standard in California is a maximum of 3.4 grams per mile for passenger cars (requirements for certain vehicles are more stringent). With the turnover of older vehicles, introduction of cleaner fuels, and implementation of control technology on industrial facilities, CO concentrations have steadily declined.

Accordingly, with the steadily decreasing CO emissions from vehicles, even very busy intersections do not result in exceedances of the CO standard. CO attainment was thoroughly analyzed as part of the SCAQMD's *2003 Air Quality Management Plan*. The *2003 Air Quality Management Plan* is the most recent AQMP that addresses CO concentrations. As part of the SCAQMD CO Hotspot analysis, the Wilshire Boulevard/Veteran Avenue intersection, one of the most congested intersections in Southern California with an average daily traffic (ADT) volume of approximately 100,000 vehicles per day, was modeled for CO concentrations. This modeling effort identified a CO concentration high of 4.6 parts per million (ppm), which is well below the 35-ppm federal standard. The South Coast Air Basin was re-designated as attainment in 2007 and is no longer addressed in the SCAQMD's AQMP.

The proposed project considered herein would not produce the volume of traffic required to generate a CO hot spot in the context of SCAQMD's 2003 CO hot-spot analysis. As the CO hotspots were not experienced at the Wilshire Boulevard/Veteran Avenue intersection even as it accommodates 100,000 vehicles daily, it can be reasonably inferred that CO hotspots would not be experienced at any vicinity intersections from 658 daily vehicle trips attributable to the project. Therefore, impacts would be less than significant.

4.0 CONCLUSION

As is evidenced by the discussions presented above, the project's short-term construction and long-term operational air quality impacts would be less than significant. No mitigation measure is required. Therefore, pursuant to State CEQA Guidelines Section 15332(d), the project would not result in any significant effects relating to air quality.

Appendix A

Air Quality Emissions Data

Western Ave SRO Apartments Project - Los Angeles-South Coast County, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Western Ave SRO Apartments Project

Los Angeles-South Coast County, Summer

1.0 Project Characteristics

1.1 Land Usage

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
Apartments Mid Rise	121.00	Dwelling Unit	1.00	121,000.00	346

1.2 Other Project Characteristics

Urbanization	Urban	**Wind Speed (m/s)**	2.2	**Precipitation Freq (Days)**	33
Climate Zone	8			**Operational Year**	2023
Utility Company	Southern California Edison				
CO2 Intensity (lb/MWhr)	390.98	**CH4 Intensity (lb/MWhr)**	0.033	**N2O Intensity (lb/MWhr)**	0.004

1.3 User Entered Comments & Non-Default Data

Project Characteristics -

Land Use - Acreage based on Site Plan

Construction Phase - Schedule based on AQGHG Construction Questionnaire

Demolition -

Grading -

Vehicle Trips - Trip Rate based on Trip Generation Memo

Woodstoves - No wood burning per SCAQMD rules and regulations

Construction Off-road Equipment Mitigation - SCAQMD rule compliance

Water Mitigation -

Waste Mitigation - per AB 939

Area Mitigation -

Western Ave SRO Apartments Project - Los Angeles-South Coast County, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Table Name	Column Name	Default Value	New Value
tblConstDustMitigation	CleanPavedRoadPercentReduction	0	6
tblConstDustMitigation	WaterUnpavedRoadMoistureContent	0	12
tblConstDustMitigation	WaterUnpavedRoadVehicleSpeed	0	15
tblConstructionPhase	NumDays	5.00	67.00
tblConstructionPhase	NumDays	100.00	171.00
tblConstructionPhase	NumDays	10.00	20.00
tblConstructionPhase	NumDays	2.00	60.00
tblConstructionPhase	NumDays	5.00	22.00
tblConstructionPhase	NumDays	1.00	10.00
tblFireplaces	NumberGas	102.85	109.85
tblFireplaces	NumberWood	6.05	0.00
tblGrading	MaterialExported	0.00	1,000.00
tblLandUse	LotAcreage	3.18	1.00
tblVehicleTrips	ST_TR	4.91	5.44
tblVehicleTrips	SU_TR	4.09	5.44

2.0 Emissions Summary

2.1 Overall Construction (Maximum Daily Emission)

Unmitigated Construction

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	lb/day										lb/day					
2022	1.1206	12.3747	10.8000	0.0229	5.4397	0.5205	5.9602	2.6026	0.4789	3.0815	0.0000	2,282.4499	2,282.4499	0.4512	0.0612	2,310.4533
2023	12.2153	7.1119	10.4430	0.0224	1.0557	0.3375	1.3844	0.2819	0.3196	0.5843	0.0000	2,245.9492	2,245.9492	0.3879	0.0575	2,272.7858
Maximum	**12.2153**	**12.3747**	**10.8000**	**0.0229**	**5.4397**	**0.5205**	**5.9602**	**2.6026**	**0.4789**	**3.0815**	**0.0000**	**2,282.4499**	**2,282.4499**	**0.4512**	**0.0612**	**2,310.4533**

Western Ave SRO Apartments Project - Los Angeles-South Coast County, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Mitigated Construction

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	lb/day										lb/day					
2022	1.1206	12.3747	10.8000	0.0229	2.3912	0.5205	2.9117	1.1303	0.4789	1.6093	0.0000	2,282.4499	2,282.4499	0.4512	0.0612	2,310.4533
2023	12.2153	7.1119	10.4430	0.0224	1.0014	0.3375	1.3301	0.2686	0.3196	0.5710	0.0000	2,245.9492	2,245.9492	0.3879	0.0575	2,272.7858
Maximum	**12.2153**	**12.3747**	**10.8000**	**0.0229**	**2.3912**	**0.5205**	**2.9117**	**1.1303**	**0.4789**	**1.6093**	**0.0000**	**2,282.4499**	**2,282.4499**	**0.4512**	**0.0612**	**2,310.4533**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N20	CO2e
Percent Reduction	**0.00**	**0.00**	**0.00**	**0.00**	**47.77**	**0.00**	**42.25**	**51.50**	**0.00**	**40.52**	**0.00**	**0.00**	**0.00**	**0.00**	**0.00**	**0.00**

2.2 Overall Operational

Unmitigated Operational

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	6.3830	2.4211	40.4176	0.1089		5.0407	5.0407		5.0407	5.0407	714.0983	2,344.2101	3,058.3084	3.4001	0.0427	3,156.0208
Energy	0.0399	0.3406	0.1450	2.1700e-003		0.0275	0.0275		0.0275	0.0275		434.8442	434.8442	8.3300e-003	7.9700e-003	437.4282
Mobile	2.0453	2.1280	21.2541	0.0465	4.7351	0.0332	4.7684	1.2612	0.0308	1.2921		4,792.3978	4,792.3978	0.3078	0.1909	4,856.9720
Total	**8.4682**	**4.8897**	**61.8167**	**0.1576**	**4.7351**	**5.1014**	**9.8366**	**1.2612**	**5.0990**	**6.3603**	**714.0983**	**7,571.4521**	**8,285.5503**	**3.7163**	**0.2415**	**8,450.4210**

Western Ave SRO Apartments Project - Los Angeles-South Coast County, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Mitigated Operational

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	3.1173	1.9373	10.7603	0.0122		0.2026	0.2026		0.2026	0.2026	0.0000	2,344.2101	2,344.2101	0.0619	0.0427	2,358.4659
Energy	0.0399	0.3406	0.1450	2.1700e-003		0.0275	0.0275		0.0275	0.0275		434.8442	434.8442	8.3300e-003	7.9700e-003	437.4282
Mobile	2.0453	2.1280	21.2541	0.0465	4.7351	0.0332	4.7684	1.2612	0.0308	1.2921		4,792.3978	4,792.3978	0.3078	0.1909	4,856.9720
Total	**5.2025**	**4.4059**	**32.1593**	**0.0609**	**4.7351**	**0.2633**	**4.9985**	**1.2612**	**0.2610**	**1.5222**	**0.0000**	**7,571.4521**	**7,571.4521**	**0.3780**	**0.2415**	**7,652.8661**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N20	CO2e
Percent Reduction	**38.56**	**9.89**	**47.98**	**61.39**	**0.00**	**94.84**	**49.18**	**0.00**	**94.88**	**76.07**	**100.00**	**0.00**	**8.62**	**89.83**	**0.00**	**9.44**

3.0 Construction Detail

Construction Phase

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Demolition	Demolition	6/1/2022	6/28/2022	5	20	
2	Site Preparation	Site Preparation	6/29/2022	7/12/2022	5	10	
3	Grading	Grading	7/13/2022	10/4/2022	5	60	
4	Building Construction	Building Construction	10/5/2022	5/31/2023	5	171	
5	Paving	Paving	6/1/2023	7/1/2023	5	22	
6	Architectural Coating	Architectural Coating	6/1/2023	9/1/2023	5	67	

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Western Ave SRO Apartments Project - Los Angeles-South Coast County, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Acres of Grading (Site Preparation Phase): 5

Acres of Grading (Grading Phase): 45

Acres of Paving: 0

Residential Indoor: 245,025; Residential Outdoor: 81,675; Non-Residential Indoor: 0; Non-Residential Outdoor: 0; Striped Parking Area: 0 (Architectural

OffRoad Equipment

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Demolition	Concrete/Industrial Saws	1	8.00	81	0.73
Demolition	Rubber Tired Dozers	1	1.00	247	0.40
Demolition	Tractors/Loaders/Backhoes	2	6.00	97	0.37
Site Preparation	Graders	1	8.00	187	0.41
Site Preparation	Tractors/Loaders/Backhoes	1	8.00	97	0.37
Grading	Graders	1	6.00	187	0.41
Grading	Rubber Tired Dozers	1	6.00	247	0.40
Grading	Tractors/Loaders/Backhoes	1	7.00	97	0.37
Building Construction	Cranes	1	4.00	231	0.29
Building Construction	Forklifts	2	6.00	89	0.20
Building Construction	Tractors/Loaders/Backhoes	2	8.00	97	0.37
Paving	Cement and Mortar Mixers	4	6.00	9	0.56
Paving	Pavers	1	7.00	130	0.42
Paving	Rollers	1	7.00	80	0.38
Paving	Tractors/Loaders/Backhoes	1	7.00	97	0.37
Architectural Coating	Air Compressors	1	6.00	78	0.48

Trips and VMT

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Demolition	4	10.00	0.00	55.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Site Preparation	2	5.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Grading	3	8.00	0.00	125.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Building Construction	5	87.00	13.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Paving	7	18.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Architectural Coating	1	17.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT

Western Ave SRO Apartments Project - Los Angeles-South Coast County, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.1 Mitigation Measures Construction

Replace Ground Cover

Water Exposed Area

Water Unpaved Roads

Reduce Vehicle Speed on Unpaved Roads

Clean Paved Roads

3.2 Demolition - 2022

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					0.5906	0.0000	0.5906	0.0894	0.0000	0.0894			0.0000			0.0000
Off-Road	0.7094	6.4138	7.4693	0.0120		0.3375	0.3375		0.3225	0.3225		1,147.9025	1,147.9025	0.2119		1,153.2001
Total	**0.7094**	**6.4138**	**7.4693**	**0.0120**	**0.5906**	**0.3375**	**0.9281**	**0.0894**	**0.3225**	**0.4120**		**1,147.9025**	**1,147.9025**	**0.2119**		**1,153.2001**

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0128	0.4619	0.1077	1.7100e-003	0.0481	3.4300e-003	0.0516	0.0132	3.2800e-003	0.0165		187.2133	187.2133	9.9400e-003	0.0297	196.3136
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0346	0.0253	0.3941	1.0200e-003	0.1118	7.2000e-004	0.1125	0.0296	6.6000e-004	0.0303		104.0127	104.0127	2.8200e-003	2.5000e-003	104.8288
Total	**0.0474**	**0.4871**	**0.5018**	**2.7300e-003**	**0.1599**	**4.1500e-003**	**0.1641**	**0.0428**	**3.9400e-003**	**0.0468**		**291.2260**	**291.2260**	**0.0128**	**0.0322**	**301.1424**

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Western Ave SRO Apartments Project - Los Angeles-South Coast County, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					0.2525	0.0000	0.2525	0.0382	0.0000	0.0382			0.0000			0.0000
Off-Road	0.7094	6.4138	7.4693	0.0120		0.3375	0.3375		0.3225	0.3225	0.0000	1,147.9025	1,147.9025	0.2119		1,153.2001
Total	**0.7094**	**6.4138**	**7.4693**	**0.0120**	**0.2525**	**0.3375**	**0.5900**	**0.0382**	**0.3225**	**0.3608**	**0.0000**	**1,147.9025**	**1,147.9025**	**0.2119**		**1,153.2001**

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0128	0.4619	0.1077	1.7100e-003	0.0460	3.4300e-003	0.0494	0.0127	3.2800e-003	0.0159		187.2133	187.2133	9.9400e-003	0.0297	196.3136
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0346	0.0253	0.3941	1.0200e-003	0.1060	7.2000e-004	0.1067	0.0282	6.6000e-004	0.0289		104.0127	104.0127	2.8200e-003	2.5000e-003	104.8288
Total	**0.0474**	**0.4871**	**0.5018**	**2.7300e-003**	**0.1519**	**4.1500e-003**	**0.1560**	**0.0409**	**3.9400e-003**	**0.0448**		**291.2260**	**291.2260**	**0.0128**	**0.0322**	**301.1424**

Western Ave SRO Apartments Project - Los Angeles-South Coast County, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.3 Site Preparation - 2022

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					0.5303	0.0000	0.5303	0.0573	0.0000	0.0573			0.0000			0.0000
Off-Road	0.5797	6.9332	3.9597	9.7300e-003		0.2573	0.2573		0.2367	0.2367		942.5179	942.5179	0.3048		950.1386
Total	**0.5797**	**6.9332**	**3.9597**	**9.7300e-003**	**0.5303**	**0.2573**	**0.7876**	**0.0573**	**0.2367**	**0.2940**		**942.5179**	**942.5179**	**0.3048**		**950.1386**

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0173	0.0126	0.1971	5.1000e-004	0.0559	3.6000e-004	0.0563	0.0148	3.3000e-004	0.0152		52.0064	52.0064	1.4100e-003	1.2500e-003	52.4144
Total	**0.0173**	**0.0126**	**0.1971**	**5.1000e-004**	**0.0559**	**3.6000e-004**	**0.0563**	**0.0148**	**3.3000e-004**	**0.0152**		**52.0064**	**52.0064**	**1.4100e-003**	**1.2500e-003**	**52.4144**

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Western Ave SRO Apartments Project - Los Angeles-South Coast County, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					0.2267	0.0000	0.2267	0.0245	0.0000	0.0245			0.0000			0.0000
Off-Road	0.5797	6.9332	3.9597	9.7300e-003		0.2573	0.2573		0.2367	0.2367	0.0000	942.5179	942.5179	0.3048		950.1386
Total	**0.5797**	**6.9332**	**3.9597**	**9.7300e-003**	**0.2267**	**0.2573**	**0.4840**	**0.0245**	**0.2367**	**0.2612**	**0.0000**	**942.5179**	**942.5179**	**0.3048**		**950.1386**

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0173	0.0126	0.1971	5.1000e-004	0.0530	3.6000e-004	0.0533	0.0141	3.3000e-004	0.0144		52.0064	52.0064	1.4100e-003	1.2500e-003	52.4144
Total	**0.0173**	**0.0126**	**0.1971**	**5.1000e-004**	**0.0530**	**3.6000e-004**	**0.0533**	**0.0141**	**3.3000e-004**	**0.0144**		**52.0064**	**52.0064**	**1.4100e-003**	**1.2500e-003**	**52.4144**

Western Ave SRO Apartments Project - Los Angeles-South Coast County, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.4 Grading - 2022

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					5.3138	0.0000	5.3138	2.5688	0.0000	2.5688			0.0000			0.0000
Off-Road	1.0832	12.0046	5.9360	0.0141		0.5173	0.5173		0.4759	0.4759		1,364.8198	1,364.8198	0.4414		1,375.8551
Total	**1.0832**	**12.0046**	**5.9360**	**0.0141**	**5.3138**	**0.5173**	**5.8311**	**2.5688**	**0.4759**	**3.0447**		**1,364.8198**	**1,364.8198**	**0.4414**		**1,375.8551**

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	9.7100e-003	0.3499	0.0816	1.2900e-003	0.0365	2.6000e-003	0.0391	0.0100	2.4900e-003	0.0125		141.8283	141.8283	7.5300e-003	0.0225	148.7224
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0277	0.0202	0.3153	8.2000e-004	0.0894	5.7000e-004	0.0900	0.0237	5.3000e-004	0.0242		83.2102	83.2102	2.2500e-003	2.0000e-003	83.8630
Total	**0.0374**	**0.3701**	**0.3969**	**2.1100e-003**	**0.1259**	**3.1700e-003**	**0.1291**	**0.0337**	**3.0200e-003**	**0.0367**		**225.0384**	**225.0384**	**9.7800e-003**	**0.0245**	**232.5855**

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Western Ave SRO Apartments Project - Los Angeles-South Coast County, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					2.2717	0.0000	2.2717	1.0982	0.0000	1.0982			0.0000			0.0000
Off-Road	1.0832	12.0046	5.9360	0.0141		0.5173	0.5173		0.4759	0.4759	0.0000	1,364.8198	1,364.8198	0.4414		1,375.8551
Total	**1.0832**	**12.0046**	**5.9360**	**0.0141**	**2.2717**	**0.5173**	**2.7889**	**1.0982**	**0.4759**	**1.5741**	**0.0000**	**1,364.8198**	**1,364.8198**	**0.4414**		**1,375.8551**

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	9.7100e-003	0.3499	0.0816	1.2900e-003	0.0348	2.6000e-003	0.0374	9.5900e-003	2.4900e-003	0.0121		141.8283	141.8283	7.5300e-003	0.0225	148.7224
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0277	0.0202	0.3153	8.2000e-004	0.0848	5.7000e-004	0.0853	0.0226	5.3000e-004	0.0231		83.2102	83.2102	2.2500e-003	2.0000e-003	83.8630
Total	**0.0374**	**0.3701**	**0.3969**	**2.1100e-003**	**0.1196**	**3.1700e-003**	**0.1227**	**0.0322**	**3.0200e-003**	**0.0352**		**225.0384**	**225.0384**	**9.7800e-003**	**0.0245**	**232.5855**

Western Ave SRO Apartments Project - Los Angeles-South Coast County, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.5 Building Construction - 2022

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.6863	7.0258	7.1527	0.0114		0.3719	0.3719		0.3422	0.3422		1,103.9393	1,103.9393	0.3570		1,112.8652
Total	**0.6863**	**7.0258**	**7.1527**	**0.0114**		**0.3719**	**0.3719**		**0.3422**	**0.3422**		**1,103.9393**	**1,103.9393**	**0.3570**		**1,112.8652**

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0256	0.6368	0.2183	2.5500e-003	0.0833	6.0700e-003	0.0893	0.0240	5.8000e-003	0.0298		273.6001	273.6001	9.1400e-003	0.0394	285.5777
Worker	0.3011	0.2198	3.4290	8.9000e-003	0.9725	6.2300e-003	0.9787	0.2579	5.7400e-003	0.2636		904.9105	904.9105	0.0245	0.0218	912.0104
Total	**0.3267**	**0.8566**	**3.6473**	**0.0115**	**1.0557**	**0.0123**	**1.0680**	**0.2819**	**0.0115**	**0.2934**		**1,178.5106**	**1,178.5106**	**0.0336**	**0.0612**	**1,197.5881**

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Western Ave SRO Apartments Project - Los Angeles-South Coast County, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.6863	7.0258	7.1527	0.0114		0.3719	0.3719		0.3422	0.3422	0.0000	1,103.9393	1,103.9393	0.3570		1,112.8652
Total	**0.6863**	**7.0258**	**7.1527**	**0.0114**		**0.3719**	**0.3719**		**0.3422**	**0.3422**	**0.0000**	**1,103.9393**	**1,103.9393**	**0.3570**		**1,112.8652**

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0256	0.6368	0.2183	2.5500e-003	0.0797	6.0700e-003	0.0858	0.0231	5.8000e-003	0.0289		273.6001	273.6001	9.1400e-003	0.0394	285.5777
Worker	0.3011	0.2198	3.4290	8.9000e-003	0.9217	6.2300e-003	0.9280	0.2455	5.7400e-003	0.2512		904.9105	904.9105	0.0245	0.0218	912.0104
Total	**0.3267**	**0.8566**	**3.6473**	**0.0115**	**1.0014**	**0.0123**	**1.0137**	**0.2686**	**0.0115**	**0.2801**		**1,178.5106**	**1,178.5106**	**0.0336**	**0.0612**	**1,197.5881**

Western Ave SRO Apartments Project - Los Angeles-South Coast County, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.5 Building Construction - 2023

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.6322	6.4186	7.0970	0.0114		0.3203	0.3203		0.2946	0.2946		1,104.6089	1,104.6089	0.3573		1,113.5402
Total	**0.6322**	**6.4186**	**7.0970**	**0.0114**		**0.3203**	**0.3203**		**0.2946**	**0.2946**		**1,104.6089**	**1,104.6089**	**0.3573**		**1,113.5402**

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0150	0.4990	0.1933	2.4200e-003	0.0833	2.5100e-003	0.0858	0.0240	2.4000e-003	0.0264		260.3672	260.3672	8.7300e-003	0.0374	271.7404
Worker	0.2786	0.1942	3.1527	8.6100e-003	0.9725	5.8700e-003	0.9783	0.2579	5.4000e-003	0.2633		880.9731	880.9731	0.0219	0.0201	887.5051
Total	**0.2936**	**0.6932**	**3.3460**	**0.0110**	**1.0557**	**8.3800e-003**	**1.0641**	**0.2819**	**7.8000e-003**	**0.2897**		**1,141.3403**	**1,141.3403**	**0.0307**	**0.0575**	**1,159.2456**

Western Ave SRO Apartments Project - Los Angeles-South Coast County, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.6322	6.4186	7.0970	0.0114		0.3203	0.3203		0.2946	0.2946	0.0000	1,104.6089	1,104.6089	0.3573		1,113.5402
Total	**0.6322**	**6.4186**	**7.0970**	**0.0114**		**0.3203**	**0.3203**		**0.2946**	**0.2946**	**0.0000**	**1,104.6089**	**1,104.6089**	**0.3573**		**1,113.5402**

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0150	0.4990	0.1933	2.4200e-003	0.0797	2.5100e-003	0.0822	0.0231	2.4000e-003	0.0255		260.3672	260.3672	8.7300e-003	0.0374	271.7404
Worker	0.2786	0.1942	3.1527	8.6100e-003	0.9217	5.8700e-003	0.9276	0.2455	5.4000e-003	0.2509		880.9731	880.9731	0.0219	0.0201	887.5051
Total	**0.2936**	**0.6932**	**3.3460**	**0.0110**	**1.0014**	**8.3800e-003**	**1.0098**	**0.2686**	**7.8000e-003**	**0.2764**		**1,141.3403**	**1,141.3403**	**0.0307**	**0.0575**	**1,159.2456**

Western Ave SRO Apartments Project - Los Angeles-South Coast County, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.6 Paving - 2023

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.6112	5.5046	7.0209	0.0113		0.2643	0.2643		0.2466	0.2466		1,036.0878	1,036.0878	0.3018		1,043.6331
Paving	0.0000					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Total	**0.6112**	**5.5046**	**7.0209**	**0.0113**		**0.2643**	**0.2643**		**0.2466**	**0.2466**		**1,036.0878**	**1,036.0878**	**0.3018**		**1,043.6331**

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0576	0.0402	0.6523	1.7800e-003	0.2012	1.2100e-003	0.2024	0.0534	1.1200e-003	0.0545		182.2703	182.2703	4.5400e-003	4.1500e-003	183.6218
Total	**0.0576**	**0.0402**	**0.6523**	**1.7800e-003**	**0.2012**	**1.2100e-003**	**0.2024**	**0.0534**	**1.1200e-003**	**0.0545**		**182.2703**	**182.2703**	**4.5400e-003**	**4.1500e-003**	**183.6218**

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Western Ave SRO Apartments Project - Los Angeles-South Coast County, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.6112	5.5046	7.0209	0.0113		0.2643	0.2643		0.2466	0.2466	0.0000	1,036.0878	1,036.0878	0.3018		1,043.6331
Paving	0.0000					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Total	**0.6112**	**5.5046**	**7.0209**	**0.0113**		**0.2643**	**0.2643**		**0.2466**	**0.2466**	**0.0000**	**1,036.0878**	**1,036.0878**	**0.3018**		**1,043.6331**

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0576	0.0402	0.6523	1.7800e-003	0.1907	1.2100e-003	0.1919	0.0508	1.1200e-003	0.0519		182.2703	182.2703	4.5400e-003	4.1500e-003	183.6218
Total	**0.0576**	**0.0402**	**0.6523**	**1.7800e-003**	**0.1907**	**1.2100e-003**	**0.1919**	**0.0508**	**1.1200e-003**	**0.0519**		**182.2703**	**182.2703**	**4.5400e-003**	**4.1500e-003**	**183.6218**

Western Ave SRO Apartments Project - Los Angeles-South Coast County, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.7 Architectural Coating - 2023

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	11.3004					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.1917	1.3030	1.8111	2.9700e-003		0.0708	0.0708		0.0708	0.0708		281.4481	281.4481	0.0168		281.8690
Total	**11.4921**	**1.3030**	**1.8111**	**2.9700e-003**		**0.0708**	**0.0708**		**0.0708**	**0.0708**		**281.4481**	**281.4481**	**0.0168**		**281.8690**

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0544	0.0380	0.6160	1.6800e-003	0.1900	1.1500e-003	0.1912	0.0504	1.0600e-003	0.0515		172.1442	172.1442	4.2900e-003	3.9200e-003	173.4206
Total	**0.0544**	**0.0380**	**0.6160**	**1.6800e-003**	**0.1900**	**1.1500e-003**	**0.1912**	**0.0504**	**1.0600e-003**	**0.0515**		**172.1442**	**172.1442**	**4.2900e-003**	**3.9200e-003**	**173.4206**

Western Ave SRO Apartments Project - Los Angeles-South Coast County, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	11.3004					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.1917	1.3030	1.8111	2.9700e-003		0.0708	0.0708		0.0708	0.0708	0.0000	281.4481	281.4481	0.0168		281.8690
Total	**11.4921**	**1.3030**	**1.8111**	**2.9700e-003**		**0.0708**	**0.0708**		**0.0708**	**0.0708**	**0.0000**	**281.4481**	**281.4481**	**0.0168**		**281.8690**

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0544	0.0380	0.6160	1.6800e-003	0.1801	1.1500e-003	0.1813	0.0480	1.0600e-003	0.0490		172.1442	172.1442	4.2900e-003	3.9200e-003	173.4206
Total	**0.0544**	**0.0380**	**0.6160**	**1.6800e-003**	**0.1801**	**1.1500e-003**	**0.1813**	**0.0480**	**1.0600e-003**	**0.0490**		**172.1442**	**172.1442**	**4.2900e-003**	**3.9200e-003**	**173.4206**

4.0 Operational Detail - Mobile

4.1 Mitigation Measures Mobile

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	2.0453	2.1280	21.2541	0.0465	4.7351	0.0332	4.7684	1.2612	0.0308	1.2921		4,792.3978	4,792.3978	0.3078	0.1909	4,856.9720

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Western Ave SRO Apartments Project - Los Angeles-South Coast County, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Unmitigated	2.0453	2.1280	21.2541	0.0465	4.7351	0.0332	4.7684	1.2612	0.0308	1.2921		4,792.3978	4,792.3978	0.3078	0.1909	4,856.9720

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EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

4.2 Trip Summary Information

	Average Daily Trip Rate			Unmitigated	Mitigated
Land Use	Weekday	Saturday	Sunday	Annual VMT	Annual VMT
Apartments Mid Rise	658.24	658.24	658.24	2,249,306	2,249,306
Total	658.24	658.24	658.24	2,249,306	2,249,306

4.3 Trip Type Information

	Miles			Trip %			Trip Purpose %		
Land Use	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Apartments Mid Rise	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3

4.4 Fleet Mix

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Apartments Mid Rise	0.544785	0.062844	0.187478	0.127235	0.023089	0.006083	0.010475	0.008012	0.000925	0.000611	0.024394	0.000698	0.00337

5.0 Energy Detail

Historical Energy Use: N

5.1 Mitigation Measures Energy

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
NaturalGas Mitigated	0.0399	0.3406	0.1450	2.1700e-003		0.0275	0.0275		0.0275	0.0275		434.8442	434.8442	8.3300e-003	7.9700e-003	437.4282
NaturalGas Unmitigated	0.0399	0.3406	0.1450	2.1700e-003		0.0275	0.0275		0.0275	0.0275		434.8442	434.8442	8.3300e-003	7.9700e-003	437.4282

Western Ave SRO Apartments Project - Los Angeles-South Coast County, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

5.2 Energy by Land Use - NaturalGas

Unmitigated

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Apartments Mid Rise	3696.18	0.0399	0.3406	0.1450	2.1700e-003		0.0275	0.0275		0.0275	0.0275		434.8442	434.8442	8.3300e-003	7.9700e-003	437.4282
Total		**0.0399**	**0.3406**	**0.1450**	**2.1700e-003**		**0.0275**	**0.0275**		**0.0275**	**0.0275**		**434.8442**	**434.8442**	**8.3300e-003**	**7.9700e-003**	**437.4282**

Mitigated

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Apartments Mid Rise	3.69618	0.0399	0.3406	0.1450	2.1700e-003		0.0275	0.0275		0.0275	0.0275		434.8442	434.8442	8.3300e-003	7.9700e-003	437.4282
Total		**0.0399**	**0.3406**	**0.1450**	**2.1700e-003**		**0.0275**	**0.0275**		**0.0275**	**0.0275**		**434.8442**	**434.8442**	**8.3300e-003**	**7.9700e-003**	**437.4282**

6.0 Area Detail

6.1 Mitigation Measures Area

Use only Natural Gas Hearths

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	3.1173	1.9373	10.7603	0.0122		0.2026	0.2026		0.2026	0.2026	0.0000	2,344.2101	2,344.2101	0.0619	0.0427	2,358.4659
Unmitigated	6.3830	2.4211	40.4176	0.1089		5.0407	5.0407		5.0407	5.0407	714.0983	2,344.2101	3,058.3084	3.4001	0.0427	3,156.0208

Western Ave SRO Apartments Project - Los Angeles-South Coast County, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

6.2 Area by SubCategory

Unmitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.2074					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	2.3958					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	3.4789	2.3060	30.4327	0.1084		4.9854	4.9854		4.9854	4.9854	714.0983	2,326.2353	3,040.3335	3.3829	0.0427	3,137.6138
Landscaping	0.3008	0.1151	9.9849	5.3000e-004		0.0553	0.0553		0.0553	0.0553		17.9748	17.9748	0.0173		18.4070
Total	**6.3830**	**2.4211**	**40.4176**	**0.1089**		**5.0407**	**5.0407**		**5.0407**	**5.0407**	**714.0983**	**2,344.2101**	**3,058.3084**	**3.4001**	**0.0427**	**3,156.0208**

Mitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.2074					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	2.3958					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	0.2132	1.8222	0.7754	0.0116		0.1473	0.1473		0.1473	0.1473	0.0000	2,326.2353	2,326.2353	0.0446	0.0427	2,340.0590
Landscaping	0.3008	0.1151	9.9849	5.3000e-004		0.0553	0.0553		0.0553	0.0553		17.9748	17.9748	0.0173		18.4070
Total	**3.1173**	**1.9373**	**10.7603**	**0.0122**		**0.2026**	**0.2026**		**0.2026**	**0.2026**	**0.0000**	**2,344.2101**	**2,344.2101**	**0.0619**	**0.0427**	**2,358.4659**

Western Ave SRO Apartments Project - Los Angeles-South Coast County, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

7.0 Water Detail

7.1 Mitigation Measures Water

Install Low Flow Bathroom Faucet

Install Low Flow Kitchen Faucet

Install Low Flow Toilet

Install Low Flow Shower

Use Water Efficient Irrigation System

8.0 Waste Detail

8.1 Mitigation Measures Waste

Institute Recycling and Composting Services

9.0 Operational Offroad

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type

10.0 Stationary Equipment

Fire Pumps and Emergency Generators

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type

Boilers

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type

User Defined Equipment

Equipment Type	Number

11.0 Vegetation

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Western Ave SRO Apartments Project - Los Angeles-South Coast County, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Western Ave SRO Apartments Project

Los Angeles-South Coast County, Winter

1.0 Project Characteristics

1.1 Land Usage

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
Apartments Mid Rise	121.00	Dwelling Unit	1.00	121,000.00	346

1.2 Other Project Characteristics

Urbanization	Urban	**Wind Speed (m/s)**	2.2	**Precipitation Freq (Days)**	33
Climate Zone	8			**Operational Year**	2023
Utility Company	Southern California Edison				
CO2 Intensity (lb/MWhr)	390.98	**CH4 Intensity (lb/MWhr)**	0.033	**N2O Intensity (lb/MWhr)**	0.004

1.3 User Entered Comments & Non-Default Data

Project Characteristics -

Land Use - Acreage based on Site Plan

Construction Phase - Schedule based on AQGHG Construction Questionnaire

Demolition -

Grading -

Vehicle Trips - Trip Rate based on Trip Generation Memo

Woodstoves - No wood burning per SCAQMD rules and regulations

Construction Off-road Equipment Mitigation - SCAQMD rule compliance

Water Mitigation -

Waste Mitigation - per AB 939

Area Mitigation -

Western Ave SRO Apartments Project - Los Angeles-South Coast County, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Table Name	Column Name	Default Value	New Value
tblConstDustMitigation	CleanPavedRoadPercentReduction	0	6
tblConstDustMitigation	WaterUnpavedRoadMoistureContent	0	12
tblConstDustMitigation	WaterUnpavedRoadVehicleSpeed	0	15
tblConstructionPhase	NumDays	5.00	67.00
tblConstructionPhase	NumDays	100.00	171.00
tblConstructionPhase	NumDays	10.00	20.00
tblConstructionPhase	NumDays	2.00	60.00
tblConstructionPhase	NumDays	5.00	22.00
tblConstructionPhase	NumDays	1.00	10.00
tblFireplaces	NumberGas	102.85	109.85
tblFireplaces	NumberWood	6.05	0.00
tblGrading	MaterialExported	0.00	1,000.00
tblLandUse	LotAcreage	3.18	1.00
tblVehicleTrips	ST_TR	4.91	5.44
tblVehicleTrips	SU_TR	4.09	5.44

2.0 Emissions Summary

2.1 Overall Construction (Maximum Daily Emission)

Unmitigated Construction

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	lb/day										lb/day					
2022	1.1223	12.3911	10.5269	0.0224	5.4397	0.5205	5.9602	2.6026	0.4789	3.0815	0.0000	2,234.7080	2,234.7080	0.4512	0.0627	2,263.1778
2023	12.2236	7.1556	10.1942	0.0220	1.0557	0.3375	1.3844	0.2819	0.3196	0.5843	0.0000	2,199.9425	2,199.9425	0.3882	0.0590	2,227.2232
Maximum	**12.2236**	**12.3911**	**10.5269**	**0.0224**	**5.4397**	**0.5205**	**5.9602**	**2.6026**	**0.4789**	**3.0815**	**0.0000**	**2,234.7080**	**2,234.7080**	**0.4512**	**0.0627**	**2,263.1778**

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Western Ave SRO Apartments Project - Los Angeles-South Coast County, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Mitigated Construction

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	lb/day										lb/day					
2022	1.1223	12.3911	10.5269	0.0224	2.3912	0.5205	2.9117	1.1303	0.4789	1.6093	0.0000	2,234.7080	2,234.7080	0.4512	0.0627	2,263.1778
2023	12.2236	7.1556	10.1942	0.0220	1.0014	0.3375	1.3301	0.2686	0.3196	0.5710	0.0000	2,199.9425	2,199.9425	0.3882	0.0590	2,227.2232
Maximum	**12.2236**	**12.3911**	**10.5269**	**0.0224**	**2.3912**	**0.5205**	**2.9117**	**1.1303**	**0.4789**	**1.6093**	**0.0000**	**2,234.7080**	**2,234.7080**	**0.4512**	**0.0627**	**2,263.1778**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N20	CO2e
Percent Reduction	**0.00**	**0.00**	**0.00**	**0.00**	**47.77**	**0.00**	**42.25**	**51.50**	**0.00**	**40.52**	**0.00**	**0.00**	**0.00**	**0.00**	**0.00**	**0.00**

2.2 Overall Operational

Unmitigated Operational

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	6.3830	2.4211	40.4176	0.1089		5.0407	5.0407		5.0407	5.0407	714.0983	2,344.2101	3,058.3084	3.4001	0.0427	3,156.0208
Energy	0.0399	0.3406	0.1450	2.1700e-003		0.0275	0.0275		0.0275	0.0275		434.8442	434.8442	8.3300e-003	7.9700e-003	437.4282
Mobile	2.0098	2.2997	20.7274	0.0445	4.7351	0.0332	4.7684	1.2612	0.0308	1.2921		4,587.5032	4,587.5032	0.3164	0.1995	4,654.8552
Total	**8.4326**	**5.0614**	**61.2899**	**0.1556**	**4.7351**	**5.1014**	**9.8366**	**1.2612**	**5.0990**	**6.3603**	**714.0983**	**7,366.5575**	**8,080.6557**	**3.7249**	**0.2501**	**8,248.3042**

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Western Ave SRO Apartments Project - Los Angeles-South Coast County, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Mitigated Operational

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	3.1173	1.9373	10.7603	0.0122		0.2026	0.2026		0.2026	0.2026	0.0000	2,344.2101	2,344.2101	0.0619	0.0427	2,358.4659
Energy	0.0399	0.3406	0.1450	2.1700e-003		0.0275	0.0275		0.0275	0.0275		434.8442	434.8442	8.3300e-003	7.9700e-003	437.4282
Mobile	2.0098	2.2997	20.7274	0.0445	4.7351	0.0332	4.7684	1.2612	0.0308	1.2921		4,587.5032	4,587.5032	0.3164	0.1995	4,654.8552
Total	**5.1669**	**4.5776**	**31.6326**	**0.0589**	**4.7351**	**0.2634**	**4.9985**	**1.2612**	**0.2610**	**1.5222**	**0.0000**	**7,366.5575**	**7,366.5575**	**0.3866**	**0.2501**	**7,450.7493**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N20	CO2e
Percent Reduction	**38.73**	**9.56**	**48.39**	**62.18**	**0.00**	**94.84**	**49.18**	**0.00**	**94.88**	**76.07**	**100.00**	**0.00**	**8.84**	**89.62**	**0.00**	**9.67**

3.0 Construction Detail

Construction Phase

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Demolition	Demolition	6/1/2022	6/28/2022	5	20	
2	Site Preparation	Site Preparation	6/29/2022	7/12/2022	5	10	
3	Grading	Grading	7/13/2022	10/4/2022	5	60	
4	Building Construction	Building Construction	10/5/2022	5/31/2023	5	171	
5	Paving	Paving	6/1/2023	7/1/2023	5	22	
6	Architectural Coating	Architectural Coating	6/1/2023	9/1/2023	5	67	

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EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Acres of Grading (Site Preparation Phase): 5

Acres of Grading (Grading Phase): 45

Acres of Paving: 0

Residential Indoor: 245,025; Residential Outdoor: 81,675; Non-Residential Indoor: 0; Non-Residential Outdoor: 0; Striped Parking Area: 0 (Architectural

OffRoad Equipment

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Demolition	Concrete/Industrial Saws	1	8.00	81	0.73
Demolition	Rubber Tired Dozers	1	1.00	247	0.40
Demolition	Tractors/Loaders/Backhoes	2	6.00	97	0.37
Site Preparation	Graders	1	8.00	187	0.41
Site Preparation	Tractors/Loaders/Backhoes	1	8.00	97	0.37
Grading	Graders	1	6.00	187	0.41
Grading	Rubber Tired Dozers	1	6.00	247	0.40
Grading	Tractors/Loaders/Backhoes	1	7.00	97	0.37
Building Construction	Cranes	1	4.00	231	0.29
Building Construction	Forklifts	2	6.00	89	0.20
Building Construction	Tractors/Loaders/Backhoes	2	8.00	97	0.37
Paving	Cement and Mortar Mixers	4	6.00	9	0.56
Paving	Pavers	1	7.00	130	0.42
Paving	Rollers	1	7.00	80	0.38
Paving	Tractors/Loaders/Backhoes	1	7.00	97	0.37
Architectural Coating	Air Compressors	1	6.00	78	0.48

Trips and VMT

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Demolition	4	10.00	0.00	55.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Site Preparation	2	5.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Grading	3	8.00	0.00	125.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Building Construction	5	87.00	13.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Paving	7	18.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Architectural Coating	1	17.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT

Western Ave SRO Apartments Project - Los Angeles-South Coast County, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.1 Mitigation Measures Construction

Replace Ground Cover

Water Exposed Area

Water Unpaved Roads

Reduce Vehicle Speed on Unpaved Roads

Clean Paved Roads

3.2 Demolition - 2022

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					0.5906	0.0000	0.5906	0.0894	0.0000	0.0894			0.0000			0.0000
Off-Road	0.7094	6.4138	7.4693	0.0120		0.3375	0.3375		0.3225	0.3225		1,147.9025	1,147.9025	0.2119		1,153.2001
Total	**0.7094**	**6.4138**	**7.4693**	**0.0120**	**0.5906**	**0.3375**	**0.9281**	**0.0894**	**0.3225**	**0.4120**		**1,147.9025**	**1,147.9025**	**0.2119**		**1,153.2001**

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0125	0.4806	0.1096	1.7100e-003	0.0481	3.4400e-003	0.0516	0.0132	3.2900e-003	0.0165		187.2682	187.2682	9.9300e-003	0.0297	196.3710
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0371	0.0279	0.3619	9.7000e-004	0.1118	7.2000e-004	0.1125	0.0296	6.6000e-004	0.0303		98.5133	98.5133	2.8500e-003	2.6700e-003	99.3813
Total	**0.0496**	**0.5085**	**0.4715**	**2.6800e-003**	**0.1599**	**4.1600e-003**	**0.1641**	**0.0428**	**3.9500e-003**	**0.0468**		**285.7815**	**285.7815**	**0.0128**	**0.0324**	**295.7523**

Mitigated Construction On-Site

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EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					0.2525	0.0000	0.2525	0.0382	0.0000	0.0382			0.0000			0.0000
Off-Road	0.7094	6.4138	7.4693	0.0120		0.3375	0.3375		0.3225	0.3225	0.0000	1,147.9025	1,147.9025	0.2119		1,153.2001
Total	**0.7094**	**6.4138**	**7.4693**	**0.0120**	**0.2525**	**0.3375**	**0.5900**	**0.0382**	**0.3225**	**0.3608**	**0.0000**	**1,147.9025**	**1,147.9025**	**0.2119**		**1,153.2001**

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0125	0.4806	0.1096	1.7100e-003	0.0460	3.4400e-003	0.0494	0.0127	3.2900e-003	0.0160		187.2682	187.2682	9.9300e-003	0.0297	196.3710
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0371	0.0279	0.3619	9.7000e-004	0.1060	7.2000e-004	0.1067	0.0282	6.6000e-004	0.0289		98.5133	98.5133	2.8500e-003	2.6700e-003	99.3813
Total	**0.0496**	**0.5085**	**0.4715**	**2.6800e-003**	**0.1519**	**4.1600e-003**	**0.1561**	**0.0409**	**3.9500e-003**	**0.0448**		**285.7815**	**285.7815**	**0.0128**	**0.0324**	**295.7523**

Western Ave SRO Apartments Project - Los Angeles-South Coast County, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.3 Site Preparation - 2022

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					0.5303	0.0000	0.5303	0.0573	0.0000	0.0573			0.0000			0.0000
Off-Road	0.5797	6.9332	3.9597	9.7300e-003		0.2573	0.2573		0.2367	0.2367		942.5179	942.5179	0.3048		950.1386
Total	**0.5797**	**6.9332**	**3.9597**	**9.7300e-003**	**0.5303**	**0.2573**	**0.7876**	**0.0573**	**0.2367**	**0.2940**		**942.5179**	**942.5179**	**0.3048**		**950.1386**

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0185	0.0140	0.1809	4.8000e-004	0.0559	3.6000e-004	0.0563	0.0148	3.3000e-004	0.0152		49.2567	49.2567	1.4200e-003	1.3400e-003	49.6907
Total	**0.0185**	**0.0140**	**0.1809**	**4.8000e-004**	**0.0559**	**3.6000e-004**	**0.0563**	**0.0148**	**3.3000e-004**	**0.0152**		**49.2567**	**49.2567**	**1.4200e-003**	**1.3400e-003**	**49.6907**

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EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					0.2267	0.0000	0.2267	0.0245	0.0000	0.0245			0.0000			0.0000
Off-Road	0.5797	6.9332	3.9597	9.7300e-003		0.2573	0.2573		0.2367	0.2367	0.0000	942.5179	942.5179	0.3048		950.1386
Total	**0.5797**	**6.9332**	**3.9597**	**9.7300e-003**	**0.2267**	**0.2573**	**0.4840**	**0.0245**	**0.2367**	**0.2612**	**0.0000**	**942.5179**	**942.5179**	**0.3048**		**950.1386**

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0185	0.0140	0.1809	4.8000e-004	0.0530	3.6000e-004	0.0533	0.0141	3.3000e-004	0.0144		49.2567	49.2567	1.4200e-003	1.3400e-003	49.6907
Total	**0.0185**	**0.0140**	**0.1809**	**4.8000e-004**	**0.0530**	**3.6000e-004**	**0.0533**	**0.0141**	**3.3000e-004**	**0.0144**		**49.2567**	**49.2567**	**1.4200e-003**	**1.3400e-003**	**49.6907**

Western Ave SRO Apartments Project - Los Angeles-South Coast County, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.4 Grading - 2022

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					5.3138	0.0000	5.3138	2.5688	0.0000	2.5688			0.0000			0.0000
Off-Road	1.0832	12.0046	5.9360	0.0141		0.5173	0.5173		0.4759	0.4759		1,364.8198	1,364.8198	0.4414		1,375.8551
Total	**1.0832**	**12.0046**	**5.9360**	**0.0141**	**5.3138**	**0.5173**	**5.8311**	**2.5688**	**0.4759**	**3.0447**		**1,364.8198**	**1,364.8198**	**0.4414**		**1,375.8551**

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	9.4700e-003	0.3641	0.0830	1.3000e-003	0.0365	2.6000e-003	0.0391	0.0100	2.4900e-003	0.0125		141.8698	141.8698	7.5200e-003	0.0225	148.7659
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0296	0.0223	0.2895	7.7000e-004	0.0894	5.7000e-004	0.0900	0.0237	5.3000e-004	0.0242		78.8107	78.8107	2.2800e-003	2.1400e-003	79.5051
Total	**0.0391**	**0.3864**	**0.3725**	**2.0700e-003**	**0.1259**	**3.1700e-003**	**0.1291**	**0.0337**	**3.0200e-003**	**0.0367**		**220.6805**	**220.6805**	**9.8000e-003**	**0.0247**	**228.2710**

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EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					2.2717	0.0000	2.2717	1.0982	0.0000	1.0982			0.0000			0.0000
Off-Road	1.0832	12.0046	5.9360	0.0141		0.5173	0.5173		0.4759	0.4759	0.0000	1,364.8198	1,364.8198	0.4414		1,375.8551
Total	**1.0832**	**12.0046**	**5.9360**	**0.0141**	**2.2717**	**0.5173**	**2.7889**	**1.0982**	**0.4759**	**1.5741**	**0.0000**	**1,364.8198**	**1,364.8198**	**0.4414**		**1,375.8551**

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	9.4700e-003	0.3641	0.0830	1.3000e-003	0.0348	2.6000e-003	0.0374	9.5900e-003	2.4900e-003	0.0121		141.8698	141.8698	7.5200e-003	0.0225	148.7659
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0296	0.0223	0.2895	7.7000e-004	0.0848	5.7000e-004	0.0853	0.0226	5.3000e-004	0.0231		78.8107	78.8107	2.2800e-003	2.1400e-003	79.5051
Total	**0.0391**	**0.3864**	**0.3725**	**2.0700e-003**	**0.1196**	**3.1700e-003**	**0.1228**	**0.0322**	**3.0200e-003**	**0.0352**		**220.6805**	**220.6805**	**9.8000e-003**	**0.0247**	**228.2710**

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Western Ave SRO Apartments Project - Los Angeles-South Coast County, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.5 Building Construction - 2022

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.6863	7.0258	7.1527	0.0114		0.3719	0.3719		0.3422	0.3422		1,103.9393	1,103.9393	0.3570		1,112.8652
Total	**0.6863**	**7.0258**	**7.1527**	**0.0114**		**0.3719**	**0.3719**		**0.3422**	**0.3422**		**1,103.9393**	**1,103.9393**	**0.3570**		**1,112.8652**

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0253	0.6631	0.2259	2.5500e-003	0.0833	6.0900e-003	0.0894	0.0240	5.8200e-003	0.0298		273.7029	273.7029	9.1100e-003	0.0395	285.6949
Worker	0.3224	0.2429	3.1483	8.4200e-003	0.9725	6.2300e-003	0.9787	0.2579	5.7400e-003	0.2636		857.0659	857.0659	0.0248	0.0233	864.6177
Total	**0.3476**	**0.9060**	**3.3742**	**0.0110**	**1.0557**	**0.0123**	**1.0681**	**0.2819**	**0.0116**	**0.2934**		**1,130.7687**	**1,130.7687**	**0.0339**	**0.0627**	**1,150.3126**

Western Ave SRO Apartments Project - Los Angeles-South Coast County, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.6863	7.0258	7.1527	0.0114		0.3719	0.3719		0.3422	0.3422	0.0000	1,103.9393	1,103.9393	0.3570		1,112.8652
Total	**0.6863**	**7.0258**	**7.1527**	**0.0114**		**0.3719**	**0.3719**		**0.3422**	**0.3422**	**0.0000**	**1,103.9393**	**1,103.9393**	**0.3570**		**1,112.8652**

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0253	0.6631	0.2259	2.5500e-003	0.0797	6.0900e-003	0.0858	0.0231	5.8200e-003	0.0289		273.7029	273.7029	9.1100e-003	0.0395	285.6949
Worker	0.3224	0.2429	3.1483	8.4200e-003	0.9217	6.2300e-003	0.9280	0.2455	5.7400e-003	0.2512		857.0659	857.0659	0.0248	0.0233	864.6177
Total	**0.3476**	**0.9060**	**3.3742**	**0.0110**	**1.0014**	**0.0123**	**1.0138**	**0.2686**	**0.0116**	**0.2801**		**1,130.7687**	**1,130.7687**	**0.0339**	**0.0627**	**1,150.3126**

3.5 Building Construction - 2023

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.6322	6.4186	7.0970	0.0114		0.3203	0.3203		0.2946	0.2946		1,104.6089	1,104.6089	0.3573		1,113.5402
Total	**0.6322**	**6.4186**	**7.0970**	**0.0114**		**0.3203**	**0.3203**		**0.2946**	**0.2946**		**1,104.6089**	**1,104.6089**	**0.3573**		**1,113.5402**

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Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0145	0.5224	0.1994	2.4200e-003	0.0833	2.5200e-003	0.0858	0.0240	2.4100e-003	0.0264		260.8064	260.8064	8.6900e-003	0.0375	272.2084
Worker	0.2993	0.2146	2.8978	8.1500e-003	0.9725	5.8700e-003	0.9783	0.2579	5.4000e-003	0.2633		834.5272	834.5272	0.0222	0.0215	841.4746
Total	**0.3138**	**0.7370**	**3.0972**	**0.0106**	**1.0557**	**8.3900e-003**	**1.0641**	**0.2819**	**7.8100e-003**	**0.2897**		**1,095.3336**	**1,095.3336**	**0.0309**	**0.0590**	**1,113.6830**

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.6322	6.4186	7.0970	0.0114		0.3203	0.3203		0.2946	0.2946	0.0000	1,104.6089	1,104.6089	0.3573		1,113.5402
Total	**0.6322**	**6.4186**	**7.0970**	**0.0114**		**0.3203**	**0.3203**		**0.2946**	**0.2946**	**0.0000**	**1,104.6089**	**1,104.6089**	**0.3573**		**1,113.5402**

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Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0145	0.5224	0.1994	2.4200e-003	0.0797	2.5200e-003	0.0822	0.0231	2.4100e-003	0.0255		260.8064	260.8064	8.6900e-003	0.0375	272.2084
Worker	0.2993	0.2146	2.8978	8.1500e-003	0.9217	5.8700e-003	0.9276	0.2455	5.4000e-003	0.2509		834.5272	834.5272	0.0222	0.0215	841.4746
Total	**0.3138**	**0.7370**	**3.0972**	**0.0106**	**1.0014**	**8.3900e-003**	**1.0098**	**0.2686**	**7.8100e-003**	**0.2764**		**1,095.3336**	**1,095.3336**	**0.0309**	**0.0590**	**1,113.6830**

3.6 Paving - 2023

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.6112	5.5046	7.0209	0.0113		0.2643	0.2643		0.2466	0.2466		1,036.0878	1,036.0878	0.3018		1,043.6331
Paving	0.0000					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Total	**0.6112**	**5.5046**	**7.0209**	**0.0113**		**0.2643**	**0.2643**		**0.2466**	**0.2466**		**1,036.0878**	**1,036.0878**	**0.3018**		**1,043.6331**

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Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0619	0.0444	0.5996	1.6900e-003	0.2012	1.2100e-003	0.2024	0.0534	1.1200e-003	0.0545		172.6608	172.6608	4.6000e-003	4.4400e-003	174.0982
Total	**0.0619**	**0.0444**	**0.5996**	**1.6900e-003**	**0.2012**	**1.2100e-003**	**0.2024**	**0.0534**	**1.1200e-003**	**0.0545**		**172.6608**	**172.6608**	**4.6000e-003**	**4.4400e-003**	**174.0982**

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.6112	5.5046	7.0209	0.0113		0.2643	0.2643		0.2466	0.2466	0.0000	1,036.0878	1,036.0878	0.3018		1,043.6331
Paving	0.0000					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Total	**0.6112**	**5.5046**	**7.0209**	**0.0113**		**0.2643**	**0.2643**		**0.2466**	**0.2466**	**0.0000**	**1,036.0878**	**1,036.0878**	**0.3018**		**1,043.6331**

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EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0619	0.0444	0.5996	1.6900e-003	0.1907	1.2100e-003	0.1919	0.0508	1.1200e-003	0.0519		172.6608	172.6608	4.6000e-003	4.4400e-003	174.0982
Total	**0.0619**	**0.0444**	**0.5996**	**1.6900e-003**	**0.1907**	**1.2100e-003**	**0.1919**	**0.0508**	**1.1200e-003**	**0.0519**		**172.6608**	**172.6608**	**4.6000e-003**	**4.4400e-003**	**174.0982**

3.7 Architectural Coating - 2023

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	11.3004					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.1917	1.3030	1.8111	2.9700e-003		0.0708	0.0708		0.0708	0.0708		281.4481	281.4481	0.0168		281.8690
Total	**11.4921**	**1.3030**	**1.8111**	**2.9700e-003**		**0.0708**	**0.0708**		**0.0708**	**0.0708**		**281.4481**	**281.4481**	**0.0168**		**281.8690**

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EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0585	0.0419	0.5662	1.5900e-003	0.1900	1.1500e-003	0.1912	0.0504	1.0600e-003	0.0515		163.0685	163.0685	4.3500e-003	4.1900e-003	164.4261
Total	**0.0585**	**0.0419**	**0.5662**	**1.5900e-003**	**0.1900**	**1.1500e-003**	**0.1912**	**0.0504**	**1.0600e-003**	**0.0515**		**163.0685**	**163.0685**	**4.3500e-003**	**4.1900e-003**	**164.4261**

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	11.3004					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.1917	1.3030	1.8111	2.9700e-003		0.0708	0.0708		0.0708	0.0708	0.0000	281.4481	281.4481	0.0168		281.8690
Total	**11.4921**	**1.3030**	**1.8111**	**2.9700e-003**		**0.0708**	**0.0708**		**0.0708**	**0.0708**	**0.0000**	**281.4481**	**281.4481**	**0.0168**		**281.8690**

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Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0585	0.0419	0.5662	1.5900e-003	0.1801	1.1500e-003	0.1813	0.0480	1.0600e-003	0.0490		163.0685	163.0685	4.3500e-003	4.1900e-003	164.4261
Total	**0.0585**	**0.0419**	**0.5662**	**1.5900e-003**	**0.1801**	**1.1500e-003**	**0.1813**	**0.0480**	**1.0600e-003**	**0.0490**		**163.0685**	**163.0685**	**4.3500e-003**	**4.1900e-003**	**164.4261**

4.0 Operational Detail - Mobile

4.1 Mitigation Measures Mobile

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	2.0098	2.2997	20.7274	0.0445	4.7351	0.0332	4.7684	1.2612	0.0308	1.2921		4,587.5032	4,587.5032	0.3164	0.1995	4,654.8552
Unmitigated	2.0098	2.2997	20.7274	0.0445	4.7351	0.0332	4.7684	1.2612	0.0308	1.2921		4,587.5032	4,587.5032	0.3164	0.1995	4,654.8552

4.2 Trip Summary Information

	Average Daily Trip Rate			Unmitigated	Mitigated
Land Use	Weekday	Saturday	Sunday	Annual VMT	Annual VMT
Apartments Mid Rise	658.24	658.24	658.24	2,249,306	2,249,306
Total	658.24	658.24	658.24	2,249,306	2,249,306

4.3 Trip Type Information

	Miles			Trip %			Trip Purpose %		
Land Use	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Apartments Mid Rise	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3

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4.4 Fleet Mix

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Apartments Mid Rise	0.544785	0.062844	0.187478	0.127235	0.023089	0.006083	0.010475	0.008012	0.000925	0.000611	0.024394	0.000698	0.003374

5.0 Energy Detail

Historical Energy Use: N

5.1 Mitigation Measures Energy

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
NaturalGas Mitigated	0.0399	0.3406	0.1450	2.1700e-003		0.0275	0.0275		0.0275	0.0275		434.8442	434.8442	8.3300e-003	7.9700e-003	437.4282
NaturalGas Unmitigated	0.0399	0.3406	0.1450	2.1700e-003		0.0275	0.0275		0.0275	0.0275		434.8442	434.8442	8.3300e-003	7.9700e-003	437.4282

5.2 Energy by Land Use - NaturalGas

Unmitigated

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Apartments Mid Rise	3696.18	0.0399	0.3406	0.1450	2.1700e-003		0.0275	0.0275		0.0275	0.0275		434.8442	434.8442	8.3300e-003	7.9700e-003	437.4282
Total		**0.0399**	**0.3406**	**0.1450**	**2.1700e-003**		**0.0275**	**0.0275**		**0.0275**	**0.0275**		**434.8442**	**434.8442**	**8.3300e-003**	**7.9700e-003**	**437.4282**

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EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Mitigated

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Apartments Mid Rise	3.69618	0.0399	0.3406	0.1450	2.1700e-003		0.0275	0.0275		0.0275	0.0275		434.8442	434.8442	8.3300e-003	7.9700e-003	437.4282
Total		**0.0399**	**0.3406**	**0.1450**	**2.1700e-003**		**0.0275**	**0.0275**		**0.0275**	**0.0275**		**434.8442**	**434.8442**	**8.3300e-003**	**7.9700e-003**	**437.4282**

6.0 Area Detail

6.1 Mitigation Measures Area

Use only Natural Gas Hearths

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	3.1173	1.9373	10.7603	0.0122		0.2026	0.2026		0.2026	0.2026	0.0000	2,344.2101	2,344.2101	0.0619	0.0427	2,358.4659
Unmitigated	6.3830	2.4211	40.4176	0.1089		5.0407	5.0407		5.0407	5.0407	714.0983	2,344.2101	3,058.3084	3.4001	0.0427	3,156.0208

6.2 Area by SubCategory

Unmitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.2074					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	2.3958					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	3.4789	2.3060	30.4327	0.1084		4.9854	4.9854		4.9854	4.9854	714.0983	2,326.2353	3,040.3335	3.3829	0.0427	3,137.6138
Landscaping	0.3008	0.1151	9.9849	5.3000e-004		0.0553	0.0553		0.0553	0.0553		17.9748	17.9748	0.0173		18.4070

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Total	6.3830	2.4211	40.4176	0.1089		5.0407	5.0407		5.0407	5.0407	714.0983	2,344.2101	3,058.3084	3.4001	0.0427	3,156.0208

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EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Mitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.2074					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	2.3958					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	0.2132	1.8222	0.7754	0.0116		0.1473	0.1473		0.1473	0.1473	0.0000	2,326.2353	2,326.2353	0.0446	0.0427	2,340.0590
Landscaping	0.3008	0.1151	9.9849	5.3000e-004		0.0553	0.0553		0.0553	0.0553		17.9748	17.9748	0.0173		18.4070
Total	**3.1173**	**1.9373**	**10.7603**	**0.0122**		**0.2026**	**0.2026**		**0.2026**	**0.2026**	**0.0000**	**2,344.2101**	**2,344.2101**	**0.0619**	**0.0427**	**2,358.4659**

7.0 Water Detail

7.1 Mitigation Measures Water

Install Low Flow Bathroom Faucet

Install Low Flow Kitchen Faucet

Install Low Flow Toilet

Install Low Flow Shower

Use Water Efficient Irrigation System

8.0 Waste Detail

8.1 Mitigation Measures Waste

Institute Recycling and Composting Services

9.0 Operational Offroad

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type

Western Ave SRO Apartments Project - Los Angeles-South Coast County, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

10.0 Stationary Equipment

Fire Pumps and Emergency Generators

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type

Boilers

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type

User Defined Equipment

Equipment Type	Number

11.0 Vegetation

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EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Western Ave SRO Apartments Project

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1.0 Project Characteristics

1.1 Land Usage

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
Apartments Mid Rise	121.00	Dwelling Unit	1.00	121,000.00	346

1.2 Other Project Characteristics

Urbanization	Urban	**Wind Speed (m/s)**	2.2	**Precipitation Freq (Days)**	33
Climate Zone	8			**Operational Year**	2023
Utility Company	Southern California Edison				
CO2 Intensity (lb/MWhr)	390.98	**CH4 Intensity (lb/MWhr)**	0.033	**N2O Intensity (lb/MWhr)**	0.004

1.3 User Entered Comments & Non-Default Data

Project Characteristics -

Land Use - Acreage based on Site Plan

Construction Phase - Schedule based on AQGHG Construction Questionnaire

Demolition -

Grading -

Vehicle Trips - Trip Rate based on Trip Generation Memo

Woodstoves - No wood burning per SCAQMD rules and regulations

Construction Off-road Equipment Mitigation - SCAQMD rule compliance

Water Mitigation -

Waste Mitigation - per AB 939

Area Mitigation -

Western Ave SRO Apartments Project - Los Angeles-South Coast County, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Table Name	Column Name	Default Value	New Value
tblConstDustMitigation	CleanPavedRoadPercentReduction	0	6
tblConstDustMitigation	WaterUnpavedRoadMoistureContent	0	12
tblConstDustMitigation	WaterUnpavedRoadVehicleSpeed	0	15
tblConstructionPhase	NumDays	5.00	67.00
tblConstructionPhase	NumDays	100.00	171.00
tblConstructionPhase	NumDays	10.00	20.00
tblConstructionPhase	NumDays	2.00	60.00
tblConstructionPhase	NumDays	5.00	22.00
tblConstructionPhase	NumDays	1.00	10.00
tblFireplaces	NumberGas	102.85	109.85
tblFireplaces	NumberWood	6.05	0.00
tblGrading	MaterialExported	0.00	1,000.00
tblLandUse	LotAcreage	3.18	1.00
tblVehicleTrips	ST_TR	4.91	5.44
tblVehicleTrips	SU_TR	4.09	5.44

2.0 Emissions Summary

2.1 Overall Construction

Unmitigated Construction

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	tons/yr										MT/yr					
2022	0.0760	0.7261	0.6237	1.3900e-003	0.2061	0.0324	0.2386	0.0885	0.0300	0.1184	0.0000	124.9274	124.9274	0.0269	2.7700e-003	126.4263
2023	0.4440	0.4929	0.7185	1.4900e-003	0.0643	0.0231	0.0874	0.0172	0.0215	0.0387	0.0000	134.0390	134.0390	0.0227	3.0800e-003	135.5242
Maximum	**0.4440**	**0.7261**	**0.7185**	**1.4900e-003**	**0.2061**	**0.0324**	**0.2386**	**0.0885**	**0.0300**	**0.1184**	**0.0000**	**134.0390**	**134.0390**	**0.0269**	**3.0800e-003**	**135.5242**

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EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Mitigated Construction

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	tons/yr										MT/yr					
2022	0.0760	0.7261	0.6237	1.3900e-003	0.1080	0.0324	0.1404	0.0432	0.0300	0.0731	0.0000	124.9273	124.9273	0.0269	2.7700e-003	126.4262
2023	0.4440	0.4929	0.7185	1.4900e-003	0.0610	0.0231	0.0841	0.0164	0.0215	0.0378	0.0000	134.0390	134.0390	0.0227	3.0800e-003	135.5241
Maximum	**0.4440**	**0.7261**	**0.7185**	**1.4900e-003**	**0.1080**	**0.0324**	**0.1404**	**0.0432**	**0.0300**	**0.0731**	**0.0000**	**134.0390**	**134.0390**	**0.0269**	**3.0800e-003**	**135.5241**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N20	CO2e
Percent Reduction	**0.00**	**0.00**	**0.00**	**0.00**	**37.50**	**0.00**	**31.11**	**43.62**	**0.00**	**29.34**	**0.00**	**0.00**	**0.00**	**0.00**	**0.00**	**0.00**

Quarter	Start Date	End Date	Maximum Unmitigated ROG + NOX (tons/quarter)	Maximum Mitigated ROG + NOX (tons/quarter)
1	6-1-2022	8-31-2022	0.3553	0.3553
2	9-1-2022	11-30-2022	0.3464	0.3464
3	12-1-2022	2-28-2023	0.2700	0.2700
4	3-1-2023	5-31-2023	0.2648	0.2648
5	6-1-2023	8-31-2023	0.4922	0.4922
6	9-1-2023	9-30-2023	0.0046	0.0046
		Highest	0.4922	0.4922

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EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

2.2 Overall Operational

Unmitigated Operational

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Area	0.5562	0.0432	1.6285	1.4200e-003		0.0692	0.0692		0.0692	0.0692	8.0977	28.4174	36.5151	0.0403	4.8000e-004	37.6673
Energy	7.2700e-003	0.0622	0.0265	4.0000e-004		5.0300e-003	5.0300e-003		5.0300e-003	5.0300e-003	0.0000	154.2628	154.2628	8.3200e-003	2.1600e-003	155.1150
Mobile	0.3597	0.4247	3.8091	8.1900e-003	0.8450	6.0400e-003	0.8510	0.2254	5.6000e-003	0.2310	0.0000	765.5843	765.5843	0.0520	0.0332	776.7616
Waste						0.0000	0.0000		0.0000	0.0000	11.2985	0.0000	11.2985	0.6677	0.0000	27.9915
Water						0.0000	0.0000		0.0000	0.0000	2.5011	27.9977	30.4988	0.2593	6.3500e-003	38.8730
Total	**0.9231**	**0.5300**	**5.4641**	**0.0100**	**0.8450**	**0.0803**	**0.9253**	**0.2254**	**0.0799**	**0.3053**	**21.8973**	**976.2621**	**998.1595**	**1.0276**	**0.0421**	**1,036.4084**

Mitigated Operational

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Area	0.5154	0.0372	1.2578	2.1000e-004		8.7500e-003	8.7500e-003		8.7500e-003	8.7500e-003	0.0000	28.4174	28.4174	2.4700e-003	4.8000e-004	28.6231
Energy	7.2700e-003	0.0622	0.0265	4.0000e-004		5.0300e-003	5.0300e-003		5.0300e-003	5.0300e-003	0.0000	154.2628	154.2628	8.3200e-003	2.1600e-003	155.1150
Mobile	0.3597	0.4247	3.8091	8.1900e-003	0.8450	6.0400e-003	0.8510	0.2254	5.6000e-003	0.2310	0.0000	765.5843	765.5843	0.0520	0.0332	776.7616
Waste						0.0000	0.0000		0.0000	0.0000	5.6492	0.0000	5.6492	0.3339	0.0000	13.9958
Water						0.0000	0.0000		0.0000	0.0000	2.0009	23.7593	25.7602	0.2075	5.1000e-003	32.4666
Total	**0.8823**	**0.5240**	**5.0934**	**8.8000e-003**	**0.8450**	**0.0198**	**0.8648**	**0.2254**	**0.0194**	**0.2448**	**7.6501**	**972.0238**	**979.6739**	**0.6042**	**0.0409**	**1,006.9621**

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EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N20	CO2e
Percent Reduction	4.42	1.14	6.78	12.09	0.00	75.32	6.54	0.00	75.73	19.81	65.06	0.43	1.85	41.21	2.97	2.84

3.0 Construction Detail

Construction Phase

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Demolition	Demolition	6/1/2022	6/28/2022	5	20	
2	Site Preparation	Site Preparation	6/29/2022	7/12/2022	5	10	
3	Grading	Grading	7/13/2022	10/4/2022	5	60	
4	Building Construction	Building Construction	10/5/2022	5/31/2023	5	171	
5	Paving	Paving	6/1/2023	7/1/2023	5	22	
6	Architectural Coating	Architectural Coating	6/1/2023	9/1/2023	5	67	

Acres of Grading (Site Preparation Phase): 5

Acres of Grading (Grading Phase): 45

Acres of Paving: 0

Residential Indoor: 245,025; Residential Outdoor: 81,675; Non-Residential Indoor: 0; Non-Residential Outdoor: 0; Striped Parking Area: 0 (Architectural

OffRoad Equipment

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Demolition	Concrete/Industrial Saws	1	8.00	81	0.73
Demolition	Rubber Tired Dozers	1	1.00	247	0.40
Demolition	Tractors/Loaders/Backhoes	2	6.00	97	0.37
Site Preparation	Graders	1	8.00	187	0.41
Site Preparation	Tractors/Loaders/Backhoes	1	8.00	97	0.37
Grading	Graders	1	6.00	187	0.41
Grading	Rubber Tired Dozers	1	6.00	247	0.40
Grading	Tractors/Loaders/Backhoes	1	7.00	97	0.37

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EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Building Construction	Cranes	1	4.00	231	0.29
Building Construction	Forklifts	2	6.00	89	0.20
Building Construction	Tractors/Loaders/Backhoes	2	8.00	97	0.37
Paving	Cement and Mortar Mixers	4	6.00	9	0.56
Paving	Pavers	1	7.00	130	0.42
Paving	Rollers	1	7.00	80	0.38
Paving	Tractors/Loaders/Backhoes	1	7.00	97	0.37
Architectural Coating	Air Compressors	1	6.00	78	0.48

Trips and VMT

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Demolition	4	10.00	0.00	55.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Site Preparation	2	5.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Grading	3	8.00	0.00	125.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Building Construction	5	87.00	13.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Paving	7	18.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Architectural Coating	1	17.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT

3.1 Mitigation Measures Construction

Replace Ground Cover

Water Exposed Area

Water Unpaved Roads

Reduce Vehicle Speed on Unpaved Roads

Clean Paved Roads

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EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.2 Demolition - 2022

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					5.9100e-003	0.0000	5.9100e-003	8.9000e-004	0.0000	8.9000e-004	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	7.0900e-003	0.0641	0.0747	1.2000e-004		3.3800e-003	3.3800e-003		3.2300e-003	3.2300e-003	0.0000	10.4136	10.4136	1.9200e-003	0.0000	10.4617
Total	**7.0900e-003**	**0.0641**	**0.0747**	**1.2000e-004**	**5.9100e-003**	**3.3800e-003**	**9.2900e-003**	**8.9000e-004**	**3.2300e-003**	**4.1200e-003**	**0.0000**	**10.4136**	**10.4136**	**1.9200e-003**	**0.0000**	**10.4617**

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	1.3000e-004	4.8600e-003	1.0800e-003	2.0000e-005	4.7000e-004	3.0000e-005	5.1000e-004	1.3000e-004	3.0000e-005	1.6000e-004	0.0000	1.6986	1.6986	9.0000e-005	2.7000e-004	1.7812
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	3.4000e-004	2.9000e-004	3.7100e-003	1.0000e-005	1.1000e-003	1.0000e-005	1.1000e-003	2.9000e-004	1.0000e-005	3.0000e-004	0.0000	0.9071	0.9071	3.0000e-005	2.0000e-005	0.9151
Total	**4.7000e-004**	**5.1500e-003**	**4.7900e-003**	**3.0000e-005**	**1.5700e-003**	**4.0000e-005**	**1.6100e-003**	**4.2000e-004**	**4.0000e-005**	**4.6000e-004**	**0.0000**	**2.6057**	**2.6057**	**1.2000e-004**	**2.9000e-004**	**2.6962**

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EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					2.5200e-003	0.0000	2.5200e-003	3.8000e-004	0.0000	3.8000e-004	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	7.0900e-003	0.0641	0.0747	1.2000e-004		3.3800e-003	3.3800e-003		3.2300e-003	3.2300e-003	0.0000	10.4136	10.4136	1.9200e-003	0.0000	10.4616
Total	**7.0900e-003**	**0.0641**	**0.0747**	**1.2000e-004**	**2.5200e-003**	**3.3800e-003**	**5.9000e-003**	**3.8000e-004**	**3.2300e-003**	**3.6100e-003**	**0.0000**	**10.4136**	**10.4136**	**1.9200e-003**	**0.0000**	**10.4616**

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	1.3000e-004	4.8600e-003	1.0800e-003	2.0000e-005	4.5000e-004	3.0000e-005	4.9000e-004	1.2000e-004	3.0000e-005	1.6000e-004	0.0000	1.6986	1.6986	9.0000e-005	2.7000e-004	1.7812
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	3.4000e-004	2.9000e-004	3.7100e-003	1.0000e-005	1.0400e-003	1.0000e-005	1.0500e-003	2.8000e-004	1.0000e-005	2.8000e-004	0.0000	0.9071	0.9071	3.0000e-005	2.0000e-005	0.9151
Total	**4.7000e-004**	**5.1500e-003**	**4.7900e-003**	**3.0000e-005**	**1.4900e-003**	**4.0000e-005**	**1.5400e-003**	**4.0000e-004**	**4.0000e-005**	**4.4000e-004**	**0.0000**	**2.6057**	**2.6057**	**1.2000e-004**	**2.9000e-004**	**2.6962**

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EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.3 Site Preparation - 2022

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					2.6500e-003	0.0000	2.6500e-003	2.9000e-004	0.0000	2.9000e-004	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	2.9000e-003	0.0347	0.0198	5.0000e-005		1.2900e-003	1.2900e-003		1.1800e-003	1.1800e-003	0.0000	4.2752	4.2752	1.3800e-003	0.0000	4.3098
Total	**2.9000e-003**	**0.0347**	**0.0198**	**5.0000e-005**	**2.6500e-003**	**1.2900e-003**	**3.9400e-003**	**2.9000e-004**	**1.1800e-003**	**1.4700e-003**	**0.0000**	**4.2752**	**4.2752**	**1.3800e-003**	**0.0000**	**4.3098**

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	9.0000e-005	7.0000e-005	9.3000e-004	0.0000	2.7000e-004	0.0000	2.8000e-004	7.0000e-005	0.0000	7.0000e-005	0.0000	0.2268	0.2268	1.0000e-005	1.0000e-005	0.2288
Total	**9.0000e-005**	**7.0000e-005**	**9.3000e-004**	**0.0000**	**2.7000e-004**	**0.0000**	**2.8000e-004**	**7.0000e-005**	**0.0000**	**7.0000e-005**	**0.0000**	**0.2268**	**0.2268**	**1.0000e-005**	**1.0000e-005**	**0.2288**

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EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					1.1300e-003	0.0000	1.1300e-003	1.2000e-004	0.0000	1.2000e-004	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	2.9000e-003	0.0347	0.0198	5.0000e-005		1.2900e-003	1.2900e-003		1.1800e-003	1.1800e-003	0.0000	4.2752	4.2752	1.3800e-003	0.0000	4.3098
Total	**2.9000e-003**	**0.0347**	**0.0198**	**5.0000e-005**	**1.1300e-003**	**1.2900e-003**	**2.4200e-003**	**1.2000e-004**	**1.1800e-003**	**1.3000e-003**	**0.0000**	**4.2752**	**4.2752**	**1.3800e-003**	**0.0000**	**4.3098**

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	9.0000e-005	7.0000e-005	9.3000e-004	0.0000	2.6000e-004	0.0000	2.6000e-004	7.0000e-005	0.0000	7.0000e-005	0.0000	0.2268	0.2268	1.0000e-005	1.0000e-005	0.2288
Total	**9.0000e-005**	**7.0000e-005**	**9.3000e-004**	**0.0000**	**2.6000e-004**	**0.0000**	**2.6000e-004**	**7.0000e-005**	**0.0000**	**7.0000e-005**	**0.0000**	**0.2268**	**0.2268**	**1.0000e-005**	**1.0000e-005**	**0.2288**

Western Ave SRO Apartments Project - Los Angeles-South Coast County, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.4 Grading - 2022

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					0.1594	0.0000	0.1594	0.0771	0.0000	0.0771	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	0.0325	0.3601	0.1781	4.2000e-004		0.0155	0.0155		0.0143	0.0143	0.0000	37.1443	37.1443	0.0120	0.0000	37.4446
Total	**0.0325**	**0.3601**	**0.1781**	**4.2000e-004**	**0.1594**	**0.0155**	**0.1749**	**0.0771**	**0.0143**	**0.0914**	**0.0000**	**37.1443**	**37.1443**	**0.0120**	**0.0000**	**37.4446**

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	2.9000e-004	0.0111	2.4600e-003	4.0000e-005	1.0800e-003	8.0000e-005	1.1500e-003	3.0000e-004	7.0000e-005	3.7000e-004	0.0000	3.8604	3.8604	2.0000e-004	6.1000e-004	4.0481
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	8.2000e-004	6.9000e-004	8.9100e-003	2.0000e-005	2.6300e-003	2.0000e-005	2.6500e-003	7.0000e-004	2.0000e-005	7.1000e-004	0.0000	2.1770	2.1770	6.0000e-005	6.0000e-005	2.1961
Total	**1.1100e-003**	**0.0118**	**0.0114**	**6.0000e-005**	**3.7100e-003**	**1.0000e-004**	**3.8000e-003**	**1.0000e-003**	**9.0000e-005**	**1.0800e-003**	**0.0000**	**6.0374**	**6.0374**	**2.6000e-004**	**6.7000e-004**	**6.2442**

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EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					0.0682	0.0000	0.0682	0.0330	0.0000	0.0330	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	0.0325	0.3601	0.1781	4.2000e-004		0.0155	0.0155		0.0143	0.0143	0.0000	37.1443	37.1443	0.0120	0.0000	37.4446
Total	**0.0325**	**0.3601**	**0.1781**	**4.2000e-004**	**0.0682**	**0.0155**	**0.0837**	**0.0330**	**0.0143**	**0.0472**	**0.0000**	**37.1443**	**37.1443**	**0.0120**	**0.0000**	**37.4446**

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	2.9000e-004	0.0111	2.4600e-003	4.0000e-005	1.0300e-003	8.0000e-005	1.1000e-003	2.8000e-004	7.0000e-005	3.6000e-004	0.0000	3.8604	3.8604	2.0000e-004	6.1000e-004	4.0481
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	8.2000e-004	6.9000e-004	8.9100e-003	2.0000e-005	2.4900e-003	2.0000e-005	2.5100e-003	6.6000e-004	2.0000e-005	6.8000e-004	0.0000	2.1770	2.1770	6.0000e-005	6.0000e-005	2.1961
Total	**1.1100e-003**	**0.0118**	**0.0114**	**6.0000e-005**	**3.5200e-003**	**1.0000e-004**	**3.6100e-003**	**9.4000e-004**	**9.0000e-005**	**1.0400e-003**	**0.0000**	**6.0374**	**6.0374**	**2.6000e-004**	**6.7000e-004**	**6.2442**

Western Ave SRO Apartments Project - Los Angeles-South Coast County, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.5 Building Construction - 2022

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	0.0216	0.2213	0.2253	3.6000e-004		0.0117	0.0117		0.0108	0.0108	0.0000	31.5465	31.5465	0.0102	0.0000	31.8016
Total	**0.0216**	**0.2213**	**0.2253**	**3.6000e-004**		**0.0117**	**0.0117**		**0.0108**	**0.0108**	**0.0000**	**31.5465**	**31.5465**	**0.0102**	**0.0000**	**31.8016**

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	8.0000e-004	0.0211	6.9800e-003	8.0000e-005	2.5800e-003	1.9000e-004	2.7700e-003	7.4000e-004	1.8000e-004	9.3000e-004	0.0000	7.8197	7.8197	2.6000e-004	1.1300e-003	8.1624
Worker	9.3900e-003	7.8200e-003	0.1017	2.7000e-004	0.0300	2.0000e-004	0.0302	7.9800e-003	1.8000e-004	8.1600e-003	0.0000	24.8583	24.8583	7.1000e-004	6.8000e-004	25.0771
Total	**0.0102**	**0.0289**	**0.1087**	**3.5000e-004**	**0.0326**	**3.9000e-004**	**0.0330**	**8.7200e-003**	**3.6000e-004**	**9.0900e-003**	**0.0000**	**32.6780**	**32.6780**	**9.7000e-004**	**1.8100e-003**	**33.2395**

Western Ave SRO Apartments Project - Los Angeles-South Coast County, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	0.0216	0.2213	0.2253	3.6000e-004		0.0117	0.0117		0.0108	0.0108	0.0000	31.5465	31.5465	0.0102	0.0000	31.8016
Total	**0.0216**	**0.2213**	**0.2253**	**3.6000e-004**		**0.0117**	**0.0117**		**0.0108**	**0.0108**	**0.0000**	**31.5465**	**31.5465**	**0.0102**	**0.0000**	**31.8016**

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	8.0000e-004	0.0211	6.9800e-003	8.0000e-005	2.4700e-003	1.9000e-004	2.6600e-003	7.2000e-004	1.8000e-004	9.0000e-004	0.0000	7.8197	7.8197	2.6000e-004	1.1300e-003	8.1624
Worker	9.3900e-003	7.8200e-003	0.1017	2.7000e-004	0.0285	2.0000e-004	0.0287	7.5900e-003	1.8000e-004	7.7700e-003	0.0000	24.8583	24.8583	7.1000e-004	6.8000e-004	25.0771
Total	**0.0102**	**0.0289**	**0.1087**	**3.5000e-004**	**0.0309**	**3.9000e-004**	**0.0313**	**8.3100e-003**	**3.6000e-004**	**8.6700e-003**	**0.0000**	**32.6780**	**32.6780**	**9.7000e-004**	**1.8100e-003**	**33.2395**

Western Ave SRO Apartments Project - Los Angeles-South Coast County, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.5 Building Construction - 2023

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	0.0341	0.3466	0.3832	6.2000e-004		0.0173	0.0173		0.0159	0.0159	0.0000	54.1126	54.1126	0.0175	0.0000	54.5501
Total	**0.0341**	**0.3466**	**0.3832**	**6.2000e-004**		**0.0173**	**0.0173**		**0.0159**	**0.0159**	**0.0000**	**54.1126**	**54.1126**	**0.0175**	**0.0000**	**54.5501**

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	7.9000e-004	0.0283	0.0106	1.3000e-004	4.4200e-003	1.4000e-004	4.5600e-003	1.2800e-003	1.3000e-004	1.4100e-003	0.0000	12.7639	12.7639	4.3000e-004	1.8400e-003	13.3220
Worker	0.0149	0.0118	0.1605	4.5000e-004	0.0515	3.2000e-004	0.0518	0.0137	2.9000e-004	0.0140	0.0000	41.4916	41.4916	1.0900e-003	1.0700e-003	41.8368
Total	**0.0157**	**0.0401**	**0.1711**	**5.8000e-004**	**0.0559**	**4.6000e-004**	**0.0564**	**0.0150**	**4.2000e-004**	**0.0154**	**0.0000**	**54.2556**	**54.2556**	**1.5200e-003**	**2.9100e-003**	**55.1587**

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EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	0.0341	0.3466	0.3832	6.2000e-004		0.0173	0.0173		0.0159	0.0159	0.0000	54.1125	54.1125	0.0175	0.0000	54.5500
Total	**0.0341**	**0.3466**	**0.3832**	**6.2000e-004**		**0.0173**	**0.0173**		**0.0159**	**0.0159**	**0.0000**	**54.1125**	**54.1125**	**0.0175**	**0.0000**	**54.5500**

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	7.9000e-004	0.0283	0.0106	1.3000e-004	4.2400e-003	1.4000e-004	4.3700e-003	1.2300e-003	1.3000e-004	1.3600e-003	0.0000	12.7639	12.7639	4.3000e-004	1.8400e-003	13.3220
Worker	0.0149	0.0118	0.1605	4.5000e-004	0.0488	3.2000e-004	0.0491	0.0130	2.9000e-004	0.0133	0.0000	41.4916	41.4916	1.0900e-003	1.0700e-003	41.8368
Total	**0.0157**	**0.0401**	**0.1711**	**5.8000e-004**	**0.0530**	**4.6000e-004**	**0.0535**	**0.0143**	**4.2000e-004**	**0.0147**	**0.0000**	**54.2556**	**54.2556**	**1.5200e-003**	**2.9100e-003**	**55.1587**

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EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.6 Paving - 2023

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	6.7200e-003	0.0606	0.0772	1.2000e-004		2.9100e-003	2.9100e-003		2.7100e-003	2.7100e-003	0.0000	10.3392	10.3392	3.0100e-003	0.0000	10.4145
Paving	0.0000					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Total	**6.7200e-003**	**0.0606**	**0.0772**	**1.2000e-004**		**2.9100e-003**	**2.9100e-003**		**2.7100e-003**	**2.7100e-003**	**0.0000**	**10.3392**	**10.3392**	**3.0100e-003**	**0.0000**	**10.4145**

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	6.3000e-004	5.0000e-004	6.7600e-003	2.0000e-005	2.1700e-003	1.0000e-005	2.1800e-003	5.8000e-004	1.0000e-005	5.9000e-004	0.0000	1.7487	1.7487	5.0000e-005	4.0000e-005	1.7632
Total	**6.3000e-004**	**5.0000e-004**	**6.7600e-003**	**2.0000e-005**	**2.1700e-003**	**1.0000e-005**	**2.1800e-003**	**5.8000e-004**	**1.0000e-005**	**5.9000e-004**	**0.0000**	**1.7487**	**1.7487**	**5.0000e-005**	**4.0000e-005**	**1.7632**

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EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	6.7200e-003	0.0606	0.0772	1.2000e-004		2.9100e-003	2.9100e-003		2.7100e-003	2.7100e-003	0.0000	10.3391	10.3391	3.0100e-003	0.0000	10.4144
Paving	0.0000					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Total	**6.7200e-003**	**0.0606**	**0.0772**	**1.2000e-004**		**2.9100e-003**	**2.9100e-003**		**2.7100e-003**	**2.7100e-003**	**0.0000**	**10.3391**	**10.3391**	**3.0100e-003**	**0.0000**	**10.4144**

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	6.3000e-004	5.0000e-004	6.7600e-003	2.0000e-005	2.0600e-003	1.0000e-005	2.0700e-003	5.5000e-004	1.0000e-005	5.6000e-004	0.0000	1.7487	1.7487	5.0000e-005	4.0000e-005	1.7632
Total	**6.3000e-004**	**5.0000e-004**	**6.7600e-003**	**2.0000e-005**	**2.0600e-003**	**1.0000e-005**	**2.0700e-003**	**5.5000e-004**	**1.0000e-005**	**5.6000e-004**	**0.0000**	**1.7487**	**1.7487**	**5.0000e-005**	**4.0000e-005**	**1.7632**

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EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.7 Architectural Coating - 2023

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Archit. Coating	0.3786					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	6.4200e-003	0.0437	0.0607	1.0000e-004		2.3700e-003	2.3700e-003		2.3700e-003	2.3700e-003	0.0000	8.5534	8.5534	5.1000e-004	0.0000	8.5662
Total	**0.3850**	**0.0437**	**0.0607**	**1.0000e-004**		**2.3700e-003**	**2.3700e-003**		**2.3700e-003**	**2.3700e-003**	**0.0000**	**8.5534**	**8.5534**	**5.1000e-004**	**0.0000**	**8.5662**

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	1.8100e-003	1.4400e-003	0.0195	5.0000e-005	6.2400e-003	4.0000e-005	6.2800e-003	1.6600e-003	4.0000e-005	1.6900e-003	0.0000	5.0297	5.0297	1.3000e-004	1.3000e-004	5.0715
Total	**1.8100e-003**	**1.4400e-003**	**0.0195**	**5.0000e-005**	**6.2400e-003**	**4.0000e-005**	**6.2800e-003**	**1.6600e-003**	**4.0000e-005**	**1.6900e-003**	**0.0000**	**5.0297**	**5.0297**	**1.3000e-004**	**1.3000e-004**	**5.0715**

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EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Archit. Coating	0.3786					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	6.4200e-003	0.0437	0.0607	1.0000e-004		2.3700e-003	2.3700e-003		2.3700e-003	2.3700e-003	0.0000	8.5534	8.5534	5.1000e-004	0.0000	8.5662
Total	**0.3850**	**0.0437**	**0.0607**	**1.0000e-004**		**2.3700e-003**	**2.3700e-003**		**2.3700e-003**	**2.3700e-003**	**0.0000**	**8.5534**	**8.5534**	**5.1000e-004**	**0.0000**	**8.5662**

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	1.8100e-003	1.4400e-003	0.0195	5.0000e-005	5.9200e-003	4.0000e-005	5.9500e-003	1.5800e-003	4.0000e-005	1.6100e-003	0.0000	5.0297	5.0297	1.3000e-004	1.3000e-004	5.0715
Total	**1.8100e-003**	**1.4400e-003**	**0.0195**	**5.0000e-005**	**5.9200e-003**	**4.0000e-005**	**5.9500e-003**	**1.5800e-003**	**4.0000e-005**	**1.6100e-003**	**0.0000**	**5.0297**	**5.0297**	**1.3000e-004**	**1.3000e-004**	**5.0715**

Western Ave SRO Apartments Project - Los Angeles-South Coast County, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

4.0 Operational Detail - Mobile

4.1 Mitigation Measures Mobile

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Mitigated	0.3597	0.4247	3.8091	8.1900e-003	0.8450	6.0400e-003	0.8510	0.2254	5.6000e-003	0.2310	0.0000	765.5843	765.5843	0.0520	0.0332	776.7616
Unmitigated	0.3597	0.4247	3.8091	8.1900e-003	0.8450	6.0400e-003	0.8510	0.2254	5.6000e-003	0.2310	0.0000	765.5843	765.5843	0.0520	0.0332	776.7616

4.2 Trip Summary Information

	Average Daily Trip Rate			Unmitigated	Mitigated
Land Use	Weekday	Saturday	Sunday	Annual VMT	Annual VMT
Apartments Mid Rise	658.24	658.24	658.24	2,249,306	2,249,306
Total	658.24	658.24	658.24	2,249,306	2,249,306

4.3 Trip Type Information

	Miles			Trip %			Trip Purpose %		
Land Use	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Apartments Mid Rise	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3

4.4 Fleet Mix

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Apartments Mid Rise	0.544785	0.062844	0.187478	0.127235	0.023089	0.006083	0.010475	0.008012	0.000925	0.000611	0.024394	0.000698	0.003374

Western Ave SRO Apartments Project - Los Angeles-South Coast County, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

5.0 Energy Detail

Historical Energy Use: N

5.1 Mitigation Measures Energy

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Electricity Mitigated						0.0000	0.0000		0.0000	0.0000	0.0000	82.2694	82.2694	6.9400e-003	8.4000e-004	82.6939
Electricity Unmitigated						0.0000	0.0000		0.0000	0.0000	0.0000	82.2694	82.2694	6.9400e-003	8.4000e-004	82.6939
NaturalGas Mitigated	7.2700e-003	0.0622	0.0265	4.0000e-004		5.0300e-003	5.0300e-003		5.0300e-003	5.0300e-003	0.0000	71.9933	71.9933	1.3800e-003	1.3200e-003	72.4212
NaturalGas Unmitigated	7.2700e-003	0.0622	0.0265	4.0000e-004		5.0300e-003	5.0300e-003		5.0300e-003	5.0300e-003	0.0000	71.9933	71.9933	1.3800e-003	1.3200e-003	72.4212

5.2 Energy by Land Use - NaturalGas

Unmitigated

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	tons/yr										MT/yr					
Apartments Mid Rise	1.3491e+006	7.2700e-003	0.0622	0.0265	4.0000e-004		5.0300e-003	5.0300e-003		5.0300e-003	5.0300e-003	0.0000	71.9933	71.9933	1.3800e-003	1.3200e-003	72.4212
Total		**7.2700e-003**	**0.0622**	**0.0265**	**4.0000e-004**		**5.0300e-003**	**5.0300e-003**		**5.0300e-003**	**5.0300e-003**	**0.0000**	**71.9933**	**71.9933**	**1.3800e-003**	**1.3200e-003**	**72.4212**

Western Ave SRO Apartments Project - Los Angeles-South Coast County, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Mitigated

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	tons/yr										MT/yr					
Apartments Mid Rise	1.3491e+006	7.2700e-003	0.0622	0.0265	4.0000e-004		5.0300e-003	5.0300e-003		5.0300e-003	5.0300e-003	0.0000	71.9933	71.9933	1.3800e-003	1.3200e-003	72.4212
Total		**7.2700e-003**	**0.0622**	**0.0265**	**4.0000e-004**		**5.0300e-003**	**5.0300e-003**		**5.0300e-003**	**5.0300e-003**	**0.0000**	**71.9933**	**71.9933**	**1.3800e-003**	**1.3200e-003**	**72.4212**

5.3 Energy by Land Use - Electricity

Unmitigated

	Electricity Use	Total CO2	CH4	N2O	CO2e
Land Use	kWh/yr	MT/yr			
Apartments Mid Rise	463893	82.2694	6.9400e-003	8.4000e-004	82.6939
Total		**82.2694**	**6.9400e-003**	**8.4000e-004**	**82.6939**

Mitigated

	Electricity Use	Total CO2	CH4	N2O	CO2e
Land Use	kWh/yr	MT/yr			
Apartments Mid Rise	463893	82.2694	6.9400e-003	8.4000e-004	82.6939

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EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Total		**82.2694**	**6.9400e-003**	**8.4000e-004**	**82.6939**

Western Ave SRO Apartments Project - Los Angeles-South Coast County, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

6.0 Area Detail

6.1 Mitigation Measures Area

Use only Natural Gas Hearths

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Mitigated	0.5154	0.0372	1.2578	2.1000e-004		8.7500e-003	8.7500e-003		8.7500e-003	8.7500e-003	0.0000	28.4174	28.4174	2.4700e-003	4.8000e-004	28.6231
Unmitigated	0.5562	0.0432	1.6285	1.4200e-003		0.0692	0.0692		0.0692	0.0692	8.0977	28.4174	36.5151	0.0403	4.8000e-004	37.6673

6.2 Area by SubCategory

Unmitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	tons/yr										MT/yr					
Architectural Coating	0.0379					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Consumer Products	0.4372					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Hearth	0.0435	0.0288	0.3804	1.3500e-003		0.0623	0.0623		0.0623	0.0623	8.0977	26.3791	34.4768	0.0384	4.8000e-004	35.5799
Landscaping	0.0376	0.0144	1.2481	7.0000e-005		6.9100e-003	6.9100e-003		6.9100e-003	6.9100e-003	0.0000	2.0383	2.0383	1.9600e-003	0.0000	2.0873
Total	**0.5562**	**0.0432**	**1.6285**	**1.4200e-003**		**0.0692**	**0.0692**		**0.0692**	**0.0692**	**8.0977**	**28.4174**	**36.5151**	**0.0403**	**4.8000e-004**	**37.6673**

Western Ave SRO Apartments Project - Los Angeles-South Coast County, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Mitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	tons/yr										MT/yr					
Architectural Coating	0.0379					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Consumer Products	0.4372					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Hearth	2.6700e-003	0.0228	9.6900e-003	1.5000e-004		1.8400e-003	1.8400e-003		1.8400e-003	1.8400e-003	0.0000	26.3791	26.3791	5.1000e-004	4.8000e-004	26.5358
Landscaping	0.0376	0.0144	1.2481	7.0000e-005		6.9100e-003	6.9100e-003		6.9100e-003	6.9100e-003	0.0000	2.0383	2.0383	1.9600e-003	0.0000	2.0873
Total	**0.5154**	**0.0372**	**1.2578**	**2.2000e-004**		**8.7500e-003**	**8.7500e-003**		**8.7500e-003**	**8.7500e-003**	**0.0000**	**28.4174**	**28.4174**	**2.4700e-003**	**4.8000e-004**	**28.6231**

7.0 Water Detail

7.1 Mitigation Measures Water

Install Low Flow Bathroom Faucet

Install Low Flow Kitchen Faucet

Install Low Flow Toilet

Install Low Flow Shower

Use Water Efficient Irrigation System

	Total CO2	CH4	N2O	CO2e
Category	MT/yr			
Mitigated	25.7602	0.2075	5.1000e-003	32.4666
Unmitigated	30.4988	0.2593	6.3500e-003	38.8730

Western Ave SRO Apartments Project - Los Angeles-South Coast County, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

7.2 Water by Land Use

Unmitigated

	Indoor/Outdoor Use	Total CO2	CH4	N2O	CO2e
Land Use	Mgal	MT/yr			
Apartments Mid Rise	7.88364 / 4.97012	30.4988	0.2593	6.3500e-003	38.8730
Total		**30.4988**	**0.2593**	**6.3500e-003**	**38.8730**

Mitigated

	Indoor/Outdoor Use	Total CO2	CH4	N2O	CO2e
Land Use	Mgal	MT/yr			
Apartments Mid Rise	6.30691 / 4.66694	25.7602	0.2075	5.1000e-003	32.4666
Total		**25.7602**	**0.2075**	**5.1000e-003**	**32.4666**

Western Ave SRO Apartments Project - Los Angeles-South Coast County, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

8.0 Waste Detail

8.1 Mitigation Measures Waste

Institute Recycling and Composting Services

Category/Year

	Total CO2	CH4	N2O	CO2e
	MT/yr			
Mitigated	5.6492	0.3339	0.0000	13.9958
Unmitigated	11.2985	0.6677	0.0000	27.9915

8.2 Waste by Land Use

Unmitigated

	Waste Disposed	Total CO2	CH4	N2O	CO2e
Land Use	tons	MT/yr			
Apartments Mid Rise	55.66	11.2985	0.6677	0.0000	27.9915
Total		**11.2985**	**0.6677**	**0.0000**	**27.9915**

Western Ave SRO Apartments Project - Los Angeles-South Coast County, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Mitigated

	Waste Disposed	Total CO2	CH4	N2O	CO2e
Land Use	tons	MT/yr			
Apartments Mid Rise	27.83	5.6492	0.3339	0.0000	13.9958
Total		**5.6492**	**0.3339**	**0.0000**	**13.9958**

9.0 Operational Offroad

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type

10.0 Stationary Equipment

Fire Pumps and Emergency Generators

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type

Boilers

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type

User Defined Equipment

Equipment Type	Number

11.0 Vegetation

Kimley»Horn

TECHNICAL MEMORANDUM

To: Amanda Acuna, Senior Planner, Lisa Kranitz, Assistant City Attorney, City of Gardena

From: Rita Garcia, Project Manager, and Ryan Chiene, Technical Manager

Date: November 30, 2021

Subject: Western SRO Apartments Project, City of Gardena – Noise Analysis

1.0 INTRODUCTION & PURPOSE

The purpose of this Technical Memorandum is to identify the noise impacts associated with construction and operations of the proposed Western SRO Apartments project (project), located at 13126 Western Avenue in the City of Gardena, California (City). This Technical Memorandum has been prepared to support an exemption from the California Environmental Quality Act (CEQA) in accordance with State CEQA Guidelines Section 15332 (In-Fill Development Projects). Specifically, this analysis addresses the project's potential effects related to noise referenced in State CEQA Guidelines Section 15332(d).

2.0 PROJECT DESCRIPTION

Project Location

The proposed project site is located northeast of the West 132nd Street at Western Avenue intersection, at 13126 South Western Avenue in the northern portion of the City of Gardena, County of Los Angeles, California. The assessor's parcel number (APN) for the project site is APN 6102-006-013. The site is bordered by light-industrial uses; there are single-family residences to the west on Manhattan Place.

Regional access to the project site is provided via Interstate 105 (I-105) from the north and Interstate 110 (I-110) from the east. Local access to the site is provided via Western Avenue and 132nd Street. The project site and surrounding area are characterized as built out and urbanized, with mainly industrial and residential land uses.

Project Characteristics

The project site is designated as Industrial and zoned General Industrial (M-1). The project site is currently developed with a convenience store (2,755 square feet) and autobody shop (9,981 square feet) with surface parking.The project proposes to demolish all on-site improvements and, in their place, construct a four-story, 121 unit single-room occupancy (SRO) residential development including 7 very low-income residential units. All units, including the very low-income units, would be 350 square feet. The project's total proposed floor area is 54,461 square feet with a proposed building height maximum of 50 feet. Further, the project proposes to provide 20,115 square feet of open space, exceeding the City's open space requirement of 10 square feet per unit.

The project would provide 122 parking spaces, of which 114 spaces would be provided in a freestanding six-level automated parking structure, and 8 covered parking spaces (6 standard and 2 compact) would be provided to the south of the parking structure on the ground level. Additionally, 40 bicycle parking spaces in a stacked rack system would be provided.

3.0 NOISE BACKGROUND

Sound is technically described in terms of amplitude (loudness) and frequency (pitch). The standard unit of sound amplitude measurement is the decibel (dB). The decibel scale is a logarithmic scale that describes the physical intensity of the pressure vibrations that make up any sound. The pitch of the sound is related to the frequency of the pressure vibration. Since the human ear is not equally sensitive to a given sound level at all frequencies, a special frequency-dependent rating scale has been devised to relate noise to human sensitivity. The A-weighted decibel scale (dBA) provides this compensation by discriminating against frequencies in a manner approximating the sensitivity of the human ear.

Noise, on the other hand, is typically defined as unwanted sound. A typical noise environment consists of a base of steady ambient noise that is the sum of various distant and indistinguishable noise sources. Superimposed on this background noise is the sound from individual local sources. These can vary from an occasional aircraft or train passing by to virtually continuous noise from traffic on a major highway.

Several rating scales have been developed to analyze the adverse effect of community noise on people. Since environmental noise fluctuates over time, these scales consider that the effect of noise on people is largely dependent on the total acoustical energy content of the noise as well as the time of day when the noise occurs. For example, the equivalent

continuous sound level (L_{eq}) is the average acoustic energy content of noise for a stated period of time; thus, the L_{eq} of a time-varying noise and that of a steady noise are the same if they deliver the same acoustic energy to the ear during exposure. The Day-Night Sound level (L_{dn}) is a 24-hour average L_{eq} with a 10 dBA "weighting" added to noise during the hours of 10:00 p.m. to 7:00 a.m. to account for noise sensitivity in the nighttime. The Community Noise Equivalent Level (CNEL) is a 24-hour average L_{eq} with a 10 dBA weighting added to noise during the hours of 10:00 p.m. to 7:00 a.m. and an additional 5 dBA weighting during the hours of 7:00 p.m. to 10:00 p.m. to account for noise sensitivity in the evening and nighttime.

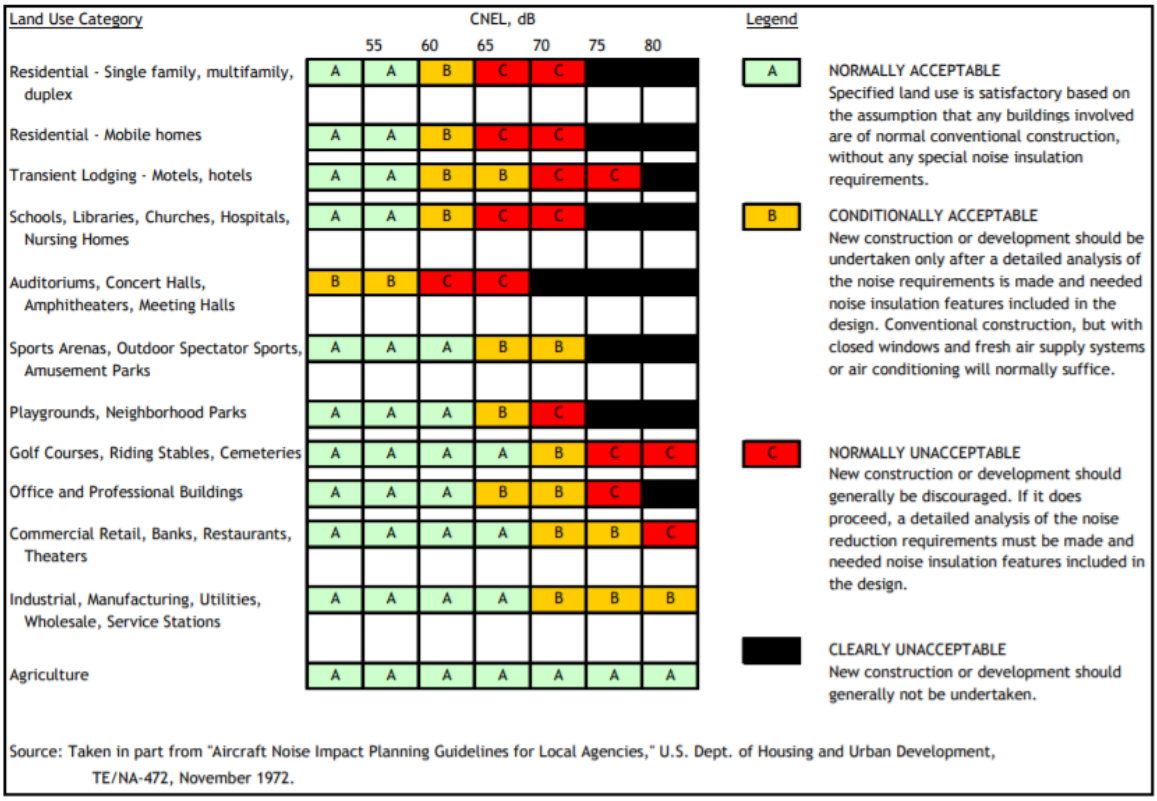
Regulatory Setting

City of Gardena General Plan

The *City of Gardena General Plan 2006 Noise Plan* (Noise Element) identifies noise-sensitive land uses and noise sources, defines areas of noise impact, and contains policies and programs to achieve and maintain noise levels compatible with various types of land uses. The Noise Element addresses noise which affects the community at large, rather than noise associated with site-specific conditions.

The Noise Element identifies land use guidelines to protect residential neighborhoods and noise-sensitive receptors such as schools and hospitals from potentially harmful noise sources. The noise and land use compatibly criteria are shown in **Exhibit 1: Land Use Compatibility for Community Noise Exposure**.

Exhibit 1: Land Use Compatibility for Community Noise Exposure.



Source: Gardena General Plan 2006 - Noise Plan, Figure N-1: Noise and Land Use Compatibility

City of Gardena Municipal Code

The following Gardena Municipal Code (GMC) sections are applicable to the proposed project.

GMC Section 8.36.040 Exterior Noise Standards. Stationary noise sources shall comply with the following exterior noise limits shown in **Table 1: Exterior Noise Limits**.

Table 1: Exterior Noise Limits

Type of Land Use	15-Minute Average Noise Level (L_{eq})		Maximum Noise Level (L_{max})	
	7 a.m. to 10 p.m.	10 p.m. to 7 a.m.	7 a.m. to 10 p.m.	10 p.m. to 7 a.m.
Residential	55 dB(A)	50 dB(A)	75 dB(A)	70 dB(A)
Residential portions of mixed-use	60 dB(A)	50 dB(A)	80 dB(A)	70 dB(A)
Commercial	65 dB(A)	60 dB(A)	85 dB(A)	80 dB(A)

Industrial or manufacturing	70 dB(A)	70 dB(A)	90 dB(A)	90 dB(A)
Source: City of Gardena, *Gardena Municipal Code Section* 8.36.040.				

GMC Section 8.36.050 Interior Noise Limits. Stationary noise sources will comply with the following interior noise limits shown in **Table 2: Interior Noise Limits**.

Table 2: Interior Noise Limits

Type of Land Use	15-Minute Average Noise Level (L_{eq})		Maximum Noise Level (L_{max})	
	7 a.m. to 10 p.m.	10 p.m. to 7 a.m.	7 a.m. to 10 p.m.	10 p.m. to 7 a.m.
Residential	45 dB(A)	40 dB(A)	65 dB(A)	60 dB(A)
Residential portions of mixed-use	45 dB(A)	40 dB(A)	70 dB(A)	60 dB(A)
Source: City of Gardena, *Gardena Municipal Code Section* 8.36.050.				

It is noted that GMC Section 8.36.040 and Section 8.36.050 state that should the measured ambient noise level exceed the standards in **Table 1** and **Table 2**, the allowable noise exposure standard shall be the ambient noise level. Further, GMC Section 8.36.080 establishes limited hours of construction activities. GMC Section 8.36.080 states that the aforementioned noise restrictions do not apply to noise associated with construction, repair, remodeling, grading or demolition of any real property, provided said activities do not take place between the hours of 6:00 p.m. and 7:00 a.m. on weekdays between the hours of 6:00 p.m. and 9:00 a.m. on Saturday or any time on Sunday or a federal holiday.

Existing Setting

Mobile noise sources, especially cars and trucks, are the most common and significant noise sources in most communities. Other noise sources are the various land uses (i.e., residential, commercial, institutional, and recreational and parks activities) throughout the City that generate stationary-source noise. The existing mobile noise sources in the project area are generated by motor vehicles traveling on Western Avenue and 132nd Street. The primary stationary noise sources in the project area are those associated with industrial operations bordering the project site, and the single-family residential uses to the west on Manhattan Place. Such noise sources include the use of mechanical equipment (e.g., heating, ventilation, and air conditioning [HVAC] equipment), idling vehicles, music playing, dogs barking, and people talking. The noise associated with these sources may represent a single-event noise occurrence or short-term noise.

4.0 NOISE IMPACTS

Construction Noise

Construction noise typically occurs intermittently and varies depending on the nature or phase of construction (e.g., land clearing, grading, excavation, paving). Noise generated by construction equipment, including earth movers, material handlers, and portable generators, can reach high levels. During construction, exterior noise levels could affect sensitive receptors near the construction site.

Construction activities would include demolition, site preparation, grading, building construction, paving, and architectural coating. Such activities may require graders, dozers, and tractors during site preparation and grading; cranes, forklifts, generators, tractors, and welders during building construction; pavers, rollers, mixers, tractors, and paving equipment during paving; and air compressors during architectural coating. Typical operating cycles for these types of construction equipment may involve 1 or 2 minutes of full power operation followed by 3 to 4 minutes at lower power settings. Other primary sources of acoustical disturbance would be random incidents, which would last less than one minute (such as dropping large pieces of equipment or the hydraulic movement of machinery lifts). Noise generated by construction equipment, including earth movers, material handlers, and portable generators, can reach high levels. Typical noise levels associated with individual construction equipment are listed in **Table 3: Typical Construction Noise Levels**.

Table 3: Typical Construction Noise Levels

Equipment	Typical Noise Level (dBA) at 50 Feet from Source	Typical Noise Level (dBA) at 100 Feet from Source[1]
Air Compressor	80	74
Backhoe	80	74
Compactor	82	76
Concrete Mixer	85	79
Concrete Pump	82	76
Concrete Vibrator	76	70
Crane, Mobile	83	77
Dozer	85	79
Generator	82	76
Grader	85	79
Jack Hammer	88	82

Table 3: Typical Construction Noise Levels		
Equipment	**Typical Noise Level (dBA) at 50 Feet from Source**	**Typical Noise Level (dBA) at 100 Feet from Source[1]**
Loader	80	74
Paver	85	79
Pneumatic Tool	85	79
Pump	77	71
Roller	85	79
Saw	76	70
Shovel	82	76
Truck	84	78
1. Calculated using the inverse square law formula for sound attenuation: $dBA_2 = dBA_1+20Log(d_1/d_2)$ Where: dBA_2 = estimated noise level at receptor; dBA_1 = reference noise level; d_1 = reference distance; d_2 = receptor location distance.		
Source: Federal Transit Administration, *Transit Noise and Vibration Impact Assessment Manual*, September 2018.		

GMC Section 8.36.080(G) indicates that noise associated with construction activity is considered exempt from noise regulations provided a permit has been obtained from the City as required, and construction activities do not take place between the hours of 6:00 p.m. and 7:00 a.m. on weekdays, between the hours of 6:00 p.m. and 9:00 a.m. on Saturdays, or at any time on Sunday or a federal holiday. The City does not administer noise level standards for construction activities. However, this analysis conservatively uses the Federal Transit Administration (FTA) threshold of 80 dBA (8-hour L_{eq}) for residential uses and 90 dBA (8-hour L_{eq}) for industrial uses to evaluate construction noise impacts.[1]

Following FTA's methodology for quantitative construction noise assessments, the Federal Highway Administration (FHWA's) Roadway Construction Noise Model (RCNM) was used to predict construction noise at the nearest receptors (i.e., residential uses to the west and industrial uses to the north, south, east, and west) consistent with the methodologies in the FTA *Transit Noise and Vibration Impact Assessment Manual* (September 2018) (FTA Noise and Vibration Manual). **Table 4: Project Construction Noise Levels** shows the estimated exterior construction noise levels at the nearest sensitive receptors.

[1] Federal Transit Administration, *Transit Noise and Vibration Impact Assessment Manual*, Table 7-2, Page 179, September 2018.

Table 4: Project Construction Noise Levels

Construction Phase	Receptor Location			Worst-Case Modeled Exterior Noise Level (dBA L_{eq})	Noise Threshold (dBA L_{eq})[2]	Exceeded?
	Land Use	Direction	Distance (feet) [1]			
Demolition	Residential	West	430	64.9	80	No
	Industrial	East	72	80.4	90	No
Site Preparation	Residential	West	430	63.3	80	No
	Industrial	East	72	78.9	90	No
Grading	Residential	West	430	63.7	80	No
	Industrial	East	72	79.2	90	No
Building Construction	Residential	West	430	62.7	80	No
	Industrial	East	72	77.6	90	No
Paving	Residential	West	430	64.4	80	No
	Industrial	East	72	79.9	90	No
Architectural Coating	Residential	West	430	55.0	80	No
	Industrial	East	72	70.5	90	No

1. Per the methodology described in the FTA Noise and Vibration Manual (September 2018), distances are measured from the property line of the nearest receptors to the center of the project construction site.
2. The City does not have a quantitative noise threshold for construction. Therefore, the construction noise thresholds from the FTA Noise and Vibration Manual (September 2018) are conservatively used for this analysis.

Source: Federal Highway Administration, *Roadway Construction Noise Model,* 2006. Refer to **Appendix A: RCNM Modeling Results** for noise modeling results.

Following FTA methodology, when calculating construction noise, all equipment is assumed to operate at the center of the project site because equipment would operate throughout the site and not at a fixed location for extended periods of time. Therefore, the distances used in the RCNM model were 430 feet for the nearest residential uses to the west and 72 feet for the nearest non-residential (i.e., industrial) uses to the east.

As indicated in **Table 4**, project construction noise would not exceed the FTA noise threshold for residential and non-residential uses. In addition, although construction noise levels may exceed the existing ambient levels in the area (see **Table 1**), construction would be temporary and would not result in a permanent increase in ambient noise levels in the area. Project construction would also be prohibited between 6:00 p.m. and 7:00 a.m. on weekdays, between the hours of 6:00 p.m. and 9:00 a.m. on Saturdays, or at any time on Sunday or a federal holiday in compliance with GMC Section 8.36.080(G). Therefore, the project's construction noise levels would result in a less than significant impact.

Operational Noise – Stationary Sources

The project would create new sources of noise in the area. The primary noise sources associated with the project that could potentially impact sensitive uses include mechanical equipment (e.g., air conditioners, etc.), outdoor amenity/recreational areas, the parking structure and ground level parking spaces south of the parking structure (i.e., car door slamming, car radios, people talking, engine start-up, and car pass-by), dogs barking, and off-site traffic noise.

Mechanical Equipment. Potential stationary noise sources related to long-term project operations would include mechanical equipment (HVAC units and automated parking structure mechanisms). The nearest noise sensitive receptors to the project site are the single-family residences located approximately 225 feet to the west of the nearest proposed HVAC equipment. HVAC equipment typically generates noise levels of approximately 52 dBA at 50 feet from the source.[2] Noise has a decay rate due to distance attenuation, which is calculated based on the Inverse Square Law of sound propagation. Based upon the Inverse Square Law, sound levels decrease by 6 dBA for each doubling of distance from the source. As a result, HVAC equipment noise would attenuate to 38.9 dBA at the property line of the residences located approximately 225 feet from on-site mechanical equipment and would not exceed the City's most stringent exterior and interior standards of 50 dBA L_{eq} and 40 dBA L_{eq},[3] respectively, for residential uses. Therefore, the project's HVAC equipment noise levels would result in a less than significant impact. See the Parking Areas section below for a discussion concerning the noise level of the mechanisms used in the automated parking structure.

Outdoor Amenity and Recreational Areas. The proposed project would include a ground-level pool and courtyard area in the eastern portion of the project site, and common deck areas on the third and fourth floors. These areas could be accessed by groups of people intermittently for various occasions (e.g., birthday parties, barbecues, and other social gatherings, etc.). Noise generated by groups of people (i.e., crowds) is dependent on several factors including vocal effort, impulsiveness, and the random orientation of the crowd members. Crowd noise is estimated at 60 dBA at one meter (3.28 feet) away for raised normal speaking.[4] This noise level would have a +5 dBA adjustment for the impulsiveness of the noise source, and a -3 dBA adjustment for the random orientation of the crowd members.[5]

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2 Elliott H. Berger, Rick Neitzel, and Cynthia A. Kladden, *Noise Navigator Sound Level Database with Over 1700 Measurement Values*, June 26, 2015.

3 Assuming an exterior-to-interior noise reduction of 25 dBA (HUD *Noise Guidebook,* 2009).

4 M.J. Hayne, et al, Prediction of Crowd Noise, Acoustics, November 2006.

5 Ibid.

Therefore, crowd noise would be approximately 62 dBA at one meter from the source.

Based on distance attenuation, crowd noise would be approximately 20.6 dBA at the property line of the closest sensitive receptors (i.e., single-family residences located approximately 385 feet from the nearest common deck area), which would not exceed the City's most stringent exterior and interior standards of 50 dBA L_{eq} and 40 dBA L_{eq},[6] respectively, for residential uses. Therefore, the project's outdoor amenity and recreational area noise levels would result in a less than significant impact.

Parking Areas. The project would include a freestanding six-level, 114 car automated parking structure in the northern portion of the project site, and 8 covered parking spaces (6 standard and 2 compact) to the south of the automated parking structure. The noise level of the mechanisms used in the automated parking structure would be approximately 52 dBA at 6.0 feet from the source.[7] The nearest off-site residential uses would be located approximately 390 feet from the automated parking structure. At this distance, noise levels from the automated parking structure mechanisms would be approximately 15.7 dBA at the property line of the closest sensitive receptors, which is inaudible and well below the City's exterior or interior noise standards of 50 dBA L_{eq} and 40 dBA L_{eq},[8] respectively, for residential uses. Therefore, the noise levels from the project's automated parking structure mechanisms would result in a less than significant impact.

Noise levels from the traffic associated with parking lots is typically not of sufficient volume to exceed community noise standards due to the instantaneous nature and infrequent activity in parking lots. However, the maximum sound levels generated by a car door slamming, engine starting up, and car pass-bys range from 53 to 61 dBA[9] and may be an annoyance to adjacent noise-sensitive receptors. Based on the inverse square law of sound propagation, exterior parking lot noise levels would range from approximately 34.9 dBA to 42.9 dBA at the property line of the closest residences to the west of the site. As such, noise levels from parking lot activities would not exceed the City's most stringent exterior and interior standards of 50 dBA L_{eq} and 40 dBA L_{eq},[10] respectively, for residential uses. It is also noted that parking lot noise is currently generated at the adjacent industrial uses bordering the project site under existing conditions. In addition, parking, driveway, and noise from on-site vehicle circulation would be consistent with existing noise in the vicinity and would be partially masked by background

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6 Assuming an exterior-to-interior noise reduction of 25 dBA (HUD *Noise Guidebook,* 2009).

7 Automated Robotic Parking, *Parking System FAQ's*, http://www.automatedroboticparking.com/frequently-asked-questions/, accessed November 17, 2021.

8 Assuming an exterior-to-interior noise reduction of 25 dBA (HUD *Noise Guidebook,* 2009).

9 Kariel, H. G., Noise in Rural Recreational Environments, Canadian Acoustics 19(5), 3-10, 1991.

10 Assuming an exterior-to-interior noise reduction of 25 dBA (HUD *Noise Guidebook,* 2009).

traffic noise from motor vehicles traveling along Western Avenue and West 132nd Street. Therefore, the project's parking lot noise levels would result in a less than significant impact.

Dog Run Noise. The project would include a dog run in the northwestern corner of the site along Western Avenue. The noise level from residents' dogs barking is approximately 60 dBA at 50 feet.[11] The nearest noise-sensitive receptors (single-family residences) would be approximately 370 feet from the proposed dog run area. At this distance, noise levels from the dog run would be approximately 42.6 dBA from the property line of the nearest sensitive receptors and would not exceed the City's most stringent exterior and interior standards of 50 dBA L_{eq} and 40 dBA L_{eq},[12] respectively, for residential uses. In addition, noise from the dog run area would be partially masked by background traffic noise from motor vehicles traveling along Western Avenue to the west of the project site. Therefore, the project's dog run noise levels would result in a less than significant impact.

Operational Noise – Mobile Sources

Project implementation would result in reduced traffic trips in the project area roadways. According to the *Summary of Project Trip Generation – Western SRO Apartments Project* (Kimley-Horn, 2021) (Traffic Analysis), the project would result in 658 daily trips with 43 a.m. peak hour trips and 53 p.m. peak hour trips, and a net trip reduction of 1,054 trips compared to the existing uses. In general, a 3-dBA increase in traffic noise is barely perceptible to people, while a 5-dBA increase is readily noticeable. Traffic volumes on area roadways would have to approximately double for the resulting traffic noise levels to generate a barely perceptible 3-dBA increase.[13] Due to the project's lower trip generation than the existing use, the project would not result in a doubling of existing traffic volumes, and thus, would not increase traffic noise on area roadways. Therefore, the project's traffic noise levels would result in a less than significant impact.

5.0 VIBRATION IMPACTS

Increases in ground-borne vibration levels attributable to the proposed project would be primarily associated with short-term construction-related activities. Once operational, the project would not be a source of ground-borne vibration.

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[11] Elliott H. Berger, Rick Neitzel, and Cynthia A. Kladden, *Noise Navigator Sound Level Database with Over 1700 Measurement Values*, June 26, 2015.

[12] Assuming an exterior-to-interior noise reduction of 25 dBA (HUD *Noise Guidebook,* 2009).

[13] According to the California Department of Transportation, *Technical Noise Supplement to Traffic Noise Analysis Protocol* (September 2013), it takes a doubling of traffic to create a noticeable (i.e., 3 dBA) noise increase.

Construction Vibration

Construction on the project site could result in varying degrees of temporary ground-borne vibration, depending on the specific construction equipment used and the operations involved. The Federal Transit Administration (FTA) has published standard vibration velocities for construction equipment operations. In general, the FTA architectural damage criterion for continuous vibrations (i.e., 0.2 in/sec) appears to be conservative. The types of construction vibration impacts include human annoyance and building damage. Human annoyance occurs when construction vibration rises significantly above the threshold of human perception for extended periods of time. Building damage can be cosmetic or structural. Ordinary buildings that are not particularly fragile would not experience any cosmetic damage (e.g., plaster cracks) at distances beyond 30 feet. This distance can vary substantially depending on the soil composition and underground geological layer between vibration source and receiver. In addition, not all buildings respond similarly to vibration generated by construction equipment. For example, for a building that is constructed with reinforced concrete with no plaster, the FTA guidelines show that a vibration level of up to 0.20 in/sec is considered safe and would not result in any construction vibration damage. This analysis uses the FTA architectural damage criterion for continuous vibrations at non-engineered timber and masonry buildings of 0.2 inch-per-second peak particle velocity (PPV) and human annoyance criterion of 0.4 inch-per-second PPV in accordance with Caltrans guidance[14] to evaluate potential construction vibration impacts.

Table 5: Typical Construction Equipment Vibration Levels, lists vibration levels at 25 feet for typical construction equipment. The nearest off-site building/structure is the industrial building located approximately 25 feet to the north of project construction activities. Groundborne vibration generated by construction equipment spreads through the ground and diminishes in magnitude with increases in distance. As indicated in **Table 5**, based on FTA data, vibration velocities from typical heavy construction equipment operations that would be used during project construction range from 0.003 to 0.089 in/sec PPV at 25 feet from the activity source.

Table 5: Typical Construction Equipment Vibration Levels

Equipment	Peak Particle Velocity at 25 Feet (in/sec)
Large Bulldozer	0.089
Caisson Drilling	0.089

[14] California Department of Transportation, *Transportation and Construction Vibration Guidance Manual, Table 20,* September 2013.

Loaded Trucks	0.076
Rock Breaker	0.059
Jackhammer	0.035
Small Bulldozer/Tractors	0.003
Source: Federal Transit Administration, *Transit Noise and Vibration Impact Assessment Manual*, 2018.	

As shown in **Table 5**, at 25 feet the vibration velocities from construction equipment would be a maximum of 0.089 in/sec PPV, which is below the FTA's 0.20 in/sec PPV threshold for building damage and Caltrans' 0.4 in/sec PPV threshold for human annoyance. It is also acknowledged that construction activities would occur throughout the project site and would not be concentrated at the point closest to the nearest off-site structures. Therefore, the project's construction vibration levels would result in a less than significant impact.

Operational Vibration

Once operational, the proposed project would not include vibration-generating uses or operations. Therefore, the project would result in no impact concerning operational vibration.

6.0 CONCLUSION

As is evidenced by the discussions presented above, the project's short-term construction and long-term operational noise and vibration impacts would be less than significant. No mitigation measure is required. Therefore, pursuant to State CEQA Guidelines Section 15332(d), the project would not result in any significant effects relating to noise.

Appendix A

RCNM Modeling Results

Roadway Construction Noise Model (RCNM),Version 1.1

Report date: 10/21/2021
Case Description: Demolition

**** Receptor #1 ****

Description	Land Use	Baselines (dBA) Daytime	Evening	Night
Residential - W	Residential	1.0	1.0	1.0

Equipment

Description	Impact Device	Usage (%)	Spec Lmax (dBA)	Actual Lmax (dBA)	Receptor Distance (feet)	Estimated Shielding (dBA)
Concrete Saw	No	20		89.6	430.0	0.0
Excavator	No	40		80.7	430.0	0.0

Results

Noise Limits (dBA)

Noise Limit Exceedance (dBA)

Calculated (dBA)				Day		Evening		Night	
Equipment	Lmax	Leq	Lmax	Leq	Lmax	Leq	Lmax	Leq	Lmax
Concrete Saw	70.9	63.9	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Excavator	62.0	58.0	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Total	70.9	64.9	N/A	N/A	N/A	N/A	N/A	N/A	N/A

**** Receptor #2 ****

Description	Land Use	Baselines (dBA) Daytime	Evening	Night
Industrial - N	Industrial	1.0	1.0	1.0

Equipment

Description	Impact Device	Usage (%)	Spec Lmax (dBA)	Actual Lmax (dBA)	Receptor Distance (feet)	Estimated Shielding (dBA)
Concrete Saw	No	20		89.6	72.0	0.0
Excavator	No	40		80.7	72.0	0.0

Results

Noise Limits (dBA)

Noise Limit Exceedance (dBA)

Equipment	Calculated (dBA) Day Lmax	Day Leq	Evening Lmax	Evening Leq	Night Lmax	Night Leq	Day Lmax	Day Leq	Evening Lmax	Evening Leq	Night Lmax	Night Leq
Concrete Saw	86.4	79.4	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Excavator	77.5	73.6	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Total	86.4	80.4	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

Roadway Construction Noise Model (RCNM),Version 1.1

Report date: 10/21/2021
Case Description: Site Prep

**** Receptor #1 ****

Description	Land Use	Baselines (dBA) Daytime	Evening	Night
Residential - W	Residential	1.0	1.0	1.0

Equipment

Description	Impact Device	Usage (%)	Spec Lmax (dBA)	Actual Lmax (dBA)	Receptor Distance (feet)	Estimated Shielding (dBA)
Dozer	No	40		81.7	430.0	0.0
Tractor	No	40	84.0		430.0	0.0

Results

Noise Limits (dBA)

Noise Limit Exceedance (dBA)

Night	Day	Calculated (dBA) Evening	Night	Day Evening	Night

Equipment	Lmax	Leq	Lmax	Leq	Lmax	Leq	Lmax	Leq	Lmax	Leq	Lmax	Leq
Dozer	63.0	59.0	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Tractor	65.3	61.3	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Total	65.3	63.3	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

**** Receptor #2 ****

Description	Land Use	Baselines (dBA) Daytime	Evening	Night
Industrial - N	Industrial	1.0	1.0	1.0

Equipment

Description	Impact Device	Usage (%)	Spec Lmax (dBA)	Actual Lmax (dBA)	Receptor Distance (feet)	Estimated Shielding (dBA)
Dozer	No	40		81.7	72.0	0.0
Tractor	No	40	84.0		72.0	0.0

Results

Noise Limits (dBA)

Noise Limit Exceedance (dBA)

Equipment	Calculated (dBA) Day Lmax	Day Leq	Evening Lmax	Evening Leq	Night Lmax	Night Leq	Day Lmax	Day Leq	Evening Lmax	Evening Leq	Night Lmax	Night Leq
Dozer	78.5	74.5	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Tractor	80.8	76.9	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Total	80.8	78.9	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

Roadway Construction Noise Model (RCNM),Version 1.1

Report date: 10/21/2021
Case Description: Grading

**** Receptor #1 ****

Description	Land Use	Baselines (dBA) Daytime	Evening	Night
Residential - W	Residential	1.0	1.0	1.0

Equipment

Description	Impact Device	Usage (%)	Spec Lmax (dBA)	Actual Lmax (dBA)	Receptor Distance (feet)	Estimated Shielding (dBA)
Grader	No	40	85.0		430.0	0.0
Excavator	No	40		80.7	430.0	0.0

Results

Noise Limits (dBA)

Noise Limit Exceedance (dBA)

Equipment	Calculated (dBA) Day Lmax	Day Leq	Evening Lmax	Evening Leq	Night Lmax	Night Leq	Day Lmax	Day Leq	Evening Lmax	Evening Leq	Night Lmax	Night Leq
Grader	66.3	62.3	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Excavator	62.0	58.0	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Total	66.3	63.7	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

**** Receptor #2 ****

Description	Land Use	Baselines (dBA) Daytime	Evening	Night
Industrial - N	Industrial	1.0	1.0	1.0

Equipment

Description	Impact Device	Usage (%)	Spec Lmax (dBA)	Actual Lmax (dBA)	Receptor Distance (feet)	Estimated Shielding (dBA)
Grader	No	40	85.0		72.0	0.0
Excavator	No	40		80.7	72.0	0.0

Results

Noise Limits (dBA)

Noise Limit Exceedance (dBA)

Equipment	Calculated (dBA) Day Lmax	Day Leq	Evening Lmax	Evening Leq	Night Lmax	Night Leq	Day Lmax	Day Leq	Evening Lmax	Evening Leq	Night Lmax	Night Leq
Grader	81.8	77.9	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Excavator	77.5	73.6	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Total	81.8	79.2	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

Roadway Construction Noise Model (RCNM),Version 1.1

Report date: 10/21/2021
Case Description: Building Construction

**** Receptor #1 ****

Description	Land Use	Baselines (dBA) Daytime	Evening	Night
Residential - W	Residential	1.0	1.0	1.0

Equipment

Description	Impact Device	Usage (%)	Spec Lmax (dBA)	Actual Lmax (dBA)	Receptor Distance (feet)	Estimated Shielding (dBA)
Crane	No	16		80.6	430.0	0.0
Tractor	No	40	84.0		430.0	0.0

Results

Noise Limits (dBA)

Noise Limit Exceedance (dBA)

Equipment	Calculated (dBA) Day Lmax	Day Leq	Evening Lmax	Evening Leq	Night Lmax	Night Leq	Day Lmax	Day Leq	Evening Lmax	Evening Leq	Night Lmax	Night Leq
Crane	61.9	53.9	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Tractor	65.3	61.3	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Total	65.3	62.1	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

**** Receptor #2 ****

Description	Land Use	Baselines (dBA) Daytime	Evening	Night
Industrial - N	Industrial	1.0	1.0	1.0

Equipment

Description	Impact Device	Usage (%)	Spec Lmax (dBA)	Actual Lmax (dBA)	Receptor Distance (feet)	Estimated Shielding (dBA)
Crane	No	16		80.6	72.0	0.0
Tractor	No	40	84.0		72.0	0.0

Results

Noise Limits (dBA)

Noise Limit Exceedance (dBA)

Equipment	Calculated (dBA) Day Lmax	Day Leq	Evening Lmax	Evening Leq	Night Lmax	Night Leq	Day Lmax	Day Leq	Evening Lmax	Evening Leq	Night Lmax	Night Leq
Crane	77.4	69.4	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Tractor	80.8	76.9	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Total	80.8	77.6	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

Roadway Construction Noise Model (RCNM),Version 1.1

Report date: 10/21/2021
Case Description: Paving

**** Receptor #1 ****

Description	Land Use	Baselines (dBA) Daytime	Evening	Night
Residential - W	Residential	1.0	1.0	1.0

Equipment

Description	Impact Device	Usage (%)	Spec Lmax (dBA)	Actual Lmax (dBA)	Receptor Distance (feet)	Estimated Shielding (dBA)
Paver	No	50		77.2	430.0	0.0
Pavement Scarafier	No	20		89.5	430.0	0.0

Results

Noise Limits (dBA)

Noise Limit Exceedance (dBA)

Night	Day	Calculated (dBA) Evening	Night	Day Evening	Night
Equipment	Lmax Leq	Lmax Leq	Lmax Leq	Lmax Leq	Lmax Leq
Paver	58.5 55.5	N/A N/A	N/A N/A	N/A N/A	N/A N/A
Pavement Scarafier	70.8 63.8	N/A N/A	N/A N/A	N/A N/A	N/A N/A
Total	70.8 64.4	N/A N/A	N/A N/A	N/A N/A	N/A N/A

**** Receptor #2 ****

Description	Land Use	Baselines (dBA) Daytime	Evening	Night
Industrial - N	Industrial	1.0	1.0	1.0

Equipment

Description	Impact Device	Usage (%)	Spec Lmax (dBA)	Actual Lmax (dBA)	Receptor Distance (feet)	Estimated Shielding (dBA)
Paver	No	50		77.2	72.0	0.0
Pavement Scarafier	No	20		89.5	72.0	0.0

Results

Noise Limits (dBA)

Noise Limit Exceedance (dBA)

Equipment	Calculated (dBA) Day Lmax	Day Leq	Evening Lmax	Evening Leq	Night Lmax	Night Leq	Day Lmax	Day Leq	Evening Lmax	Evening Leq	Night Lmax	Night Leq
Paver	74.1	71.0	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Pavement Scarafier	86.3	79.3	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Total	86.3	79.9	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

Roadway Construction Noise Model (RCNM),Version 1.1

Report date: 10/21/2021
Case Description: Architectural Coating

**** Receptor #1 ****

Description	Land Use	Baselines (dBA) Daytime	Evening	Night
Residential - W	Residential	1.0	1.0	1.0

Equipment

Description	Impact Device	Usage (%)	Spec Lmax (dBA)	Actual Lmax (dBA)	Receptor Distance (feet)	Estimated Shielding (dBA)
Compressor (air)	No	40		77.7	430.0	0.0

Results

Noise Limits (dBA)

Noise Limit Exceedance (dBA)

Equipment	Calculated (dBA) Day Lmax	Day Leq	Evening Lmax	Evening Leq	Night Lmax	Night Leq	Day Lmax	Day Leq	Evening Lmax	Evening Leq	Night Lmax	Night Leq
Compressor (air)	59.0	55.0	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Total	59.0	55.0	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

**** Receptor #2 ****

Description	Land Use	Baselines (dBA) Daytime	Evening	Night
Industrial - N	Industrial	1.0	1.0	1.0

Equipment

Description	Spec	Actual	Receptor	Estimated

Description	Impact Device	Usage (%)	Lmax (dBA)	Lmax (dBA)	Distance (feet)	Shielding (dBA)
Compressor (air)	No	40	77.7	72.0	0.0	

Results

Noise Limits (dBA)

Noise Limit Exceedance (dBA)

Equipment	Calculated (dBA) Day Lmax	Day Leq	Evening Lmax	Evening Leq	Night Lmax	Night Leq	Day Lmax	Day Leq	Evening Lmax	Evening Leq	Night Lmax	Night Leq
Compressor (air)	74.5	70.5	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Total	74.5	70.5	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

TECHNICAL MEMORANDUM

To: Amanda Acuna, Senior Planner, and Lisa Kranitz, Assistant City Attorney, City of Gardena

From: Rita Garcia, Project Manager, and Pranesh Tarikere, P.E. (TR 2728), Transportation Project Manager

Date: November 30, 2021

Subject: Western SRO Apartments Project, City of Gardena - Trip Generation and Vehicle Miles Traveled

1.0 INTRODUCTION & PURPOSE

The purpose of this Technical Memorandum is to identify the trip generation and vehicle miles traveled (VMT) associated with the proposed Western SRO Apartments Project (project), located at 13126 Western Avenue in the City of Gardena (City), California. This Technical Memorandum has been prepared to support an exemption from the California Environmental Quality Act (CEQA) in accordance with State CEQA Guidelines Section 15332 (In-Fill Development Projects). Specifically, this analysis addresses the project's potential effects relating to traffic referenced in State CEQA Guidelines Section 15332(d).

2.0 PROJECT DESCRIPTION

Project Location

The proposed project site is located northeast of the West 132nd Street at Western Avenue intersection, at 13126 South Western Avenue in the northern portion of the City of Gardena, County of Los Angeles, California. The project location is shown in its regional setting on **Attachment A**. The assessor's parcel number (APN) for the project site is APN 6102-006-013. The site is bordered by light-industrial uses; there are single-family residences to the west on Manhattan Place.

Regional access to the project site is provided via Interstate 105 (I-105) from the north and Interstate 110 (I-110) from the east. Local access to the site is provided via Western Avenue and 132nd Street. The project site is surrounded by light-industrial uses with single-family residential uses to the west, across Western Avenue.

Project Characteristics

The project site is designated as Industrial and zoned General Industrial (M-1). The project site is currently occupied with a convenience store (2,755 square feet) and autobody shop (9,981 square feet) with surface parking. The project proposes to demolish all on-site improvements and, in their place, construct a four-story, 121 unit single-room occupancy (SRO) residential development including 7 very low-income residential units. All units, including the very low-income units, would be 350 square feet. The project's total proposed floor area is 54,461 square feet with a proposed building height maximum of 50 feet. Further, the project proposes to provide 20,115 square feet of open space, exceeding the City's open space requirement of 10 square feet per unit. The project would provide 122 parking spaces, of which 114 spaces would be provided in a freestanding six-level automated parking structure, and 8 covered parking spaces (6 standard and 2 compact) would be provided to the south of the parking structure on the ground level. Additionally, 40 bicycle parking spaces in a stacked rack system would be provided. The proposed project's site plan is shown on **Attachment B**.

3.0 TRAFFIC IMPACTS

A trip generation analysis has been conducted to determine the net traffic volume that would be generated by the proposed project. The project's forecast trip generation was estimated using the Institute of Transportation Engineers (ITE) *Trip Generation Manual* (10th Edition) trip rates for Multifamily Housing (Mid-Rise) (ITE Land Use 221). Trip credits for the existing land uses that would be displaced of Convenience Market (ITE Land Use 851) and Automobile Parts and Service Center (ITE Land Use 943) were applied to the project site.

The trip rates and estimated project trip generation are shown on **Attachment C**. After applying existing use trip credits for the displaced land uses, the project is estimated to generate approximately 1,054 less daily trips, including 108 less trips in the AM peak hour and 21 less trips in the PM peak hour, compared to existing conditions.

4.0 VEHICLE MILES TRAVELED ASSESSMENT

Senate Bill 743 (SB 743) was approved by the California legislature in September 2013. SB 743 requires changes to CEQA, specifically directing the Governor's Office of Planning and Research (OPR) to develop alternative metrics to the use of vehicular "level of service" (LOS) for evaluating transportation projects. OPR has prepared a technical advisory ("OPR Technical Advisory") for evaluating transportation impacts in CEQA and has

recommended that VMT replace LOS as the primary measure of transportation impacts. The Natural Resources Agency has adopted updates to State CEQA Guidelines to incorporate SB 743 that requires use of VMT for purposes of determining a significant transportation impact under CEQA. As of July 1, 2020, a VMT-based metric is used to evaluate transportation impacts under CEQA.

OPR Technical Advisory suggests that a City may screen out VMT impacts using project size, maps, transit availability, and provision of affordable housing to quickly identify when a project would be expected to cause a less than significant impact without conducting a detailed study. The City of Gardena *SB 743 Implementation Transportation Analysis Updates (June 2020)* provides guidance on appropriate screening thresholds that can be used to identify when a proposed land use project is anticipated to result in a less than significant impact without conducting a more detailed level analysis.

Screening thresholds consist of the following:

1. Project Type Screening;
2. Low VMT Area Screening; and
3. Transit Proximity Screening.

A land use project is required to meet only one of the above screening thresholds to be presumed to result in a less than significant impact under CEQA pursuant to SB 743. The Low VMT Area Screening threshold has been used for the project, as discussed below.

Low VMT Area Screening

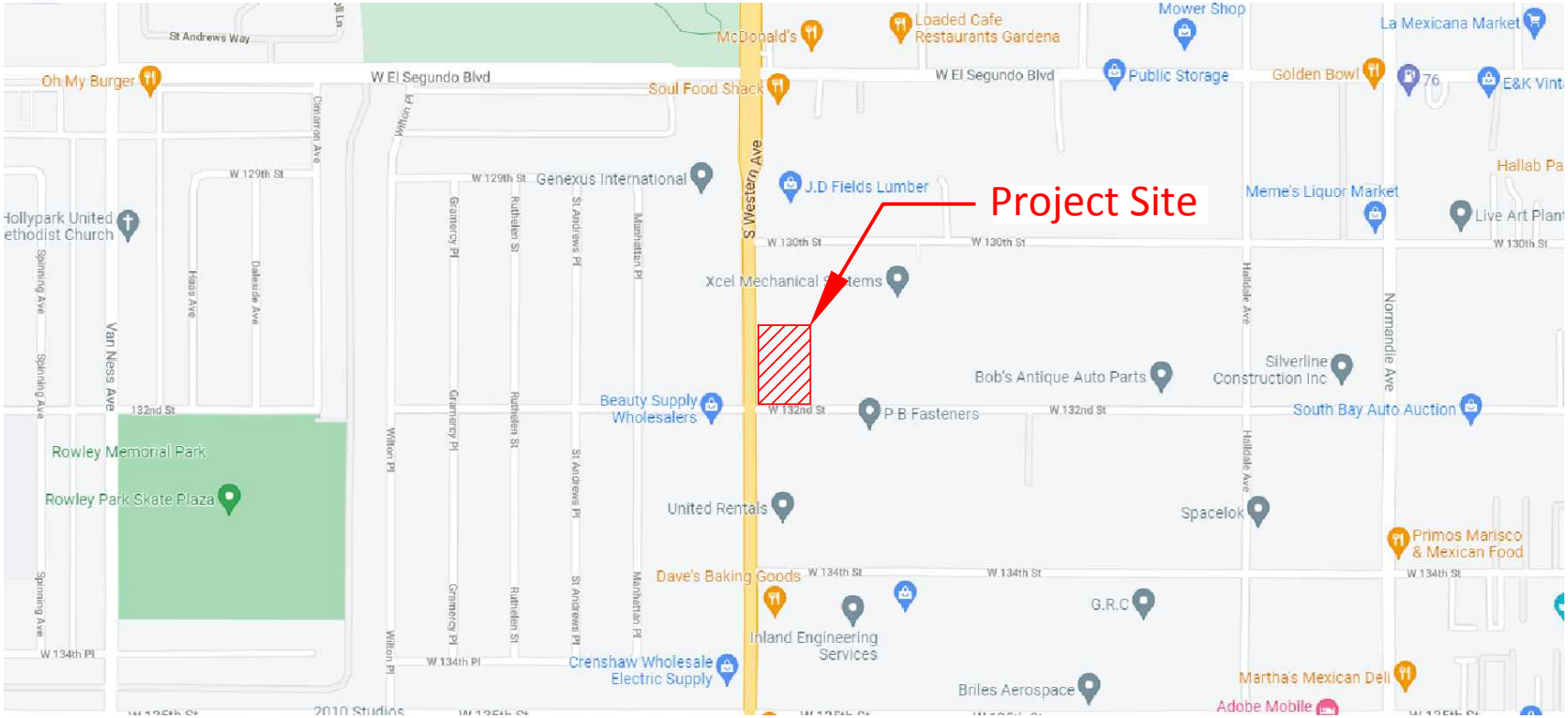
As described in the City Guidelines, residential and office projects located within a low VMT generating area may be presumed to have a less than significant impact absent substantial evidence to the contrary.

Low VMT areas for residential projects are defined as TAZs that generate VMT on a per capita basis that are at least 15% lower than the regional average. **Attachment D** illustrates the project is located in a TAZ that has VMT at least 15% lower than the regional average. Further, the project is expected to generate fewer net new daily trips than the existing uses. Therefore, the project may be presumed to have a less than significant VMT impact.

5.0 CONCLUSION

As is evidenced by the discussions presented above, the project would generate fewer trips than the existing uses, resulting in a less than significant traffic impact concerning VMT, based on Low VMT Area screening. Therefore, pursuant to State CEQA Guidelines Section 15332(d), the project would not result in any significant effects relating to traffic.

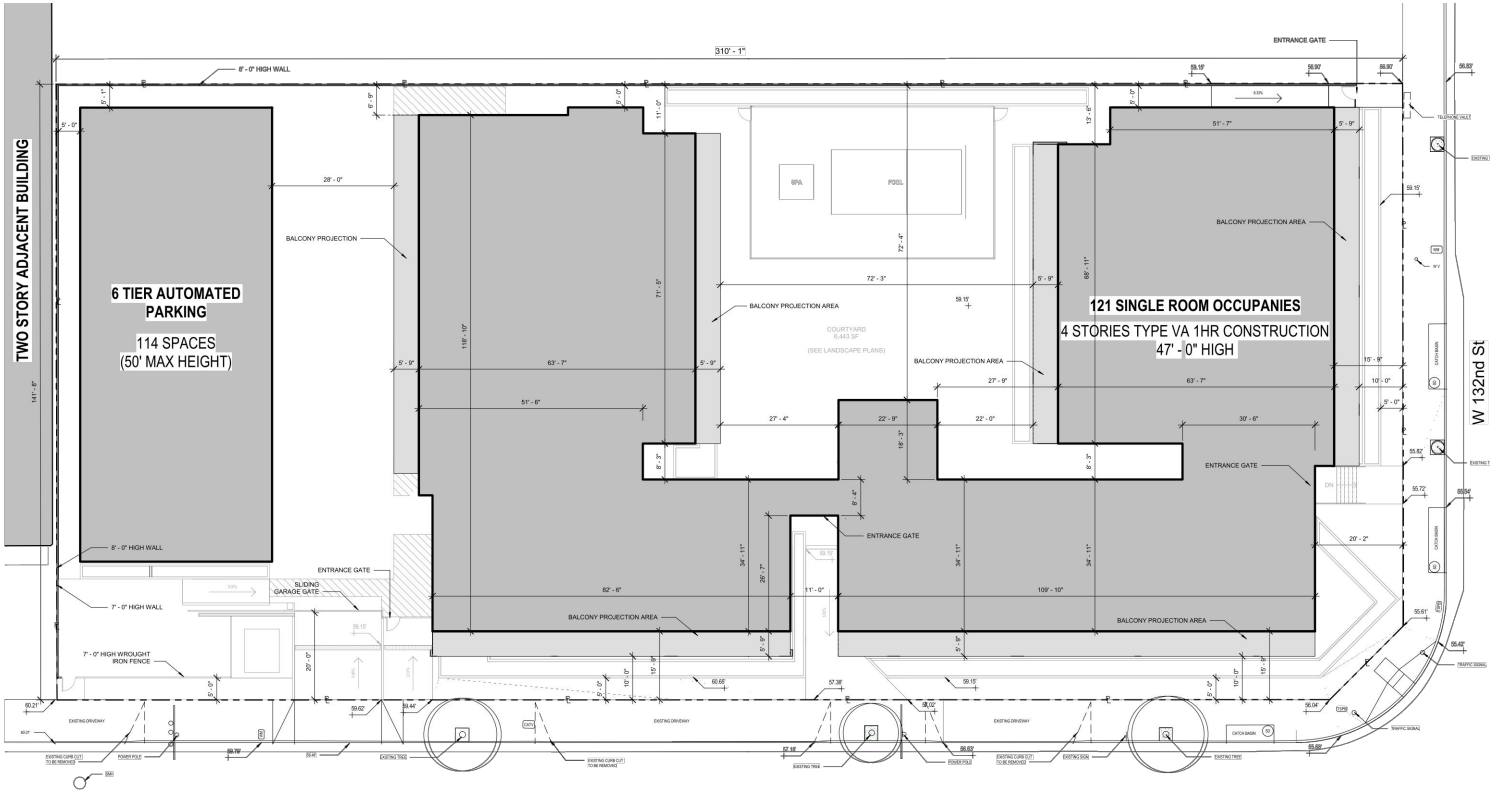
NOT TO SCALE



ATTACHMENT A
VICINITY MAP

Kimley»Horn

NOT TO SCALE



ATTACHMENT B
PROJECT SITE PLAN

Kimley»Horn

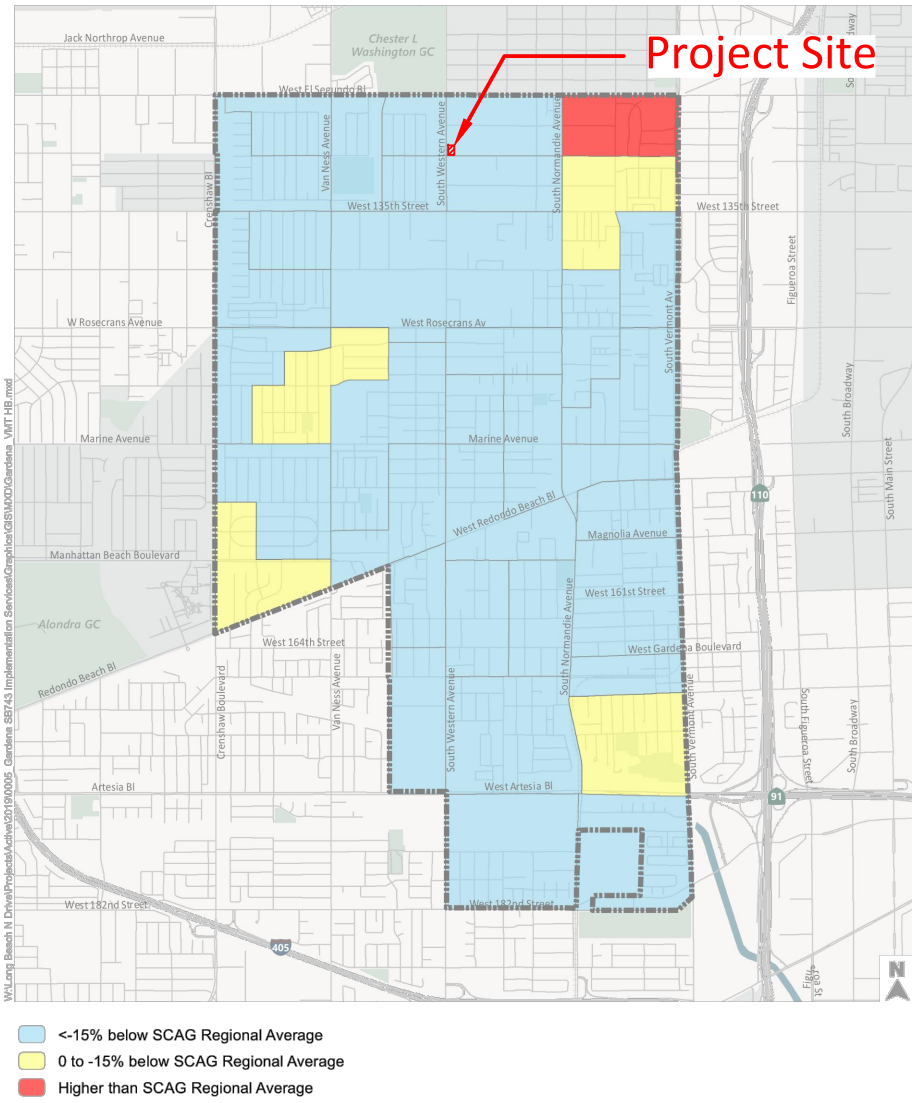
ATTACHMENT C
SUMMARY OF PROJECT TRIP GENERATION
WESTERN SRO APARTMENTS PROJECT

Land Use	ITE Code	Unit	Trip Generation Rates [1] Daily	AM Peak Hour In	AM Peak Hour Out	AM Peak Hour Total	PM Peak Hour In	PM Peak Hour Out	PM Peak Hour Total
Multifamily Housing (Mid-Rise)	221	DU	5.440	0.094	0.266	0.360	0.268	0.172	0.440
Convenience Market	851	KSF	762.280	31.270	31.270	62.540	25.046	24.064	49.110
Automobile Parts and Service Center	943	KSF	16.280	1.431	0.529	1.960	0.904	1.356	2.260

Land Use	Quantity	Unit	Trip Generation Estimates Daily	AM Peak Hour In	AM Peak Hour Out	AM Peak Hour Total	PM Peak Hour In	PM Peak Hour Out	PM Peak Hour Total
Existing Use									
Convenience Market	2.100	KSF	1,601	66	66	132	53	51	104
Pass-by Trips (51% PM) [2]			-53	0	0	0	-27	-26	-53
Automobile Parts and Service Center	10.080	KSF	164	14	5	19	9	14	23
Total Existing Trips			1,712	80	71	151	35	39	74
Proposed Use									
Multifamily Housing (Mid-Rise)	121	DU	658	11	32	43	32	21	53
Total Proposed Project Trips			658	11	32	43	32	21	53
Net Difference (Proposed Minus Existing)			-1,054	-69	-39	-108	-3	-18	-21

[1] Source: Institute of Transportation Engineers (ITE) Trip Generation Manual, 10th Edition

[2] Source: Institute of Transportation Engineers (ITE) Trip Generation Handbook, 3rd Edition



NOT TO SCALE

ATTACHMENT D
SCAG MODEL (2012)
DAILY RESIDENTIAL HOME BASED VMT PER CAPITA

Kimley»Horn

December 16, 2021

Rita Garcia
Project Manager
Kimley-Horn
1100 West Town and Country Road, Suite 700
Orange, California 92868

Subject: Preliminary Results for a Cultural Resources Assessment of the SRO Apartments Project, Gardena, Los Angeles County, California (BCR Consulting Project No. KIM2120)

Dear Rita:

BCR Consulting LLC (BCR Consulting) is presenting you with the following preliminary results for a Cultural Resources Assessment of the SRO Apartments Project (Project) located in the City of Gardena (City), Los Angeles County, California. Final results will be submitted upon receipt of the South Central Coastal Information Center (SCCIC) records search results.

Research

Although the SCCIC records search results have not been completed, BCR Consulting has completed land-use history research for the Project site. The property comprises two historic period buildings that require evaluation for California Register of Historical Resources listing eligibility. Assessor records show that Building 1 comprises a 2,100 square foot convenience store building constructed in 1965 and located at 13126 Western Avenue. The site was originally occupied by Arnold's Dairy, and eventually by other convenience stores. It has not been associated with any important events or individuals. Building 2 is a 10,080 square foot industrial building constructed in 1976 and located at 13130 Western Avenue, southeast of Building 1. It was originally occupied by a wholesale hardware business and currently by J & D Towing Auto Body Repair and Auto Sales. Building 2 has not been associated with any important events or individuals.

Field Survey

BCR Consulting Staff Historian George Brentner, B.A. visited the Project site on October 20, 2021. The entire Project site is paved, therefore, there is no potential to identify archaeological resources. The two historic-period buildings are in place as indicated above. Digital photographs (context and detail views) have been taken of each building, and they have been described in field notes. Building 1 is a wood-frame convenience store with side-gable roof. It is in fair condition, and no alterations were visible. Building 2 is constructed of brick and has a flat roof. The facade is partially shaded by a tile-roof awning and is accessed by two glass and aluminum doors located above a raised entry. The building contains three truck loading docks. It isin good condition, and no alterations were visible. Neither of the two buildings exhibit any important or interesting architectural features.

Report and Department of Park and Recreation Forms

The Cultural Resources Report and Department of Park and Recreation (DPR) 523 Forms are being prepared. However, these cannot be finalized until the SCCIC records search results are received. Based on the known information, as summarized above, neither of the two historic-period buildings that occupy the subject property appear to be significant under CEQA. **As such, development constraints and mitigations related to cultural resources are not anticipated.**

Paleontological Overview

The geologic units underlying the Project area are mapped as Quaternary alluvium dating to the Pliocene-Holocene, which is potentially fossiliferous. Quaternary alluvial units are considered to be of high paleontological sensitivity. The Western Science Center does not have localities within the Project area, but does have numerous localities within similarly mapped alluvial sediments throughout the region. Pleistocene alluvial deposits in southern California are well documented and known to contain abundant fossil resources including those associated with Columbian mammoth (Mammuthus columbi), Pacific mastodon (Mammut pacificus), sabertooth cat (Smilodon fatalis), ancient horse (Equus sp.), and many other Pleistocene megafauna. Any fossils recovered from the Project area would be scientifically significant. Excavation activity associated with development of the area has the potential to impact the paleontologically sensitive Quaternary alluvial units and the Western Science Center recommends that a paleontological resource mitigation plan be put in place to monitor, salvage, and curate any recovered fossils associated with the current study area.

Sacred Lands File Search

The Sacred Lands File search results with the Native American Heritage Commission were negative.

If you have any questions or comments regarding this proposed scope of work, please contact me at 909-525-7078 or david.brunzell@yahoo.com.

Sincerely,

BCR Consulting LLC

David Brunzell, M.A./RPA
Principal Investigator/Archaeologist

Attachment A: Photos

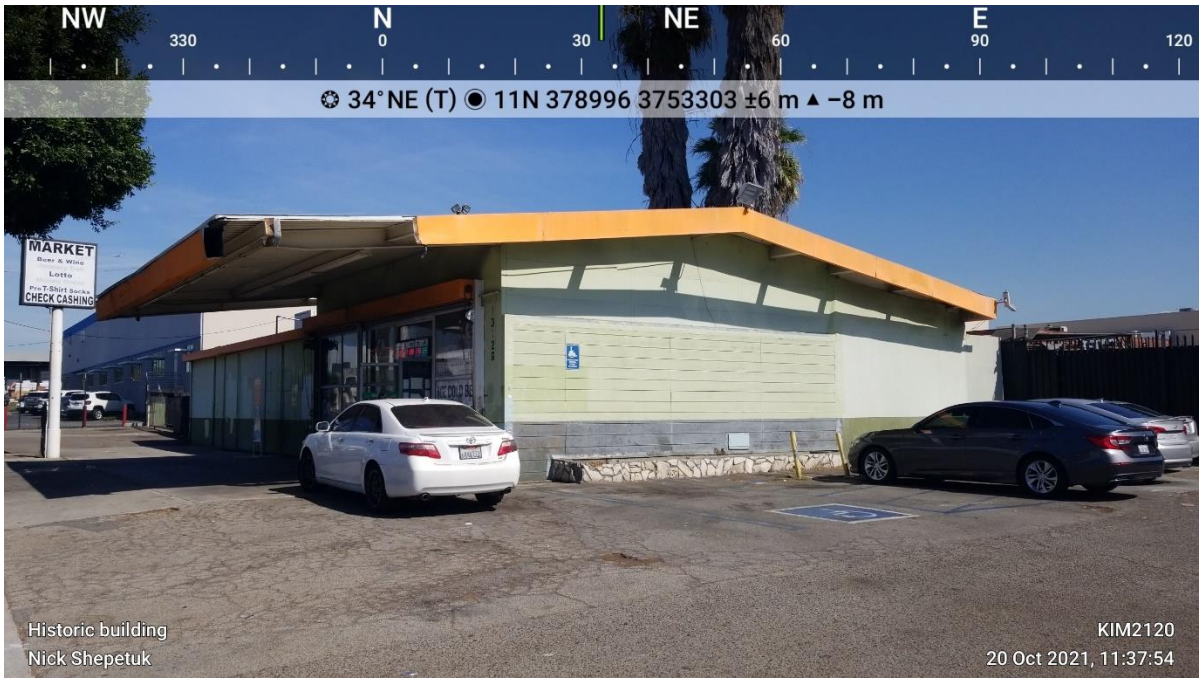


Photo 1: Convenience Store at 13126 Western Avenue

Photo 2: Industrial Building at 13130 Western Avenue

City of Gardena

Gardena City Council Meeting
AGENDA REPORT SUMMARY

Agenda Item No.12.A
Section: DEPARTMENTAL ITEMS - COMMUNITY DEVELOPMENT
Meeting Date: March 22, 2022

AGENDA STAFF REPORT

AGENDA TITLE: PUBLIC HEARING: RESOLUTION NO. 6570, UPHOLDING THE DECISION OF THE PLANNING COMMISSION APPROVING SITE PLAN REVIEW #5-21, CONDITIONAL USE PERMIT #5-21, AND CONDITIONAL USE PERMIT #6-21 TO DEVELOP A 121-UNIT SINGLE ROOM OCCUPANCY HOUSING DEVELOPMENT, WITH SEVEN VERY LOW INCOME UNITS, AND TWO, SIX-TIER AUTOMATED PARKING STRUCTURES ON A ONE-ACRE PROPERTY IN THE M-1 (INDUSTRIAL) ZONE WITH, AND DIRECTING STAFF TO FILE A NOTICE OF EXEMPTION FOR A CLASS 32 IN-FILL DEVELOPMENT

APPLICANT: West Realty Group, Inc., Lee Johnson

LOCATION: 13126 South Western Avenue

RECOMMENDATION:

Staff respectfully recommends that Council:

1. Open the Public Hearing
2. Receive testimony from the Public; and
3. Adopt Resolution No. 6570, Upholding the Decision of the Planning Commission approving Site Plan Review #5-21, Conditional Use Permit #5-21, and Conditional Use Permit #6-21 to develop a 121-unit single room occupancy housing development and directing staff to file a Notice of Exemption.

BACKGROUND

On July 30, 2021, the applicant West Realty Group, Inc., represented by Lee Johnson, submitted an application for a site plan review and conditional use permit to construct the 121-unit single room occupancy (SRO) housing development, including seven affordable units, with two automated parking structures, on the property at 13126 S. Western Avenue. The subject property is a one-acre lot with a 2,100-square-foot (sf) convenience store and a 10,080-sf industrial building for an automobile repair facility. The property is located towards the northern end of the City at the northeast corner of Western Avenue and West 132nd Street, and is zoned Industrial (M-1).

On February 15, 2022, the Planning Commission of the City of Gardena held a duly noticed public hearing on the project after which the Commission voted 5-0-0 to adopt Resolution No. PC 4-22 approving the project and directing staff to file a notice of exemption.

On February 22, 2022, the project was called for review by Council Member Francis, and seconded by Mayor Cerda. At the same meeting Mayor Cerda stated she wanted to see the proposed color palette of the building, the landscape and lighting.

The Planning Commission's staff report and resolutions of approval, are attached hereto to provide further detail on the project. This staff report is to provide guidance regarding the project's color palette, landscape, and lighting.

Color Palette

The proposed structure is of contemporary architectural style. The proposed material includes sand acrylic stucco and a bright accent colors at the exterior wall, with a white decorative stucco frame along the elevations that front the public rights-of way. The balcony railings will be made out of prefinished corrugated metal. The plans proposed to the Planning Commission showed the accent colors on the proposed building being of a orange and yellow color. Since then the applicant has proposed three alternatives to the color pallet, as shown in the following figures:

Figure 1: First Alternative Color Palette

Figure 2: Second Alternative Color Palette

Figure 3: Third Alternative Color Palette

All three alternative palettes inlcude more muted, earth tone accent colors. The first is a light blue, the second is a light grey, and the last proposed option is a darker grey color.

The applicant is asking the City Council, with input from the public, which color palette which would be more suitable for the development and suitable with the surrounding areas.

These elevations are attached to the staff report along with the full set of architectual plans.

Landscape and Lighting

The building is setback ten feet from the property line and separated by a landscape buffer that includes various plants and shrubs. In the common outdoor courtyard, there are multiple trees of various sizes, as well as raised planters that help create a greener environment for the residents. The Project is conditioned to ensure that the landscape and irrigation plans comply with the State's Water Efficient Landscape Guidelines, as adopted by the Gardena Municipal Code.

In regards to lighting, the Project is conditioned to submit a site lighting plan, with photometrics, for review and approval by the Building Official and the Director of Community Development prior to the issuance of building permits. The plan will need to ensure that all exterior lighting (i.e., parking areas, building areas, and entries) will employ illumination in a manner that meets the approval of the Building Official and the Director of Community Development. Additionally, all light fixtures shall be designed and located in a manner that does not allow spillover onto adjacent properties.

Submitted by: Amanda Acuna, Senior Planner Date: 3/17/2022

ATTACHMENTS

Attachment A – Architectual Plans

Attachment B – Planning Commission packet dated February 15, 2022

Attachment C - Resolution No. 6570 with Exhibits

- Exhibit A – Conditions of Approval
- Exhibit B – Management Plan

RESOLUTION NO. 6570

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GARDENA, CALIFORNIA, REVERSING THE DECISION OF THE PLANNING COMMISSION AND DENYING SITE PLAN REVIEW #5-21, CONDITIONAL USE PERMIT #5-21, AND CONDITIONAL USE PERMIT #6-21 TO DEVELOP A 121-UNIT SINGLE ROOM OCCUPANCY HOUSING DEVELOPMENT, WITH SEVEN VERY LOW INCOME UNITS, AND TWO, SIX-TIER AUTOMATED PARKING STRUCTURES ON A ONE-ACRE PROPERTY IN THE M-1 (INDUSTRIAL) ZONE WITH, AND DIRECTING STAFF TO FILE A NOTICE OF EXEMPTION FOR A CLASS 32 IN-FILL DEVELOPMENT

(13126 S. WESTERN AVENUE (APN: 6102-006-013)

WHEREAS, On July 30, 2021, the applicant West Realty Group, Inc., represented by Lee Johnson, submitted an application for a site plan review and conditional use permit to construct the 121-unit single room occupancy (SRO) housing development, including seven affordable units, and an additional conditional permit for the construction of two, six-tier automated parking structures (the "Project") on the property at 13126 S. Western Avenue (the "Property");

WHEREAS, The General Plan Land Use Plan designation of the Property is Industrial, and the zoning is M-1 (Industrial);

WHEREAS, The Property is bounded by warehouse buildings to the north and east, Western Avenue to the west and West 132nd Street to the south;

WHEREAS, on February 15, 2022, the Planning and Environmental Quality Commission held the public hearing at which time it considered all material and evidence, whether written or oral, after which it adopted Resolution No. PC 4-22 approving the Project and directed staff to file a notice of exemption;

WHEREAS, on February 22, 2022, the project was called for review by Council Member Francis, and seconded by Mayor Cerda;

WHEREAS, on March 10, 2022, a public hearing was duly noticed for the City Council meeting of March 22, 2022, at which time it held the public hearing;

WHEREAS, at the close of the public hearing on March 22, 2022 the City Council voted to deny the project and directed staff to draft a resolution of denial by a vote of 3 to 2;

WHEREAS, on April 12, 2022, a second noticed, public hearing was held to receive additional testimony before the City Council took a final vote on the matter; and

WHEREAS, in making the various findings set forth herein, the City Council has considered all of the evidence presented by staff, the applicant, and the public, whether written or oral, and has considered the procedures and the standards required by the

Gardena Municipal Code. The record of these proceedings can be found at the Community Development Department, Room 101, 1700 West 162nd Street, Gardena, California. The Director of Community Development is the custodian of such record.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF GARDENA, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. SITE PLAN REVIEW

Site Plan Review (#5-21) for the construction of a four-story residential building for 121 SRO units fronting Western Avenue, as shown on the plans presented to the City Council on March 22, 2022, is hereby denied because the City Council cannot make the findings required by the Gardena Municipal Code that the proposed development is consistent with the intent and general purpose of the general plan and municipal code or that the project will no affect the orderly and harmonious development of the area. This is based on the following:

A. The housing project is located in an industrial zone and adjacent to ongoing industrial uses. It would be poor planning practices to allow residential development adjacent to such uses.

B. The project is too dense. There should have been fewer units with larger square footage.

C. The project does not provide sufficient parking which will create parking issues on neighboring streets.

D. There are insufficient services and amenities in this area to support a residential development.

E. The applicant has not shown that there is a market for this type of rental unit and the project could fall into a state of disrepair which would be detrimental.

SECTION 2. CONDITIONAL USE PERMITS #5-21 AND #6-21

Conditional Use Permit #5-21 for the construction of a SRO residential development in the Industrial (M-1) zone and Conditional Use Permit #6-21 for the construction of two, six-tier automated parking structures, are hereby denied as the City Council is unable to make all of the required findings. Specifically, the City Council finds as follows:

A. That the use is one for which a conditional use permit is authorized;

The City Council finds that SRO units and mechanical parking structures are allowed in the M-1 zone pursuant to a conditional use permit.

B. That such use is necessary or desirable for the development of the community and is compatible with the surrounding uses; is in harmony with the general plan; is not detrimental to the surrounding properties, existing uses or to uses specifically permitted in the zone in which the proposed use is to be located; and will not be detrimental to the public health, safety or welfare;

The City Council cannot make this finding because, as stated above, it finds that the proposed residential use is not compatible with the General Plan or zoning which provides for industrial uses in this area. Furthermore, the applicant has not shown that there is a market for this type of rental and the project could fall into a state of disrepair which would be detrimental.

C. That the site for the intended use is adequate in size and shape to accommodate such use and all of the yards, setbacks, walls, fences, landscaping and other features required in order to adjust such use to those existing or permitted future uses on land in the neighborhood;

The City Council cannot make this finding as the project is too dense for the size of the property and there is inadequate parking for the number of proposed residences.

D. That the site for the proposed use relates to streets and highways properly designed and improved so as to carry the type and quantity of traffic generated or to be generated by the proposed use;

The City Council finds that the streets and highways can carry the type and quantity of traffic to be generated.

E. That the conditions stated in the decisions are deemed necessary to protect the public health, safety, and general welfare.

This finding is not applicable as the City Council is denying the project and not imposing any conditions.

SECTION 4. CALIFORNIA ENVIROMENTAL QUALITY ACT FINDINGS.

No CEQA determination is necessary as the project has been denied.

SECTION 5. CERTIFICATION.

The City Clerk shall certify the passage of this resolution.

SECTION 6. EFFECTIVE DATE.

This Resolution shall be effective immediately.

Passed, approved, and adopted this 12th day of April, 2022.

_____
TASHA CERDA, Mayor

ATTEST:

_____
MINA SEMENZA, City Clerk

APPROVED AS TO FORM:

_____
CARMEN VASQUEZ, City Attorney

RESOLUTION NO. 6570

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GARDENA, CALIFORNIA, UPHOLDING THE DECISION OF THE PLANNING COMMISSION APPROVING SITE PLAN REVIEW #5-21, CONDITIONAL USE PERMIT #5-21, AND CONDITIONAL USE PERMIT #6-21 TO DEVELOP A 121-UNIT SINGLE ROOM OCCUPANCY HOUSING DEVELOPMENT, WITH SEVEN VERY LOW INCOME UNITS, AND TWO, SIX-TIER AUTOMATED PARKING STRUCTURES ON A ONE-ACRE PROPERTY IN THE M-1 (INDUSTRIAL) ZONE WITH, AND DIRECTING STAFF TO FILE A NOTICE OF EXEMPTION FOR A CLASS 32 IN-FILL DEVELOPMENT

(13126 S. WESTERN AVENUE (APN: 6102-006-013)

WHEREAS, On July 30, 2021, the applicant West Realty Group, Inc., represented by Lee Johnson, submitted an application for a site plan review and conditional use permit to construct the 121-unit single room occupancy (SRO) housing development, including seven affordable units, and an additional conditional permit for the construction of two, six-tier automated parking structures (the "Project") on the property at 13126 S. Western Avenue (the "Property");

WHEREAS, The General Plan Land Use Plan designation of the Property is Industrial, and the zoning is M-1 (Industrial);

WHEREAS, The Property is bounded by warehouse buildings to the north and east, Western Avenue to the west and West 132nd Street to the south;

WHEREAS, on February 15, 2022, the Planning and Environmental Quality Commission held the public hearing at which time it considered all material and evidence, whether written or oral, after which it adopted Resolution No. PC 4-22 approving the Project and directed staff to file a notice of exemption;

WHEREAS, on February 22, 2022, the project was called for review by Council Member Francis, and seconded by Mayor Cerda;

WHEREAS, on March 10, 2022, a public hearing was duly noticed for the City Council meeting of March 22, 2022, at which time it held the public hearing;

WHEREAS, at the close of the public hearing on March 22, 2022 the City Council voted to deny the project and directed staff to draft a resolution of denial by a vote of 3 to 2;

WHEREAS, on April 12, 2022, a second noticed, public hearing was held to receive additional testimony before the City Council took a final vote on the matter;

WHEREAS, prior to adopting this Resolution, the City Council voted to rescind the vote taken on March 22, 2022; and

WHEREAS, in making the various findings set forth herein, the City Council has considered all of the evidence presented by staff, the applicant, and the public, whether written or oral, and has considered the procedures and the standards required by the Gardena Municipal Code. The record of these proceedings can be found at the Community Development Department, Room 101, 1700 West 162nd Street, Gardena, California. The Director of Community Development is the custodian of such record.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF GARDENA, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. SITE PLAN REVIEW

Site Plan Review (#5-21) for the construction of a four-story residential building for 121 SRO units fronting Western Avenue, as shown on the plans presented to the City Council on March 22, 2022, is hereby approved based on the following findings and subject to the conditions attached hereto as Exhibit A.

A. The proposed development, including the uses and physical design, is consistent with the intent and general purpose of the general plan and provisions of the municipal code.

The General Plan Land Use Plan designates the Property as Industrial. The proposed project will further the goals, objectives and policies of the General Plan and not obstruct their attainment. Allowing the 121-unit single room occupancy housing development would be consistent with various goals and policies of the General Plan including the following:

- LU Goal 1 Preserve and protect existing single-family and low/medium-density residential neighborhoods while promoting the development of additional high quality housing types in the City.
- Policy LU 1.1: Promote sound housing and attractive and safe residential neighborhoods
- Policy LU 1.5: Provide adequate residential amenities such as open space, recreation, off-street parking, and pedestrian features in multifamily residential developments
- Policy LU 1.9: Allow well designed and attractive residential mixed-use development to occur on existing underutilized commercial/industrial blocks designed as Mixed-Use Overlay.
- Policy DS 2.3: Encourage a variety of architectural styles, massing, floor plans, color schemes, building materials, façade treatments, elevation and wall articulations.
- Policy DS 2.10: Provide landscape treatments (trees, shrubs, groundcover, and grass areas) within multi-family development projects in order to create a "greener" environment for residents and those viewing from public areas.
- Policy DS 2.11: Incorporate quality residential amenities such as private and communal open spaces into multi-unit development projects in order to improve

the quality of the project and to create more attractive and livable spaces for residents to enjoy.

- Policy DS 2.9: Integrate new residential developments with the surrounding built environment, in addition, encourage a strong relationship between the dwelling and the street.
- CI Goal 1 Promote a safe and efficient circulation system that benefits residents and businesses and integrates with the greater Los Angeles/South Bay transportation system.
- Policy CI 1.1: Prioritize long-term sustainability for the City of Gardena, in alignment with regional and state goals, by promoting infill development, reduced reliance on single-occupancy vehicle trips, and improved multi-modal transportation networks, with the goal of reducing air pollution and greenhouse gas emissions, thereby improving the health and quality of life for residents.
- CI Goal 3 Develop Complete Streets to promote alternative modes of transportation that are safe and efficient for commuters, and available to persons of all income levels and disabilities.
- Policy CI 3.3: Maintain and expand sidewalk installation and repair programs, particularly in areas where sidewalks link residential neighborhoods to local schools, parks, and shopping areas.
- CN Goal 2 Conserve and protect groundwater supply and water resources.
- Policy CN 2.2: Comply with the water conservation measures set forth by the California Department of Water Resources.
- CN Goal 3 Reduce the amount of solid waste produced in Gardena.
- Policy CN 3.1: Comply with the requirements set forth in the City's Source Reduction and Recycling Element.
- CN Goal 4 Conserve energy resources through the use of technology and conservation methods.
- Policy CN 4.2: Require compliance with Title 24 regulations to conserve energy.
- PS Goal 2 Protect the community from dangers associated with geologic instability, seismic hazards and other natural hazards.
- Policy PS 2.3: Require compliance with seismic safety standards in the Unified Building Code.
- Policy PS 2.4: Require geotechnical studies for all new development projects located in an Alquist-Priolo Earthquake Fault Zone or areas subject to liquefaction.
- N Goal 3 Develop measures to control non-transportation noise impacts.
- Policy N 3.1: Require compliance with a quantitative noise ordinance based on the Model Noise Ordinance developed by the (now-defunct) State of California Office of Noise Control.

- Policy N 3.3: Require compliance with construction hours to minimize the impacts of construction noise on adjacent land.
- Housing Goal 2.0 Provide opportunity for increasing the supply of affordable housing within the City with special emphasis on housing for special needs groups.
- Policy 2.2: Provide incentives for new housing construction, to encourage the production of affordable units. Encourage provision of units of various sizes to accommodate the diverse needs of the community, including seniors, students and young workers, and large households.
- Housing Goal 5.0 Promote equal opportunity for all residents to reside in the housing of their choice.
- Policy 5.2: Provide a range of housing options, locational choices, and price points to accommodate the diverse needs in Gardena and to allow for housing mobility.

The Project's design is high-quality, with a well-articulated building and pedestrian orientated environment that creates an attractive and safe residential neighborhood. The Project includes an abundant amount of open space including, open decks, outdoor courtyards, private balconies, a pool and spa, fitness room and multipurpose room. The building is stepped back four stories to two stories at the southwest corner, helping to reduce the building massing. The building mass and design act as a transition to the scale of the surrounding neighborhood.

The Project is an infill project in a high-quality transit area. While the Property is not located in the Mixed-Use Overlay zone, the Project is a well-designed and attractive residential development on an existing underutilized industrial property. The Property is zoned M-1, and SRO uses are allowed by conditional use permit. The building is setback ten feet from the property line and separated by a landscape buffer that includes varies plants and shrubs. In the common outdoor courtyard, there are multiple trees of various sizes, as well as raised planters that help create a greener environment for the residents.

The Project creates 121 SRO units each with a floor area of 350-sf. Each unit will have a dishwasher, front loading washing machine and private balcony or patio. The Project includes seven affordable units, at a very-low-income level, that will have the same high-quality design of the other SRO units. This Project helps satisfy the City's regional housing need allocation of 5,735 units including 1,485 very low units.

Upon approval of the site plan review and issuance of the conditions of approval, the Project will not change the character of the community and will be consistent with the Gardena Municipal Code and General Plan.

B. The proposed development will not adversely affect the orderly and harmonious development of the area and the general welfare of the city.

As set forth above and in the staff report, which is incorporated by reference, the site plan meets all applicable development requirements of the Gardena Municipal

Code, and as conditioned, will be compatible with, and not detrimental to, the surrounding land uses and general welfare of the City.

C. The project is entitled to a density bonus.

The site plan is approved for the development with a total of 121 units at a FAR of 1.25 pursuant to the density bonus law as the applicant is providing seven percent of the units for very low-income entitling the project to a 25 percent density bonus in accordance with Government Code section 65915 and Chapter 18.43 of the Gardena Municipal Code. The increased FAR is considered a waiver of the City's development standards.

The site plan also includes two six-tier mechanical parking structures with 57 spaces each. In addition to qualifying for a conditional use permit as set forth in Section 3, the mechanical parking structures could be considered either an incentive or concession of a site development standard as without the parking structure the project could not be physically developed as proposed and provide the very-low income housing.

SECTION 2. CONDITIONAL USE PERMIT #5-21

Conditional Use Permit #5-21 for the construction of a SRO residential development in the Industrial (M-1) zone, is hereby approved based on the following findings and subject to the conditions attached hereto as Exhibit A.

A. That the use if one for which a conditional use permit is authorized;

As set forth under Section 18.36.030.P of the Gardena Municipal Code (GMC), SRO units are allowed in the M-1 zone pursuant to a conditional use permit.

GMC Section 18.36.030P.11, requires that a management plan be submitted with the conditional use permit application for SRO developments. The Management Plan, attached hereto as Exhibit B, addresses the management and operation of the facility, rental procedures, safety, and security of the residents and building maintenance and is approved as part of the conditional use permit.

B. That such use is necessary or desirable for the development of the community and is compatible with the surrounding uses; is in harmony with the general plan; is not detrimental to the surrounding properties, existing uses or to uses specifically permitted in the zone in which the proposed use is to be located; and will not be detrimental to the public health, safety or welfare;

The recently adopted 2021-2029 6th Cycle Housing Element sets forth the City's regional housing need allocation of 5,735 residential units for the eight-year period, including 1,485 very low-income units. The Project will assist the City in reaching this allocation and continue to provide different housing options. As shown in

Section 2 of this Resolution, the Property is compatible with various goals and policies of the City's Land Use Plan, Community Design Plan, Circulation Plan, Conservation Plan, Public Safety Plan, Noise Plan, and Housing Element.

C. That the site for the intended use is adequate in size and shape to accommodate such use and all of the yards, setbacks, walls, fences, landscaping and other features required in order to adjust such use to those existing or permitted future uses on land in the neighborhood;

The Property has a dimension of 141 feet by 310 feet. As set forth above and in the staff report, which is incorporated by reference, the Project meets or exceeds all of the minimum development standards of the M-1 zone, including setbacks, walls, fencing, landscaping, and parking.

D. That the site for the proposed use relates to streets and highways properly designed and improved so as to carry the type and quantity of traffic generated or to be generated by the proposed use;

The Circulation Plan of the Gardena General Plan designates Western Avenue as an arterial roadway and West 132nd Street as a collector roadway. Arterial roadways are designed to connect traffic from smaller roadways to freeway interchanges and regional roadway corridors and are the principal urban thoroughfares of the City. Collector roadways are intended to provide general access to all types of land uses. The use of the Property for 121 units is not expected to generate more traffic than the existing uses, and therefore, the surrounding streets are properly designed to carry the quantity of traffic generated by the Project.

It is specifically noted that the proposed project will result in a net decrease of 1,054 daily traffic trips, with a 108 trip decrease during AM peak hours and a 21 trip decrease during PM peak hours.

E. That the conditions stated in the decisions are deemed necessary to protect the public health, safety, and general welfare.

The conditions of approval for Conditional Use Permit #5-21 will ensure that the SRO development will be compatible with, and not detrimental to, the surrounding uses in the vicinity. In addition to the conditions that were originally presented to the City Council on March 22, 2022, an additional condition has been added requiring that the applicant install a soil vapor system as required by the Phase II Environmental Report.

SECTION 3. CONDITIONAL USE PERMIT #6-21

Conditional Use Permit #6-21 for the construction of two, six-tier automated parking structures, is hereby approved based on the following findings and subject to the conditions attached hereto as Exhibit A.

A. That the use if one for which a conditional use permit is authorized;

GMC Section 18.40.080.B.5 allows for parking flexibility through mechanical vehicles storages, pursuant to a conditional use permit in the Industrial Zone.

B. That such use is necessary or desirable for the development of the community and is compatible with the surrounding uses; is in harmony with the general plan; is not detrimental to the surrounding properties, existing uses or to uses specifically permitted in the zone in which the proposed use is to be located; and will not be detrimental to the public health, safety or welfare;

The six-tier automated parking structures allows the Project to meet the minimum parking requirements in less space than traditional surface parking lots or garages would require. Automated parking structures utilize the land more efficiently as they do not need ramps for drivers to get in and out of spaces, making it more desirable for developments in the City. Additionally, the six-tier automated parking structures do not need to be as tall as a traditional six-story parking structure. As shown above, the development is consistent with various goals and policies of the General Plan which are in part made possible by being able to utilize this more efficient system. The automated parking structure will not be detrimental to the surrounding properties, existing uses or to uses specifically permitted in the M-1 zone.

C. That the site for the intended use is adequate in size and shape to accommodate such use and all of the yards, setbacks, walls, fences, landscaping and other features required in order to adjust such use to those existing or permitted future uses on land in the neighborhood;

The Property has a dimension of 141 feet by 310 feet. As shown above, the Project, including the automated parking structures, meets or exceeds all of the minimum development standards of the M-1 zone, including setbacks, walls, fencing, landscaping, and parking.

D. That the site for the proposed use relates to streets and highways properly designed and improved so as to carry the type and quantity of traffic generated or to be generated by the proposed use;

The Circulation Plan of the Gardena General Plan designates Western Avenue as an arterial roadway and West 132nd Street as a collector roadway. The parking structures are accessory uses to that of the SRO residential development and do not add traffic above that of the SRO units themselves. The primary use of the 121

SRO units is not expected to generate more traffic than existing uses, and therefore, the surrounding streets are properly designed to carry the quantity of traffic generated by the Project.

E. That the conditions stated in the decisions are deemed necessary to protect the public health, safety, and general welfare.

The conditions of approval for Conditional Use Permit #6-21, will ensure that the automated parking will be compatible with, and not detrimental to, the surrounding uses in the vicinity.

SECTION 4. NO NET LOSS FINDINGS.

In accordance with Government Code section 65583, each city's housing element must include an inventory of land suitable and available for residential development to meet the locality's housing need for each of the designated income levels of the assigned regional housing need. Additionally, if the City allows development of a site with less units by income level than identified in the Housing Element for that site, the City must make written findings supported by substantial evidence as to whether there are remaining sites identified in the Housing Element to accommodate the City's share of regional housing needs, including a quantification of the remaining unmet need for each income level.

A. The Property is identified in the 2021-2029 Gardena Housing Element for a housing development that would include 15 lower income units, 4 moderate income units, and 11 above moderate-income units. The Project includes seven affordable units at the very-low-income level, while the remaining 114 units would be at above moderate income. The Project will meet the above moderate housing units that were identified for the site and provide seven out of the 15 identified lower income units. While the Project is providing more overall units than identified in the Housing Element, the Project does not provide the total lower and moderate-income units assumed.

B. The City was allocated a regional housing need of 5,735 units to plan for the 2021-2029 planning period, broken down as follows: very low/low-income – 2,246 units; moderate-income – 894 units; and above moderate-income – 2,595 units. However, the Housing Element plans for a total of 7,399 units, exceeding the City's allocation by 1,664 units or 29%. This buffer was necessary in order to address the no net loss requirement, of maintaining an adequate inventory of sites. While the Project is not providing the number of affordable housing units of each identified income level as assumed in the Housing Element, there are more than sufficient sites remaining that are identified in the Housing Element to accommodate the City's share of regional housing for the 2021-2029 planning period.

C. The City is in the beginning of the 2021-2029 housing period, and the first reported progress in reaching the regional housing need has not been completed at this

time. However, the Housing Element does identify several residential development projects with completed entitlements and pending projects in the City, totaling 528 units, that can be completed within the timeframe of this Housing Element. The Project will also assist the City in reaching this allocation and continue to provide different housing options.

SECTION 5. CALIFORNIA ENVIROMENTAL QUALITY ACT FINDINGS.
The Project is exempt from the provisions of the California Environmental Quality Act (CEQA), pursuant to the following exemption:

A. Class 32 — Section 15332 – Infill Development Project. The Project is consistent with applicable general plan policies, and also consistent with applicable requirements of the City's zoning ordinance. The Project is within City limits, on a site less than five acres, and surrounded by urban uses. The Property has no value as a habitat for endangered, rare, or threatened species. The Property is able to be served by all required utilities and public services. The City's environmental consultant, Kimley-Horn, prepared technical studies that showed the Project would have less than significant impacts concerning traffic, noise, and air. Additionally, compliance with the National Pollution Discharge Elimination System and requirements of the Gardena Municipal Code would ensure the Project's construction-related activities would not violate any water quality standards or otherwise substantially degrade surface or groundwater quality, resulting in a less than significant impact. Therefore, the City does not foresee any adverse impacts to traffic, noise, air quality, or water quality.

B. The Project is not subject to any of the exceptions for exemption under Section 15300.2 of the CEQA Guidelines. The location of the Project is predominantly urban and not considered a sensitive environment; therefore, the Project will not result in any significant impacts that may otherwise occur in a sensitive environmental area. The cumulative impact of this Project, and the approval of other projects like it in the vicinity, is not expected to have any significant environmental impact. The Project is not located along any state designated scenic highway nor within any designated hazardous waste site. Kimley-Horn also prepared a Cultural Resources Assessment that found that neither of the two existing buildings on the Property appear to have historical significance. Staff does not expect any significant impacts or unusual circumstances related to the approval and construction of this Project

C. Staff is hereby directed to file a Notice of Exemption for a Class 32 categorical exemption.

SECTION 6. Certification. The City Clerk shall certify the passage of this resolution.

SECTION 7. Effective Date. This Resolution shall be effective immediately.

Passed, approved, and adopted this 12th day of April, 2022.

TASHA CERDA, Mayor

ATTEST:

MINA SEMENZA, City Clerk

APPROVED AS TO FORM:

CARMEN VASQUEZ, City Attorney

Exhibit A: Conditions of Approval
Exhibit B: Management Plan

EXHIBIT A

CITY OF GARDENA

CONDITIONS OF APPROVAL FOR SITE PLAN REVIEW #5-21; CONDITIONAL USE PERMIT #5-21; CONDITIONAL USE PERMIT #6-21

GENERAL CONDITIONS

GC 1. The applicant accepts all of the conditions of approval set forth in this document and shall sign the acknowledgement.

GC 2. Applicant shall comply with all applicable written policies, resolutions, ordinances, and laws in effect at time of approval, or at time of permit applications. These conditions of approval shall supersede all conflicting notations, specifications, and dimensions which may be shown on the project development plans.

GC 3. The approved resolution, including these conditions contained herein and the signed acknowledgement of acceptance, shall be copied in their entirety and placed directly onto a separate plan sheet behind the cover sheet of the development plans prior to building plan check submittal. Said copies shall be included in all development plan submittals, including revisions and the final working drawings.

GC 4. The site layout and physical appearance of the courts and existing structure shall be in accordance with the plans presented to and approved by the City Council on April 12, 2022, and modified by these conditions of approval. Minor modifications or alterations to the design, style, colors, and materials shall be subject to the review and approval of the Community Development Director. Substantial modifications will require review and approval by the Planning Commission.

GC 5. The applicant shall reimburse the City for all attorney's fees spent in processing the project application, including review of all documents required by these conditions of approval prior to issuance of a final building permit.

GC 6. Applicant/developer shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any claim, action, or proceeding, damages, costs (including, without limitation, attorney's fees), injuries, or liability against the City or its agents, officers, or employees arising out of the City's approval of Site Plan Review #5-21, Conditional Use Permit #5-21, and Conditional Use Permit #6-21. The City shall promptly notify the applicant/developer of any claim, action, or proceeding and the City shall cooperate fully in the defense. If the City fails to promptly notify the applicant/developer of any claim, action, or proceeding, or if the City fails to cooperate fully in the defense, the applicant/developer shall not thereafter be responsible to defend, indemnify, or hold harmless the City. Although the applicant/developer is the real party in interest in an action, the City may, at its sole discretion, participate in the defense of any action with the attorneys of its

own choosing, but such participation shall not relieve the applicant/developer of any obligation under this condition, including the payment of attorney's fees.

SITE PLAN REVIEW

SPR1. Site Plan Review #5-21 shall be utilized within a period not to exceed twelve (12) months from the date of approval unless an extension is granted in accordance with Section 18.46.040 of the Gardena Municipal Code. Utilization shall mean the issuance of building permits.

SPR2. The blue accent color as shown to the City Council on April 12, 2022, shall be the accent color provided on all elevations of the building. This shall be shown on the construction plans before issuance of building permits.

CONDITIONAL USE PERMITS

CUP1. Conditional Use Permit #5-21 shall be utilized within a period not to exceed 12 months from the date of approval unless an extension is granted in accordance with Section 18.46.040 of the Gardena Municipal Code. Utilization shall mean the issuance of a building permit.

CUP2. Conditional Use Permit #6-21 shall be utilized within a period not to exceed 12 months from the date of approval unless an extension is granted in accordance with Section 18.46.040 of the Gardena Municipal Code. Utilization shall mean the issuance of a building permit.

CUP3. In the event noise, lighting or traffic nuisances or other public safety issues are brought to the attention of the City, the Community Development Director may impose further conditions or restrictions on the site operations to ensure land use compatibility.

CUP4. All motorized equipment used in construction shall be equipped with functioning mufflers as mandated by the State.

CUP5. The applicant shall install a soil vapor mitigation system in accordance with the Phase II report that was completed for the property, dated July 13, 2021, to the satisfaction of the City's Building Official.

PLANNING

PL1. The applicant/developer shall submit for review and approval detailed landscape and irrigation plans prepared by a licensed landscape architect to the Director of Community Development or designee and the Director of Public Works that is consistent with the State's Water Efficient Landscape Guidelines. At a minimum, tree size shall be 24-inch box and shrubs shall be five (5) gallon

size. Metal cages, painted green, shall be used to protect irrigation check valves and controllers. All above ground piping, such as double detector check valves, shall not be placed in front setbacks and shall be screened with landscaping and painted green. Protective bollards shall be of a decorative type and/or painted green where appropriate.

PL2. The management office shall maintain landscaping in a healthy and well-kept manner at all times. All landscape areas shall be provided with automatic irrigation. Dead or damaged landscape material and vegetation shall be replaced immediately. The irrigation system shall be maintained at all times. Trees shall be permitted to grow to their maximum height.

PL3. Colors and materials as shown on the development plans as presented to the City Council April 12, 2022, and as modified by these conditions, are approved. Deviation from colors and materials shall not be made unless approved by the Community Development Director.

PL4. The Applicant/developer shall maintain the property in a clean and orderly condition at all times and remove any graffiti from the site within 48 hours of its discovery in matching colors to the underlying surfaces.

PL5. Any signage shall comply with the provisions of Chapter 18.58 of the Gardena Municipal Code.

PL6. Decorative and colored concrete shall be provided at vehicular entrances along Western Avenue to the satisfaction of the Planning Division.

PL7. The Applicant/developer shall place all mailboxes in accordance with U.S. Postal Regulations, as reviewed and approved by the Director of Community Development and the Gardena Postmaster prior to the issuance of a Certificate of Occupancy.

PL8. The Applicant/developer shall submit a site lighting plan, with photometrics, for review and approval by the Building Official and the Director of Community Development prior to the issuance of building permits. The plan shall ensure that all exterior lighting (i.e., parking areas, building areas, and entries) shall employ illumination in a manner that meets the approval of the Building Official and the Director of Community Development. All light fixtures shall be designed and located in a manner that does not allow spillover onto adjacent properties.

PL9. The project shall comply with the City's Noise Ordinance (Gardena Municipal Code Chapter 8.36 and specifically Section 8.36.050, interior noise standards). If the project cannot comply with the Noise Ordinance the applicant shall provide an acoustical analysis which shall be submitted to the Gardena Building

Division for review and approval in conjunction with the building permit application review.

PL10. The applicant shall be required to enter into an agreement for affordable housing as approved by City Attorney Office in conformance with State Density Law.

BUILDING & SAFETY

BS1. The applicant/developer shall comply with all applicable portions of the California Building Standards Code (Title 24, California Code of Regulations) in effect at the time of permit application.

BS2. The applicant/developer shall comply with all conditions set forth by other departments and agencies, including but not limited to: Gardena Planning, Gardena Public Works, Los Angeles County Public Works, and Los Angeles County Fire Department.

BS3. The applicant/developer shall comply with the latest adopted Los Angeles County Fire Code and Fire Department requirements, as applicable.

BS4. All structures shall have fire protection via a sprinkler system under a NFPA 13R system.

BS5. The applicant/developer shall obtain separate County of Los Angeles Public Health Environmental Health approvals.

BS6. The Applicant/developer shall obtain separate County of Los Angeles Department of Public Works Environmental Programs Division approvals.

BS7. The Applicant/developer shall provide storm water management plan study prepared by a qualified engineer acceptable to the Building Official and the Engineering Division. These plans shall incorporate Low Impact Development Plan (LID) mitigation measures.

BS8. The Applicant/developer shall demonstrate that coverages has been obtained under California's General Permit for Stormwater Discharges Associated with Construction Activity by providing a copy of the Notice of Intent (NOI) submitted to the State Water Resources Control Board and a copy of the subsequent notification of the issuance of a Waste Discharge Identification (WDID) Number or other proof of filing shall be provided to the Chief Building Official and the City Engineer. Projects subject to this requirement shall prepare and implement a Storm Water Pollution Prevention Plan (SWPPP). A copy of the SWPPP shall be kept at the project site and be available for review on request. Best Management Practices shall be used during construction to prevent construction materials and soil from entering the storm drain.

BS9. The applicant shall provide a complete hydrology and hydraulic study prepared by a qualified engineer, and comply with the recommendations of the engineer,

to the satisfaction of the Building Official.

BS10. The applicant shall submit a Final Geotechnical Investigation for City review/approval and comply with its recommendations and any revisions deemed necessary by the City's Building Official. The Gardena Building Services Division will review construction plans to verify compliance with standard engineering practices, the GMC/CBSC, and the Geotechnical Investigation's recommendations.

BS11. If fossils or fossil bearing deposits are encountered during ground-disturbing activities, work within a 25-foot radius of the find shall halt and a professional vertebrate paleontologist (as defined by the Society for Vertebrate Paleontology) shall be contacted immediately to evaluate the find. The paleontologist shall have the authority to stop or divert construction, as necessary. Documentation and treatment of the discovery shall occur in accordance with Society of Vertebrate Paleontology standards. The significance of the find shall be evaluated pursuant to the State CEQA Guidelines. If the discovery proves to be significant, before construction activities resume at the location of the find, additional work such as data recovery excavation may be warranted, as deemed necessary by the paleontologist.

BS12. Prior to demolition activities, an asbestos survey shall be conducted by an Asbestos Hazard Emergency Response Act (AHERA) and California Division of Occupational Safety and Health (Cal/OSHA) certified building inspector to determine the presence or absence of asbestos containing-materials (ACMs). The sampling method to be used shall be based on the statistical probability that construction materials similar in color and texture contain similar amounts of asbestos. In areas where the material appears to be homogeneous in color and texture over a wide area, bulk samples shall be collected at discrete locations from within these areas. In unique or nonhomogeneous areas, discrete samples of potential ACMs shall be collected. The survey shall identify the likelihood that asbestos is present in concentrations greater than 1 percent in construction materials. If ACMs are located, abatement of asbestos shall be completed prior to any activities that would disturb ACMs or create an airborne asbestos hazard.

Asbestos removal shall be performed by a State certified asbestos containment contractor in accordance with the South Coast Air Quality Management District (SCAQMD) Rule 1403. Common asbestos abatement techniques involve removal, encapsulation, or enclosure. The removal of asbestos is preferred when the material is in poor physical condition and there is sufficient space for the removal technique. The encapsulation of asbestos is preferred when the material has sufficient resistance to ripping, has a hard or sealed surface, or is difficult to reach. The enclosure of asbestos is to be applied when the material is in perfect physical condition, or if the material cannot be removed from the site for reasons of protection against fire, heat, or noise.

BS13. If paint is separated from building materials (chemically or physically) during demolition of the structures, the paint waste shall be evaluated independently from the building material by a qualified Environmental Professional. A portable, field X-ray fluorescence (XRF) analyzer shall be used to identify the locations of potential lead paint, and test accessible painted surfaces. The qualified Environmental Professional shall identify the likelihood that lead is present in concentrations greater than 1.0 milligrams per square centimeter (mg/cm2) in/on readily accessible painted surfaces of the buildings.

If lead-based paint is found, abatement shall be completed by a qualified Lead Specialist prior to any activities that would create lead dust or fume hazard. Potential methods to reduce lead dust and waste during removal include wet scraping, wet planning, use of electric heat guns, chemical stripping, and use of local High Efficiency Particulate Air (HEPA) exhaust systems. Lead-based paint removal and disposal shall be performed in accordance with California Code of Regulation Title 8, Section 1532.1, which specifies exposure limits, exposure monitoring and respiratory protection, and mandates good worker practices by workers exposed to lead. Contractors performing lead-based paint removal shall provide evidence of abatement activities to the City Engineer.

BS14. The applicant/developer submit a grading plan for review and to the satisfaction of the Chief Building Official. Grading shall be in substantial conformance with the proposed grading that is approved by the Planning Commission. Surety shall be posted to the satisfaction of the Building Official and the City Attorney guaranteeing completion of grading within the project

BS15. The applicant/developer shall submit a Final Priority WQMP to the Building Division for review and approval. This plan shall be in conformance with all current NPDES requirements. The WQMP must implement Low Impact Development (LID) principles such that projects infiltrate, harvest, re-use, evaporation, or bio-treat storm water runoff. Sheet flowing storm-water, without filtering, is no longer acceptable.

BS16. The applicant/developer shall provide parking lot structural sections, which shall be based on recommendations of a soils engineer, to be approved by the City Engineer and Building Official.

BS17. The applicant/developer shall install new public fire hydrant(s) to the satisfaction of the Los Angeles County Fire Department and City Engineer.

BS18. The applicant/developer shall prepare construction and demolition waste recycling plans for review and approval by the Building Division. Applicant/developer shall enroll in the city's waste diversion program.

BS19. Address shall be posted on the outside gate and on the curb per CA Building and Fire codes. The Applicant/developer shall apply for new addresses with the Community Development Department, prior to obtaining building permits.

PUBLIC WORKS – ENGINEERING DIVISION

PW1. All work in the public right of way shall be constructed in accordance with the Standard Plans and Standard Specifications for Public Works Construction, latest edition. This includes supplements thereto and City of Gardena Standard Drawings.

PW2. Before undertaking any Encroachment/Excavation within the public right of way, the owner must first obtain the applicable permit from the Public Works Engineering Division.

PW3. The project shall utilize the County's benchmarks and any controlling survey monumentation (property lines, tract lines, street centerline, etc.) which are at risk of being destroyed or disturbed during the course of the project must be preserved in accordance with Section 8771(b) of the California Business and Professions Code (Professional Land Surveyors Act). Preconstruction field ties, along with the preparation and filling of the required Corner Records or Record of Survey with the County of Los Angeles, shall be accomplished by, or under the direction of, a licensed surveyor or civil engineer authorized to practice land surveying.

Copies of said records shall be furnished to the City Engineering for review and approval prior to issuance of any onsite or offsite construction permit. In addition, any monuments disturbed or destroyed by this project must be reset and post-construction Corner Records or Record of Survey filed with the County of Los Angeles. A copy of the recorded documents shall be submitted to the Engineering office for review and approval prior to issuance and/or finalizing any permits within the public right of way.

PW4. Prior to issuance of permits, all public improvements (if any) shall be guaranteed to be installed by the execution of an Agreement for Pubic Improvements secured by sufficient bond sureties or cash, complete indemnification form, Certification of Insurance (General Liability, Auto & Workers Compensation) naming City of Gardena as additional insured, contractor State License and City Business License.

PW5. All public improvements, studies, designs, plans, calculations and other requirements shall be installed, provided and supplied by the developer in accordance with City and State codes, policies and requirements at no cost to the City.

All work shall comply with City Standards and specifications and with the City of Gardena Municipal Codes and to be designed and signed by a registered Civil Engineer or other applicable professional license engineer(s).

PW6. The applicant shall remove and replace all sidewalk, curb & gutter, abandoned driveways, ADA ramps, street and traffic signages. All incidental improvements such as traffic markings, re-painting existing curbs, curb drains, etc. shall also be included.

The applicant shall remove all three (3) existing trees along Western Ave. and replant with 24" box Bronze Loquat per the city's standard tree planting detail.

Remove one (1) existing damage tree along 132nd Street and replant with 24" box Crape Myrtle per the city's standard tree planting detail. All street tree(s) improvements to be coordinate with City Public Works Park's Superintendent, Kevin Thomas (310.217.9657).

PW7. The applicant shall provide sewer capacity analysis for the proposed sewer main connection to be submitted to the Public Works Engineering Division for review. If determined that the existing connection and main line(s) are deficient or in poor condition, improvements to be imposed. Sewer fees will be based on type of facility. Industrial waste clearance may be required.

PW8. The applicant shall provide traffic control plans per WATCH (Work Area Traffic Control Handbook) and/or California MUTCD (California Manual on Uniform Traffic Control Devices) per the latest standard pending proposed controls (permanent-overnight or temporary). The temporary/permanent traffic control plans shall be prepared by, or under the direction of, a licensed civil engineer or other authorized to practice traffic engineering.

PW9. The applicant shall provide Street Improvement Plans showing all requirements and submit to Public Works Department for review and approval. Street Improvement Plan shall be stamped and signed by a Civil Engineer Registered in the state of California. An As-built plan signed and stamped by the Engineer of Record shall be submitted to Public Works Department prior to finalizing and closing permit. Any deviations from the approved plan will require a submittal of plan revision for the City review and approval.

PW10. The applicant/developer is responsible for all applicable permit, plan check surety, and other incidental fees pertaining to the proposed project.

LOS ANGELES COUNTY FIRE DEPARTMENT

FD1. The applicant shall submit the plans to the Los Angeles County Fire Department for approval and shall comply with all applicable Los Angeles County Fire Department requirements.

LOS ANGELES COUNTY SANITATION DISTRICTS

SD1. The applicant shall pay a connection fee before a permit to connect to the sewer is issued. For more specific information regarding the connection fee application procedure and fees, please contact the Connection Fee Counter at (562) 908-4288, extension 2727.

Lee Johnson, West Realty Group, Inc., certifies that he has read, understood, and agrees to the project conditions listed herein.

_____ _____

Lee Johnson Date
West Realty Group, Inc.

Exhibit B

Management Plan for

The Western Ave. Apartment Communities

Located at: 13126 Western Ave. Gardena

Western Apartments

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Western Apartments

1.0 Executive Summary

The RFLA eFund I, LLC (which shall be referred to as RFLA) has been formed for the purpose of the development and management of 121 units within one apartment building located at 13126 Western Ave. in Gardena, CA. RFLA will be providing for apartments at market rate rents. By being involved in each step of the way from development to rental, we at RFLA can ensure our customers that they are receiving the highest quality living. Will be providing high quality housing that offers both up-to-date technological amenities as well as state-of-the-art living conditions at affordable rental rates. At this time, the building will be referred to as "Western Ave. Apartments." Western Ave. Apartments will foster an atmosphere and a quality of life that is of the highest standards. Customer satisfaction, safety and an overall healthy working relationship are our main goals at RFLA.

1.1 Objectives

1. Provide reasonably priced rental housing units in an area with a lack of newly built affordable priced apartments.

1.2 Mission

Western Ave. Apartments will provide high-quality, comfortable rental apartments in Gardena. Our apartments will offer state-of-the-art architectural design and living conditions reflective of today's technology and a growing need for quality housing in the area. Our company is dedicated to a hassle-free living environment in which our tenants can enjoy all the benefits of safe, attractive, and inviting units. Unlike many other real estate companies that are solely concerned with turning profits, RFLA is to maintain the highest level of customer satisfaction that is achievable. Tenant safety, happiness, and comfort are extremely important to our operations.

Western Ave. Apartments is being built to compliment the local area in three main aspects: design, usability, and functionality. The apartments are designed to be priced at market rent rates. Within the company, we have strived to work as a cohesive, harmonious unit focused on exemplifying our mission. Just as customer satisfaction is an intricate part of RFLA's success, so is employee satisfaction. That is why the founders of RFLA believe that employee satisfaction will make the company a success and will be the key to their longevity.

1.3 Keys to Success

1. Safe, quality housing that provides state-of-the-art amenities at competitive prices.
2. Maintaining open communication between RFLA and its residents to ensure the highest level of customer satisfaction and long lasting reputation within the community.
3. Experienced staff with professional leasing and management experience.

2.0 Company Summary

RFLA has been formed for the development and management of the apartments at 13126 Western Ave. Primary experience and expertise has been in the development of high-quality, urban infill projects such as condos, apartments and mixed-use buildings. Its members have years of experience in all aspects of real estate.

2.1 Company Ownership

RFLA has been created as a Limited Liability Corporation. It will be owned by its investors who are also the Developers of the project. Their intention is for long-term holding and managing of the Western Ave. Apartments.

2.2 Company Locations and Facilities

RFLA will lease and manage the apartments from a leasing office located within the building during business hours. This office will also be available for maintenance, janitorial and repair service staff during business hours and we expect to have a minimum of one live-in manager on the premises. For after-hours emergencies, we will have a 24-hour phone number to call in addition to the live-in manager.

3.0 Management Operations

Management of operations will focus on 4 main areas:

1. Leasing.
2. Maintenance and repair (including emergencies).
3. Accounting of all business operations.
4. Security of tenants and property.

3.1 Management Team

The management team will be mostly departmentalized. Employees are delegated tasks based upon their specialty. Initial staff will include members already integrated with RFLA as well as additional staff with appropriate experience. At RFLA, we prefer to hire staff rather than outsource to ensure that our customer service and quality of work remains consistent with RFLA's mission.

The initial expected staffing is as follows:

-2 full-time managers: Job responsibilities include managing operations, overseeing staff, overseeing advertising and accounting. Responsibilities may also include some after-hours emergency calls if needed.

-2 part-time leasing agents: Job responsibilities will be leasing of the residential units. This includes follow-up on advertising, communications with prospective tenants, apartment showings, processing of paperwork and tenant move-ins.

-1 part-time maintenance technician: Job responsibilities will include all in-house maintenance and repair issues including after-hour emergency calls. Job responsibilities may also overlap with janitorial staff.

-1 part-time janitorial personnel: Job responsibilities will include weekly cleaning and maintenance. Job responsibilities may overlap with the maintenance technician and may also include after-hours emergencies.

-In addition to our regular staff, there may be occasion to use trained temp-staffing to fill in any gap or emergency that may arise.

3.2 Leasing

The leasing of the apartments will be performed in a manner that is professional, consistent with our customer service objectives and in accordance with all local, state and federal guidelines. At RFLA, we have a vested interest

in creating and maintaining a relationship with our residents. We want to provide great apartments with great customer service. This includes making the leasing process as hassle-free as possible.

3.2.1 Leasing Process

Western Ave. Apartments will be leased to market rate rental residents. The process for leasing an apartment will include the following steps:

1. An application must be completed to determine credit worthiness, income eligibility, and rental history. At RFLA, we are experienced in processing this type of information quickly and efficiently. We also understand the importance of protecting an individual's privacy and personal information. Only limited authorized staff or auditors will have access to sensitive personal information of applicants and tenants.
2. After eligibility is approved and verified with the appropriate backup documents, we will sign a lease for the specific apartment to be rented. The minimum lease term shall be 30 days. At the time of lease signing we shall collect the first month's rent and an applicable security deposit.
3. If an applicant is denied based on credit or eligibility requirements they shall receive a written notice of such denial.
4. Once a lease is signed then the new tenant receives copies of the signed lease, rules and regulations, Gym rules and a packet of helpful information regarding the building and the local area. Move in is scheduled for all new tenants so as not to conflict with other move-ins.

3.2.2 Leasing Documents

The leasing documents are generally composed of the following items:

1. Application
2. Lease
3. Rules and Regulations
4. Addendums

3.2.2.1 Application- Sample

Western AVE. APARTMENT RENTAL APPLICATION

OCCUPANT

Name_____CoApplicant/Guarantor_____

Driver's License No._____Social Security No._____DOB_____
Phone: Home_____Cell_____Email _____
EMPLOYMENT HISTORY
Current Employer_____
Address_____City_____State_____Zip_____
Supervisor_____Phone_____
Gross Monthly Salary_____Position_____How long?_____
Other income sources_____other gross monthly income_____
Co-applicant/Guarantor's Employer_____
Address_____City_____State_____Zip_____
Supervisor_____Phone_____
Gross Monthly Salary_____Position_____How long?_____
Other income sources_____other gross monthly income_____

RENTAL HISTORY
Present Address_____City_____State_____Zip_____
Rent_____Own_____Rental/Mortgage Amount Paid Monthly_____From/To_____
Reason for leaving_____
Landlord's Name/Mortgage Co._____Phone #_____
Previous Address_____City_____State_____Zip_____
Rent_____Own_____Rental/Mortgage Amount Paid Monthly_____From/To_____
Reason for leaving_____
Landlord's Name/Mortgage Co._____Phone #_____
BANKING REFERENCE
Name_____Phone#_____
Address_____City_____State_____Zip_____
Account #_____Checking_____Savings_____Balance_____
OTHER INFORMATION:
In the past have you failed to perform any obligation of a rental agreement or have you been a defendant in an eviction lawsuit?
If yes. Explain_____
Any pets(describe)_____
In case of emergency notify_____relationship_____
phone_____
The information on this application is true and correct to the best of my knowledge. I hereby authorize RFLA or its agents to verify the above information and obtain either a consumer or investigative credit report from Contemporary Information Corp. I understand that the $ fee for verifying this rental application is not a deposit, will not be applied to any rent, or refunded even if the application to rent is declined.
Signature_____Date_____
Signature_____Date_____

3.2.2.2 Lease-Sample

The lease terms and conditions may be changed and updated from time to time.

Residential Lease

This agreement made as of the date written below by _____, LLC "Lessee" does hereby lease to **TENANT NAME** "Lessee" herein, and Lessee hereby hires and takes the premises (as defined below) for the term specified subject to all of the terms and provisions set forth below:

1. **Premises:** The premises here leased are situated at **Western Ave. APT _____, Gardena, CA** .

2. **(a) Term.** The term of this Agreement shall be for a _____**month period** commencing on **Date Lease Starts** . Any permitted holding over, with the permission of the landlord, after the term shall create only a month-to-month tenancy, terminable at any time thereafter by either party on 30 days written notice.

(**b) Notices**. The notices provided for herein or required by law to be served by the Lessee to the Lessor shall be served upon the Lessor, by certified mail or by delivering a copy thereof to Lessor at Leasing Office, or to such other place as Lessor shall from time to time designate to Lessee in writing.

3. **Rent.** The rent for the premises shall be the sum of **Monthly rent in dollars ($_____) per month**, which rent Lessee hereby agrees to pay at the office of Lessor or at such other places as Lessor may from time to time designate. Lessee expressly agrees to pay said rent each month in advance. If the term of this agreement commences on any day other than the first day of the calendar rent, the rent for the second month shall be prorated to the first day of the calendar month and all monthly installments of rent payable by Lessee shall thereafter be paid in advance on the first day of each calendar month during the term.

(a) All rental payments received after the third (3rd) day from the due date shall be subject to a late fee of $50.00. However, any payment not received by the first day from the due date shall be subject to a Three-Day Notice.

(b) Any returned check for any reason whatsoever shall be subject to a returned check fee of Twenty ($20.00) Dollars.

(c) If the Lessor for any reason cannot deliver possession of said premises to Lessee at the commencement of said term, the Lessor shall not be liable to Lessee for any loss or damage resulting therefrom, but there shall be a proportionate deduction of rent; nor shall this lease be void or voidable for a period of ten (10) days thereafter; and if for any reason said premises cannot be delivered within said number of days, then Lessee may, prior to Lessor's delivery of the premises, declare this lease to be null and void and all money paid to Lessor shall be refunded to the Lessee.

4. **Utilities.** Lessee agrees to pay for utilities.

5. **Deposits.** In addition to the rent due hereunder, Lessee shall upon the signing of this Agreement, deposit with Lessor a SECURITY DEPOSIT in the amount of $ Said SECURITY DEPOSIT shall be paid for the faithful performance of Lessee's obligation for rent or any damages or destruction of the premises or any part thereof for which Lessee is responsible hereunder. Lessor may, at his option, repair such damage or destruction, and in addition to any other remedies hereunder, apply such security deposit towards payment of the costs of such repair. In the event that such security deposit shall be applied in any manner authorized, Lessee agrees within ten (10) days after demand from Lessor, to deposit with Lessor an amount sufficient to restore the security deposit to

the amount originally deposited hereunder. Failure to do so shall be a default hereunder. If actual costs of damage exceed the amount of the security deposit, Lessee shall personally pay any excess costs.
Lessee shall not apply any portion of this security deposit against unpaid rent. Authorized security deposits shall be accounted for within twenty-one (21) days after termination of residency and return of keys and transmitter(s).

6. **Use of Premises.** Lessee agrees to use the premises solely as a private residence, and that only the following persons and no others shall occupy the premises without the prior written consent of Lessor: The Lessee agrees to use the premises and all common areas made available to Lessee always in accordance with the Rules and Regulations attached hereto or hereinafter promulgated and further agrees not to violate any law or ordinance or any governmental authority with respect to the premises.

7. **Condition of Premises; Maintenance and Repair; Right of Inspection**. Lessee has inspected the premises and hereby accepts the premises in its as is physical condition, agreeing that no statement or representation as to the condition has been made by Lessor. Lessor may, at Lessor's option, and without being under any obligation whatsoever to do so, enter the premises during normal business hours to examine the same, to make such repairs or perform such maintenance as Lessor may deem necessary or desirable, or exhibit the premises to prospective tenants, workmen, or contractors. Lessee agrees to maintain the interior of the premises always during the term hereof in good and clean condition as good as the present condition of premises (reasonable wear and tear excepted) and to return the premises to Lessor in such condition at the end of the term. (but without limitation), Lessee shall pay for any expense, damage or repair condition by the stopping or overflow of waste pipes, bathtubs, water closets, wash basins, disposals, dishwashers or sinks.

8. **Assignment and Subletting.** Lessee agrees, as a condition of continuation of this Agreement, not to sell, assign, transfer, set over, mortgage, hypothecate, or in any manner dispose of this Agreement, its term, or any part of its term, or the premises, in whole or in part, without the written consent of Lessor. In the event Lessor at any time shall give such written consent, it shall not be construed as a waiver of any other written consent above required, or for any other time or for any other reason.

9. **Furniture and Fixtures.** In the event the apartment is all or partially furnished, then all such furniture and fixtures are and shall remain the property of Lessor and Lessee hereby agrees that, in the event of any damage or destruction to such furniture or fixtures during the term of this Agreement (reasonable wear and tear excepted), Lessee will pay promptly, on demand, all costs of repair or replacement of such furniture or fixtures. Lessee shall not remove any of such furniture or fixtures from the premises at any time.

10. **Pets.** Lessee agrees that no pet or pets may be kept in or about the premises without the prior written consent of the Lessor. In the event such consent is granted, it shall apply only to that pet specified. All decisions on pets shall be subject to the discretion of the Lessor and his decision in each case shall be final. In the event consent is given with respect to a pet, such consent may be later withdrawn at any time by the Lessor upon notice to the Lessee whereupon Lessee shall immediately remove the pet permanently from the premises. Lessee agrees to pay for any damage to the premises or to the furniture, furnishing or equipment therein, caused by any pet. Lessee agrees to pay to the Lessor the sum of **$ per month** upon receiving consent to have the pet in or about the premises, and an additional security deposit of $ which sum shall be held by the Lessor as an additional security deposit. Said additional security deposit shall be added to any deposit under Paragraph 5 above; and, upon the expiration of the occupancy, such security deposit may be applied by the Lessor for any purposes permitted under Paragraph 5.

11. **Alterations and Improvements.** Lessee agrees not to make any alteration of, or make or add any improvement of any kind to the premises without obtaining Lessor's written consent in advance, including without limitation, painting, wallpapering, permanent shelving
and flooring and changing of locks. All alterations, additions or improvements in and to said premises shall be the property of Lessor and shall remain upon and be surrendered with the premises.

(a) Lessee shall keep the premises free from any liens arising out of any work performed, materials furnished or obligations incurred by Lessee.

12. **Damage and Destruction.** Lessee hereby indemnifies Lessor against, and agrees to pay on demand, for all reasonable costs of repair or restoration as a result of any damage or destruction to the premises or any part thereof resulting from the willful or negligent act of Lessee (and/or any person on the premises through or under Lessee's direction including without limitation, guests of Lessee). In particular, but without limiting the generality of the foregoing, Lessee indemnifies Lessor against any damage or destruction resulting from leaving windows open during rains or storms, unnecessary flows of water from pipes, faucets or other sources, failure to turn off electrical appliances or lights when not in use, and littering of the premises or adjoining common areas.

13. **Default by Lessee.**

(a) The occurrence of any one or more of the following events shall constitute a default hereunder by Lessee: (I) The abandonment of the premises by Lessee; (II) the failure by Lessee to make any payment of rent or additional rent required to be made by Lessee hereunder as and when due; and, (III) the failure by Lessee to observe or perform any of the other provisions of this lease to be observed or performed by Lessee if such failure shall not be cured within three (3) days after notice thereof.

(b) Whether or not the premises are re-let by Lessor, Lessee shall remain obligated under the lease and shall pay to Lessor, until the end of the term hereof, the amount of rent required to be paid by Lessee hereunder, provided however, that in the event Lessor does re-let the premises, Lessor shall apply the rent or other proceeds actually collected by it as a result of re-letting against any amounts due from Lessee hereunder. In the event Lessor elects to terminate this lease, it may recover, in addition to the rent which has accrued as of the time of termination, the worth at the time of the award of the amount of rent for the balance of the term after termination, less the amount of such rental loss which Lessee proves could have been or could reasonably be avoided.

(c) Lessee shall pay all expenses incurred by Lessor in recovering possession of the premises and re-letting or attempting to re-let the same and all costs, including attorney's fees, incurred by Lessor in exercising any remedy provided herein or in enforcing Lessee's obligations hereunder as a result of litigation or otherwise.

14. **Rules and Regulations**. You shall comply with all rules and regulations(attachment) which govern the building and any part of its property, and any alterations or changes in the rules and regulations which we, in our discretion, may adopt for the building. You covenant and agree that all rules and regulations continued in this Lease and those which may be adopted later by us and made known to you have the same force and effect as covenants of the lease, and you covenant and agree that you family and visitors will observe all such rules and regulations. In addition, we reserve the right to alter, amend, or modify these rules and regulations, and you agree to abide by any alterations, amendments or modifications.

15. **Subordination.** This Agreement shall, without further act on the part of Lessee, be subject and subordinate to the lien of any mortgage and/or deed of trust or other encumbrance which may now exist upon, or which may hereafter be placed by Lessor upon the premises or property including the premises.

16. **Waiver.** The waiver by Lessor of any breach of any term, covenant or condition herein contained shall not be deemed to be a waiver of any subsequent breach of the same or any other time, covenant or condition therein contained. The subsequent acceptance of rent hereunder by Lessor shall not be deemed to be a waiver of any preceding breach by Lessee of any term, covenant or condition of this lease, other than the failure of Lessee to pay the particular rental so accepted, regardless of Lessor's knowledge of such preceding breach at the time of acceptance of such rent.

17. **Possession.** Failure to deliver possession of the premises at the time herein agreed upon shall not subject Lessor to liability for damage beyond the amount of the deposit received from Lessee.

18. **Auto Parking (if applicable).** It is expressly understood and agreed that the assigned parking space at said premises is limited to private passenger vehicles and Lessee shall have no right to store any vehicles, boats or trailers or ANY other property on said parking space without written consent of Lessor. Car repairs, washing or painting are not permitted anywhere on the property. Lessee hereby grants to Lessor the undisputed right, with ten (10) days notice, to remove any vehicle from parking space which is inoperable in Lessor's opinion, and remains inoperable for ten (10) consecutive days. Lessee further agrees that any vehicle owned by Lessee remaining on the property after the termination of this Agreement may be immediately removed with full immunity from damages for such removal, on the part of the Lessor. Lessor shall not park, or allow anyone else to park, in any other space on Lessor's property. Lessee shall not assign or sublet any such parking space and Lessor may have unauthorized vehicles towed away. Upon ten (10) days written notice to Lessee, Lessor may terminate Lessee's parking privilege or change the size and/or location of Lessor's parking space.

19. **Lessor's Representative (if applicable).** Should the above premises be under the control of a resident manager, in that event Lessor appoints the resident manager as its duly authorized agent to manage the premises and to act for the purposes of services of process and for the purpose of receiving and receipting for all notices and demands.

20. **Attorney's Fees.** In the event a suit shall arise relating to the terms and conditions contained in this lease or the breach thereof, the losing party shall pay to the prevailing party reasonable attorneys fees which shall be fixed by the Court.

21. **Keys and Entry.** Lessee shall at all times provide Lessor with a key to all locks on the premises. Lessee shall allow Lessor or Lessor's representatives access to the unit for the purposes of making repairs or to inspect the unit, to show the unit to prospective tenants, purchasers, workmen or contractors.

Date:_____By:_____
Owner or Agent for Owner, "Lessor"

Date:_____By:_____
Tenant, "Lessee"

3.2.2.3 Rules and Regulations

The Western Ave. Apartments RULES AND REGULATIONS (Attachment #1)

These rules and regulations are a binding part of your lease. A violation of any of these rules may be considered a failure to honor our lease obligations, and consequently, you may be considered in default and subject to legal action under the lease and the law.

1. **RENTAL PAYMENT** - Rent is due on or before the first day of each month. Checks should be made payable to the management company for the full amount of rent. Failure to pay all rent will expose all tenants in the apartment to eviction proceedings, and consequently, you will be subject for payment of Landlord's legal costs and fees. Please make arrangements well in advance to see that rent is paid in a timely manner. Rent is preferred in the form of a check or money order. Also, please be sure that your apartment number is clearly written on your check to help us properly credit your rent.

2. **PARTIES AND EXCESSIVE NOISE** - Be forewarned: The Landlord will vigorously enforce all Lease provisions with regard to excessive noise and parties. You are bound by you lease to be responsible for the behavior of your guests and to respect the rights of other tenants at The Western Ave. Apartments. After 10:00pm is considered quiet time. Again, you are responsible for the behavior of yourselves and your guests. If you have guests/a party and it causes any disturbance which is too big, uncontrollable, or disturbing others, management and/or the police will shut it down. Any violations of the party and noise provision of the lease will result in

written warnings being sent to the tenants and their guarantors. More than one written complaint for noisy behavior may be considered grounds for eviction. Likewise, if you find that you are disturbed or bothered by the behavior of other tenants, and you have failed in your attempts to remedy the situation, please contact management and/or the police to allow us to address the situation. All complaints made to management will be held confidentially.

3. **ILLEGAL USE OF PREMISES** - All residents agree not to engage in or permit unlawful activities. This includes under age drinking and illegal drug related activities in the apartment, hallways, common areas, or grounds.

4. **ALCOHOLIC BEVERAGES ON THE GROUNDS** - Alcoholic beverages shall not be consumed on the grounds, in the hallways, or in the common areas of The Western Ave. Apartments.

5. **SMOKING -** Smoking is NOT permitted in common areas of the property.

6. **GARBAGE AND RECYCLING** - All trash must be disposed of properly in the trash chutes or dumpsters conveniently around the property. It is mandatory to recycle in The Western Ave. Apartments. Recycling collection sites are located adjacent to each dumpster for newspaper, glass, cardboard, and metal cans. Glass and cans must be rinsed out. Each apartment has been provided with one recycling bin. Any bin that is not left at the end of the tenancy will be charged against your security deposit.

7. **LITTERING** -Residents and guests shall not litter the common areas or grounds of the complex. Personal property (bicycles, strollers, etc.), may not be left in the hallways or chained to trees, etc. Such items may be considered abandoned and disposed of by the management.

8. **BALCONIES AND YARDS** - Residents shall not store garbage on their balconies or yards. Residents shall not hang laundry outside. For safety reasons, please do not hang or place plants directly on top of balcony railings. All yards and balconies must be kept neat and clean.

9. **SERVICE REQUESTS** - All service and maintenance requests will be handled as promptly as possible. Please submit all service requests in writing by email or in the office mailbox. Requests should not be made directly to the maintenance staff, as this will upset the system we have in place to best serve our residents. If you have an emergency maintenance request after or before office hours, please contact our emergency number. Feel free to use this number anytime you are unable to contact the office with an emergency. Our answering service person will take your name, telephone number, and apartment number and relay your request to the maintenance personnel. Please do not use the emergency number for routine matters.

10. **KEYS** - Lost keys will be replaced at a cost of $15.00 each. Occasionally, a resident may wish to have his/her lock changed, the charge for this is $25.00. If you get locked out of your apartment during normal business hours, we will be happy to open the door at no charge as soon as possible. After normal business hours and on weekends there is limited lockout service available. Monday through Friday between 4:00pm and 9:00pm, and on weekends/Holidays between 9:00am and 4:00pm, lockout service is available for a charge of $35.00. Monday through Friday between 9:00pm and 9:00am, and on weekends/Holidays between 4:00pm and 9:00am, lockout service is available through our locksmith only and the charge is $75.00.

11. **PARKING** -

A. All vehicles must be parked in a designated parking space.

B. Any vehicle parked in a non-designated area, such as the fire lane, or in front of a dumpster will be towed at the vehicle owner's expense without further notice. If a permit has been issued to that car, it may be revoked and all parking privileges suspended.

C. Any resident car, with or without a resident sticker, parked in such a space will be towed at the vehicle owner's expense.

D. Only vehicles with valid Western Ave. Apartment Parking Permits may park in resident parking areas. Cars parked without permits are subject to towing at the vehicle owner's expense.

E. All permits remain the property of The Western Ave. Apartments. The landlord reserves the sole right to revoke any permit from any tenant not observing the parking regulations.

F. No repairs (including washing of cars and changing oil) may be done to vehicles anywhere on The Western Ave. Apartment's property.

G. No double parking (end to end) is allowed anywhere.

H. All vehicles must be registered and insured

12. **SMOKE DETECTORS** - All smoke detectors have been checked to ensure that they are working when a tenancy begins. Residents agree to notify management in the event there is any problem with either the smoke detector and/ or emergency lighting/smoke detectors in the common hallway. If we find a smoke detector vandalized, or removed, the tenant will be charged $50.00 plus the cost of materials for putting the smoke detector back into working order. Smoke detectors and other fire safety equipment are provided for your safety as well as the safety of others. We reserve the right to prosecute to the full extent of the law in the event you or your guests vandalize any fire safety equipment. We reserve the right to check your smoke detector when performing other maintenance in your apartment, or at other times during your tenancy. If your smoke detector is found to be not working properly during one of these checks, it will be repaired and you will be charged.

13. **MOVING** - Moving in and out of apartments is permitted between the hours of 8:30am and 5:00pm. Cars and trucks are not permitted on the curbs, sidewalks, etc. while you are moving in or out, and are subject to towing without further notice. Any damage to the common areas caused by your moving will be charged accordingly.

14. **GYM AND BAR-B-QUE** - Please see the most updated Rules and Regulations. Hours and Rules will be posted within the complex. NO ALCOHOLIC BEVERAGES OR FOOD OR SMOKING IS PERMITTED ANYWHERE IN THE PUBLIC AREAS OR GYM.

15. **PET POLICY** - One small pet under 20 lbs are permitted with management approval. Please see the Pet agreement for rules and regulations governing pets. Any animal found in either the common hallways or on the grounds is subject to immediate removal by a member of RFLA Staff. Any animals found will be turned over to the town or an animal shelter. An animal will neither be returned to any resident, nor to any neighbor. If we have become aware for any reason of an animal living in an apartment without written approval, the tenants shall receive a written notice immediately that they have five (5) days to remove the animal, or eviction proceedings will commence.

16. **DELIVERIES** - The Management Office is not responsible for any loss or damages resulting from the delivery of residents' packages to the office in the case that the residents are not home. Residents are free to request that packages not be left at the office.

17. **SALES & SOLICITING** - All sales and soliciting are strictly prohibited on The Western Ave. Apartments property.

18. **DAMAGE TO THE APARTMENT/COMMON AREAS** - Tenants will be strictly held responsible for damages in their apartments and to the common areas. You are also responsible for any damage done by your guests. A written bill will be sent shortly after the damage is noticed and payment is expected promptly upon receipt. Further, maintenance that is required beyond usual wear and tear will be charged to the tenants (this includes toilet back ups because of improper use, holes in walls, etc.).

19. **MOVE OUT PRIOR TO THE EXPIRATION OF LEASE** - Each tenant must realize that moving out prior to the expiration of the lease does not release such tenant or any guarantor if applicable. This means you are each responsible for the actions of your roommates. The Landlord does not differentiate between you individually, with respect to this you are all treated as a group. If you move out prior to the expiration of the lease, you must notify the office in writing and return your keys. You will remain responsible for payment of rent and other charges until the earlier of the original expiration of your lease, or our leasing the apartment to a new tenant who takes possession. In addition, you may be held responsible for leasing costs that may include but are not limited to cleaning the apartment, painting, advertising, etc. If you move out and fail to pay rent the management/owners may go to court and obtain a judgement for monetary damages against the tenant and/or the guarantors of the lease.

20. **SECURITY DEPOSIT REFUNDS** - Apartments will be inspected for damages shortly after the tenants vacate the apartment. Security Deposit refunds will be made in the name of the tenant/guarantor on the lease, unless we receive a form (available in the office) indicating to whom the check should be made payable. In no event will we issue separate checks. It is important that you give us a forwarding address for the check. Failure to give us a forwarding address may delay return of your Security Deposit. Security Deposits will be return within (21) days from move out.

21. **SUGGESTIONS** - We welcome all constructive criticism of any policy we may have, and welcome your suggestions for improving the overall quality of living at The Western Ave. Apartments. Please feel free to call upon the Manager with your thoughts.

22. **WESTERN AVE. GROUP STAFF** - It is the policy of the owners and management to be responsive and courteous. If you feel someone has been rude or unreasonable please contact Lee Johnson at 310-892-2244.

23. **CHANGES TO RULES AND REGULATIONS** - The landlord reserves the right to change and/or amend these rules and regulations at any time.

GENERAL RULES

1. The gym and bar-b-que areas are to be used only between the hours of 8:00 A.M. and 8:00 P.M. This is subject to change per posted signage by management.

2. The gym is reserved exclusively for use of residents of the building and their guests.

3. Children under the age of Sixteen (16) shall not use gym without an adult in attendance.

4. No food may be served or eaten in or around the gym area at any time without Owners/Agent's consent. Refreshments must be served in unbreakable containers.

5. No alcoholic beverages shall be served or consumed in or around the public area of the complex at any time. No person under the influence of alcoholic beverages is permitted in or near the gym.

6. Running and jumping, “horseplay,” fighting, boisterous or dangerous conduct, and/or any noisy behavior disturbing to the other residents, is forbidden in or around the complex or gym areas.

7. No radios, record players, or other musical instruments may be used in or around the complex or gym area without the consent of Owner/Agent.

8. Residents and their guests are required to be properly attired always, going to and from and in or around the complex and gym areas.

9. Residents and guests will place their own towels over furniture when using suntan oil or other lotions.

10. No smoking is allowed at the property

11. No trainers or professional classes are allowed or are being hired in the complex or gym

12. Persons using the gym facilities do so at their own risk.

- Owner/Agent is not responsible for accidents or injuries during the misuse of equipment.
- Owner/Agent is not responsible for articles unattended, lost, damaged or stolen within the gym.

3.2.2.4 Addendums

The need for lease addendums may arise. RFLA will use standard lease addendum forms for any case that may arise.

3.2.3 Leasing Timeframe / Vacancy

The full leasing of the apartments is expected to take approximately six months from the completion of the building.

3.3 Rental Prices

The rental rates shall be as follows: Approximately $1,500.00/month. Utilities will be paid by tenant.

3.4 Maintenance and Repairs

It is our goal at RFLA to respond to all maintenance and repair requests with prompt and courteous service. The building and premises shall also remain in Repair requests will be able to be made through the following methods.

1. Management office: Requests can be submitted in person at the management office during business hours or a note can be dropped off in the office mailbox.

2. Website - Requests can be submitted through our website under resident services or emails can be sent directly without going through the website.

3. Emergency phone line - There will be a 24-hour emergency line in which our staff can be alerted and respond to any emergency call 24 hours/day. Routine maintenance will be done by our on-site maintenance technician and shall include maintaining and/or replacing when necessary the following items.
    - Light bulbs.
    - Lock and door mechanisms. This includes changing batteries in the apartment electronic door systems.
    - Gym maintenance.
    - AC filter cleaning in each apartment.
    - Any common area equipment maintenance that is not maintained by specialty vendors.
    - All common area painted surfaces.

4. Specialty vendor maintenance. The following systems shall be maintained and repaired by specialized companies.

    - Elevator systems.

- Fire sprinkler, standpipe, alarm and extinguisher systems.
- Hot water heater systems.
- Solar panel systems.
- Garage gate.

3.5 Accounting

Accounting Services: RFLA Staff will keep accurate records of all appropriate accounting

of operations. **4.0 Services/Amenities**

At RFLA, it is important for The Western Ave. Apartments to be more than just an apartment building. We intend on providing services and amenities which will create a unique living environment for every tenant.

4.1 Leasing/Management Office

RFLA will maintain a management/leasing office on the premises. Instead of having an outside leasing company who will not maintain an on-site presence, we at RFLA prefer an on-site staff to be available for day-to-day operations and to cater to our tenants.

4.1.1 Rent Payment Conveniences

To provide the most options for tenants, The Western Ave. Apartments will accept the following forms of payments.

1. Cashiers check, money order or personal check (personal check not accepted for initial move-in).
2. Automatic debit through a bank.
3. Credit Card (most major credit cards will be accepted)

4.2 Unit Features

Each of the apartments is not more than 350 interior sq. ft. but will offer the following features:

1- Each apartment will have a use of teh 4000 sf rooftop or will have a balcony or yard with outdoor space.

2- Each apartment is equipped with its own full bath.

3- Kitchenette: Each apartment includes a small refrigerator, range, a microwave and garbage disposal.

4- Technology package: Each apartment is pre-wired for cable, phone and internet. For a fee High speed internet will be available for immediate use in each apartment upon move-in through an owner installed system but there will also be the choice of alternate utility companies.

5- Vinyl Wood flooring for easy care and longevity.

4.3 Disability Access

Western Ave. Apartments will be disability accessible and adaptable as required per the current A.D.A. standards for this type of housing.

4.4 Business Center

RFLA will provide a technology center when able, with up-to-date features. The business center will enable tenants to access a computer with internet access, a printer, copying services and potential additional services.

4.5 Internet Access

The Western Ave. Apartments will provide, for a fee, all residents access to internet upon moving in. We will combine hard-wired internet connections with a wireless system for entire building coverage. Our system will enable tenants to access the internet upon move-in without the standard waiting time typically required for utility companies.

4.6 Safety Features

Keeping with RFLA's mission, Western Ave. Apartments will be a community that residents will feel safe knowing that there is locked, gated access to the building in addition to security cameras monitoring the building areas and state-of-the-art electronic apartment keys.

4.6.1 Gated Access

The main pedestrian gate will be locked and will offer residents a keyless access code to enter. Non-residents will use the intercom system to call residents to enter the building. The garage gate will require a remote transmitter to enter.

4.6.2 Security Cameras

The Western Ave. Apartments will be equipped with high-tech security cameras on all entrances and exits and several common areas. This system will also allow tenants to access a camera at the main entrance to see visitors at the intercom.

4.6.3 Electronic Apartment Keys

The Western Ave. Apartments will use state-of-the-art electronic apartment keys. These keys will provide advantages for safety and security. It is virtually impossible to duplicate them by unauthorized personnel. In addition, it provides security for tenants and RFLA alike in the ability to check which keys were used for recent access to any apartment.

4.9 Gym

RFLA will provide tenants with a Gym when able which will feature amenities that may be used by all tenants and guests accompanied by tenants.

5.0 Marketing

RFLA will use a comprehensive marketing plan to advertise to as many people as possible. This will include:

1. Website and building signage.
2. Local and Southern California advertising.
3. National advertising.
4. Open houses.

5.1 Website and Building Signage

- The Western Ave. Apartments will have a marketing name with a professionally designed website and branding specific to the building which will offer details and pictures of the apartments and surroundings.
  It will promote not only living at the building, but living in Gardena. The website will also be listed in search engines for maximum visibility.
- There will be appropriate and attractive building signage to attract people to the building.

5.2 Local and Southern California Advertising

- Advertisements will be placed in well-known and respected online advertising companies such as www.Apartments.com and www.craigslist.com.
- Advertisements will be placed in local newspapers and regional newspapers such when necessary.
- Advertisements will be placed in magazines which cater to apartment buildings such as the "Apartment Magazine".
- Advertisements will be in Spanish as well as English to reach as many people as possible.
- Local businesses will be contacted by mailings or flyers.

5.3 National Advertising

In anticipation of housing needs of people moving to the Gardena area from around the country, we will advertise in some online national advertising companies.

5.4 Open House

We will conduct open house during the initial six-month period and whenever needed. In addition to specific open houses we will have the Leasing/Management office open during the week for tours of the property.

west realty group

at home in the world of real estate

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01 The Development Team

What we Believe

West Realty Group believes the following

(1) As a Household makeup, workplaces and the work force continues to change, West Realty Group ("WRG") sees a need to create inspired micro urban quarters rather than the isolated traditional subdivisions.

(2) Los Angeles has been and continues to be transforming itself from a low-rise, spread out city into a distinct vertical urban metropolis. As the region's highways, public transportation and other infrastructures become stressed beyond their capabilities, the need for change has become apparent. WRG believes that there is currently a significant demand for micro housing that provides a more inclusive identity and a new way to live and commute within the city.

(3) Urban commercial, residential and mixed-use development is the emerging product alternative in metropolitan Los Angeles. These developments create new highly designed buildings that provide for a varying mix of residential, retail and office uses in a single building or set of buildings. Development projects in which consumers are close to jobs, retail stores and services that provide for a more integrated, pedestrian-oriented life-style choice, which has a proven appeal to an increasing number of consumers in today's Los Angeles.

(4) Urban residential and mixed-use real estate development projects present an attractive opportunity to investors because a limited number of development companies are engaged in this type of activity and have the expertise required to execute in this market niche. In addition, WRG believes that demand for this type of product will continue to grow.

Although other developers have shown a significant interest in urban residential and mixed-use projects, such developers have historically been limited by the lack of critical mass that characterizes micro housing urban projects. WRG has specialized in such markets by locating and controlling superior sites in order to create attractive opportunities for investors and consumers. WRG has recognized and has experienced that an urban market with very few available sites and/or built-out of new product creates stronger demand, less price sensitivity, and the potential for higher profit margins than other more traditional real estate investments.

Foremost experts Lee Johnson and Marios Savvides who are committed to the investment and development of exceptional opportunities that span broad price ranges lead Realty Fund LA's acquisition, due-diligence and operations efforts. They currently own and operate over 330,000 square feet of properties in Los Angeles and are passionate about their business, with an eye for both valuable investments and places that offer improved lifestyle and an elevated sense of design.

The Sponsors

Lee Johnson – Managing Member

Founder of West Realty Group and a proven and profitable third generation developer, Mr. Johnson provides over 16 years experience and has been involved in over 30 development projects representing more than $675 million dollars in closings. He has brought together many different investors and partnerships with 100% success handling a variety of projects from land acquisition to final building completion, including single and multi-family housing, and mixed-use properties.

He has experience in dealing with challenging planning, zoning and building codes, and has cultivated a valuable network of connections with other professionals in all aspects of the real estate and building industry. Mr. Johnson was the Director of Acquisitions and Director of Sales & Marketing at a local Westside development group that focused on new urban residential investments and mixed-use developments. He holds a California Department of Real Estate Brokers License and is a Top Producer involved in over 500 transactions placing him in the upper 1% of all NRT Agents Nationwide. Mr. Johnson has also been featured in numerous articles in local magazines, newspapers and the Los Angeles Times.

Marios Savvides – Managing Member

Mr. Savvides has over 28 years experience in real estate brokerage and development in Los Angeles. He has been involved in over 80 projects that represented more than 2mm sf of development valued at over $1 Billion Dollars. Mr. Savvides has a vast range of experience in all levels of land development and building, including property level feasibility, due diligence analysis, financing, entitlements and product creation that extends throughout commercial, residential, and mixed-use properties. He has an undergraduate degree in Design and a Master's degree in Real Estate Development from USC. He uses this background to creatively determine what to build at each site in order to maximize its financial potential.

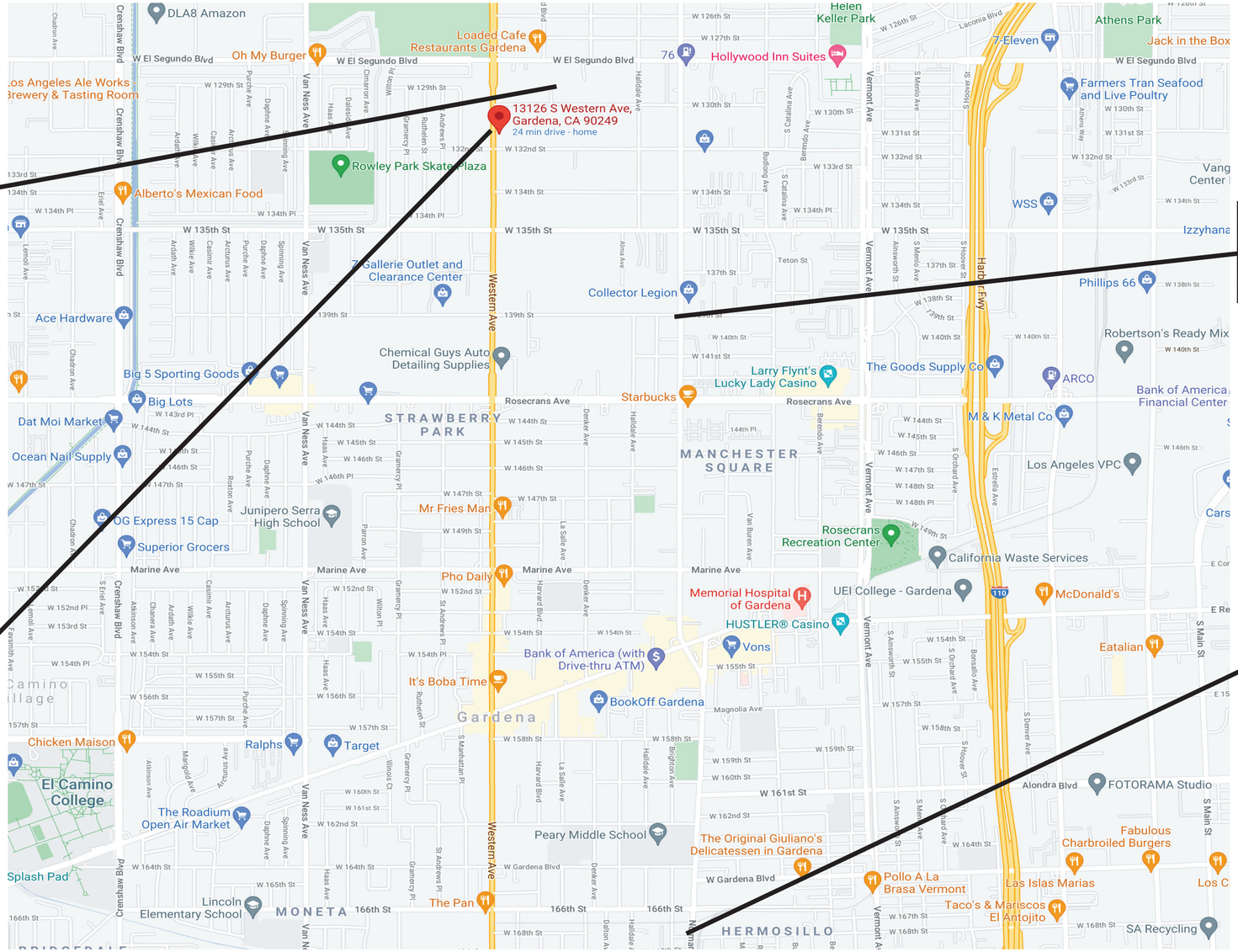
Mr. Savvides is a result driven leader that believes in taking calculated risks promptly. He holds a *California Department of Real Estate Brokers License* and has been responsible for over 600 transactions representing buyers, sellers and investors. He has been featured in several publications including the Los Angeles Times.

Snapshot of Prior Developments

Current Developments

97 unit Micro-Unit project in pre-development scheduled to be completed 2023

Subject Property
121 unit Micro-Unit project in pre-development scheduled to be completed 2023



20 unit Micro-Unit project in plan check scheduled to be completed 2022

63 unit Micro-Unit project under construction scheduled to be completed 2022

Development Team

ARCHITECT

DE Architects

Founded in 2002 by Don Empakeris, AIA NCARB, DE Architects AIA is an innovative firm which embraces a new urbanist philosophy, focusing on urban context and the relationship between the user and the built form. DE Architects AIA uses a team-centric approach to ensure excellence throughout the entire design and construction process.

We thrive in both the public and private sector and are involved throughout the greater Los Angeles area, winning numerous awards for a wide range of building types, including non-profit public-funded housing, mixed-use residential/retail development, commercial, adaptive reuse, and interior design.

GENERAL CONTRACTOR

Frymer Construction

Frymer Construction was founded in 1996 by David Frymer, a second generation builder who got his start in the family business.

David's father, Edward Frymer, started E. Frymer Construction in the 1970's and the Frymer name is well known and respected in the greater Los Angeles area for the construction of high quality multi-family housing.

Frymer Construction is uniquely qualified to offer pre-construction services and analysis, value engineering, and project management services, contributing to projects completing on time and on budget. With over 1,000 apartment units built to date.

Frymer Construction is in a unique position to aid in the building of your apartment complex.

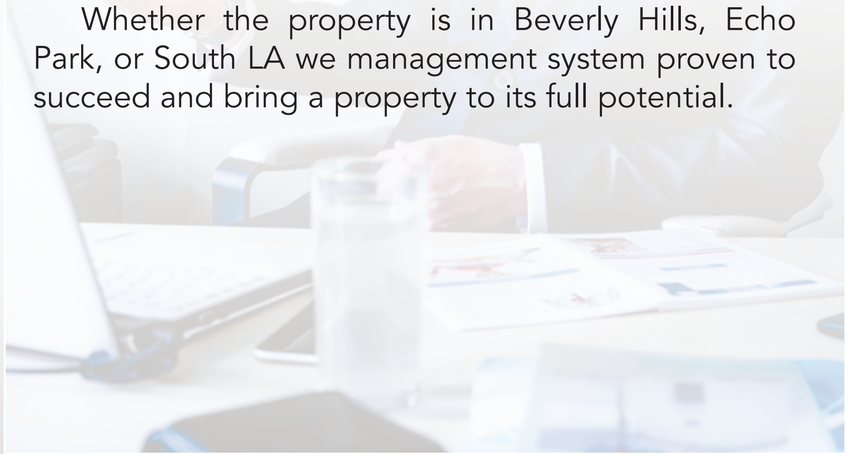
PROPERTY MANAGER

North Oak Property Management

North Oak Property Management was founded over 35 years ago with the goal of providing excellent property management with a focus on being on the cutting edge of our field while staying true to our boots on the ground mentality. With over 160 properties currently under management containing approximately 2,000 units.

North Oaks system has proven time and time again to be successful. North Oak has been proud to do lease up projects to full restoration and repopulation and everything in between. North Oak's area of service is from Ventura County to Alhambra and down to Torrance and everything in between.

Whether the property is in Beverly Hills, Echo Park, or South LA we management system proven to succeed and bring a property to its full potential.



02 Project Overview

Why Micro-Units

What is a Micro-Unit and Why Now?

A growing trend has emerged in multifamily developments that reflect a shift in the tastes and preferences for a critical segment of renters: young professionals living in expensive, high-growth or population-dense, urban markets. This cohort of renters tend to edge towards minimalism and value location, experiences, economy, and high quality amenities over larger, more costly units. They are highly mobile, tending to move frequently to follow opportunities and jobs, and they have a renewed interest in ur-ban, "authentic" locations – transit-rich locations are a plus, but walkability is a must. And with 49% of the United States' rental market represented by this 30-and-un-der demographic, this is not a group whose needs you want to ignore! 5 Enter the micro-unit.

A micro-unit is best described by ULI as "a purpose-built, typically urban, small studio or one-bedroom usingefficient design to appear larger than it is and rang-ing in size from as little as 280 square feet up to as much as 450 square feet."1 ULI mentions that this space is also to include a fully-functioning and accessible kitchen and bathroom. At first glance, this description of a tiny apartment might seem unlivable. But then, why is this trend expanding and why is anyone buying into it?

Take Manhattan – "according to a market report released by the real-estate brokerage Douglas Elliman, the median rent for a studio in Manhattan in July and Au-gust [2019] was $2,700. That number, as Bloomberg reported, is the higest its been since June 2008…As Business Insider previously reported, one year's worth of rent in Manhattan is more than three-quarters of the country's average annual salary, which is $47,060."2 How many 25-year-olds, fresh into their new ca-reers, do you know that can afford $2,700 in rent, alone? Add to this a need for utilities, food, a high probability of student loans, and it's no wonder today's Millennials are more in debt than any other generation and taking longer and longer to dive into the housing market.3

Micro-units sit at an average cost roughly 20-30% below that of conventional units.1 Taking into account developers' priority to make them feel larger and luxurious while placing them in prime, walkable, trendy locations, it becomes a lot easier to imagine why the micro-unit developments are taking hold across the country. Based on discussions with our expert network, it's important that the developer provide extensive amenity space in the common space in the development to compensate for the lack of space in the individual units. Common amenities might include a common "living room" with a big screen tv, large reservable gourmet kitchen, pool, fitness room, cafe, rooftop deck, etc. Again, thinking about the target market for this asset class, micro-units are generally for young profes-sionals looking to live in a downtown location – the type of individuals that spend most of their day either at work or bouncing from restaurants, to events, to gatherings with friends, but would like to come home to a place that is 100% private and 100% theirs. They feel a bit too old for roommates and this affordable option gives them the opportunity for their own space, along with a nice place to wake up in the morning, walk right downstairs to the nearest coffee shop, and make their way to work.

Micro Unit Investment

Investment Analysis

Won't more units per square foot amount to more development costs? Yes, roughly "5 percent to 10 percent more per square foot because of the relatively fixed cost associated with building a kitchen and a bathroom, which is generally the same for a micro-unit as for a conventional apartment."1 More management costs? Also, yes. More units mean more operational costs. But the added costs have a payoff. "Developing and operating a rental apartment community with micro units is more expensive, but the premium rent per square foot achieved more than makes up for the added cost."1

Anyone who has been in the rental market lately knows that the cost of privacy and a one-bedroom unit is expensive. That's why most younger generations are stuck looking for roommates and opting for two- bedroom apartments where the total cost is more expensive than a one-bedroom, but the cost per square foot is significantly less. Some even opt for a three-bedroom. Again, the total cost is even higher, but when you split it between three individuals, it is much less than each of them opting for a one-bedroom. Micro-units operate the same way. Smaller apartment, higher cost per square foot, but because the square footage is so small, it is much more affordable for the renter.

Micro-units are one of the best examples of a **win-win in residential real estate**, to date. Renters get exactly what they want, the best location, privacy, and their own unit, while operators get exactly what they want – the highest rent per square foot. This product-market fit bodes well for the long-term prospects of the asset class as a whole. And we may not have even mentioned the best part, occupancy levels. Reported in Aug, 2019, "Occupancy rates are on the rise for the nation's smallest apartments, according to a recent CoStar Group analysis, outperforming larger units. This is especially true in high-demand submarkets where soaring rental rates and strong job growth lead renters to prioritize location over total living space."4 The article goes on to mention the $1.49 trillion in student debt, the fact that household incomes have only risen by 2.9% each year, and the fact that demand has outpaced supply in 2019, all of this amounting to the fact that the "national average vacancy rate for the smallest one-bedroom apartments has fallen by 40 basis points since 2015, or 30 basis points below the vacancy rate for the largest."4 So the demand is here and growing, now it's time for the supply to keep up!

Every new trend in the real estate industry must be closely monitored and evaluated in order to determine its long-term viability. The micro-unit seems to be the next logical step in allowing the free market to effectively address our nation's affordable housing crisis. For some great additional reading on this topic, please look into the sources below. ULI has done a phenomenal job at presenting an in-depth analysis of this emerging asset class and we suggest you check out their findings.

1 https://www.businessinsider.com/cost-of-studio-in-manhattan-hits-eleven-year-high-2019-9
3" New findings from the New York Federal Reserve reveal that millennials have now racked up over US$1 trillion of debt. This troubling amount of debt, an increase of over 22 percent in just five years, is more than any other generation in history." https://theconversation.com/millennials-are-us-1-trillion-in-debt-but-theyre-better-at-saving-than-previous-generations-112206
4https://www.multifamilyexecutive.com/property-management/apartment-trends/smaller-unit-occupancy-outperforms-all-others-especially-in-core-submarkets_o
5https://www.statista.com/statistics/743445/share-of-residents-who-are-renting-usa-by-age/

Property Overview

This boutique residential development will feature 121 residential rental units across four stories, located in exciting Gardena, Comprised of micro-units (~350SF) with high-end communal and amenity space, 13126 Western - Micro Unit Apartments provides an affordable price point to renters seeking an amenity-rich, new, boutique building. The units will feature modern finishes complemented by extensive amenity and outdoor space enabling residents to relax, connect, work and play.

The spaces are designed to be sophisticated, yet clean and comfortable, which will differentiate this boutique building from its competitive set. With ceiling heights of 9.5'+, fioor-to-ceiling glass, stainless steel appliances, luxurious ambient lighting, spa-inspired bathrooms and creative storage solutions, the units will look, live and feel like the market's premier 1-bedroom apartments. Building amenities include an outdoor lobby, fitness facility, Community Room, pool, in-ground spa, landscaped courtyard, two rooftop terraces with outdoor theatre and city views, an Amazon hub system, cold storage for grocery delivery, bike storage, available off-street parking, and more.

WEST has incorporated numerous design elements that will respond to the needs and desires of renters in a post-COVID environment. Some of these design elements include the use of technology (such as in-app maintenance requests, package storage systems, and more) to reduce in-person interactions with property staff, keyless entry and FOB access for units and amenities that will open doors with the scan of a FOB. Within the units, West has created a unique desk niche in the typical micro-unit that will enable residents to comfortably work from home as needed or desired. The amenity space was designed with separated small spaces within the over a 4000 square foot to enable personal space for residents, when desired, to work or relax.

WEST strongly believes that the micro-units contemplated in this project will outperform in a post-COVID environment. Renter's will place a new-found value on private and personal space - that cannot be achieved in roommate style renting. At the same time, renter's will have a strong desire to return to the lives they formerly knew, with significant pent up demand to go out and enjoy restaurants, nightlife and all that the core neighborhoods of Gardena have to offer. 13126 Western - Micro Unit Apartments will present an affordable solution that gives renters the best of both worlds - private space and luxury finishes in a highly desirable and exciting neighborhood.

Property Overview

Address	13126 S Western Drive
Sub-Market	North West Gardena
Size/Units	350 sf / 121
Year Built	2023
Gross Sq. Ft.	50000
Usable Square Feet	42350
Stories	4
Construction Type	Type V Wood Frame

Unit Amenities	Community Amenities
9'+ Ceiling Height	Two Elevators
Large Windows	Rooftop Lounge with City Views
Quartz Countertops	Community Room and Business Center
Stainless Steel Appliances	Package Hub System w/ Refridgerator
with Full size Stove and Refridgerator	Dog Run and Community Garden
Luxurious Vinyl Flooring	Beautiful Courtyard w/ Bar-b-que Areas
Washer & Dryer in Unit	Community WIFI
Keyless Entry and Smart Thermostats	Secure Bike Storage
Cat VI Wiring	Gated Community
Outdoor Balconies/Patios	Automated Reserved Resident Parking
Spa-Inspired Bathroom	Pool and in-ground Spa
Full Kitchen	Community Garden
Italian Style Cabinets	Outdoor Rooftop Theatre

Unit Mix

Unit Mix	Unit Type	Units	Unit RSF	RSF
Micro-Units	Market	114	350	39550
Micro-Units	Very Low Income	7	350	2800
			Total RSF	42350

Quick Project Code Comparison

Western Exceeds Code Requirements

Gardena Code

1-Code- 150 sf - 350 sf which may include bathroom/ and or kitchen facilities 350 sf including full kitchen and full bathroom Common kitchen areas may be provided/ 15 sf private bathrooms may be provided (3'-0" x 5'-0"), 1 full shared shower or bathtub may be provided for every 3 units

2-Code- Common area - 10 sf per unit 121 x 10 = 1,210 sf/ dining rooms, meeting rooms, recreation rooms can fulfill this requirement

3-Code- Laundry facilities can be communal - 12 washers and 12 dryers minimum 1 per floor

4-Code- Parking - 1 space per unit + 2 spaces for manager - would require property line to property line 1.5 level subterranean garage (100% hardscape at podium)

5- Code- Separate closet

13126 Western

1-Western - ADA compliant Bathroom/ ADA compliant kitchen with dishwasher/ oven/ range/ sink / refrigerator/ microwave and combo washer/dryer

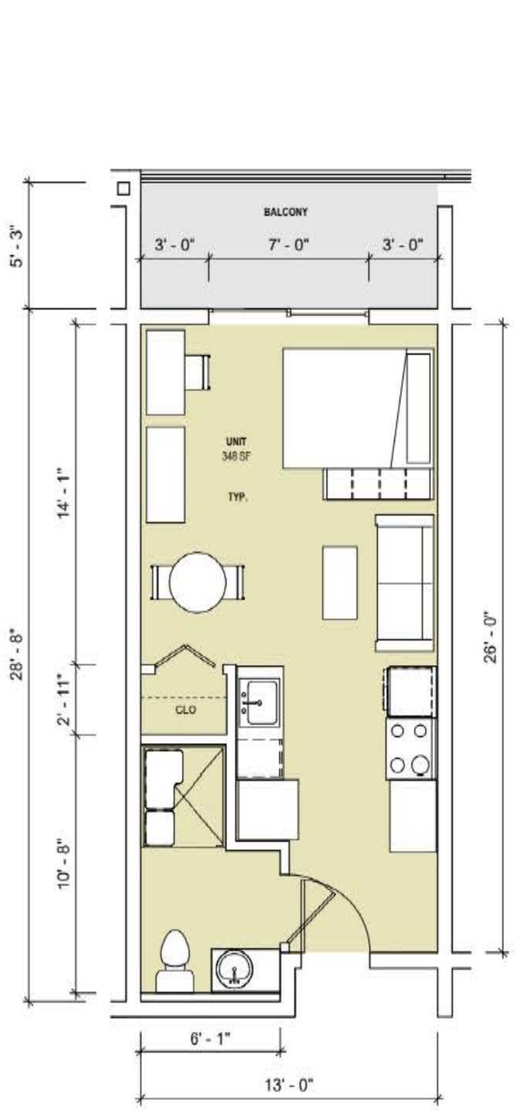
2-Western - Private Open space - patios and balconies - 9,314 sf (65 sf per unit minimum) Common Open Space - includes pool, spa courtyard with community garden all over unexcavated area allowing for mature vegetation, 2 roof decks- 8,020 sf / Fitness Room and Rec Room - 1,655 sf / Total Open Space provided - 18,989 sf

3- Western- combo washer/ dryer in each unit

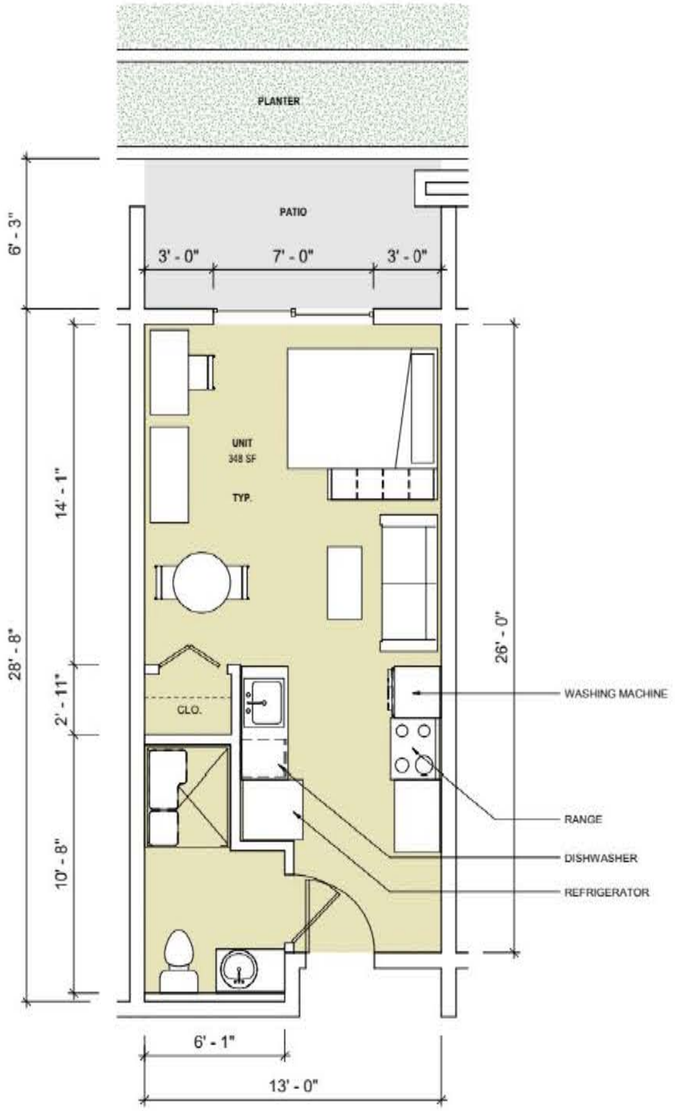
4- Western- 1 space per unit + 2 spaces for manager in automated parking structure allowing entire courtyard to be over natural grade.

5- Western- Separate closet

Typical Floor Plan



UNIT PLAN (TYP.)
SCALE: 3/8" = 1'- 0"



UNIT PLAN (TYP.) AT GROUND FLOOR
SCALE: 3/8" = 1'- 0"

Amenities Site Plan Ground Floor

0' 10' 20' 50'

GROUND FLOOR PLAN - 23 SRO's
SCALE: 3/32" = 1'- 0"

N

Amenities Site Plan Third Floor

0' 10' 20' 50'

THIRD FLOOR PLAN - 33 SRO's
SCALE: 3/32" = 1'- 0"

N

Amenities Site Plan Fourth Floor

0' 10' 20' 50'

FOURTH FLOOR PLAN - 29 SRO's
SCALE: 3/32" = 1'- 0"

N

Representative Interior Finish

Exterior Design Elements

Courtyard Contains:
Pool and In-ground Spa
Community Room
Gym
Bicycle Room

Automated Parking System

All first floor units have Private Outdoor Patios

Future Roof Solar System to Power Exterior Lighting

Two Rooftop Decks with an Outdoor Theatre and City Views

All Units on Floors 2-4 have outdoor balconies

Landscape Buffers to Seperate Pedestrian Traffic from Private out-door spaces

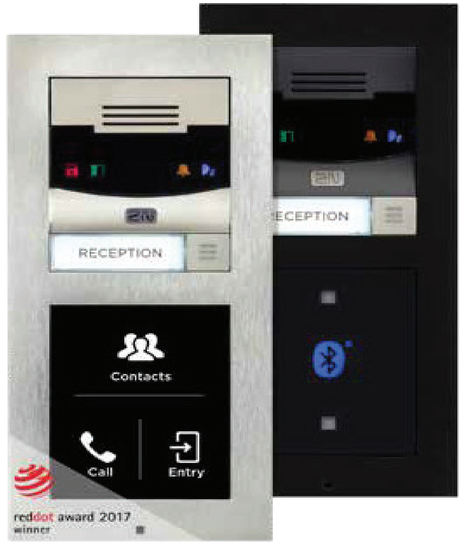
Post Covid World

Incorporated numerous design elements that will respond to the needs and desires of renters in a post-COVID environment

Building Technology:
- Automated Parking System and FOB that will select your car and retrieve it to the lower level
- Apps and package systems (Amazon Hub and refrigerated grocery storage) to reduce in-person interactions with property staff
- Keyless entry and FOB access for units and amenities
- Integrated Wi-Fi throughout
- Long Range Car Entry Stickers that open the parking gates automatically upon arrival

Unit & Amenity Design:

- Unique desk niche that will enable residents to comfortably work from home
- Over 4000 sf courtyard
- Separated small spaces within the rooftops terraces to find personal space
- Private outdoor Balconies and Patios



03 The Location

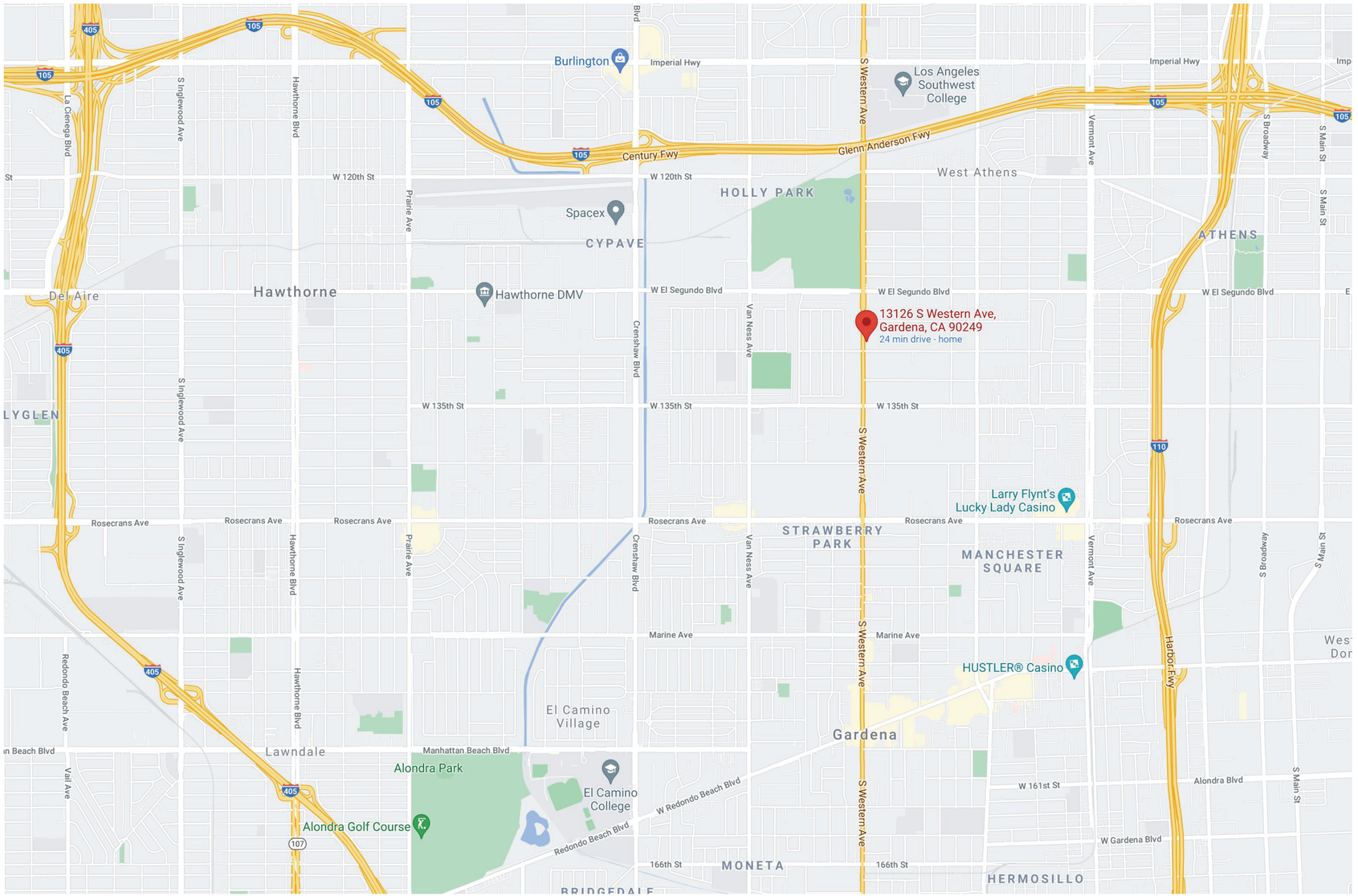
The Location

The City of Gardena is an incorporated city within the County of Los Angeles, State of California. Established in 1930, Gardena's size is 5.9 square miles and has a diverse population of approximately 60,000 (density of 10,301 per sq mi). Dubbed the "Freeway City," it is located west of the 110 Fwy, south of the 105 Fwy and northeast of the 405 Fwy, with the 91 Fwy ending at its city limits.

It is also 10 miles south of downtown Los Angeles, 6 miles southeast of the Los Angeles International Airport and 14 miles north of San Pedro (aka Port of Los Angeles) with the nearest beach only 5 miles west of Gardena.

Home to a large labor pool, Gardena can provide employers with qualified and well-educated workers. Nearly 40% of adults age 25 and older have four years' college, a number almost double the statistics for the five-county Southern California region. The work force is extremely diverse, including men and women with a wide variety of job capabilities, from entry-level to technical, supervisory and management skills. Their One Stop Employment and Training Center can assist employers in filling a variety of jobs customized to their specific needs including, but not limited to, clerical, office administration, accounting, computer operators, retail sales, truck drivers and other technicians.

Map


Burlington
Imperial Hwy
Los Angeles Southwest College
Century Fwy
Glenn Anderson Fwy
West Athens
HOLLY PARK
Spacex
CYPAVE
ATHENS
Hawthorne
Hawthorne DMV
W 120th St
W El Segundo Blvd
W 135th St
13126 S Western Ave,
Gardena, CA 90249
24 min drive - home
Del Aire
LYGLEN
Rosecrans Ave
STRAWBERRY PARK
MANCHESTER SQUARE
Larry Flynt's Lucky Lady Casino
HUSTLER® Casino
Marine Ave
El Camino Village
Gardena
Lawndale
Manhattan Beach Blvd
Alondra Park
El Camino College
Alondra Golf Course
W Redondo Beach Blvd
Redondo Beach Blvd
W 161st St
Alondra Blvd
W Gardena Blvd
166th St
MONETA
HERMOSILLO
S Western Ave
Hawthorne Blvd
Crenshaw Blvd
Van Ness Ave
Vermont Ave
Prairie Ave
S Inglewood Ave
La Cienega Blvd
Redondo Beach Ave
Vail Ave
S Broadway
S Main St
Harbor Fwy

Local Economy

Nissin Foods

A Japanese company and the largest maker of instant noodles and cup noodles, famous for its Top Ramen and Cup Noodle brands, makes plans to become a global company by 2021.

Goal: During the 2016 Fiscal Year, plans were revealed to achieve 1 trillion yen (approx US$9 trillion) market cap by 2021.

Strategy: Strengthen product sales and brands based on an awareness of diversifying food needs with more healthy ingredients in the U.S.

Anticipated Growth: Approaching clearly defined target markets with initiatives including design, flavor and promotion with the aim of expanding more efficiently and effectively, and increasing overseas CUP NOODLES sales (units) by 50%.

Space X

A private American company owned by billionaire Elon Musk positioned to become the leader in aerospace manufacturing, space transport services and telecommunications.

Goal: Provide services for space transport and tourism on a global scale for both government and private sectors with future services for worldwide broadband internet to countries without access.

Strategy: After being awarded $2.6 billion from NASA, continue research, production and testing of reusable rockets and transportation of flight crews to and from the International Space Station, with each success bringing commercial and interplanetary space travel closer to reality; plans to send 4,100 satellites into orbit to bring internet services to all, including impoverished nations.

Anticipated Growth: Current valuation of the company is at $21.2 billion and will continue to grow as the company continues its current business of launching rockets into orbit for other commercial businesses as well as successful testing of their transport system in bringing the company closer to putting humans on Mars.

Local Economy

Hustler and Lucky Lady Casinos

Owned by Larry Flynt, publisher of Hustler Magazine, the casinos have been among the few most successful and well-known casinos in California.

Goal: To become a world-renown casinos outside of Las Vegas that provides a full complement of gambling with full service food and entertainment.

Strategy: Provide weekly and monthly tournaments with progressive jackpots to entice locals and tourists to play at their many tables while continued improvement on interior decor and services.

Anticipated Growth: While the casinos have enjoyed tax breaks from the City of Gardena, plans are in place to build a hotel adjacent to the Lucky Lady Casino to provide a complete accommodation and entertainment facility that will not only attract new visitors, but increase jobs and revenue that will benefit both the casinos and the local economy, leading to gentrification among the surrounding area.

El Camino Village

Established in 1947, this community college is one of the most diverse campuses in the nation, serving nearly 23,000 students.

Goal: To continue its excellent diverse programs while implementing changes to coincide with the ever changing technology that continues to transform society.

Strategy: The college has recently published its 2017 Comprehensive Master Plan for the next five years, encompassing both changes to its education programs as well as plans to build new facilities, upgrade existing ones, and improve the process for both student education and faculty qualifications and hiring.

Anticipated Growth: The Master Plan addresses the need for more state funding that will allow the campus to become more efficient and technologically savvy while addressing the needs of student education and instructor qualifications, thus allowing the institution to accommodate more students and faculty while offering online education to those who cannot attend on-campus classes or simply wish to pursue self-improvement.

Local Economy

Tesla

A private American company owned by billionaire Elon Musk that specializes in electric automobiles, energy storage and solar panel manufacturing with the aim of using alternative and green resources.

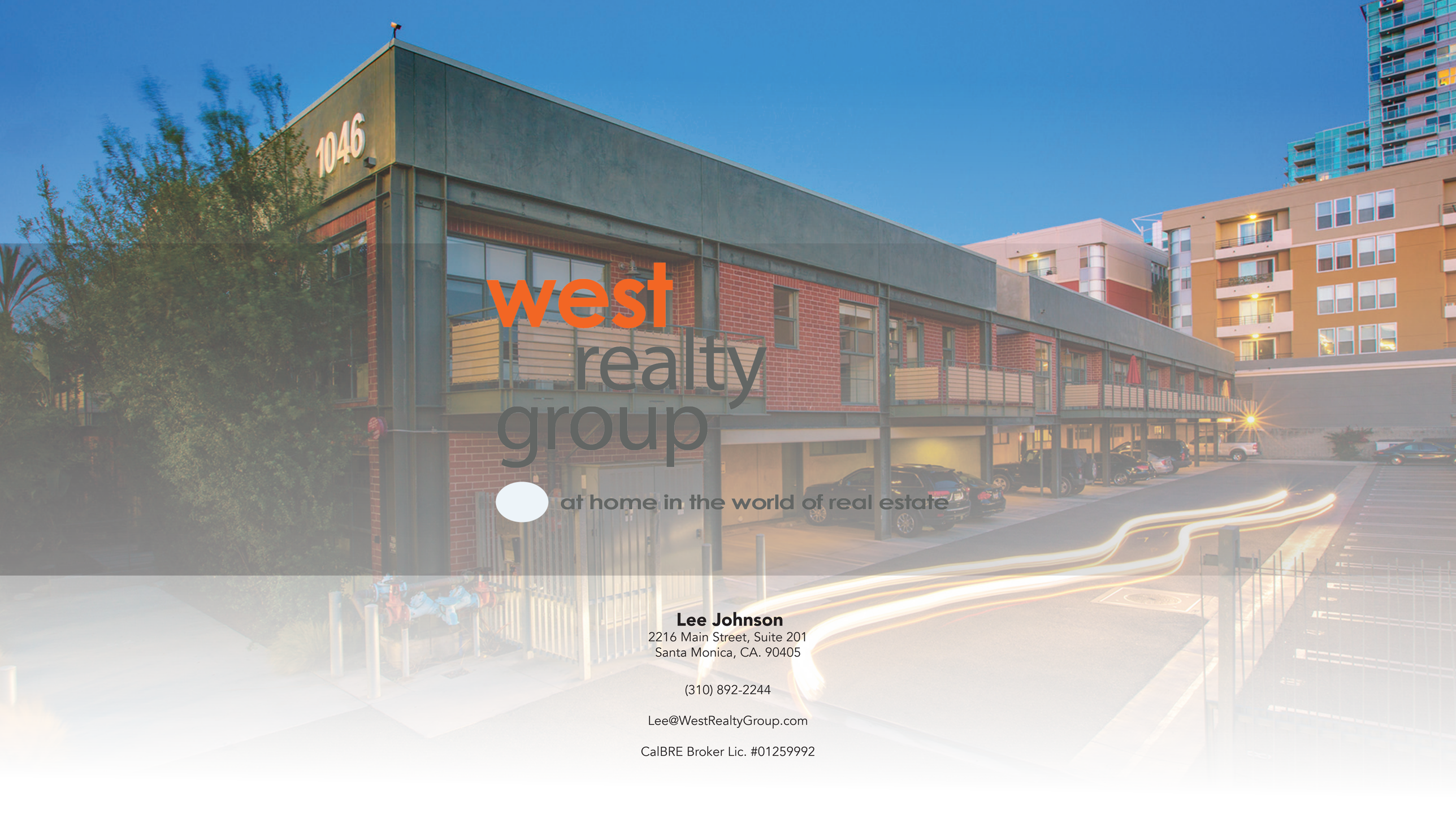
Goal: To become a global leader in the transportation sector using electric and solar energies; name recognition in providing electrical storage and backup systems for residential and commercial buildings; global manufacturer of solar panels for all uses.

Strategy: Continued avocation of greener and self-reliant systems by remodeling the automobile industry using "complex coordination" where innovative designs and integration are implemented to streamline costs and product awareness while at the same time creating technologies primarily for elecverticaltric vehicles that can be used in other industries.

Anticipated Growth: In 2017, the company has sold over 250,000 cars and already has reservations for 400,000 automobiles to be delivered in 2018 thanks to its synonymous branding of its name as the electric vehicle; and with the expected completion of its Nevada lithium-ion battery factory (a.k.a. Gigafactory 1) this year along with construction of Gigafactory 2 in New York, it is poised to become the leader in electric storage and solar panels in years to come.

Demographics

Population estimates, July 1, 2019, (V2019)	59,329
Population estimates base, April 1, 2010, (V2019)	58,829
Population, percent change - April 1, 2010 (estimates base) to July 1, 2019, (V2019)	0.80%
Population, Census, April 1, 2010	58,829
Age and Sex	
Persons under 5 years, percent	5.60%
Persons under 18 years, percent	19.50%
Persons 65 years and over, percent	16.80%
Female persons, percent	52.10%
Race	
White alone, percent	24.60%
Black or African American alone, percent(a)	22.50%
American Indian and Alaska Native alone, percent(a)	0.60%
Asian alone, percent(a)	24.90%
Native Hawaiian and Other Pacific Islander alone, percent(a)	1.20%
Two or More Races, percent	4.80%
Hispanic or Latino, percent(b)	39.30%
White alone, not Hispanic or Latino, percent	9.40%
Housing	
Housing units, July 1, 2019, (V2019)	
Owner-occupied housing unit rate, 2015-2019	47.90%
Families & Living Arrangements	
Households, 2015-2019	20,612
Persons per household, 2015-2019	2.86
Living in same house 1 year ago, percent of persons age 1 year+, 2015-2019	91.40%
Education	
High school graduate or higher, percent of persons age 25 years+, 2015-2019	82.40%
Bachelor's degree or higher, percent of persons age 25 years+, 2015-2019	25.40%
Economy	
In civilian labor force, total, percent of population age 16 years+, 2015-2019	62.30%
Income & Poverty	
Median household income (in 2019 dollars), 2015-2019	$58,447
Per capita income in past 12 months (in 2019 dollars), 2015-2019	



west realty group

at home in the world of real estate

Lee Johnson
2216 Main Street, Suite 201
Santa Monica, CA. 90405

(310) 892-2244

Lee@WestRealtyGroup.com

CalBRE Broker Lic. #01259992

Meeting Agenda

Location: 16819 S Normandie Ave

Date: Available 4/11 all day

Time:

Agenda details:

I. Tour the Current Project

a. Introduce our project amenities - ie: rooftop, dog run, bike room, bar-b-que area, Business Center
b. Introduce our post covid amenities - ie: unit entry door system, package room, building entry system
c. Showcase the interior of the model units - ie: appliances, layouts, finishes, fixtures etc.
d. Point out similarities of Normandie and Western

II. Q&A

a. Answer question about the current projects within the City
b. Answer questions about our future project on Western
c. Answer questions about our other similar projects that we currently own
d. Discuss our management philosophies

Housing and Neighborhood Opposition

In towns across the country, opposition to multifamily rental housing is on the rise. Indeed, community opposition to any form of new home development has become so widespread that it has generated its own lexicon. Some residents refer to multifamily housing as a "NIMBY" project (Not in My Backyard). Apartments are classified as "Locally Unwanted Land Uses," or "LULUs." Citizens Against Virtually Everything (CAVEs) exist, and they demand "BANANAs" (to Build Absolutely Nothing Anywhere Near Anyone). Putting aside the amusing acronyms, citizen opposition to multifamily rental housing is not a laughing matter.

Community opposition to apartment development, in fact, collides with tremendous demographic trends. The United States continues to have a high rate of population increase – especially when compared to other countries.[1] Single-person homes accounted for 13% of all households in 1960, while married couples with children accounted for 44%. Since then, the percentage of single-person families has doubled, while the percentage of married couples with children has dropped to only 23%. Since 1982, married couples without children have been the most common form of household. However, the total number of extra housing units required by 2030 is larger than 33 million, as an estimated 17 million current housing units will be lost to deterioration or demolition.[2] Between 2005 and 2030, a total of 50 million new dwelling units will be required to be added to the stock.

Anti-apartment activists frequently use similar arguments to keep multifamily rental housing out of their neighborhoods. These are some of the claims:
• The value of single-family homes in the community is lowered by multifamily apartments.
• Apartment dwellers are less attractive neighbors and are more prone to commit crimes or engage in other anti-social conduct.
• Higher-density housing causes traffic congestion and parking issues.

Property Values

Many residents are opposed to new apartment constructions in or near their communities, fearing that multifamily rental housing will depreciate the value of their single-family homes. Property value issues are more likely to arise with proposals for low-income flats, but even market-rate rental housing can lead to claims that apartments diminish property prices and harm the community's reputation. Local authorities frequently repeat these assertions about property values, either because they fear decreased property values will harm their community's tax base or reputation, or because they want to appear sensitive to public concerns. The idea that increased housing density will lower property prices appears to be based mostly on anecdotes. Most research, on the other hand, has come to the opposite conclusion: neither multifamily nor low-income housing, causes neighboring property values to decline.

[1] Of the nine countries that will account for half the world's population growth from 2005-2050, the only developednation is the U.S. See: United Nations, *World Population Prospects: The 2004 Revision*, vol. 3, p. xv. Available at: http://www.un.org/esa/population/publications/WPP2004/2004EnglishES.pdf
[2] Authors' interpolation based on Arthur C. Nelson, "Toward A New Metropolis: The Opportunity to RebuildAmerica," Brookings Institution Metropolitan Policy Program, December 2004.

Some recent studies have employed case studies to examine individual sites and metro areas in order to provide a more detailed picture of the consequences of multifamily and/or subsidized single-family dwellings. These studies looked at the effects of a variety of property types on adjacent property values, such as traditional apartments, mixed-income multifamily rentals, low-income housing tax credit developments, and federally subsidized rental housing projects. In order to assess "the worst-case scenarios of multi-family intrusion into a single-family neighborhood," researchers measured a variety of relevant characteristics, including house price, price per square foot, house price appreciation, time on the market, and the ratio of sales price to asking price. Their conclusions are as follows:

> "We find that large, dense, multi-family rental developments…do not negatively impact the sales price of nearby single-family homes." [3]

> "We find that if located properly with attractive landscaping and entrance ways, adverse price effects can be minimized and sometimes can add value. In the long term, such apartment complexes probably raise the overall value of detached homes relative to their absence." [4]

> "To this point, our results for Wisconsin are generally consistent with results in other studies: we have not been able to find evidence that Section 42 developments cause property values to deteriorate. The exception is Milwaukee County, where properties that are distant from the developments seem to appreciate more rapidly, although the magnitude of the effect is small. We have found no evidence of an impact in Waukesha and Ozaukee, and find evidence that properties in Madison near Section 42 developments appreciate *more* rapidly." [5]

Crime and Social Interaction

Opponents of rental housing frequently say that, although homeowners are invested in a community's long-term success and safety, those who rent apartments are essentially transients and so less acceptable neighbors. The belief that renters are less engaged in their communities than owners appears to stem from two apparent features of renters: (i) they do not own their residence by definition, therefore they are seen to have less of a "stake" in the community; and (ii) they move more frequently. These features are thought to make them transient residents, more akin to tourists than long-term residents.

It's critical to understand the difference between housing tenure and residential stability. Housing tenure refers to how long a person has lived in one area, whereas neighborhood stability refers to a community's quality, cohesion, and safety. The latter may be the most important factor: rather than limiting tenure options, the focus should be on strengthening residential stability.[6]

[3] Henry O. Pollakowski, David Ritchay, and Zoe Weinrobe, "Effects of Mixed-Income, Multi-family Housing Developments on Single-family Housing Values," Cambridge, MA: MIT Center For Real Estate, April 2005, p. xiii.
[4] Arthur C. Nelson and Mitch Moody, "Apartments and Detached Home Values," *On Common Ground*, National Association of Realtors, 2003. See also: Nelson and Moody, "Price Effects of Apartments on Nearby Single-family Detached Residential Homes," Virginia Tech University, 2003.
[5] Richard K. Green, Stephen Malpezzi, and Kiat-Ying Seah, "Low Income Housing Tax Credit Housing Developments and Property Values," Madison, WI: The Center for Urban Land Economics Research: 2002, p. 4.
[6]Denise DiPasquale and Edward L. Glaeser, "Incentives and Social Capital: Are Homeowners Better Citizens?" *Journal of Urban Economics*, Vol. 45, Nr. 2 (March 1999).

Residents may be less concerned with pinpointing the specific cause than with achieving the greatest result, and many believe that promoting homeownership rather than renting is an efficient method to accomplish so. That isn't the case, as it turns out:

- Apartment residents are almost twice as likely to socialize with their neighbors asowners of single-family houses (33 percent vs. 17 percent).
- Apartment residents are just as likely as house owners to be involved in structured social groups like sports teams, book clubs, and the like (22 percent for sports groups,10-11 percent for other groups).
- Apartment residents are only slightly less likely to attend religious services at leastonce a month (44 percent vs. 55 percent).
- Just like single-family owners, apartment residents identify closely with the town or citythey live in (60 percent for apartment residents vs. 64 percent for single-family owners).
- Almost half (46 percent) of apartment residents feel close to the neighborhood theylive in. This is not as high a share as for single-family owners (65 percent), but stillsizable.
- Apartment residents are virtually as interested in politics and national affairs as houseowners are (66 percent vs. 70 percent).

The one area where apartment dwellers fall behind house owners is in municipal elections, where 47 percent of apartment dwellers say they "always vote" or "sometimes miss one," compared to 78 percent of single-family home owners.[7] Simply put, these empirical measures refute the assumption that apartment dwellers are unconcerned about and uninvolved in the areas in which they reside.

Traffic

Is it true that compact development causes more traffic congestion and parking problems, as opponents claim?

An increase in congestion is self-evident to residents of the community where such development would take place – but only when comparing an apartment development to the status quo (i.e., no development). The relevant comparison is to the impact of an equal number of new single-family units on traffic congestion. Apartment dwellers, on average, possess fewer cars than single-family homeowners: the latter have two cars per household, while the former have just one.[8] Furthermore, as seen in the table below, single-family dwelling creates more automobile trips per household.

[7] NMHC tabulations of microdata from the General Social Survey. See: Jack Goodman, “Apartment Residents AsNeighbors and Citizens,” *Research Notes*, Washington, DC: National Multi Housing Council, June 1999.
[8] Jack Goodman, “Apartments and Parking,” *Research Notes*. NMHC: Washington, DC, January 28, 2000.

Automobile Trips Per Housing Unit			
	Single-family detached	***Apartment***	***Difference***
Weekday	9.57	6.72	42%
peak AM hour	0.77	0.55	40%
peak PM hour	1.02	0.67	52%
Saturday	10.10	6.39	58%
peak hour	0.94	0.52	81%
Sunday	8.78	5.86	50%
peak hour	0.86	0.51	69%
Source: Institute of Transportation Engineers, *Trip Generation, 7th Edition* (Washington,DC: 2003), Volume 2, pp. 268-332.			

Surprisingly, single-family home owners drive their cars more frequently than apartment dwellers. Single-family homes' cars make 18 percent more journeys throughout the week, 31 percent more trips on Saturday, and 41 percent more excursions on Sunday than apartment occupants' automobiles.[9] As a result, single-family residences have more automobiles per household than apartments, and each of those cars generates more traffic – and a greater need for parking spots at retail businesses, workplaces, schools, and other services.

Conclusion

We believe the evidence shows that multifamily rental housing: (1) does not reduce (and in some cases may even increase) property values; and (2) does not inherently attract residents who are less neighborly or more likely to engage in (or attract) criminal activity; and (3) does not increase traffic and parking problems. Opponents who live near apartment buildings are notoriously difficult to persuade, according to experience. For some, their opposition is more emotional than rational. "We don't want renters," one opponent said. We simply do not want them..." [10]

Many people prefer anecdotes to numbers. If a city intends to meet its housing demands in an environmentally friendly and economically feasible manner, it must overcome the bias against multifamily rental housing. Misconceptions, exaggerations, and false ideas pollute public debates on apartment development. Perhaps in the future, acronyms like RAMBY (Rental Apartments in My Backyard) will take the place of NIMBY in talks regarding multifamily rental housing development.

[9] Ibid., pp. 287-295 and pp. 324-332.
[10] See "From Parking to Mixed-Use," Montgomery Gazette, September 28, 2005, at:www.gazette.net/stories/092805/bethnew205622_31894.shtml

City of Gardena

Gardena City Council Meeting

AGENDA REPORT SUMMARY

Agenda Item No. 15.A
Section: DEPARTMENTAL ITEMS - PUBLIC WORKS
Meeting Date: April 12, 2022

TO: THE HONORABLE MAYOR AND MEMBERS OF THE GARDENA CITY COUNCIL

AGENDA TITLE: Approve and authorize Director of Public Works to execute an Authorization for Crossing Improvements between the City of Gardena and Union Pacific Railroad (UPRR) for the Artesia Boulevard Arterial Improvement Project JN 935.

COUNCIL ACTION REQUIRED:

Staff Recommendations: Authorize the Director of Public Works to execute an Authorization for Crossing Improvements with UPRR.

RECOMMENDATION AND STAFF SUMMARY:

The Artesia Boulevard Arterial Improvement from Western Avenue to Vermont Avenue project scope consists of upgrading traffic signals, pavement rehabilitation, extending left turn lanes, improving concrete walkways, curb ramps, medians and landscapes. The final design is pending railroad scope and landscape improvements. This project is financed through the Metropolitan Transit Authority (MTA) Measure R Highway program and supplemented by Prop C.

Within the project limits, west of Normandie Avenue, there is an active railroad crossing on Artesia Boulevard that is owned and operated by Union Pacific Railroad (UPRR). There is 60 feet of pavement along Artesia Boulevard that is straddling the railroad track and is severely deteriorated and breaking apart. Part of the project's scope is to rehabilitate the asphalt pavement. After extensive coordination effort, UPRR agreed to improve the railroad crossing using more durable standard concrete panels that can extend two to four times the lifespan of asphalt. They will share the cost of construction per the proposed agreement.

The subject, Authorization for Crossing Improvements enumerates each party's scope, construction responsibilities and share of the cost. The estimated total cost to improve the railroad crossing is $239,362. UPRR will pay for 50% of the cost which is $119,681.

The goal of the project is to complete the design phase, procure a contractor by Fall 2022 and start construction in Summer 2023. The delayed start is necessary to secure a long lead time to obtain traffic materials and have UPRR complete their railroad rehabilitation prior to starting the City project scope including asphalt repaving. The construction traffic control will be high priority and staff plans to minimize the impact by having partial lane closure during regular working hours and a full closure only during weekend(s) and/or overnights.

Staff respectfully recommends that the City Council approve and authorize the Director of Public Works to execute an Authorization for Crossing Improvements between City of Gardena and Union Pacific Railroad, in a form approved by the City Attorney, for the Artesia Blvd Arterial Improvement Project, JN 935.

FINANCIAL IMPACT/COST:

Approved Budget Amount : JN 935 -$2,523,000.00 (Measure R Highway), and JN 935-$650,000 (Prop C)
Financial Impact: None, no additional funds required.

ATTACHMENTS:

GardenaUPRRAgreement-220222 CAtty.pdf

APPROVED:

_____
Clint Osorio, City Manager

AUTHORIZATION FOR CROSSING IMPROVEMENTS

Effective Date:

Agency: **CITY OF GARDENA, CALIFORNIA**

THIS AUTHORIZATION FOR CROSSING IMPROVEMENTS ("**Agreement**") is made and entered into as of the **Effective Date** above, by and between UNION PACIFIC RAILROAD COMPANY, a Delaware corporation ("**Railroad**"), and AGENCY ("**Agency**").

RECITALS

In accordance with the terms and conditions of this Agreement, Agency and Railroad desire to improve the existing, at-grade crossing area ("**Project**") along, over and across Railroad's track and right of way, as such crossing area is more particularly described on Exhibit A attached hereto and made a part hereof ("**Crossing Area**").

AGREEMENT

NOW THEREFORE, the parties hereto agree as follows:

1. Railroad agrees to perform the Project work described on Exhibit B attached hereto the ("**Railroad Work**"). Railroad's estimated cost for the Railroad Work is included on Exhibit C attached hereto ("**Estimate**") and may include without limitation costs of engineering review, construction, inspection, flagging, procurement and delivery of materials, equipment rental, manpower and all direct and indirect overhead labor/construction costs, including Railroad's standard additive rates. Such standard additive rates may be subject to upward or downward adjustment based on industry standards and practices, and the parties acknowledge and agree that any such adjustment to standard additive rates may be made retroactively.

2. Agency has appropriated sufficient funds to complete the Project and shall reimburse Railroad for costs incurred by Railroad in connection with the Railroad Work in accordance with Exhibit D attached hereto.

3. If Agency will be performing any Project work, such work is described on Exhibit B attached hereto ("**Agency Work**"). Agency shall perform the Agency Work, if any, at its sole cost, and Railroad consents to Agency (or any contractor or other agent hired by Agency) performing the Agency Work within the Crossing Area, subject to complying with the terms and conditions of this Agreement. Railroad's consent shall not be deemed to grant Agency (or any contractor or other agent hired by Agency) any property interest in the Crossing Area or other Railroad property.

4. If Agency hires a contractor or other agent to perform the Agency Work, Agency shall require such contractor or agent to execute Railroad's then current form of Contractor's Right of Entry Agreement and to comply with the requirements set forth therein.

5. No work of any kind shall be performed, and no person, equipment, machinery, tools, materials, vehicles or other items shall be located, operated, placed or stored within twenty-five (25) feet of any track at any time for any reason except as otherwise provided herein. Prior to commencing the Agency Work, and if the performance of any Agency Work requires any person

or equipment to be within twenty-five (25) feet of any track, Agency shall provide Railroad at least thirty (30) working days advance notice of the performance of such proposed work, and upon Railroad's receipt of such notice, Railroad will determine and inform Agency whether a flagman need to be present or whether Agency needs to implement any special protective or safety measures. Subject to Exhibit D, in the event that flagging or other special protection or safety measures are required to be performed in connection with the Railroad Work specifically or the Project generally, and regardless if the costs for such measures are included in the Estimate, Agency shall be responsible for all such costs incurred in connection therewith.

6. Prior to commencing any Agency Work, Agency shall telephone (or shall cause its contractor or agent to telephone) Railroad during normal business hours (7:00 a.m. to 9:00 p.m., Central time, Monday through Friday, except holidays) at 1-800-336-9193 to determine if fiber optic cable is buried anywhere on Railroad's property to be used in connection with the Agency Work. If fiber optic cable is present, Agency, at its sole cost, will coordinate (or will cause its contractor or agent to coordinate) with the applicable telecommunications companies for the relocation or other protection of the fiber optic cable prior to beginning any Agency Work.

7. Agency, for itself and for its successors and assigns, hereby waives any right of assessment against Railroad, as an adjacent property owner, for any and all improvements made under this Agreement.

8. Neither party shall assign this Agreement without the prior written consent of the other party, which consent shall not be unreasonably withheld, conditioned or delayed.

9. This Agreement sets forth the entire agreement between the parties regarding the Project and the installation and maintenance of the Project improvements within the Crossing Area. To the extent that any terms or provisions of this Agreement regarding the installation and maintenance of such Project improvements are inconsistent with the terms or provisions set forth in any existing agreement affecting the Crossing Area, such terms and provisions shall be deemed superseded by this Agreement to the extent of such inconsistency.

IN WITNESS WHEREOF, the parties hereto have duly executed this Agreement as of the Effective Date.

CITY OF GARDENA, CALIFORNIA

Signature

Allan Rigg
Printed Name

Director of Public Works
Title

ATTEST:

By: _____
City Clerk (Sign)

APPROVED AS TO FORM:

By: _____
City Attorney (Sign)

UNION PACIFIC RAILROAD COMPANY,
a Delaware Corporation

Signature

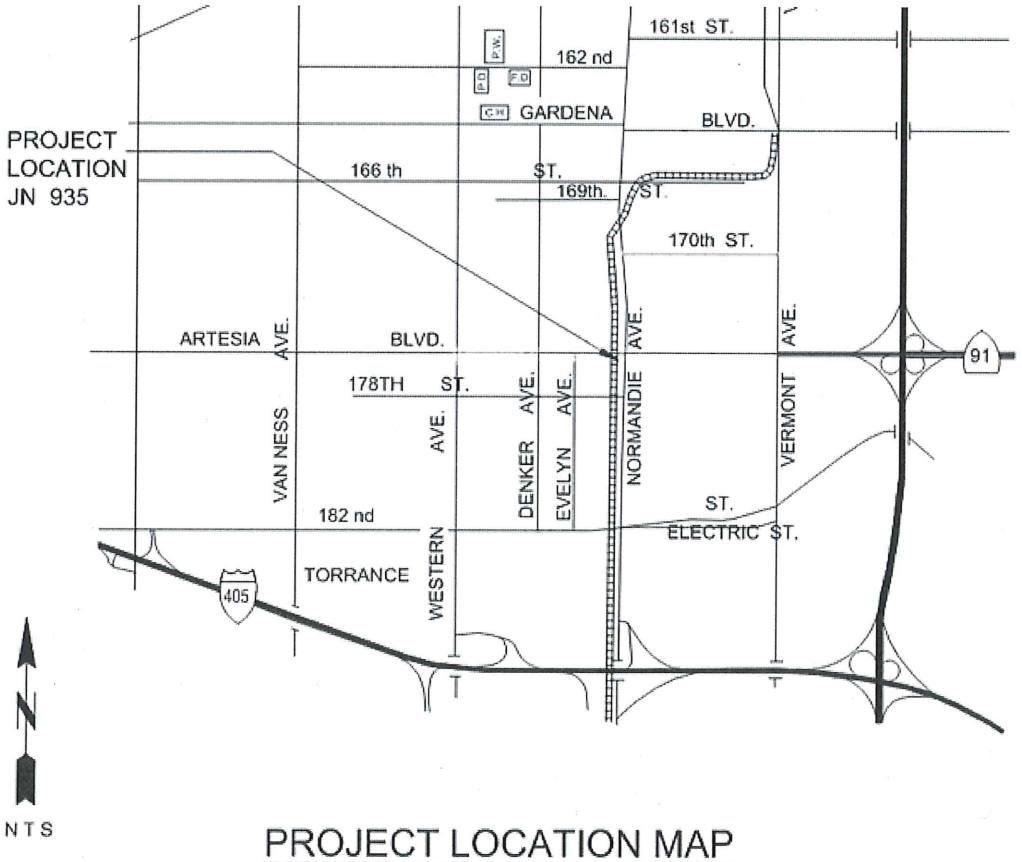
Paul Rathgeber
Printed Name

Director, Industry & Public Projects
Title

EXHIBIT A
(1 of 2)

Description of Crossing Location

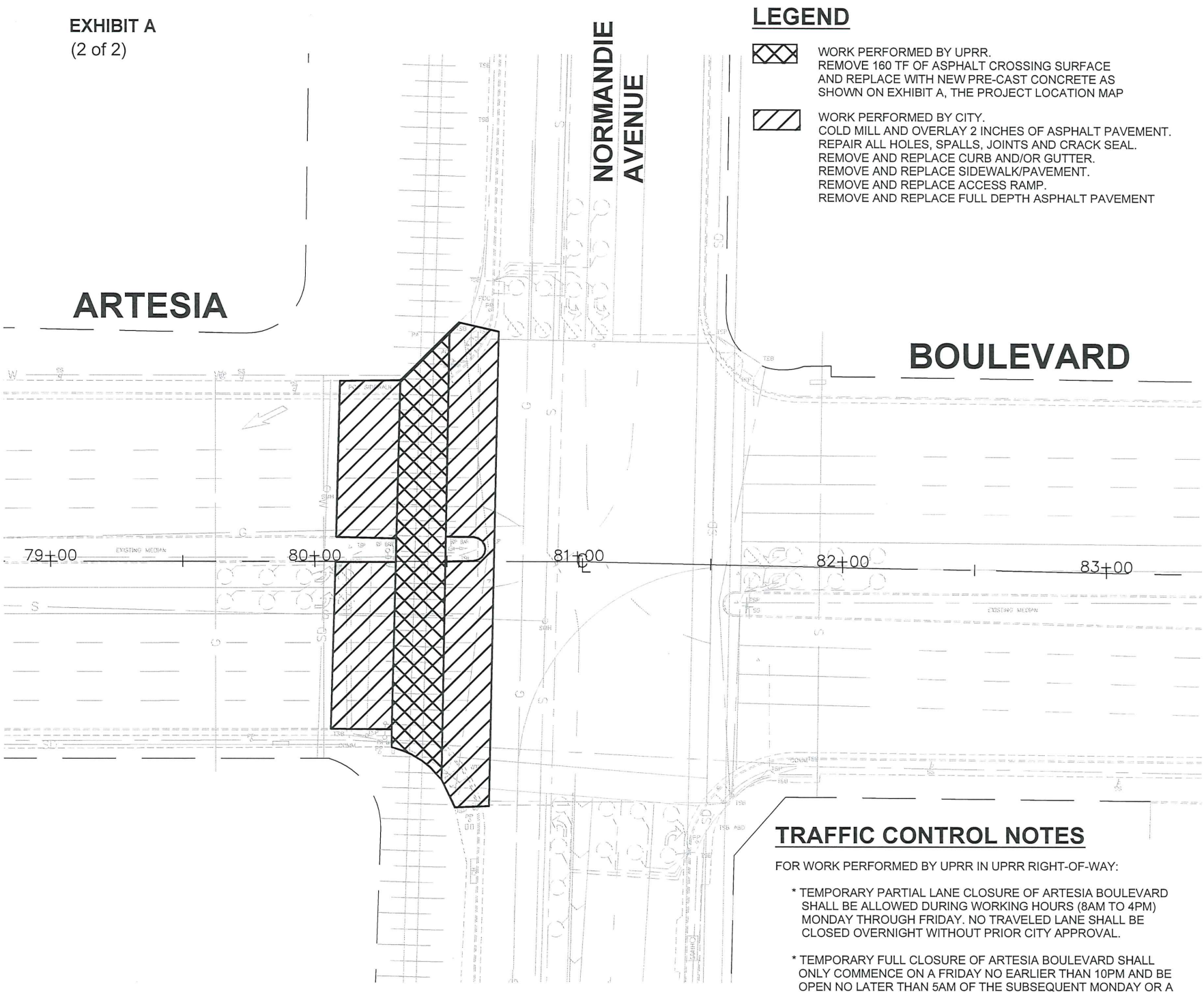
Street	Artesia Boulevard	**DOT #**	760511G
Subdivision	Torrance Ind. Ld.	**Milepost**	497.75
City	Gardena	**State**	CA
County	Los Angeles		



PROJECT LOCATION MAP
NTS

NOTE: See next page for description of work performed by UPRR and work performed by the City of Gardena

EXHIBIT A
(2 of 2)



LEGEND

WORK PERFORMED BY UPRR.
REMOVE 160 TF OF ASPHALT CROSSING SURFACE AND REPLACE WITH NEW PRE-CAST CONCRETE AS SHOWN ON EXHIBIT A, THE PROJECT LOCATION MAP

WORK PERFORMED BY CITY.
COLD MILL AND OVERLAY 2 INCHES OF ASPHALT PAVEMENT.
REPAIR ALL HOLES, SPALLS, JOINTS AND CRACK SEAL.
REMOVE AND REPLACE CURB AND/OR GUTTER.
REMOVE AND REPLACE SIDEWALK/PAVEMENT.
REMOVE AND REPLACE ACCESS RAMP.
REMOVE AND REPLACE FULL DEPTH ASPHALT PAVEMENT

TRAFFIC CONTROL NOTES

FOR WORK PERFORMED BY UPRR IN UPRR RIGHT-OF-WAY:

* TEMPORARY PARTIAL LANE CLOSURE OF ARTESIA BOULEVARD SHALL BE ALLOWED DURING WORKING HOURS (8AM TO 4PM) MONDAY THROUGH FRIDAY. NO TRAVELED LANE SHALL BE CLOSED OVERNIGHT WITHOUT PRIOR CITY APPROVAL.

* TEMPORARY FULL CLOSURE OF ARTESIA BOULEVARD SHALL ONLY COMMENCE ON A FRIDAY NO EARLIER THAN 10PM AND BE OPEN NO LATER THAN 5AM OF THE SUBSEQUENT MONDAY OR A TOTAL OF 55 HOURS WINDOW OF CLOSURE (MAXIMUM OF 2 ROAD CLOSURES).

EXHIBIT B

Scope of Work

Railroad Work:

- Remove existing 160' asphalt crossing surface
- Install new 160' precast concrete crossing surface
- Field weld rail
- Relay track at crossing with 136 lb. rail
- Renew ties
- Surface the track with new ballast

Agency Work:

- Coldmill and overlay 2" of asphalt pavement
- Repair all holes, spalls, joints, and crack seal
- Remove and replace curb and/or gutter
- Remove and replace sidewalk pavement
- Remove and replace access ramp
- Remove and replace full depth asphalt pavement
- Install additional pedestrian safety warnings and signages
    - Install detectable warning surface on sidewalk just prior to track crossing
    - Install new traffic signs such as "Do Not Stop of Tracks, and "Look" (with arrows)
- Provide traffic control and road closure with detour plan during construction

EXHIBIT C

Estimate Cover Page

(see attached)

Material And Force Account Estimate
Gardena

Estimate Number: 132888 Version: 1

Standard Rates: Labor Additive = 222.97%

Estimate Good Until 02/18/23

Location: TORRANCE IND LD, INDU, 497.73-497.77
Description of Work: 760511G Artesia BLVD Gardena CA 497.75 Torrance Ind Ld
Prepared For: Gardena
Buy America: Yes

COMMENTS	FACILITY	Description	QTY	UOM	UCST	LABOR	MATERIAL	TOTAL	UP %50	Agcy %50
ENGINEERING										
		Engineering	1	LS	32,609.00	32,609	0	32,609	16,305	16,305
		Bill Prep Fee - Track Surface RECOLLECT	1	LS	900.00	0	900	900	450	450
		Homeline Freight - Track Surface RECOLLECT	1	LS	900.00	0	900	900	450	450
		Foreign Line Freight - Track Surface RECOLLECT	1	LS	1,673.82	0	1,674	1,674	837	837
					Sub-Total =	**32,609**	**3,474**	**36,083**	**18,041**	**18,041**
TRACK CONSTRUCTION - COMPANY										
		Mobilization: Company	1	DA	11,450.00	11,450	0	11,450	5,725	5,725
	RDXING	RDXING 136# CON10W PP PAN COMPLETE	160	TF	870.00	81,776	57,424	139,200	69,600	69,600
	TRACK	136# CWRIS0 24-8'6" PPHWD N 16 TP	40	TF	618.07	17,257	7,466	24,723	12,361	12,361
					Sub-Total =	**110,482**	**64,890**	**175,373**	**87,686**	**87,686**
TRACK REMOVAL - COMPANY										
	RDXING	Remove road crossing - prefab	160	TF	124.62	19,940	0	19,940	9,970	9,970
	TRACK	Remove Track	40	TF	24.16	967	0	967	483	483
					Sub-Total =	**20,907**	**0**	**20,907**	**10,453**	**10,453**
SITE WORK - CONTRACT										
		Asphalt: Saw Cut	1	LS	2,000.00	0	2,000	2,000	1,000	1,000
					Sub-Total =	**0**	**2,000**	**2,000**	**1,000**	**1,000**
EQUIPMENT RENTAL										
		Equipment Rental	1	LS	5,000.00	0	5,000	5,000	2,500	2,500
					Sub-Total =	**0**	**5,000**	**5,000**	**2,500**	**2,500**
Total Wgt. in Tons = 565					**Totals =**	**163,998**	**75,364**	**239,362**	**119,681**	**119,681**

Est. Annual Mtc. Cost = $6,040

Grand Total = $239,362

Please Note: The above figures are estimates only and are subject to fluctuation. In the event of an increase or decrease in the cost or amount of material or labor required, Gardena will pay actual construction costs at the current rates effective thereof.

EXHIBIT D

Reimbursement Method

Agency agrees to reimburse Railroad for **FIFTY PERCENT** (**50%**) of actual costs incurred by Railroad in connection with the Railroad Work. During the performance of the Railroad Work, Railroad will provide progressive billing to Agency based on Railroad's actual costs. Within one hundred twenty (120) days after completion of the Project, Railroad will submit a final billing to Agency for any balance owed Railroad in connection with the Railroad Work. Agency shall pay Railroad within thirty (30) days after Agency's receipt of any progressive and final bills submitted by Railroad.

City of Gardena

Gardena City Council Meeting

AGENDA REPORT SUMMARY

Agenda Item No. 15.B
Section: DEPARTMENTAL ITEMS - PUBLIC WORKS
Meeting Date: April 12, 2022

TO: THE HONORABLE MAYOR AND MEMBERS OF THE GARDENA CITY COUNCIL

AGENDA TITLE: Award Construction Contract for the Pedestrian Safety Improvement FY 2021-2022 Project, JN 993, to Ruiz Concrete and Paving, Inc., in the amount of $285,635.00, Declare California Environmental Quality Act (CEQA) Exemption, Approve the Project Plans & Specifications and Budget Contingency.

COUNCIL ACTION REQUIRED:

Staff Recommendation:

- **Award Construction Contract.**
- **Declare CEQA Exemption.**
- **Approve the Project Plans and Specifications.**
- **Approve Expenditures of Remaining Budget as Contingency.**

RECOMMENDATION AND STAFF SUMMARY:

The Pedestrian Safety Project will upgrade and/or replace damaged curb and gutter, sidewalks, driveways, and trees at various locations throughout the city. The locations were selected from the residential request list. These locations have been identified as deficient and will improve accessibility, safety, and aesthetics. An environmental assessment has been prepared in accordance with the CEQA guidelines. It has been determined that the project is categorically exempt.

The following six (6) bids were received on March 23, 2022:

1.	Ruiz Concrete and Paving Inc., Long Beach	$285,635.00
2.	Kalban, Inc., Santa Clarita	$299,996.00
3.	TVR Construction Eng. LLC, Riverside	$319,080.00
4.	CJ Concrete Construction, Inc., Santa Fe Springs	$382,726.00
5.	Gentry General Eng., Inc., Rancho Cucamonga	$395,021.50
6.	Kasa Construction, Inc., Chino	$644,548.00

Ruiz Concrete and Paving, Inc. was the lowest responsive bidder. They are a state licensed contractor with verified successful construction experience in the field and will be required to meet all bonding and financial standards. The tentative construction start date is June 2022 with an anticipated project completion in Aug 2022.

Staff respectfully recommends the City Council award the construction contract for Pedestrian Safety Improvement FY 2021-2022 Project, JN 993, to Ruiz Concrete and Paving Inc. in the amount of $285,635.00, and additionally:

a. Declare this project to be categorically exempt under the CEQA, Class 1, Section 15301 (d), as rehabilitation of existing facilities.
b. Approve the project plans and specifications.
c. Approve expenditures of remaining budget, $34,365 (or 12%), as a contingency.

FINANCIAL IMPACT/COST:

Approved Budget:	$380,000 (Mesure R & SB 821)
Design Phase Expenditures to Date:	$10,000
Anticipated Construction Adminstration & Inspections:	$50,000
Amount Requested for construction contract award:	$285,635
Amount Remaining (12% Contingency):	$34,365

ATTACHMENTS:

Contract Bid Docs and Specs - JN 993.pdf
Signed Plans - JN 993.pdf
NOE - JN 993.pdf
Project Location Map - JN 993.pdf

APPROVED:

_____
Clint Osorio, City Manager

CITY OF GARDENA

CONTRACT DOCUMENTS AND SPECIFICATIONS

FOR

PEDESTRIAN SAFETY IMPROVEMENT 2021/2022
VARIOUS LOCATIONS

JN 993

February 2022

CITY OF GARDENA

CONTRACT DOCUMENTS AND SPECIFICATIONS

FOR

PEDESTRIAN SAFETY IMPROVEMENT 2021/2022 VARIOUS LOCATIONS

JN 993

Plans & Specifications prepared by:

City of Gardena Engineering Division

Memoranda:

Plans and specifications are available at Planwell Administrator, 562.436.9761 or www.crplanwell.com

Bid Results: https://www.cityofgardena.org/public-contracts/

City of Gardena Public Works Engineering Division: 310.217.9568

CITY OF GARDENA
NOTICE INVITING BIDS
for
PEDESTRIAN SAFETY IMPROVEMENT 2021/2022
VARIOUS LOCATIONS
PROJECT NO. JN 993

Plans and Specifications are available through ARC Document Solutions. Please be advised that there is an additional charge for delivery. Upon payment of the purchase price, they become the property of the purchaser and may not be returned for refund.

You may access the plans through the following website under Public Planroom:

www.crplanwell.com

For help accessing and ordering, please contact a Planwell Administrator at 562.436.9761.

Notice is hereby given that the City of Gardena will receive sealed bids at the office of the City Clerk, City Hall, 1700 W. 162nd Street, Gardena, California, until **2pm** on **Wed., March 23, 2022** and shortly thereafter on this same day, they will be publicly opened and read in the City Council Chambers.

Due to COVID-19 directives, City Hall is closed to the public. As a result, the bid opening will be conducted in video conferencing using ZOOM.US. City Clerk staff members are working regular business hours and are available to accept sealed bid(s). It is highly recommended to mail or drop off bids within the sufficient time. For drop off bids, City Hall entrance has posted City Clerk's Office phone number (310) 217-9565, they will be available to come out and accept bids at your call.

The information to join the bid opening via ZOOM is the following:

Topic: Bid Opening
Time: 2:00 PM on March 23, 2022 (Shortly thereafter the deadline)
Join ZOOM Meeting

https://us02web.zoom.us/j/81049957492
Meeting ID: 810 4995 7492
Dial by phone: +1 669 900 9128 US

Should you have any questions or concern in delivering a bid or joining the ZOOM Meeting, please contact City Clerk's office at (310) 217-9565 or via email at cityclerk@cityofgardena.org.

All bids must be in writing, must be sealed, and must be plainly marked on the outside: **"BID ON PROJECT NO. JN 993.** Any bid received after the hour stated above for any reason whatsoever, will not be considered for any purpose but will be returned unopened to the bidder.

Bids are required for the entire work as described below:
Removal and replacement of curbs, gutters, sidewalks, trees, driveways, PCC pavement, etc.

ENGINEER'S ESTIMATE: $280,000

The time of completion of contract shall be **[40] working days** as defined in the latest Standard Specifications for Public Works ("Greenbook"). Liquidated Damages, as defined in Section 6-9, shall be **[$1,000] per each consecutive calendar day**.

The City's intent is to issue the Notice to Proceed no later than June 6, 2022

Each bidder must submit a proposal to the City, c/o City Clerk in accordance with the Plans and Specifications. Said proposal is to be accompanied by a cash deposit, a certified or cashier's check, or a bidder's bond, made payable to the City of Gardena, in an amount not less than 10 percent of the total bid submitted.

The envelope enclosing the proposal shall be sealed and addressed to the City of Gardena c/o City Clerk, and delivered or mailed to the City at 1700 W. 162nd Street, Gardena, California 90247-3778. The envelope shall be plainly marked in the upper left-hand corner as follows:

ATTENTION: CITY, c/o CITY CLERK
(Bidder's Name and Address) _____

(Number and title of this project) _____

The successful bidder will be required to furnish a faithful performance bond in the amount of 100 percent of the contract price, and a payment bond in the amount of 100 percent of the contract price, both in a form satisfactory to the City Attorney.

The contractor shall have an active **Class A or C-8** license from the Contractor's State License Board at the time of submitting bid.

Pursuant to Public Contract Code Section 22300, the Contractor may, at Contractor's sole cost and expense, substitute securities equivalent to any monies withheld by the City to insured performance under the contract unless applicable federal regulations or policies do not allow such substitution. Such security shall be deposited with the City, or a state or federally chartered bank as escrow agent, who shall pay such monies to the Contractor upon satisfactory completion of the Contract. The Contractor shall be the beneficial owner of any security substituted for monies withheld and shall receive any accrued interest thereon. Securities eligible for investment shall include those listed in Government Code Section 16430 or bank or savings and loan certificates of deposit. No such substitution shall be accepted until the escrow agreement, letter of credit, form of security and any other document related to said substitution is reviewed and found acceptable by the City Attorney.

The City reserves the right to reject any or all bids and to waive any informality or irregularity in any bid received and to be the sole judge of the merits of the respective bids received. The award, if made, will be made to the lowest responsive responsible bidder.

Bidders are advised that this Project is a public work for purposes of the California Labor Code, which requires payment of prevailing wages. Accordingly, the bidder awarded the Contract and all subcontractors shall be required to pay not less than the prevailing rate of per diem wages, as determined by the Director of the California Department of Industrial Relations, and otherwise comply with the provisions of Section 1770 et seq. of the California Labor Code, California Code of Regulations, Title 8, Section 16000 et seq., and any other applicable laws, rules and regulations adopted with respect thereto ("California Prevailing Wage Laws"). Copies of such prevailing rates of per diem wages are on file at the Gardena City Clerk's office and the office of the City Engineer, and copies shall be made available to any interested party on

request. The prevailing rates of per diem wages referred to herein are hereby made a part of this Notice by reference.

Attention is directed to the provisions of Sections 1777.5 and 1777.6 of the Labor Code concerning the employment of apprentices by Contractor or any Subcontractor under it. Contractor and any Subcontractor under if shall comply with the requirements of said sections in the employment of apprentices.

The Contractor is prohibited from performing work on this project with a subcontractor who is ineligible to perform work on the project pursuant to Section 1777.1 or 1777.7 of the Labor Code.
This project is subject to compliance monitoring and enforcement by the Department of Industrial Relations. All contractors and subcontractors must furnish electronic certified payroll records directly to the Labor Commissioner (aka Division of Labor Standards Enforcement) in a format prescribed by the Labor Commissioner no less than monthly.

As of **January 1, 2016**, the requirement to furnish electronic certified payroll records to the Labor Commissioner will apply to all public works projects, whether new or ongoing.

Exceptions: The Labor Commissioner may (but is not required to) excuse contractors and subcontractors from furnishing electronic certified payroll records to the Labor Commissioner on a project that is under the jurisdiction of one of the four legacy DIR-approved labor compliance programs (Caltrans, City of Los Angeles, Los Angeles Unified School District, and County of Sacramento) or that is covered by a qualifying project labor agreement.

These requirements will apply to all public works projects that are subject to the prevailing wage requirements of the Labor Code without regard to funding source.

The State General Prevailing Wage Determination is as established by the California Department of Industrial Relations (available at http://www.dir.ca.gov/DLSR/PWD/index.htm).

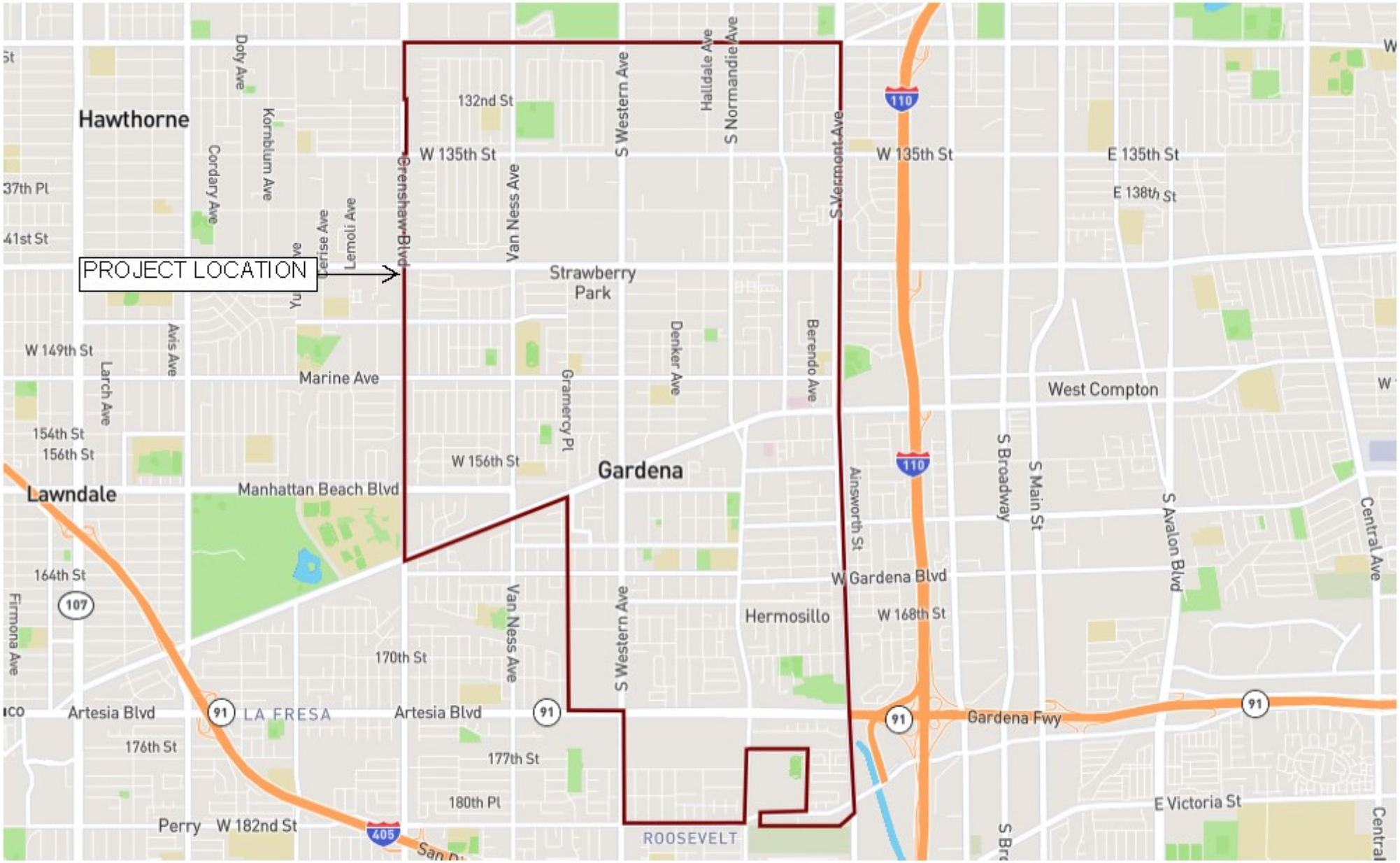
Skilled and Trained Workforce: This project is subject to Skilled and Trained Workforce Requirements per Sections 2600 through 2603 of the Public Contract Code.

Award of Contract: The following are conditions to the award of the contract:

I. Each contractor and subcontractor listed on the bid must be registered with the Department of Industrial Relations pursuant to Labor Code Section 1725.5. subject to the limited exceptions set forth in Labor Code Section 1771.1(a) (regarding the submission of a bid as authorized by Business & Professions Code Section 7029.1 or Public Contract Code Section 10164 or 20103.5 provided the contractor is registered to perform public work pursuant to Section 1725.5 at the time the contract was awarded): and
II. No contractor or subcontractor may be awarded this contract unless the contractor and each subcontractor listed on the bid is registered with the Department of Industrial Relations pursuant to Section 17265.5.

Any questions regarding this bid package may be referred to Jun De Castro, Public Works Engineering Division at 310 217-9642.

PEDESTRIAN SAFETY IMPROVEMENT PROJECT VARIOUS LOCATIONS, JN 993



1" = 3916 ft	PROJECT LOCATION MAP	12/06/2021	

This map may represents a visual display of related geographic information. Data provided here on is not guarantee of acutual field conditions. To be sure of complete accuracy, please contact the responsible staff for most up-to-date information.

T A B L E O F C O N T E N T S

PEDESTRIAN SAFETY IMPROVEMENT 2021/2022

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INSTRUCTIONS TO BIDDERS

FORM OF PROPOSAL

The Proposal shall be fully executed and submitted on the forms in the project specifications and shall be enclosed in a sealed envelope marked and addressed as directed in the Notice Inviting Bids.

PRPOSAL / BID DOCUMENTS

All Proposals shall include the following executed documents to be submitted with each bid:

Bidding Schedule

Acknowledgement of Addenda Received

Bidder's Declaration

Non-Collusion Affidavit

Declaration of Eligibility of Contract

Bid Bond

Designation of Subcontractors

Construction Project Reference

Certificate of Non-Discrimination by Contractors

Certification of Regarding Debarment, Suspension, Ineligibility and Voluntary Exclusion – Primary Covered Transitions

DELIVERY OF PROPOSAL

The Proposal shall be delivered by the time and to the place stipulated in the Notice Inviting Bids. It is the bidder's sole responsibility to see that its Proposal is received as stipulated. Any Proposal received after the scheduled closing time for receipt of proposals will be returned to the bidder unopened.

WITHDRAWAL OF PROPOSAL

The Proposal may be withdrawn by the bidder by means of a written request, signed by the bidder or its properly authorized representative. Such written request must be delivered to the place stipulated in the Notice Inviting Bids for receipt of proposals prior to the scheduled closing time for receipt of proposals. No Proposal may be withdrawn after the hour fixed for opening bids.

MODIFICATIONS AND ALTERNATIVE PROPOSALS

Unauthorized conditions, limitations, or provisions attached to the Proposal will render it informal and may be grounds for its rejection as non-responsive. The completed Proposal forms shall be without interlineations, alterations, or erasures. Alternative proposals will not be considered unless specifically requested. Oral, telegraphic, or telephonic proposals or modifications will not be considered.

DISCREPANCIES IN PROPOSALS

In the event there is more than one bid item in a Bidding Schedule, the bidder shall furnish a price for all bid items in the Schedule, and failure to do so will render the Proposal informal and may be grounds for its rejection as non-responsive. The bidder shall state in words and figures the unit prices or the specific sums as the case may be, for which it proposes to supply the labor, materials, supplies, or machinery, and completely perform the Contract. The total amount of each item bid and the total amount of the bid shall be stated in words and figures.

In case of any discrepancy between the words and the figures, the words shall prevail. If the unit price and the total amount named by a bidder for any items are not in agreement, the unit price alone will be considered as representing the bidder's intention and the total will be corrected to conform thereto.

PROPOSAL GUARANTEE – BIDDER'S SECURITY

Each bidder shall submit with his Proposal cash, an unconditional certified or cashier's check, or a bidder's bond, in the sum of the percentage of the bid stated in the Notice Inviting Bids, payable to the City as a guarantee that the bidder will, if its Proposal is accepted, execute the Contract and furnish a satisfactory Faithful Performance Bond, a satisfactory Payment Bond and insurance certificates as specified herein.

If a bidder to whom an award is made, fails or refuses to sign the Contract or furnish the required bonds and certificates, all within the time stated in Section 2-1.5 of the Special Provisions herein, the funds represented by said cash, check or bidder's bond shall be forfeited and become and remain the property of the City; the amount thereof being agreed to by the bidder and the surety as a bid bond forfeiture due the City because of the delay in the execution of the Contract and in the performance of work thereunder, resulting from such failure or refusal, except that if the City awards the contract to the next lowest responsive responsible bidder, only that portion of the bidder's security equal to the difference between the two bids will be forfeited.

A Bid Bond must be obtained from a corporate surety authorized to do business as such in the State of California as an "admitted surety insurer" and shall be on the form furnished by the City or one substantially in conformance with it. Certified or cashier's checks must be drawn on a solvent state or nationally chartered bank or branch thereof in the State of California. The liability of the City in connection with the checks shall be limited to the return of the checks (without interest) as provided in Section 2-1.6 of the Special Provisions bound herein.

DISQUALIFICATION OF BIDDERS

A person, firm, or corporation shall NOT be allowed to make or file, or to be interested in, more than one bid, except an alternative bid when specifically requested; provided, however, a person, firm, or corporation who has submitted a sub-proposal to a bidder submitting a Proposal, or who has quoted prices on materials to such bidders, is not thereby disqualified from submitting a sub-proposal or from quoting prices to other bidders submitting proposals, or from submitting a Proposal as a prime contractor. Similarly, failure to comply with the registration requirements of Labor Code Section 1725.5, as further described in the Notice Inviting Bids, will disqualify a bidder.

ADDITIONAL REQUIREMENTS

The bidder's attention is directed to the Special Provisions and Technical Provisions bound herein for additional requirements of the Proposal and Contract Documents.

CONTRACT DOCUMENTS

Contract Documents are to be submitted within twenty-one (21) calendar days AFTER award of contract. Unless extended by agreement of the City, failure to timely submit executed Contract Documents may be grounds for rejecting the bid award and forfeiture of the bid security. See enclosed documents commencing on page CD-1.

BID PROPOSAL (BP)

PEDESTRIAN SAFETY IMPROVEMENT 2021/2022
VARIOUS LOCATIONS

PROJECT NO. JN 993

Contractor: _____

Address: _____

Phone: _____

Fax: _____

License No.: _____

D.I.R. No. _____

Email: _____

To Be Submitted

WITH

Bid Package

BID PROPOSAL

PROJECT NO. JN 993

BID SCHEDULE

The undersigned, having examined the proposed Contract Documents titled:

PEDESTRIAN SAFETY IMPROVEMENT 2021/2022

and having visited the site and examined the conditions affecting the work, hereby proposes and agrees to furnish all labor, materials, equipment, and appliances, and to perform operations necessary to complete the work as required by said proposed Contract Documents and itemized bid schedule below. All work shall be completed within **Forty (40) Working Days** from the date the Notice of Proceed is issued by the Engineer.

Item No.	Item Description	Unit	Approx. Quantity	Unit Price in Figures	Item Total
1.	Furnish and Install P.C.C. Curb and Gutter over new C.A.B. per Std. Dwg. ST-7	LF	853	$	$
2.	Furnish and Install P.C.C. sidewalk over existing re-compacted material per Std. Dwg. ST-5A	SF	10,145	$	$
3.	Remove and dispose of existing tree, stump and roots	EA	49	$	$
4.	Furnish and plan new trees per Std. Dwg. ST-11	EA	47	$	$
5.	Furnish and Install 4” P.C.C. Res. Driveway per Std. Dwg ST-2	SF	302	$	$
6.	Remove and Replace P.C.C. pavement over existing base	SF	300	$	$
7.	Remove and Replace alley driveway per APWA STD Plan 130-2	EA	2	$	$
8.	Install cast in place truncated dome per Caltrans STD Plan A88A	EA	4	$	$

BID SCHEDULE (Continued)

TOTAL CONTRACT BID:

(Figures) $ _____

(Words) _____

*** In case of error in extension of price into the total price column, the unit price will govern.**

All work required and shown on the construction plans and this specification for which no price or item is listed on this proposal, it shall be understood that such work, equipment, labor, tools and materials shall be provided without extra charge, allowance or direct payment of any kind. Payment for performing such work or furnishing such equipment, labor, tools and materials shall be included in the above lump sum or unit bid prices and no additional compensation will paid therefor.

If the City determines that any of the unit bid prices are significantly unbalanced to the potential detriment of the City, the bid will be replaced as non-responsive.

In case of any discrepancy between the words and the figures, the words shall prevail. If the unit price and the total amount for any item are not in agreement, the unit price alone shall be considered to represent the bidder's intention and all totals will be corrected to conform thereto.

Attached hereto is cash, a certified check, a cashier's check, or a bidder's bond in the amount of _____Dollar
s, said amount being not less than 10 percent of the amount bid. Pursuant to Public Contract Code Sections 20172 and 20174, it is agreed a portion equal to the difference between the low bid and second low bid shall be retained as a bid bond forfeiture by the City if the undersigned fails or refuses to execute the Contract and furnish the required bonds and certificates of insurance within the time provided.

_____
Name of Bidder

_____
Signature of Bidder

BID PROPSOAL

PROJECT NO. JN 993

ACKNOWLEDGEMENT OF ADDENDA RECEIVED

The Bidder shall acknowledge the receipt of addenda by number and date each addendum received.

Addendum No. ____ Date _____ Addendum No. ____ Date _____

Addendum No. ____ Date _____ Addendum No. ____ Date _____

Addendum No. ____ Date _____ Addendum No. ____ Date _____

Addenda will be issued only through the ARC Document Solutions and access under their Public Planroom (www.crplanwell.com). It is the Bidder's sole responsibility to visit the Planroom to obtain and administer any Addendum related to this bid. **An Addendum must be acknowledged above by a bidder in its submitted form of Proposal.**

If an addendum or addenda have been issued by the City and not noted above as being received by the Bidder, the Bid Proposal may be rejected.

_____ _____

Bidder's Signature Date

BID PROPOSAL

PROJECT NO. JN 993

BIDDER'S DECLARATION

It is understood and agreed that:

1. The undersigned has carefully examined all documents which will form a part of the Contract; namely, the Notice Inviting Bids, the Instructions to Bidders, this Proposal, the Bid Bond, the Contract, the Faithful Performance Bond, the Payment Bond, the federal requirements, if any, the Plans and Specifications, the Special Provisions, and the Technical Provisions.

2. The undersigned has, by investigation at the site of the work and otherwise, satisfied himself as to the nature and location of the work and fully informed himself as to all conditions and matters, which can in any way affect the work or the cost thereof.

3. The undersigned fully understands the scope of work and has checked carefully all words and figures inserted in this Proposal and he further understands that the City will not be responsible for any errors or omissions in the preparation of the Proposal.

4. The undersigned agrees and acknowledges that he is aware of the provisions of Section 3700 of the Labor Code which requires every employer to be insured against liability for workers' compensation or to undertake self-insurance in accordance with the provisions of that Code, and that the undersigned will comply with such provisions before commencing the performance of the Contract if it is awarded to the undersigned.

The undersigned will execute the Contract and furnish the required statutory bonds and certificates of insurance within the period of time specified in the Contract Documents.

The undersigned will begin work after award of Contract and a Notice to Proceed has been given as herein specified and will complete said work within the time specified in the Bidding Schedule.

5. The undersigned certifies that this Proposal is genuine and not sham or collusive, or made in the interest or on behalf of a person not herein named, and the undersigned has not directly or indirectly induced or solicited any other bidder to put in a sham bid nor induced any other person, firm, or corporation to refrain from bidding. The undersigned has not in any manner sought by collusion to secure for himself any advantage over any other bidder.

6. The undersigned will accept an award and enter into a Contract for all work scheduled herein on which he puts in a bid. The awards for such work are to be entirely at the discretion of the City after evaluation of the bids as submitted. The undersigned agrees that the City shall recover or retain as a bid bond forfeiture an amount equal to the difference between the low bid and amount of the bid of the bidder with whom the City enters into a Contract, and the surplus, if any, shall be returned to the lowest bidder in accordance with the provisions of the Public Contract Code Sections 20172 and 20174 in the event of his failure to execute a Contract and furnish required bonds and insurance therefor within the time provided.

BIDDER'S DECLARATION (Continued)

7. The undersigned bidder stated under penalty of perjury that the representations made in submitting this bid are, to the best of his/her knowledge, true, accurate, and complete.

Respectfully submitted,

Contractor's Business Name	Contractor (Print) Title
Business Address: Street	Signature Title
City State Zip	Contractor's License No. and Classification
Business Phone Number	Business Fax Number
Date	
Name Title	Residence: Street
City State Zip	Residence Phone Number

Note: If the bid is made by an individual, it must be signed with the full name of the bidder, whose address must be given: if it is made by a firm, it must be signed in the co-partnership's name by a general partner thereof, who shall also sign his or her own name, and the name and full address of each partner (general and/or limited) must be given; and if it is made by a corporation, it must be signed by a properly authorized officer, the corporate name shall be set forth, and the corporate seal shall be affixed.

BID PROPOSAL

PROJECT NO. JN 993

NON-COLLUSION AFFIDAVIT

(To be executed by Bidder and submitted with Bid)

State of California

County of Los Angeles

_____ being first duly sworn, deposes and says that he or she is _____ of _____ _____ the party making the foregoing bid, that the bid is not made in the interest of, or on the behalf of, any undisclosed person, partnership, company, association, organization, or corporation; that the bid is genuine and not collusive or sham; that the bidder has not directly or indirectly colluded, conspired, connived, or agreed with any bidder or anyone else to put in a sham bid, or that anyone shall refrain from bidding; that the bidder has not in any manner, directly or indirectly, sought by agreement, communication, or conference with anyone to fix the bid price of the bidder or any other bidder, or to fix any overhead, profit, or cost element of that of any other bidder, or to secure any advantage against the public body awarding the contract of anyone interested in the proposed contract; that all statements contained in the bid are true; and, further, that the bidder has not, directly or indirectly, submitted his or her bid price or any breakdown thereof, or the contents thereof, or divulged information or data relative thereto, or paid, and will not pay fee to any corporation, or agent thereof to effectuate a collusive or sham bid.

_____
NAME OF BIDDER

_____
SIGNATURE OF BIDDER

_____
ADDRESS OF BIDDER

_____
CITY STATE ZIP

ALL SIGNATURES MUST BE WITNESSED BY NOTARY
(attach appropriate jurats)

BID PROPOSAL

PROJECT NO. JN 993

DECLARATION OF ELIGIBILITY TO CONTRACT

[Labor Code Section 1777.1; Public Contract Code Section 6109]

The undersigned, a duly authorized representative of the contractor, certifies and declares that:

1. The undersigned contractor is aware of Sections 1777.1 and 1777.7 of the California Labor Code, which prohibit a contractor or subcontractor who has been found by the Labor Commissioner or the Director of Industrial Relations to be in violation of certain provisions of the Labor Code, from bidding on, being awarded, or performing work as a subcontractor on a public works project for specified periods of time.

2. The undersigned contractor is not ineligible to bid on, be awarded or perform work as a subcontractor on a public works project by virtue of Sections 1771.1 or 1777.7 of the California Labor Code or any other provision of law.

3. The undersigned contractor is aware of California Public Contract Code Section 6109, which states:

> "(a) A public entity, as defined in Section 1100 [of the Public Contract Code], may not permit a contractor or subcontractor who is ineligible to bid or work on, or be awarded, a public works project pursuant to Section 1777.1 or 1777.7 of the Labor Code to bid on, be awarded, or perform work as a subcontractor on, a public works project. Every public works project shall contain a provision prohibiting a contractor from performing work on a public works project with a subcontractor who is ineligible to perform work on the public works project pursuant to Section 1771.1 or 1777.7 of the Labor Code."
>
> "(b) Any contract on a public works project entered into between a contractor and a debarred subcontractor is void as a matter of law. A debarred subcontractor may not receive any public money for performing work as a subcontractor on a public works contract, and any public money that may have been paid to a debarred subcontractor by a contractor on the project shall be returned to the awarding body. The contractor shall be responsible for the payment of wages to workers of a debarred subcontractor who has been allowed to work on the project."

4. The undersigned contractor has investigated the eligibility of each and every subcontractor the undersigned contractor intends to use on this public works project, and has determined that none of them is ineligible to perform work as a subcontractor on a public works project by virtue of the foregoing provisions of the Public Contract Code, Sections 1771.1 or 1777.7 of the Labor Code, or any other provision of law.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct. Executed this _____ day of _____, 20___, at _____ _____ *(place of execution)*, California_____.

Signature: _____ Name: _____

Title: _____ Company: _____

BID PROPOSAL

PROJECT NO. JN 993

BID BOND

KNOW ALL MEN BY THESE PRESENTS:

THAT _____, as Principal,
and _____, as Surety,
are held firmly bound unto the City of Gardena in the sum of $_____;
_____DOLLARS,
(not less than ten percent of total amount of bid)
for the payment of which sum well and truly to be made, we bind ourselves, our heirs, executors, administrators, successors, and assigns, jointly and severally, firmly by these presents.

WHEREAS, said Principal has submitted a bid to the City to perform all work required under the following:

PROJECT: **PEDESTRIAN SAFETY IMPROVEMENT 2021/2022**
VARIOUS LOCATIONS, JN 993

NOW, THEREFORE, if said Principal is awarded a Contract by the City and, within the time and in the manner required in the Specifications for said project, enters into the written form of Contract bound with said Specifications and furnishes the required bonds, one to guarantee faithful performance and the other to guarantee payment for labor and materials, then this obligation shall be null and void, otherwise it shall remain in full force and effect. In the event suit is brought upon this bond by the City and judgment is recovered, said Surety shall pay all costs incurred by the City in such suit, including a reasonable attorneys' fee to be fixed by the court. Surety hereby waives the provisions of California Civil Code §2845.

SIGNED AND SEALED, this_day of _____, 20_____.

_____(SEAL) _____(SEAL)
Principal Surety

BY:_____ BY:_____
Signature Signature

Note: This bond must be dated, all signatures must be notarized, and evidence of the authority of any person signing as attorney–in-fact must be attached.

BID PROPOSAL

PROJECT NO. JN 993

DESIGNATION OF SUBCONTRACTORS

In compliance with the "Subletting and Subcontracting Fair Practices Act" being Sections 4100-4113 of the Public Contract Code of the State of California, and any amendments thereto, each bidder shall set forth below the name and location of the place of business of each subcontractor who will perform work or labor or render service to the prime contractor in or about the construction of the work or improvement in an amount in excess of one-half (1/2) of one percent (1%) of the prime contractor's total bid, and shall further set forth the portion of the work which will be done by each subcontractor. Only one subcontractor for each such portion shall be listed.

If the contractor fails to specify a subcontractor for any portion of the work to be performed under the contract, he shall be deemed to have agreed to perform such portion himself, and he shall not be permitted to subcontract that portion of the work except under the conditions hereinafter set forth.

Subletting or subcontracting of any portion of the work to which subcontractor was designated in the original bid shall only be permitted in cases of public emergency or necessity, and then only after a finding reduced to writing as a public record of the legislative body of the City.

Portion of Work %	Subcontractor's Name & Address	Type of Work	State License Number	Class	D.I.R. Number

Not more than _____%.

BID PROPOSAL

PROJECT NO. JN 993

CONSTRUCTION PROJECT REFERENCE

In order to more fully evaluate your background and experience for the project herein proposed, please submit a list of Public Works and/or similar construction projects completed or in progress within the last three (3) years. Failure to provide this information may constitute grounds for rejection of your bid as non-responsive.

Number of years as a contractor in construction work of this type: _____

Three projects of this type recently completed:

1. Name (Firm/Agency): _____
   Address: _____
   Contact Person: _____ Telephone No.: _____
   Title of Project: _____
   Project Location: _____
   Date of Completion: _____ Contract Amount: $ _____

2. Name (Firm/Agency): _____
   Address: _____
   Contact Person: _____ Telephone No.: _____
   Title of Project: _____
   Project Location: _____
   Date of Completion: _____ Contract Amount: $ _____

3. Name (Firm/Agency): _____
   Address: _____
   Contact Person: _____ Telephone No.: _____
   Title of Project: _____
   Project Location: _____
   Date of Completion: _____ Contract Amount: $ _____

NOTE: If requested by the City, the bidder shall furnish a certified financial statement, references, and other information sufficiently comprehensive to permit an appraisal of his current financial condition.

Bidder's Signature _____

BID PROPOSAL

PROJECT NO. JN 993

CERTIFICATE OF NON-DISCRIMINATION BY CONTRACTORS

As suppliers of goods or services to the City, the firm listed below certifies that it does not discriminate in its employment with regard to race, color, religion, sex, or national origin; that it is in compliance with all applicable federal, state, and local directives, and executive orders regarding non-discrimination in employment; and that it agrees to pursue positively and aggressively the principle of equal opportunity in employment.

We agree specifically:

1. To establish or observe employment policies which affirmatively promote opportunities for minority persons at all job levels.

2. To communicate this policy to all persons concerned, including all company employees, outside recruiting services, especially those serving minority communities, and to the minority communities at large.

3. To take affirmative steps to hire minority employees within the company.

FIRM_____

TITLE OF PERSON SIGNING_____

SIGNATURE_____

DATE_____

Please include any additional information available regarding equal opportunity employment programs now in effect within your company:

_____

_____

_____

_____

_____

_____

BID PROPOSAL

PROJECT NO. JN 993

CERTIFICATION REGARDING DEBARMENT, SUSPENSION, INELIGIBILITY AND VOLUNTARY EXCLUSION – PRIMARY COVERED TRANSACTIONS

(BEFORE COMPLETING CERTIFICATION, READ INSTRUCTIONS ON NEXT PAGE)

The Contractor shall not perform Work with any Subcontractor that has been debarred or suspended pursuant to California Labor Code Section 1777.1 or any other federal or State law providing for the debarment of contractors from public works. The Contractor and Subcontractors shall not be debarred or suspended throughout the duration of the Contract pursuant to Labor Code Section 1777.1 or any other federal or State law providing for the debarment of contractors from public works. If the Contractor or any Subcontractor becomes debarred or suspended during the duration of the Project, the Contractor shall immediately notify the City.

1. The prospective primary participant certifies to the best of its knowledge and belief, that it and its principals:

    a. Are not presently debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded from covered transactions by any Federal department or agency;

    b. Have not within a 5-year period preceding this proposal been convicted of or had a civil judgment rendered against them for commission of fraud or a criminal offense in connection with obtaining, attempting to obtain, or performing a public (Federal, State or local) transaction or contract under a public transaction; violation of Federal or State antitrust statutes or commission of embezzlement, theft, forgery, bribery, falsification or destruction of records, making false statement, or receiving stolen property;

    c. Are not presently indicted for or otherwise criminally or civilly charged by a governmental entity (Federal, State or local) with commission of any of the offenses enumerated in paragraph 1b of this certification; and

    d. Have not within a 5-year period preceding this application/proposal had one or more public transactions (Federal, State or local) terminated for cause or default.

2. Where the prospective primary participant is unable to certify to any of the statements in this certification, such prospective participant shall attach an explanation to this proposal.

Signature: _____ Name: _____

Title: _____ Company: _____

CERTIFICATION REGARDING DEBARMENT, SUSPENSION, INELIGIBILITY AND VOLUNTARY EXCLUSION – PRIMARY COVERED TRANSACTIONS (Continued)

INSTRUCTIONS FOR CERTIFICATION

1. By signing and submitting this proposal, the prospective primary participant is providing the certification set out below.
2. The inability of a person to provide the certification required below will not necessarily result in denial of participation in this covered transaction. The prospective participant shall submit an explanation of why it cannot provide the certification set out below. The certification or explanation will be considered in connection with the department or agency's determination whether to enter into this transaction. However, failure of the prospective primary participant to furnish a certification or an explanation shall disqualify such person from participation in this transaction.
3. The certification in this clause is a material representation of fact upon which reliance was placed when the department or agency determined to enter into this transaction. If it is later determined that the prospective primary participant knowingly rendered an erroneous certification, in addition to other remedies available to the Federal Government, the department or agency may terminate this transaction for cause or default.
4. The prospective primary participant shall provide immediate written notice to the department or agency to which this proposal is submitted if at any time the prospective primary participant learns that its certification was erroneous when submitted or has become erroneous by reason of changed circumstances.
5. The terms "covered transaction," "debarred," "suspended," "ineligible," "lower tier covered transaction," "participant," "person," "primary covered transaction," "principal," "proposal," and "voluntarily excluded," as used in this clause, have the meanings set out in the Definitions and Coverage sections of the rules implementing Executive Order 12549. You may contact the department or agency to which this proposal is submitted for assistance in obtaining a copy of those regulations (13 CFR Part 145).
6. The prospective primary participant agrees by submitting this proposal that, should the proposed covered transaction be entered into, it shall not knowingly enter into any lower tier covered transaction with a person who is debarred, suspended, declared ineligible, or voluntarily excluded from participation in this covered transaction, unless authorized by the department or agency entering into this transaction.
7. The prospective primary participant further agrees by submitting this proposal that it will include the clause titled "Certification Regarding Debarment, Suspension, Ineligibility and Voluntary Exclusion--Lower Tier Covered Transactions," provided by the department or agency entering into this covered transaction, without modification, in all lower tier covered transactions and in all solicitations for lower tier covered transactions.
8. A participant in a covered transaction may rely upon a certification of a prospective participant in a lower tier covered transaction that it is not debarred, suspended, ineligible, or voluntarily excluded from the covered transaction, unless it knows that the certification is erroneous. A participant may decide the method and frequency by which it determines the ineligibility of its principals. Each participant may, but is not required to, check the Nonprocurement List.
9. Nothing contained in the foregoing shall be construed to require establishment of a system of records in order to render in good faith the certification required by this clause. The knowledge and information of a participant is not required to exceed that which is normally possessed by a prudent person in the ordinary course of business dealings.
10. Except for transactions authorized under paragraph 6 of these instructions, if a participant in a covered transaction knowingly enters into a lower tier covered transaction with a person who is suspended, debarred, ineligible, or voluntarily excluded from participation in this transaction, in addition to other remedies available to the Federal Government, the department or agency may terminate this transaction for cause or default.

CONTRACT DOCUMENTS (CD)

PEDESTRIAN SAFETY IMPROVEMENT 2021/2022
VARIOUS LOCATIONS

PROJECT NO. JN 993

To be Submitted
within twenty-one (21) calendar days

AFTER
Award of Contract

CONTRACT DOCUMENT

PROJECT NO. JN 993

AGREEMENT

THIS AGREEMENT, made and entered into this _____ day of _____, 20_____, by and between CITY OF GARDENA in the State of California, hereinafter referred to as "CITY" and_____, hereinafter referred to as "CONTRACTOR."

The City and the Contractor mutually agree as follows:

ARTICLE I.

THE PROJECT

For and in consideration of the mutual promises set forth herein, Contractor agrees to perform and complete in a good and workmanlike manner all work required by the Contract Documents for City Project No. JN 993, which is described as follows:

Title: **PEDESTRIAN SAFETY IMPROVEMENT 2021/2022**
VARIOUS LOCATIONS, JN 993

Said work shall be performed in accordance with the Plans, Specifications and other Contract Documents, all of which are referenced in Article III hereof and incorporated herein as though fully set forth. Contractor shall furnish at its own expense all labor, materials, equipment and services necessary therefor, except such labor, materials, equipment and services as are provided in the Contract Documents to be furnished by City.

This project is subject to Skilled and Trained Workforce Requirements per Sections 2600 through 2603 of the Public Contract Code.

ARTICLE II.

CONTRACT SUM AND PAYMENT

For performing and completing the work in accordance with the Contract Documents, City shall pay Contractor, in full compensation therefor, the contract sum set forth in the Bidding Schedule. Said sum shall constitute payment in full for all work performed hereunder, including, without limitation, all labor, materials, equipment, tools and services used or incorporated in the work, supervision, administration, overhead, expenses and any and all other things required, furnished or incurred for completion of the work as specified in the Contract Documents. City shall make payments to Contractor on account of the contract sum at the time, in the manner, and upon the conditions specified in the Contract Documents.

ARTICLE III.

CONTRACT DOCUMENTS

The Contract Documents, which constitute the entire agreement between the City and the Contractor, are enumerated as follows: Proposal Documents, including the Notice Inviting Bids, Instructions to Bidders, Bidding Schedule, Bidder's Declaration, Designation of Subcontractors, Bidder's Assurance, and Fair Employment Practices documents; this Agreement; Standard Specifications; Special Provisions; Technical Provisions; Drawings; Plans; and all addenda issued prior to and all modifications issued after the execution of this Agreement. These form

the Contract, and all are as fully a part of the Contract as if attached to this Agreement or repeated herein.

ARTICLE IV.

EFFECTIVE DATE

This Agreement shall become effective and commence as of the date set forth below on which the last of the parties, whether City or Contractor, executes said Agreement.

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed and attested by their proper officers thereunto duly authorized.

CITY

By:_____
MAYOR (Sign)

Date: _____

SEAL

Attest:
By: _____
CITY CLERK (Sign)

Date:_____

CONTRACTOR

By:_____
Sign / Title

Date: _____

Attest: (Contractor)

By:_____
Sign / Title

Date: _____

APPROVED AS TO FORM:

By:_____
CITY ATTORNEY (Sign)

Date:_____February 10, 2022_____

CONTRACT DOCUMENT

PROJECT NO. JN 993

FAITHFUL PERFORMANCE BOND

WHEREAS, the City of Gardena has awarded to _____, hereinafter designated as the "Principal", a Contract for:

PROJECT: **PEDESTRIAN SAFETY IMPROVEMENT 2021/2022**
VARIOUS LOCATIONS, JN 993

WHEREAS, said Principal is required under the terms of said Contract to furnish a bond for the faithful performance of said Contract;

NOW, THEREFORE, we,_____
as Principal, and_____
as Surety, are held and firmly bound unto the City in the sum of_____
_____
Dollars ($_____), this amount being not less than one hundred percent (100%) of the total Contract price, lawful money of the United States of America, for payment of which sum well and truly to be made we bind ourselves, our heirs, executors, administrators, and successors, jointly and severally, firmly by these presents. In case suit is brought upon this bond, the Surety will pay all court costs and reasonable attorneys' fees to the City of Gardena in an amount to be fixed by the court.

THE CONDITION OF THIS OBLIGATION IS SUCH THAT, if the hereby bounded Principal, his or its heirs, executors, administrators, successors, or assigns, shall in all things stand to and abide by, well and truly keep and perform all the undertakings, terms, covenants, conditions and agreements in the said Contract and any alteration thereof, made as therein provided, all within the time and in the manner therein designated and in all respects according to their true intent and meaning, then this obligation shall become null and void; otherwise, it shall be and remain in full force and effect.

FURTHER, the Surety, for value received, hereby stipulates and agrees that no change, extension of time, alteration, addition, or modification to the terms of the Contract, or of the work to be performed thereunder, or the specifications for the same, shall in any way affect its obligations under this bond, and it does hereby waive notice of any such change, extension of time, alteration, addition, or modification to the terms of the Contract or to the work or to the specifications thereunder. Surety hereby waives the provisions of California Civil Code §§ 2845 and 2849. The City is the principal beneficiary of this bond and has all rights of a party hereto.

This bond shall remain in full force and effect for a warranty period of one full year after acceptance of the job by the City.

IN WITNESS WHEREOF, three (3) identical counterparts of this instrument, each of which shall for all purposes be deemed an original thereof, have been duly executed by the Principal and

Surety named herein, on the_____ day of_____, 20___, the name and corporate seal of each corporate party being hereto affixed and these presents duly signed by its undersigned representative pursuant to authority of its governing body.

[PRINCIPAL]

By _____

Title _____

_____

Signature

[SURETY]

By _____

Title _____

Address _____

_____

Phone No. _____

_____

Signature

All signatures must be notarized.

Appropriate modifications shall be made to this form if the bond is being furnished for the performance of an act not provided for by agreement.

Corporations must affix corporate seal.

CONTRACT DOCUMENT

PROJECT NO. JN 993

PAYMENT BOND

WHEREAS, the City of Gardena has awarded to _____, as Contractor, a contract for the work described as follows:

PROJECT: **PEDESTRIAN SAFETY IMPROVEMENT 2021/2022**
VARIOUS LOCATIONS, JN 993

AND WHEREAS, said Contractor is required to furnish a bond in connection with said contract, to secure the payment of claims of laborers, mechanics, materialmen and other persons, as provided by law;

NOW, THEREFORE, we, the undersigned Contractor and Surety, are held firmly bound unto the City in the sum of _____, Dollars ($_____) this amount being not less than one hundred percent (100%) of the total Contract price, for which payment well and truly to be made we bind ourselves, our heirs, executors and administrators, successors and assigns, jointly and severally, firmly by these presents.

THE CONDITION OF THIS OBLIGATION IS SUCH THAT, if said Contractor, its heirs, executors, administrators, successors, assigns, or subcontractors shall fail to pay any of the persons named in Civil Code Section 3181, or amounts due under the Unemployment Insurance Code with respect to work or labor performed under the contract, or any amounts required to be deducted, withheld, and paid over to the Employment Development Department from the wages of employees of the Contractor and its subcontractors pursuant to Section 13020 of the Unemployment Insurance Code, or any other amounts due to persons under any applicable project contract or law, with respect to such work and labor, then the Surety or Sureties herein will pay for the same in an amount not exceeding the sum specified in this bond, otherwise the above obligation shall be void. In case suit is brought upon this bond, the said Surety will pay all court costs and reasonable attorneys' fees to the plaintiff(s) and City in an amount to be fixed by the court.

This bond shall inure to the benefit of any of the persons named in Civil Code Section 3181 as to give a right of action to such persons or their assigns in any suit brought upon this bond.

Further, the Surety, for value received, hereby stipulates and agrees that no change, extension of time, alteration, addition, or modification to the terms of the Contract, or of the work to be performed thereunder, or the specifications for the same, shall in any way affect its obligations under this bond, and it does hereby waive notice of such change, extension of time, alteration, addition, or modification to the terms of the Contract or to the work or to the specifications thereunder. Surety hereby waives the provisions of California Civil Code §§ 2845 and 2849.

This bond shall remain in full force and effect for six full months after the period in which verified claims may be filed as provided for in Section 3184 of the California Civil Code.

IN WITNESS WHEREOF, we have hereunto set our hands and seals on this_____day of _____20_____.

[PRINCIPAL]

By _____

Title _____

_____

Signature

[SURETY]

By _____

Title _____

Address _____

_____

Phone No. _____

_____

Signature

All signatures must be notarized.

Appropriate modifications shall be made to this form if the bond is being furnished for the performance of an act not provided for by agreement.

Corporations must affix corporate seal.

CONTRACT DOCUMENT

PROJECT NO. JN 993

WORKER'S COMPENSATION INSURANCE CERTIFICATE

The Contractor shall execute the following form as required by the California Labor Code, Sections 1860 and 1861:

> I am aware of the provisions of Section 3700 of the Labor Code which require every employer to be insured against liability for workers' compensation or to undertake self-insurance in accordance with the provisions of that Code, and I will comply with such provisions before commencing the performance of the work of the Contract.

DATED:_____

_____
CONTRACTOR

By_____
Signature

_____
Title

ATTEST:

By_____
Signature

_____
Title

CONTRACT DOCUMENT

PROJECT NO. JN 993

INDEMNIFICATION AND HOLD HARMLESS AGREEMENT AND WAIVER OF SUBROGATION AND CONTRIBUTION

PEDESTRIAN SAFETY IMPROVEMENT 2021/2022
VARIOUS LOCATIONS
JN 993

To the fullest extent permitted by law, Indemnitor hereby agrees, at its sole cost and expense, to defend, protect, indemnify, and hold harmless the City of Gardena and its respective elected officials, officers, attorneys, agents, employees, volunteers, successors, and assigns (collectively "Indemnitees") from and against any and all damages, costs, expenses, liabilities, claims, demands, causes of action, proceedings, expenses, judgments, penalties, liens, and losses of any nature whatsoever, including fees of accountants, attorneys, or other professionals and all costs associated therewith (collectively "Liabilities"), arising or claimed to arise, directly or indirectly, out of, in connection with, resulting from, or related to any act, failure to act, error, or omission of Indemnitor or any of its officers, agents, servants, employees, subcontractors, materialmen, suppliers or their officers, agents, servants or employees, arising or claimed to arise, directly or indirectly, out of, in connection with, resulting from, or related to the above-referenced contract, agreement, license, or permit (the "Agreement") or the performance or failure to perform any term, provision, covenant, or condition of the Agreement, including this indemnity provision. This indemnity provision is effective regardless of any prior, concurrent, or subsequent active or passive negligence by Indemnitees and shall operate to fully indemnify Indemnitees against any such negligence. This indemnity provision shall survive the termination of the Agreement and is in addition to any other rights or remedies which Indemnitees may have under the law. Payment is not required as a condition precedent to an Indemnitee's right to recover under this indemnity provision, and an entry of judgment against an Indemnitee shall be conclusive in favor of the Indemnitee's right to recover under this indemnity provision. Indemnitor shall pay Indemnitees for any attorney fees and costs incurred in enforcing this indemnification provision. Notwithstanding the foregoing, nothing in this instrument shall be construed to encompass (a) Indemnitees' sole negligence or willful misconduct to the limited extent that the underlying Agreement is subject to Civil Code 2782(a), or (b) the contracting public agency's active negligence to the limited extent that the underlying Agreement is subject to Civil Code 2782(b). This indemnity is effective without reference to the existence or applicability of any insurance coverages which may have been required under the Agreement or any additional insured endorsements which may extend to Indemnitees.

Indemnitor, on behalf of itself and all parties claiming under or through it, hereby waives all rights of subrogation and contribution against the Indemnitees, while acting within the scope of their duties, from all claims, losses and liabilities arising out of or incident to activities or operations performed by or on behalf of the Indemnitor regardless of any prior, concurrent, or subsequent active or passive negligence by the Indemnitees. Accountants, attorneys, or other professionals employed by Indemnitor to defend Indemnitees shall be selected by Indemnitees.

In the event there is more than one person or entity named in the Agreement as an Indemnitor, then all obligations, liabilities, covenants and conditions under this instrument shall be joint and several.

"Indemnitor"

Company/Contractor _____

Name & Title _____

Signature & Date _____

CONTRACT DOCUMENT

PROJECT NO. JN 993

INSURANCE

CERTIFICATION OF INSURANCE (COI) SHALL BE SUBMITTED BY THE CONTRACTOR

1. **COMMENCEMENT OF WORK**. Contractor shall not be authorized to commence Work under this Contract until it has obtained approved insurance. Before beginning Work hereunder, during the entire period of this Contract, for any extensions hereto, and for periods after the end of this Contract as may be indicated below, Contractor must have and maintain in place not less than the insurance coverages required in this Section at his sole cost and expense. Contractor's insurance shall comply with all items specified by this Contract. Any subcontractors shall be subject to all of the requirements of this Section and Contractor shall be responsible to obtain evidence of insurance from each subcontractor and provide it to City before the subcontractor commences work. Alternatively, Contractor's insurance may cover all subcontractors. The insurance requirements are not intended to and shall not in any manner limit or qualify the liabilities and obligations assumed by Contractor under this Contract.

2. **INSURANCE COMPANY REQUIREMENTS.** All insurance policies used to satisfy the requirements imposed hereunder shall be issued by insurers admitted to do business in the State of California. Insurers shall have a current Best's rating of not less than A-:VII, unless otherwise approved by City.

3. **COVERAGES, LIMITS AND POLICY REQUIREMENTS**. Contractor shall maintain the types of coverages indicated below:

4. **COMPREHENSIVE GENERAL LIABILITY INSURANCE.** A policy of comprehensive general liability insurance written on a per occurrence basis in an amount not less than either one million dollars ($1,000,000) per occurrence or two million dollars ($2,000,000) aggregate.

5. **COMMERCIAL AUTO LIABILITY INSURANCE**. A policy including all coverages provided by and to the extent afforded by Insurance Services Office form CA 0001, ed. 12/93, including Symbol 1 (any auto) with no special limitations affecting City. The minimum auto insurance coverage shall be one million dollars ($1,000,000) combined single limit per accident.

6. **WORKER'S COMPENSATION AND EMPLOYER'S LIABILITY INSURANCE**. A policy which meets all statutory benefit requirements of the Labor Code, or other applicable law, of the State of California. The minimum coverage limits for said insurance shall be no less than one million dollars ($1,000,000) per claim. The policy shall be issued by an insurance company which is admitted to do business in the State of California and shall contain a clause that the policy may not be canceled without thirty (30) days prior written notice, return receipt requested, is mailed to City.

   In accordance with the provisions of section 1860 of the California Labor Code, Contractor's attention is directed to the requirement that in accordance with the provisions of section 3700 of the California Labor Code, Contractor and every subcontractor will be required to

secure the payment of compensation of his or her employees, or obtain a certificate of consent to self-insurance by the Director of Industrial Relations in accordance with the requirements of Section 3700 of the California Labor Code.

In accordance with the provisions of section 1861 of the California Labor Code, Contractor shall sign and file with the awarding body the following certification prior to performing any work on the Project:

> "I am aware of the provisions of section 3700 of the Labor Code which require every employer to be insured against liability for worker's compensation or to undertake self-insurance in accordance with the provisions of that code, and I will comply with such provisions before commencing the performance of the work of this contract."

7. POLICY REQUIREMENTS. The policies set forth above shall comply with the following, as evidenced by the policies or endorsements to the policies:

(i) City and its appointed and elected officers, employees, agents and volunteers shall be added as additional insured to the policy as respects liabilities arising out of the performance of any work done under the Contract.

(ii) The insurer shall agree to provide City with thirty (30) days prior written notice, return receipt requested, of any cancellation, non-renewal or material change in coverage.

(iii) For any claims with respect to the Project covered by this Contract, Contractor's insurance coverage shall be primary insurance as respects City and its elected and appointed officers, employees, agents and volunteers. Any insurance or self-insurance maintained by City and its elected and appointed officers, employees, agents and volunteers shall be excess of Contractor's insurance and shall not contribute with it.

(iv) The policy shall apply separately to each insured against whom claim is made or suit is brought except with respect to the limits of the company's liability.

8. COURSE OF CONSTRUCTION INSURANCE. Contractor shall provide course of construction insurance covering for "all risks" of loss in the amount of the completed value of the Work. The City shall be named as a loss payee and the insurer shall waive all rights of subrogation against the City. This policy shall be issued by an insurance company which is admitted to do business in the State of California and shall contain a clause that the policy may not be canceled until thirty (30) days written notice, return receipt requested, is mailed to the City. Course of Construction Insurance may be provided for each separate Phase.

9. ADDITIONAL REQUIREMENTS. The procuring of required insurance shall not be construed to limit Contractor's liability hereunder nor to fulfill the indemnification provisions and requirements of this Contract. City shall notify Contractor in writing of changes in the insurance requirements. If Contractor does not deposit copies of acceptable insurance policies or endorsements with City incorporating such changes within sixty (60) days of receipt of such notice, Contractor shall be deemed in default hereunder.

10. DEDUCTIBLES. Any deductible or self-insured retentions must be declared to and approved by City. Contractor shall guarantee that, at the option of the City, either: the insurer shall eliminate or reduce such deductibles or self-insured retentions with respect to City, its officers, employees, agents and volunteers (with additional premium, if any, to be

paid by Contractor); or Contractor shall provide satisfactory financial guarantee for payment of losses and related investigations, claim administration and defense expenses in the amount of any deductibles or self-insured retentions.

11. **VERIFICATION OF COMPLIANCE.** Contractor shall furnish City with the required endorsements attached hereto. All documents are to be received and approved by City before Work commences. Not less than fifteen (15) days prior to the expiration date of any policy of insurance required by this Contract, Contractor shall deliver to City a binder or certificate of insurance with respect to each renewal policy, bearing a notation evidencing payment of the premium therefore, or accompanied by other proof of payment satisfactory to City. Contractor shall provide full copies of any requested policies to City within three (3) days of any such request by City.

12. **TERMINATION FOR LACK OF REQUIRED COVERAGE.** If Contractor, for any reason, fails to have in place, at all times during the term of this Contract, including any extension hereto, all required insurance and coverage, City may immediately obtain such coverage at Contractor's expense and/or terminate this Contract. Contractor shall indemnify, defend and hold harmless City and its elected and appointed officers, employees, agents and volunteers from any claim resulting from failure of either Contractor or any subcontractor to take out or maintain any insurance required by this Contract.

13. **EQUIPMENT COVERAGE**. Any policy or policies of insurance Contractor or his subcontractors elect to carry as insurance against loss or damage to construction equipment and tools or other personal property shall include a provision waiving the insurer's right of subrogation against City.

GENERAL PROVISIONS

PEDESTRIAN SAFETY IMPROVEMENT 2021/2022
VARIOUS LOCATIONS
JN 993

PART 1 – GENERAL PROVISIONS

SECTION 1 – GENERAL

1-1 GENERAL. The Standard Specifications for Public Works Construction ("Greenbook") written and promulgated by the Southern California Chapter of the American Public Works Association and the Southern California Districts of the Associated General Contractors of California shall be the Standard Specifications of the City. All work shall conform to the 2021 edition, including supplements of the Standard Specifications, the Special Provisions which supplement or modify the Standard Specifications, and the Standard Drawings as issued by the City (defined herein as "Agency") available at the time bids are opened unless otherwise specified in the Contract Documents.

The above referenced Standard Specifications, Special Provisions and Standard Drawings are hereby made a part of the Contract Documents.

For the convenience of the Contractor, the section and subsection numbering system used in these Special Provisions corresponds to that used in the Standard Specifications.

1-2 TERMS AND DEFINITIONS. Whenever in the Standard Specification the following terms are used, they shall be understood to mean and refer to the following:

(a)	AGENCY	The City of Gardena, a California municipal corporation.
(b)	BOARD	The City Council of the City of Gardena
(c)	CONTRACT DOCUMENTS	Documents including but not limited to the proposal forms, Standard "Greenbook" Specifications, Special Provisions, Technical Provisions, Notice Inviting Bids, Instructions to Bidders, Bonds, Insurance, Contract and all Addenda setting forth any modifications of the documents.
(d)	ENGINEER	The City of Gardena Director of Public Works/City Engineer or his authorized representative.
(e)	BIDDER	An individual, co-partnership, association or corporation submitting a proposal for the work contemplated, acting directly or through a duly authorized representative.
(f)	LEGAL ADDRESS OF CONTRACTOR	The legal address of the Contractor to be the address given on the Contractor's bid and is hereby designated as the place to which all notices, letters or other communications to the Contractor shall be mailed or delivered.
(g)	LABORATORY	An established laboratory approved and authorized by the Engineer for testing materials and work involved in the contract.

1-7 AWARD AND EXECUTION OF THE CONTRACT.

1-7.1 General. The proposal shall be fully executed and submitted on the forms provided by the Agency and shall be enclosed in a sealed envelope marked and addressed as directed in the "Notice Inviting Bids".

If the proposal is made by an individual, it shall be signed and his or her full name and address shall be given; if it is made by a firm it shall be signed with co-partnership name by a general partner thereof, who shall also sign his or her known name, and the name and address of each member of such co-partnership shall be given; if made by a corporation, the name of the corporation shall be signed by its duly authorized officers and attested by the corporate seal.

Bidders are warned against making erasures or alterations of any kind on their Proposal. Proposals which contain omissions, erasures, alterations, conditions or additions not called for may be rejected.

At the time the Contract is awarded by the Agency, the Contractor shall be licensed under the provisions of Chapter 9, Division 3, of the Business and Professions Code of the State of California to do the type of work contemplated in the Contract and shall be skilled and regularly engaged in the general class or type of work required by this Contract.

1-7.2 Contract Bonds. The "Performance Bond" is equivalent to City's "Faithful Performance Bond".

1-7.3 Examination of Plans, Specifications and Project Site. Bidders shall read the specifications, review the drawings and examine the existing facilities to fully understand the project in order to plan for the improvements as shown in the contract, including local condition, uncertainty of weather and all other contingencies.

Bidders shall satisfy themselves by personal examination of the proposed work sites, and by such other means as they may choose as to actual conditions and requirements and as to the accuracy of the quantities stated in the Proposal forms. Information derived from the maps, plans, specifications, profiles, drawings, or from the Engineer/Architect of the record, shall not relieve the bidder of this responsibility, and the interpretation of the data disclosed by borings or other preliminary investigations is not guaranteed nor is any liability assumed by the Agency.

1-7.4 Interpretation of Drawings and Documents. If a prospective bidder is in doubt as to the true meaning or intent of any part of the Contract Documents including the Specifications, or discovers discrepancies in, or omissions from, the Specifications or Drawings, he may submit to the Engineer a written request for an interpretation or a correction thereof. Interpretations or corrections of the Contract Documents including the Specifications and Drawings, shall be made only by addendum duly issued by the Engineer, and a copy of such addendum will be sent by certified mail, postage prepaid, or delivered to each person receiving a set of the Contract Documents whose address is known to the Engineer and such addendum shall be considered a part of and incorporated in the Contract Documents.

1-7.5 Award of Contract. After the Proposals have been publicly opened and read aloud, they will be checked for accuracy and compliance with all provisions as specified herein.

The Agency reserves the right to reject any or all bids and to waive any informality or irregularity in any bid received and to be the sole judge of the merits of the respective bids received.

Bids subsequently shown to be mathematically unbalanced would be rejected as

nonresponsive.

A mathematically unbalanced bid is one containing lump sum or unit bid items which do not reflect reasonable actual costs plus a reasonable proportionate share of the bidder's anticipated profit, overhead costs, and other indirect costs, which he/she anticipates for the performance of the items in question.

"A bid is mathematically unbalanced if the bid is structured on the basis of nominal prices for some work and inflated prices for other work; that is, each element of the bid must carry its proportionate share of the total cost of the work plus profits."

"A bid is materially unbalanced if there is a reasonable doubt that award to the bidder submitting the mathematically unbalanced bid will result in the lowest ultimate cost to the Government. Consequently, a materially unbalanced bid may not be accepted."

Award of the Contract, if it be awarded, will ordinarily be made by the Agency within 30 days after opening of the bids. Award will be made to the lowest responsive responsible bidder.

In selecting the lowest responsive responsible bidder, consideration will be given to the general competency of the bidder for the performance of the work covered by the proposal. To receive favorable consideration, a bidder may be required to present evidence that he has successfully performed similar work of comparable magnitude or submit other evidence satisfactory to the Agency that he or his associates are competent to manage the proposed undertaking and to carry it forward to a successful conclusion. Professional integrity and honesty of purpose shall be essential requirements. A showing of adequate financial resources may be required but will not alone determine whether a bidder is competent to undertake the proposed work.

Only manufacturers or contractors of established reputation, or their duly authorized dealers or agency, having proper facilities for the manufacture of the materials or equipment and for servicing same, or for proper execution of the work called for in the contract, will be considered in making the award.

1-7.6 Execution of Contract. A bidder whose proposal is accepted shall properly sign a written contract with the Agency on the form attached hereto and return said contract together with good and approved bonds and insurance certificates as required by the Contract Documents **within twenty-one (21) calendar days** from the date of the mailing of a notice from the Agency to the bidder, according to the address given by him, of acceptance of his proposal.

Contract bonds and certificates of insurance, if required, shall be filed in all instances before delivering any equipment, materials, or performing any work under the contract; also before any purchase order shall be issued. An executed Power of Attorney form shall be submitted with all contract bonds herein specified.

If a bidder whose proposal is accepted fails or refuses to enter into a contract as herein provided, or to conform to any stipulated requirement in connection therewith, the money represented by his check or bidder's bond shall be refunded less the difference between the low bid and the bid of the bidder with whom the Agency enters into an agreement in accordance with the provisions of the Public Contracts Code Section 20174. At the discretion of the Agency, an award may be made to the bidder whose proposal is next most acceptable to the Agency, and such bidder and his surety shall fulfill every stipulation embraced herein as if he were the party to whom the first award was made.

A corporation to which an award is made may be required before the contract is finally signed to furnish evidence of its corporate existence, of its right to do business in California and of the authority of the officer signing the contract and bonds for the corporation to so sign.

1-7.7 Return of Proposal and Guarantee. The check or bond of a bidder to whom the contract has been awarded will be returned to him after all of the acts, for the performance of which said security is required, have been fully performed. The checks or bid bonds of the second and third lowest bidders will be returned when the bidder to whom the contract has been awarded has properly executed all of the required Contract Documents. Check or bid bonds of other bidders will be returned when their proposals are rejected or in any event at the expiration of forty-five (45) days from the date of opening bids.

1-7.8 Precedence of Contract Documents. The order of precedence of contract document shall be:

FIRST	Requirements of law, including the Code and Ordinances of the City of Gardena.
SECOND	Permits from other agencies as may be required by law.
THIRD	Permits from City of Gardena Departments as may be required by law or ordinance.
FOURTH	The Contract.
FIFTH	The Bid Proposal.
SIXTH	Addenda.
SEVENTH	Notice Inviting Bids.
EIGHTH	Instructions to Bidders.
NINTH	Technical Provisions.
TENTH	Plans.
ELEVENTH	Special Provisions of the Standard Specifications.
TWELFTH	Standard Plans.
THIRTEENTH	Standard Specifications for Public Works Construction (current edition).
FOURTEENTH	Caltrans Standard Plans and Specifications.
FIFTEENTH	Reference Specifications.

Change orders, supplemental agreements and approved revisions to Plans and Specifications will take precedence over documents listed above, except those listed as FIRST, SECOND and THIRD. Detailed plans shall have precedence over general plans.

SECTION 2 – SCOPE OF THE WORK

2-2 PERMITS. The Contractor will obtain, at no cost to the Agency, all permits necessary to perform the work on streets, highways, railways or other rights-of-ways. The Contractor shall obtain and pay for all costs incurred for permits necessitated by its operations such as, but not

limited to those permits required for night work, overload, blasting and demolition. For private contracts, the Contractor shall obtain all permits incidental to the work or made necessary by its operations, and pay all costs incurred by the permit requirements.

The Contractor and each subcontractor employed upon the work must have or obtain a valid City of Gardena Business License in accordance with the provisions of the Gardena Municipal Code.

2.10 DISPUTED WORK.

2.10.1 Retention of Imperfect Work. If any portion of the work done or materials furnished under the contract proves defective or not in accordance with the specifications and contract drawings, and if the imperfection in the same is not of sufficient magnitude or importance to make the work dangerous or undesirable, or if the removal of such work is impracticable or will create conditions which are dangerous or undesirable in the opinion of the Engineer, the Engineer shall have the right and authority to retain the work instead of requiring it to be removed and reconstructed, but he shall make deductions therefor in the payment of the contract item due Contractor as may be just and reasonable.

2-11. DISPUTE RESOLUTION.

2-11.1 Requests for Contract Adjustments and Relief. If either Contractor or the Agency believes that it is entitled to relief against the other for any event arising out of or related to the work or Project, such party shall provide written notice to the other party of the basis for its claim for relief. Such notice shall, if possible, be made prior to incurring any cost or expense and in accordance with any specific notice requirements contained in the applicable sections of this Contract.

In the absence of any specific notice requirement, written notice shall be given within a reasonable time, not to exceed fourteen (14) days, after the occurrence giving rise to the claim for relief or after the claiming party reasonably should have recognized the event or condition giving rise to the request, whichever is later. Such notice shall include sufficient information to advise the other party of the circumstances giving rise to the claim for relief, the specific contractual adjustment or relief requested and the basis of such request.

2-11.2 Dispute Avoidance and Resolution. The parties are fully committed to working with each other throughout the Project and agree to communicate regularly with each other at all times so as to avoid or minimize disputes or disagreements. If disputes or disagreements do arise, Contractor and the Agency each commit to resolving such disputes or disagreements in an amicable, professional and expeditious manner so as to avoid unnecessary losses, delays and disruptions to the work under the Contract.

Contractor and the Agency will first attempt to resolve disputes or disagreements at the field level through discussions between Contractor's Representative and the Engineer.

If a dispute or disagreement cannot be resolved through the Contractor's Representative and the Engineer, Contractor's Chief Executive Officer or similar senior representative and the Gardena City Manager, or designee, upon the request of the other party, shall meet as soon as conveniently possible, but in no case later than twenty (20) days after such a request is made, to attempt to resolve such dispute or disagreement. Prior to any meeting between the parties' senior representatives, the parties will exchange relevant information that will assist the parties in resolving their dispute or disagreement.

If, after meeting, the senior representatives determine that the dispute or disagreement cannot be resolved on terms satisfactory to both parties, the parties may submit the dispute to binding

or non-binding mediation. The mediation shall be conducted in any manner and by any person or mediation association mutually acceptable to the parties.

2-11.3 Arbitration. Any claims, disputes or controversies between the parties arising out of or relating to the Contract, or the breach thereof, which have not been resolved in accordance with the procedures set forth in Section 9-4.2 above may be decided by binding or non-binding arbitration. The arbitration shall be conducted in any manner and by any person or arbitration association mutually acceptable to the parties.

2-11.4 Claims Disputes. Any claims of Contractor, as "claims" are defined in California Public Contract Code Section 9204 shall be processed in accordance with that section. Section 9204 provides in relevant part that upon receiving a claim from a contractor, together with reasonable documentation to support the claim, a contracting public entity shall conduct a reasonable review of the claim and, within a period not to exceed 45 days [except as otherwise provided in Section 9204], shall provide the claimant a written statement identifying what portion of the claim is disputed and what portion is undisputed.

Any payment due on an undisputed portion of the claim shall be processed and made within 60 days after the public entity issues its written statement. If the public entity fails to issue a written statement, Section 9-4.3 shall apply. If the contractor disputes the public entity's written response, or if the public entity fails to respond to a claim within the time prescribed, the contractor may demand in writing an informal conference to meet and confer for settlement of the issues in dispute.

Upon receipt of a demand in writing sent by registered mail or certified mail, return receipt requested, the public entity shall schedule a meet and confer conference within 30 days for settlement of the dispute. Within 10 business days following the conclusion of the meet and confer conference, if the claim or any portion of the claim remains in dispute, the public entity shall provide the claimant a written statement identifying the portion of the claim that remains in dispute and the portion that is undisputed.

Any payment due on an undisputed portion of the claim shall be processed and made within 60 days after the public entity issues its written statement. Any disputed portion of the claim of the claim, as identified by the contractor in writing, shall be submitted to nonbinding mediation, with the public entity and the contractor sharing the associated costs equally. The public entity and contractor shall mutually agree to a mediator within 10 business days after the disputed portion of the claim has been identified in writing. If the parties cannot agree upon a mediator, each party shall select a mediator and those mediators shall select a qualified neutral third party to mediate with regard to the disputed portion of the claim. Each party shall bear the fees and costs charged by its respective mediator in connection with the selection of the neutral mediator. If mediation is unsuccessful, the parts of the claim remaining in dispute shall be subject to other applicable procedures.

2-13 DRAWINGS AND SPECIFICATIONS ("RECORD" DRAWINGS). At all times, the Contractor shall maintain at the project a "Record" set of Drawings and Specifications to include all executed addenda, change orders, and field orders.

Prior to each progress payment the Contractor shall deliver to the Engineer, a set of contract drawings with all applicable "as constructed" notes placed/recorded thereon. Failure to provide "as constructed" plans will cause progress payment to be withheld until information is provided to City.

After completion of the work and before final payment, the Contractor shall deliver to the Engineer a complete set of contract drawings with all applicable "as constructed" noted placed/record thereon. The final form and detail of these as constructed plans are subject to the

acceptance of the Engineer.

2-14 MARKING REMOVAL. All markings placed by the Contractor, City, and Underground Service Alert (USA) during construction shall be removed at the completion of the work. These markings shall include, but not limited to, paint, stakes, and metal tags.

All cost associated with removal of markings shall be included in the bid prices for the applicable bid items. Failure of the Contractor to remove these markings shall be cause for the City to do the work and withhold the costs from the Contractor's final payment.

SECTION 3 – CONTROL OF THE WORK

3-5 INSPECTION. Inspection shall be made once a day for areas ready for inspection. Areas or items that fail inspection or that are not ready for inspection shall be rescheduled by the contractor.

Inspection of the work shall not relieve the contractor of the obligation to fulfill all conditions and requirements of the contract.

3-6 THE CONTRACTOR'S REPRESENATIVE. The Contractor shall furnish the Engineer with the name, address and cell/ business/home telephone numbers of the person responsible for the maintenance of barricades, traffic control signs, lights and other safety devices.

3-10 SURVEYING.

3-10.3 Line and Grade. Unless otherwise provided in the Technical Provisions, establishing lines and grades for construction shall be the responsibility of the Contractor, with the following provisions:

All work under this contract shall be built in accordance with the lines and grades shown on the plans. Field survey for establishing these, and for the control of construction, shall be the responsibility of the Contractor. All such surveys, including construction staking, shall be performed on all items ordinarily requiring grade and alignment, at intervals normally accepted by the agencies and trade involved.

The Contractor shall provide a copy of the office calculations and grade sheets to the Agency's Inspector. The Contractor shall be responsible for any error in the finished work, and shall notify the Engineer within 24 hours of any discrepancies or design errors discovered during staking.

Unless a separate bid item is provided, the payment for surveying, construction staking, professional services, office calculations, furnishing all labor, materials, equipment, tools and incidentals, and for doing all work involved shall be considered as included in the various items of work, and no additional compensation will be allowed therefor.

3-10.4 Permanent Survey Markers. The Contractor is required to locate and tie out survey monuments in the project area prior to construction involving street and highways, or City public right of way and to file with the County Surveyor a Corner Record of any such work. Prior to final payment and the issuance of a completion certificate, the Contractor is required to file a Corner Record for survey monumentation that is replaced. All such survey work shall be performed under the supervision of a California licensed Land Surveyor or a Civil Engineer authorized to perform such work.

The Contractor shall provide the Agency a copy of the office calculations and documents submitted to the County for filing in connection with the aforementioned work.

The payment for surveying, related professional services, office calculation, furnishing all labor, materials, equipment, tools and incidentals, and for doing all work involved shall be considered as included in the various items of work, and no additional compensation will be allowed therefor.

3-12 WORK SITE MAINTENANCE.

3-12.1 General. The Contractor shall keep the work site clean and free from rubbish and debris. The Contractor shall abate dust nuisance by cleaning, sweeping and sprinkling with water in keeping with the AQMD and NPDES requirements. Debris, soil or other matter shall not be washed into storm drains but shall be collected and disposed of in a legal, responsible manner. The construction area shall be cleaned with a power sweeper at the end of every workday and when deemed necessary by the Engineer.

The Contractor shall maintain drainage within and through the work areas. Earth dams will not be permitted in paved areas. Use temporary sandbags to control the site perimeter. At the completion of the project sandbags shall become the property of the City of Gardena and shall be remain in place.

The Contractor shall not spill on haul routes. Any such spillage shall be removed immediately and the area cleaned.

Stockpiling of construction materials or debris on City right-of-way shall be in accordance with the NPDES permit and shall be approved by the inspector. At the completion of work, the Contractor shall thoroughly clean all work areas.

3-12.2 Air Pollution and Surface Maintenance Control. The Contractor shall obtain a construction water meter from Golden State Water including required deposit and fees. The Contractor shall pay for the water used, at the current water rates. All arrangements for construction water shall be made by contractor with Golden State Water at Contractor expense.

3-12.4. Storage of Equipment and Material.

3-12.4.1 General. All costs associated with the disposal of all excavated or demolition materials, including any gate fees, shall be paid by the Contractor. These costs shall be included in the bid price for the applicable bid items.

Prior to any excavated or demolition material being removed from the construction site the Contractor shall notify the City as to the hauling route and destination for disposal. If the location for disposal is other than a county landfill then the Contractor shall provide the City with written permission and release of liability for the City from the owner of the property where the material will be deposited.

<u>The City has an exclusive agreement with Waste Resources, Inc. and no other firm may provide bulk trash bins in the event the work requires this service</u>.

3-12.4.2 Storage in Public Streets. Construction equipment shall not be stored at the construction site, any public street or publicly owned facilities without approval of the City. Contractor shall store equipment at a contractor's rental yard.

All excavated material that is to be hauled to and disposed of at a County landfill site by the Contractor is subject to a County gate fee based on tonnage.

3-12.5.4 Protection and Restoration of Existing Improvements. Any facilities,

structures, water lines, landscaping, surfaces, signs, pavement markings, painted curbs, house numbers, etc., which are damaged during construction shall be restored to the satisfaction of the City. Damaged water lines shall be repaired immediately at no additional cost to the city.

3-12.5.5 Access to Private Property. The Contractor shall be aware that business and residential access must be maintained at all times. The Contractor shall schedule operations to minimize interference with access to private property.

The main access way to any business or home shall not be completely blocked for more than one four-hour period a day except blockage shall be limited to one twenty-four (24) hour period when concrete is poured.

Temporary access ways shall be provided from the street to the main access way of all businesses and homes by use of traffic rated steel plates or any other method approved by the city.

Payment for this item shall be included in the applicable contract work item.

3-13 COMPLETION, ACEPTANCE, AND WARRANTY.

3-13.3 Warranty. In addition to the guarantees as required in Section 1-7.2 and 3-13.3 of the Standard Specifications, the Faithful Performance Bond shall remain in full force and effect for a period of one year after acceptance of the work by the Agency to insure that defects, which may appear within said period, will be repaired, replaced, or corrected by the Contractor, at his own cost and expense, to the satisfaction of the Engineer within thirty (30) days after written notice thereof by the Agency.

SECTION 4 – CONTROL OF MATERIAL

4-1 GENERAL.

4-1.1 Warranty of Title. No materials, supplies or equipment for the work under this Contract shall be purchased subject to any chattel mortgage or under a conditional sale contract or other agreement by which an interest therein or any part thereof is retained by the seller or supplier.

The Contractor warrants clear and good title to all materials, supplies and equipment installed and incorporated in the work, and agrees upon completion of all work to deliver the premises, together with all improvements and appurtenances constructed or placed thereon by him to the Agency free from any claims, liens, encumbrances or charges, and further agrees that neither he nor any person, firm or corporation furnishing any material or labor for work covered by the Contract shall have any right to a lien upon the premises or any improvement or appurtenance thereon; provided, that this shall not preclude the Contractor from installing metering devices or other equipment of utility companies the title of which is commonly retained by the utility company. Nothing contained in this section, however, shall defeat or impair the right of such persons furnishing materials or labor under any bond given by the Contractor for their protection, or any right under any law permitting such persons to look to funds due the Contractor, which are in the hands of the Agency.

The provisions of this section shall be inserted in all subcontractor's and material contracts, and notice of its provisions shall be given to all persons furnishing materials for the work when no formal contract is entered into regarding such materials.

SECTION 5 – LEGAL RELATIONS AND RESPONSIBLITIES

5-4 INSURANCE. In lieu of Section 5-4 of the Standard Specifications, refer to the City Contract Documents Section, CD-10, for detail requirements.

5-5 ANTITRUST CLAIMS. By entry into this Contract, Contractor hereby acknowledges the terms of Section 7103.5 of the Public Contract Code and hereby offers and agrees to assign to the Agency all rights, title and interest in all causes of action it may have as outlined above.

5-7 SAFETY.

5-7.4 Hazardous Substances. As required by Public Contract Code Section 7104, if this Contract involves digging trenches or other excavations that extend deeper than four (4) feet below the surface, Contractor shall promptly, and prior to disturbance of any conditions, notify the Agency of: (1) any material discovered in excavation that Contractor believes to be a hazardous waste that is required to be removed to a Class I, Class II or Class III disposal site; (2) subsurface or latent physical conditions at the site differing from those indicated by the Agency; and (3) unknown physical conditions of an unusual nature at the site, significantly different from those ordinarily encountered in such contract work. Upon notification, the Agency shall promptly investigate the conditions to determine whether a change order is appropriate. In the event of a dispute, Contractor shall not be excused from any scheduled completion date and shall proceed with all work to be performed under the Contract but shall retain all rights provided by the Contract and by law for making protests and resolving the dispute.

5-7.4.1 Edison Energized Conductors. Contractor hereby promises and agrees that in the performance of the work specified in this Contract, it will employ and utilized only qualified persons, as hereinafter defined, to work in proximity to Edison's secondary, primary and transmission facilities. The term "qualified person" is defined in Title 8, California Administrative Code, Section 2700, as follows:

> "Qualified Person: A person who by reason of experience or instruction is familiar with the operation to be performed and the hazards involved."
>
> Contractor further promises and agrees that the provisions of this section shall be and are binding upon any subcontractor or subcontractors that may be retained by it, and that Contractor shall take such steps as are necessary to assure compliance by said subcontractor or subcontractors with the requirements of this section.

5-7.4.2 Emergency Provisions. Unusual conditions may arise on the work which will require that immediate and unusual provision be made to protect the public from danger or loss or damage to life and property, due directly or indirectly to the prosecution of the work, and it is part of the service required of the Contractor to make such provisions and to furnish such protection.

Whenever, in the opinion of the Agency, an emergency exists of which the Agency is aware and against which the Contractor has not taken sufficient precaution for the safety of the public or the protection of utilities or of adjacent structures or property which may be injured by the progress of construction; and whenever, in the opinion of the Agency, immediate action shall be considered necessary in order to protect public or private personnel or property interests, or prevent likely loss of human life or damage on account of the operations under the Contract, then in that event the Agency may provide suitable protection to said interests by causing such work to be done and material to be furnished, as in the opinion of the Agency may seem reasonable and necessary, all at the expense of the Contractor.

6-1 CONSTRUCTION SCHEDULE AND COMMENCEMENT OF THE WORK

6-1.1 Construction Schedule. The Contractor's proposed construction schedule shall be submitted to the Engineer within fourteen (14) calendar days after the date of the contract execution. The schedule shall be supported by written statements from each supplier of materials or equipment indicating that all orders have been placed and acknowledged and setting forth the dates that each item will be delivered.

The Contractor shall include in his bid all costs to perform the work under this contract in stages. The Contractor shall begin and complete work in each stage prior to starting work in subsequent stages unless previous permission is obtained from the Engineer. The contractor shall stage the work to allow parking on the next adjacent streets. Restricting parking on multiple adjoining streets shall require approval of the engineer.

6-1.2 Commencement of the Work. City may establish a Notice to Proceed (NTP) date no later than thirty (30) calendar days after the date of the contract execution. Prior to issuing the Notice to Proceed, the Engineer will schedule a preconstruction meeting with the Contractor to review the proposed construction schedule and delivery dates, arrange utility coordination, discuss construction methods and clarify inspection procedures.

The names, addresses and telephone numbers of the Contractor and subcontractors, or their representatives, shall be filed with the Public Works Manager and the County Sheriff's Department or the City Police Department prior to beginning work.

The Contractor shall also notify the City of Gardena and the owners of all utilities and substructures within the Project area not less than 48 hours prior to starting construction. The following utility companies list of names and telephone numbers is intended for the convenience of the contractor and is not guaranteed to be complete or correct:

COMPANY	***CONTACT***	***TELEPHONE NO.***
Southern California Edison	Tricia Miller	626.533.0640
Southern California Gas	Melissa Fukunaga: Tech Services Planning: Attn - Lead Planner	213.231.7281
AT&T	Terence Little	626.817.4252
	Raymond Dover	310.515.4257
Gardena Police	Dispatch	310.3237911
L.A. County Fire Dept.		310.323.7911
Time Warner Communications	Arturo Fernandez	310.750.9099
Crown Castle	Hector Aguilera	951.454.5111
Waste Resources of Gardena	Lorena Rodriguez	310.366.7600
Golden State Water Co.	Conde Ventura	310.436.6950 x107
	Joseph Salcido	310.660.0320 x101
L.A. County Flood Control	Daryll Chenoweth	626.458.3129
L.A. Sanitation District	Jon Ganz	562.908.4288
Metropolitan Water District	Civil Eng. Substructures Section	213.217.7059
Chevron Pipeline	Dave Zerler	310.669.4014
Underground Service Alert		800.422.4133

The Contractor shall submit periodic Progress reports to the Engineer by the tenth day of each month. The report shall include an updated Construction Schedule. Any deviations from the original schedule shall be explained. Progress payments will be withheld pending receipt of any outstanding reports.

6-1.3 Working Day. The Contractor's working hours shall be limited to the hours between 8:00 A.M. and 4:00 P.M., Monday through Friday except holidays. Deviation from normal working hours will not be allowed unless written permission has been duly obtained beforehand from the office of the City Engineer. The Contractor shall provide adequate light for proper prosecution of the work, for the safety of the workmen and the public, and for proper inspection.

If the Contractor works beyond the allowed working hours without prior written approval from the Engineer, the Contractor may be charged Five Hundred ($500) for each occurrence as required by the Engineer. The amount will be deducted from a progress payment or bond.

Contractor hereby acknowledges and shall be required to comply with the provisions of California Labor Code Section 1810 et seq. According to those sections, eight (8) hours of labor shall constitute a legal day's work. Contractor shall pay to the Agency a penalty of Twenty-Five Dollars ($25.00) for each worker employed in the execution of this Contract by Contractor, or by any Subcontractor, for each calendar day during which such worker is required or permitted to work more than eight (8) hours in any calendar day or forty (40) hours in any one (1) calendar week, except when payment for overtime is made at not less than one and one-half (1-1/2) times the basic rate for that worker.

In the event of either a requested or emergency deviation, inspection service fees will be charged against the Contractor. The service fees will be calculated at overtime rates including benefits, overhead and travel time. The service fees will be deducted from any amounts due to the Contractor.

6-1.4 Notice and Service Thereof. Any notice required or given by one party to the other under the contract shall be in writing and shall be dated and signed by the party giving such notice or by a duly authorized representative of such party. Any such notice shall not be effective for any purpose whatever unless served in the following manner:

Notice shall be given to the Agency by personal delivery thereof to the City of Gardena Engineer or by depositing the same in the United States mail enclosed in a sealed envelope, registered and with postage prepaid, addressed to:

Public Works Department
City of Gardena
1717 W. 162nd Street
Gardena, CA 90247-3778

Notice shall be given to the Contractor by personal delivery thereof to said Contractor or to his authorized representative at the site of the project, or by depositing the same in the United States mail, enclosed in a sealed envelope addressed to said Contractor at the address established for the conduct of the work under this Contract, postage prepaid and registered.

Notice shall be given to the Surety, or any other person, by personal delivery to said Surety or other person, or by depositing the same in the United States Mail, enclosed in a sealed envelope addressed to such Surety or persons at the address of said Surety or persons last communicated to the party giving the notice, postage prepaid and registered.

Notification of Property Owners and Tenants - The Contractor shall notify each property owner and/or tenant in the project area in writing five (5) working days prior to the start of construction. If pedestrian or vehicular access to private property is to be blocked, the Contractor shall again notify each property owner and/or tenant in writing five (5) working days prior to construction activities. The Contractor shall provide additional notices when a lapse time occurs during each phase/segment work.

The written notice shall be submitted to the Engineer for approval prior to being delivered.

6-2 PROSECUTION OF THE WORK.

6-2.1 Contractor's Responsibility for Work. Until the formal acceptance of the work by the Agency, the Contractor shall have the charge and care thereof and shall, subject to the insurance protection furnished in accordance with the Section 1-7.6 and 5-4 hereof, bear the risk of accident, loss or damage to any part thereof by action of the elements or from any other cause, whether arising from the execution or from the non-execution of the work. The Contractor shall rebuild, repair, restore and otherwise correct damages to any portion of the work occasioned by any of the above causes before its acceptance.

In case of suspension of work from any cause whatever, the Contractor shall be responsible for all materials and the proper temporary storage thereof.

6-3 TIME OF COMPLETION.

6-3.1 General. The contract time shall begin per the City's written notification. Work must be completed within working days specified for the project. In addition, the Contractor shall notify the City 24 hours in advance of the actual commencement of work.

No work shall be undertaken during the City's holiday closures. It is the Contractor's responsibility to determine the City's closure dates.

6-9 LIQUDATED DAMAGES. The amount of liquidated damages is hereby amended to **$1,000** for each consecutive calendar day.

SECTION 7 – MEASUREMENT AND PAYMENT

7-1 MEASUREMENT OF QUANTITIES FOR UNIT PRICE WORK.

7-1.2 Method of Measure. The quantities shown on the Bid Schedule are approximate only. The Contractor will be paid for the actual quantities of work based on approved field measurements as provided for in these Specifications. The City reserves the right to increase or decrease the amount of any item or portion of work to be performed or materials furnished, or to delete any item, in accordance with the Specifications. Additional bid item work shall be completed within the total working days in these specifications. Additional working days maybe allowed with the approval of the engineer.

7-3 PAYMENT.

7-3.2 Partial and Final Payment. The closure date for periodic progress payments will be the twenty-fifth day of each month. Authorization to pay is commonly received on the tenth day of the following month. However, payments will be withheld pending receipt of any outstanding reports required by the Contract Documents.

7-3.3 Delivered Materials. The City will NOT honor or make any progress payments for materials ordered and delivered to the job site by the Contractor unless prior approval is obtained from the Engineer.

7-4 PAYMENT FOR EXTRA WORK.

7-4.3 EXTRA WORK. When work is performed on a "time and materials" basis, the following percentages shall be added to the Contractor's cost and shall constitute the markup for all overhead and profits:

1) Labor 20
2) Materials 15
3) Equipment Rental.....15
4) Other Items and Expenditures.....15

To the sum of the costs and markups provided for in this section, 1 percent shall be added as compensation for bonding.

When all or any part of the extra work is performed by a Subcontractor, the markup established above shall be applied to the Subcontractor's actual cost of such work. A markup of 10 percent on the first $5,000 of the subcontracted portion of the extra work and a markup of 5 percent on work added in excess of $5,000 of the subcontracted portion of the extra work may be added by the Contractor.

SECTION 8 – FACILITIES FOR AGENCY PERSONNEL

8-2 FIELD OFFICE FACILITIES. The Contractor shall provide the class of field office indicated below:

□ Class "A" □ Class "B" □ Class "C"

In the event none of the boxes are marked above, no specific field office will be required, and the use therefor of any field office will be at the Contractor's discretion. The location of any field office shall be as provided on the plans, in these Specifications or as designated by the Engineer.

END OF GENERAL PROVISIONS

TECHNICAL PROVISIONS

PREFACE: All work and materials shall conform to the "Standard Specification for Public Works Construction", 2021 edition, except as modified by the contract and these Technical Provisions.

Incidental Work - All work and materials required by the plans and specifications, and not specifically listed in the bid schedule items of work, shall be considered incidental and no additional payment shall be made therefore. Incidental items shall include, but not be limited to, mobilization and Best Management Practices for the protection of storm drain structures; adjusting utility access covers to grade; saw cutting; excavation and disposal of materials; survey; traffic control and coordination of utilities.

PART 2 – CONSRTUCTION MATERIALS

SECTION 200 – ROCK MATREIALS

200-2. UNTREATED BASE MATERIAL

200-2.1 General. The Contractor shall furnish Certified Weight Tickets for material delivered to the job site and deliver it to the Engineer or his representative before the end of the working day.

The City may hire a qualified soils engineer to perform all tests. If the material furnished by the Contractor fails any tests, the Contractor shall remove said material and shall complete the construction of the base with material acceptable to the Engineer at no extra cost to the City.

Costs for base material shall be incidental and included in the bid item of work for which it is required, and no additional payment will be allowed therefore.

SECTION 201 – CONCRETE, MORTAR, AND RELATED MATERIALS

201-1 PORTLAND CEMENT CONCRETE.

201-1.1.2 Concrete Specified by Class and Alternate Class. Concrete shall be 520-C-2500 for curb-gutter, curb ramps, driveways, sidewalk and concrete pavement. Curing compound shall be Type 2 (if required).

SECTION 203 – BITUMINOUS MATERIALS

203-6 ASPHALT CONCRETE.

203-6.4.1 Class and Grade. Asphalt hot mix shall be C2-PG64-10 for capping or finish course. Feather join edges shall be made along straight lines by hand raking out all heavy aggregates prior to rolling to produce a smooth uniform surface. Compacted edge along gutter lip shall be 3/8 inch in height.

PART 3 – CONSTRUCTION METHODS

SECTION 300 - EARTHWORK

300-1 CLEARING AND GRUBBING.

300-1.1.a General.

300-12 EXCAVATION. Roadway excavation shall include sawcutting, excavating, removing, hauling, and disposing of all soil materials, existing asphaltic concrete pavement, PCC pavement, subgrade and similar appurtenances which are to be removed for construction of the street reconstruction as shown on the Plans. Earthwork, subgrade preparation and finishing roadway shall confirm to the applicable requirements of Section 300 and 301 and other pertinent sections of the Standard Specifications for the various items involved. Payment for excavation shall be incidental and included in the appropriate unit price bid.

300-12.1 Asphalt Pavement Removal. The edges of asphalt pavement remaining in place shall be sawcut and shall have clean, solid vertical faces. The edges of asphalt pavement broken during construction shall be resawn and removed before surfacing material is placed at the expense of the Contractor.

All edges shall be parallel or perpendicular to curb faces except cuts around objects shall be on a curvilinear cut, a maximum 4 inches departure from the straight cut every 2 feet.

300-12.2 Concrete Removal. Concrete to be removed shall be sawcut to a minimum depth of 5 inches at score marks or as marked by the City. Sawed edges, broken or chipped during construction shall be resawn at the contractor's expense. Increase in concrete quantity due to resawing shall not be considered for payment. Upon concrete removal, the City Parks Superintendent shall be informed to check and approve all roots to be removed. If he determines the tree cannot be saved, removal and planting of a new tree shall be per unit cost.

All edges shall be parallel or perpendicular to curb faces except cuts around objects shall be on a curvilinear cut, a maximum of 4 inches departure from the straight cut within every 2 feet. The edges of Portland cement concrete remaining in place shall be sawcut and shall have clean, solid vertical faces.

Concrete removed shall be replaced within five (5) days after removal. All restorations shall be completed a maximum of five (5) days after concrete placement (i.e. backfill, grading of dirt, asphalt repave etc.) One Hundred ($100) dollars per calendar day and location shall be charged to the Contractor for failure to comply with the above schedule as required by the Engineer.

SECTION 302 – ROADWAY SURFACING

302-5 ASPHALT CONCRETE (AC) PAVEMENT.

302-5.1 General. The Contractor shall establish designated asphalt truck routes and staging areas and shall communicate these routes and areas to truck drivers prior to the arrival at the job site. This plan must be approved by the Engineer five (5) days prior to paving.

302-5.3 Prime Coat. Prime coat shall be applied to all subgrade surfaces prior to asphalt hot mix surfacing. The prime coat shall be Grade SC-250 liquid asphalt uniformity per Green Book requirements.

302-5.4 Tack Coat. Asphalt tack coat shall be applied to all existing asphalt surfaces prior to asphalt overlay.

Existing surfaces shall be cleaned utilizing a power sweeper and free of water prior to applying PG 64-10 or SS-1h asphalt tack coat per Green Book requirements. Tack coat shall uniformly cover all areas to be paved.

302-15 ASPHALT TRACKING PAVEMENT AND MITIGATION. The purpose of this section is to address any tracking related problems caused by the Contractor. The City requires that all streets adjacent to the project remain track free during and after construction. Contractor shall prevent and mitigate asphalt tracking on all adjacent surfaces. The use of water or any other methods approved by the Engineer may be utilized. If tracking is present at the end of the work day, the Contractor shall use steam cleaning and a vacuum truck to remove tracking from all affected areas to the satisfaction of the Engineer.

SECTION 314 – TRAFFIC STRIPING, CURB AND PAVEMENT MARKINGS, AND PAVEMENT MARKERS

314-1 GENERAL. Furnishing and installation of traffic markings shall include all work required to place raised pavement markers, thermoplastic material and curb paint. Legends and crosswalks shall consist of thermoplastic material with glass bead finish.

Striping work and materials shall conform to the provisions of the Standard Specifications of the State of California, Department of Transportation, latest edition, and the Traffic Manual of the State of California, Department of Transportation. Installation of traffic markings shall be completed within 5 working days of paving.

314-4 APPLICATION OF TRAFFIC STRIPING AND CURB AND PAVEMENT MARKING.

314-4.1 GENERAL. Each fire hydrant in the project area shall be marked by placing a double-sided raised pavement marker with reflective blue markings on each side. The marker and adhesive shall be equivalent to Caltrans pavement markers.

Place one marker 6 inches from street centerline toward hydrant on a line projected approximately perpendicular to curb. Place two markers if hydrant is on a corner, one on each street.

PART 4 – EXISTING IMPROVEMENTS

SECTION 400 – PROTECTION AND RESTORATION

400-2 PERMANENT SURVEY MARKERS. The Contractor shall provide all surveying to complete the project and to replace any damaged monuments, benchmarks, ties, etc. All survey work shall be performed by a Land Surveyor registered by the State of California. Work shall be laid out and constructed so as to provide smooth profiles to adjacent improvements and drainage of all surfaces.

AFTER CONSTRUCTION, all existing survey monuments and ties lost due to construction shall be reestablished by the Surveyor. A corner record of the monuments, benchmarks, ties, etc. established or reestablished shall be filed with the County Surveyor prior to the recordation of the Notice of Completion. A copy of the recorded corner records shall be given to the Engineer prior to final payment

SECTION 401 - REMOVAL

401-3. CONCRETE AND MASONRY IMPROVEMENTS.

401-3.2 Concrete Curb, Walk, Gutters, Cross Gutters, Curb Ramps, Driveway, and Alley Intersections. Refer to Appendix "A" for the locations.

Concrete sidewalk construction shall include removal and disposal of existing interfering structures, tree roots, objects, soil, etc. Contractor shall remove and replace any inadequate existing base material with compacted CMB.

Any damaged utility boxes, traffic signal pull boxes, etc., shall be replaced. All boxes shall be adjusted to grade and all costs for this work shall be incidental and included in this item of work.

Concrete curb and gutter construction shall include removal and disposal of existing interfering structures, objects, soil, etc.

Curb & gutter to be replaced shall be installed at the same location as the existing on a straight grade across the limits of the replacement.

Removal, disposal and construction of adjacent 2-feet wide asphalt hot mix paving (C2 PG64-10) over 6-inch thick C.A.B. shall be included.

Curb Ramp construction shall include removal and disposal of interfering structures, objects and soil. Ramp shall be 4" thick concrete over 6" thick C.A.B.

Included in this construction is the adjustment and protection of sweeps, conduits, pull boxes, utility access frames and covers to finished grade and protection of traffic detectors, stub-outs and homeruns. Traffic detectors damaged by the Contractor's operations shall be replaced at the Contractor's expense.

At locations where street lighting or traffic signal poles encroach into the curb ramp to be installed, concrete pedestals shall be constructed between finished grade and pole bases.

Removal, disposal and construction of adjacent curb & gutter, spandrel, cross gutter, and 24 in. wide hot mix asphalt paving (C2 PG64-10) over 6 in. thick C.A.B. shall be included. Ramp shall be poured separately from curb and gutter (min. 24hrs after curb and gutter).

Curb ramp (modified) shall be per Section 18, except concrete spandrel shall be sawcut 6" from curb face and minimum asphalt replacement will be required if any.

Driveways, approach, alley intersection, spandrels and cross gutters construction shall include removal and disposal of interfering structures, objects and soil.

Removal, disposal and construction of adjacent 2-feet wide hot mix asphalt paving (C2 PG64-10) over 6-inch thick C.A.B. shall be included.

SECTION 402 – UTILITES

402-2 PROTECTION. The Contractor shall provide coordination with all utility companies involved and shall provide protection from damage to their facilities. The Contractor shall be responsible for repair or replacement to said facilities made necessary by its failure to provide required protection.

The Contractor shall be solely responsible to check all utility record maps, books, and/or other data in the possession of the CITY, other agencies, and/or all utility companies, and no allowance shall be made for any failure to have done so.

The Contractor shall utilize the services of “Underground Service Alert-Southern California” for utility locating in all public right-of-ways by calling 811 or 1-800-227-2600 at least 48 hours prior to any excavation.

Underground lines that are potentially hazardous such as oil company lines, natural gas mains, and electrical conduits will be carefully located by the owner as provided in the Standard Specifications. The Contractor shall take special precautions in determining the precise location and depth of these structures and coordinate work with the utility to ensure that they will not be damaged by its operations.

SECTION 403 – MANHOLE ADJUSTMENT AND RECONSRTUCTION

403-1 GENERAL. Adjustment of utility access openings shall include all work required to set access frames and covers flush with pavement. Adjustment of utility access openings shall be incidental to the associated item of work, and no additional payment will be made therefore.

SECTION 404 – COLD MILLING

404-1 GENERAL. Payment for cold milling pavement shall be according to the square feet of surface approved for milling irrespective of the actual area milled, the depth of milling, the number of passes required, or the pavement material milled. **There will be no compensation for over milling.**

The City has investigated the street section and determined that pavement section has variable depths of asphalt and Portland cement concrete pavement, however, any presence of pavement fabric, petromat or irregular material shall be included in the bid item price for "cold milling" and no extra payment shall be made.

Areas of distorted pavement shall also be cold milled to a smooth uniform surface.

COLD MILLED AREAS SHALL NOT REMAIN UNPAVED OVER MORE THAN ONE WEEKEND.

PART 6 - TEMPORARY TRAFFIC CONTROL

SECTION 600 - ACCESS

600-1 GENERAL.

600-1.1 Public Convenience and Safety Access. The Contractor shall provide temporary "No Parking" and all other signs which are necessary for the safe and orderly conduct of vehicular traffic as directed by the Engineer and as specified herein. Contractor shall also provide an approval barricaded area in the parking lane for pedestrian traffic during such time as the parkway is unfit to be used for pedestrian traffic.

At such times as driveways are inaccessible due to the Contractor's work, they shall be blocked by two (2) Class II barricades or one (1) Class II barricade and two (2) delineators. Driveways that are ramped or planked for temporary access shall be provided with a barricade or delineator at each side. The Contractor shall give 24-hour notice to affected property owners prior to blocking any driveway.

The Contractor shall provide access for refuse collection on the regularly scheduled days. He shall also facilitate or assist in the collection where such work is hampered by his operations.

600-1.2 Street Closures, Detours, and Barricades. The Contractor shall not close any street within the City of Gardena without first obtaining the approval of the Engineer. Barricading, traffic control and detour diagrams in connection with street closures shall be submitted by the contractor as required by the Engineer.

The Contractor shall provide and install barricades, delineators, warning devices and construction signs in accordance with the California Manual of Temporary Traffic Controls or W.A.T.C.H. Handbook. During adverse weather or unusual traffic or working conditions additional traffic devices shall be placed as directed by the Engineer. All traffic signs and devices shall also conform to the California Manual of Temporary Traffic Controls or W.A.T.C.H. Handbook.

The Contractor shall provide and maintain Type II barricades along excavation edges parallel to the flow of traffic at a maximum spacing of twenty-five feet. Type II barricades mounted with flashers shall be installed around work areas in parkways. Type II barricades shall have alternating reflective orange and reflective white stripes at an angle of 45 degrees. The strip width shall be in accordance with Table 5-1 "Barricade Characteristics" "Manual of Traffic Controls for Construction and Maintenance Work Zones".

During paving operations, barricades may be supplemented with minimum size eighteen-inch high traffic cones and delineators such that spacing between barricades and/or cones or delineators is no greater than twenty feet. Traffic cones and delineators used within State right-of-way shall be a minimum size of twenty-eight inches high. At all access points such as intersecting streets, alleys and driveways, barricades and/or cones shall be provided at five-foot intervals so as to prevent vehicular access to the paving area. Where access from an intersecting street is prohibited, a "Road Closed" sign shall be provided at the nearest prior intersection. "No Left Turn" signs shall be provided wherever required by the Engineer.

When one-way access from a side street or alley is permitted, barricades and cones shall be provided at five-foot intervals for a distance of fifty feet on either side of the centerline of the intersecting street, or alley.

Should the Contractor fail to furnish a sufficient number of traffic and/or pedestrian safety devices, the Agency will place such necessary items and the Contractor shall be liable to the Agency for providing such devices in accordance with the following provisions:

1. For placing of barricades: $5.00 per barricade for the first day or any part thereof and $2.00 per barricade, per day, for each day thereafter or any part thereof. For flashers: $2.50 per flasher for the first day or any part thereof and $1.00 per flasher, per day, for each day thereafter or any part thereof. For traffic cones: $1.00 per cone for each day or any part thereof.

2. In the event that the services of the Agency are required between the hours of 5:00 P.M. and 8:00 A.M., during the normal week or at any time on Saturday, Sunday or a Agency holiday, there shall be an additional charge to the above set forth minimums of $188.00 for each service trip required.

Contractor shall relocate, preserve and maintain the visibility of all existing signs within the project limits which affect the flow of traffic, as directed by the Engineer. Any signs which are damaged or found to be missing during the course of construction shall be replaced by the Contractor at his expense as directed by the Engineer. All other signs that interfere with the course of work and are not necessary for the safe flow of traffic will be removed and replaced by the Agency. Traffic control signs include Stop Signs, Speed Limit, Parking Restrictions and other regulatory signs.

SECTION 601 – TEMPORARY TRAFFIC CONTROL FOR CONSRTUCTION AND MAINTENANCE WORK ZONES

601-1 GENERAL. A minimum of two (2) lanes (one lane in each direction) shall be maintained at all times for a continuous flow of traffic, except as otherwise approved by the Engineer.

Lane closures shall be allowed between 8:00a.m. and 4:00p.m. only. No traveled lane shall be closed overnight without prior City approval. Access to private property shall be maintained at all times.

"Temporary No Parking" signs shall be posted no more than 100 feet apart at least 72 hours prior to work. The signs shall be mounted on either 1” x 2” X 3’ high wood stakes, Type II barricades, or 39-inch high delineators. Signs shall not be posted on trees, traffic signal poles, utility poles, streetlights, or any other street furniture. Signs shall be professionally made of moisture-resistant, heavy duty cardboard or other approved material. "Temporary No Parking" signs shall be maintained by the contractor at all times and shall be approved by the Engineer prior to posting. Cover existing street signs as directed by the Engineer.

"Temporary No Parking" signs shall be implemented for one week only (M-F) at a time. Signs shall be removed and reposted each week as needed and approved by the City.

DURING PAVING OPERATIONS, THE CONTRACTOR SHALL PROVIDE INDIVIDUALS AND EQUIPMENT DESIGNATED TO PERFORM AND MAINTAIN TRAFFIC CONTROL ONLY. The Contractor shall furnish, place and maintain all temporary traffic control devices required for the safe and orderly flow of vehicular and pedestrian traffic during construction. All Traffic control shall conform to the California Manual of Temporary Traffic Controls (California M.U.T.C.D.) or Work Area Traffic Control Handbook (W.A.T.C.H. Handbook).

If traffic control measures are not in conformance with these provisions, the project shall be stopped until conformance is attained to the satisfaction of the Engineer.

At locations where excavations are left open overnight, flashing barricades shall be placed along the excavation at a maximum spacing of 20 feet. A minimum of 3 flashing barricades shall be placed at any one excavation.

Temporary striping will be permitted only on base course and pavement to be overlaid. Temporary pavement markings to be placed on new asphalt shall be spaced at 25 ft maximum and shall be removable without damage to the new overlay. Method of temporary markings shall be submitted to the Engineer for approval at the preconstruction meeting.

The Contractor shall submit and obtain written approval of traffic control plans from the Engineer five (5) working days prior to implementing.

Temporary lane closures shall be allowed during working hours specified in these Technical Provisions. Temporary lane closures maintained beyond the normal working hours may have a negative economic effect on the local residential, commercial/industrial business, and traveling public. Unless the Contractor secures prior written approval from the Engineer to maintain temporary lane closures beyond the working hours allowed, the Engineer may deduct a fee from a progress payment or bond for each temporary lane closure maintained beyond the allowed working hours. The fee will be accessed at a rate of Five Hundred ($500) per each travel lane per each thirty (30) minute interval, or fraction thereof as required by the Engineer. In no event will work be allowed past 5 p.m.

PART 8 – LANDSCAPING AND IRRIGATION

SECTION 801 – INSTALLATION

801-4 PLANTING.

801-4.5 Tree and Shrub Planting. Tree species shall be 24” box (species as noted). Payment for this item shall include the following:

A. All material and work for planting of the tree.
B. One-year maintenance period. If a tree requires replacement within the on year maintenance period, the new tree shall also have a one year maintenance period from the date of acceptance.

Note: City will tag trees prior to installation. Total maximum distance to tag all trees shall be limited to 80 miles roundtrip and 3 locations. Otherwise, trees shall be brought to the City for approval prior to planting. Rejected trees shall be removed from the job site immediately.

801-4.5.1 Tree Removal. Remove and dispose of existing tree, stump and roots are supplemental provisions to Section 300-1.2 and 300-1.3 of the Standard Specifications. Grind roots minimum of 12" from top of grade. Backfill with select material and prepare for P.C.C. construction or tree replacement where shown.

801-6 MAINTENANCE AND PLANT ESTABLISHMENT. Maintenance period shall be one year and shall commence after work has been completed and approved by the City of Gardena Council.

All trees shall be guaranteed by the contractor for the maintenance period. Contractor liability shall cover cost of labor, equipment and materials to replace trees of similar size during the covered period.

END OF TECHNICAL PROVISIONS

PEDESTRIAN SAFETY IMPROVEMENT 2021/2022
J.N. 993

NO.	ADDRESS	W	L	S/W (S.F.)	APCH (S.F.)	CURB & GUTTER (L.F.)	REMOVE TREE (EA.)	PLANT TREE (EA.)	TREE TO BE PLANTED	COMMENTS
1	**2101 134th Pl**	4	44	176						Complaint log.
2	**2140 134th Pl**	4	35	140	98					
3	**2627 144th St**	4	138	552			1	1	Crepe Myrtle	
4	**2806 144th St**	4	50	200		40				
5	**1819 148th St**	4	32	128			1	1	Crepe Myrtle	
6	**1820 148th St**	4	37	148			1	1	Crepe Myrtle	
7	**1826 148th St**					19	1	1	Crepe Myrtle	
8	**1833 148th St**	4	32	128			1	1	Crepe Myrtle	
9	**1854 148th St**	4	10	40						
10	**1907 148th St**	4	15	60						
11	**1915 148th St**	4	28	112			2	2	Purple Plum	
12	**1933 148th St**	4	26	104			2	2	Purple Plum	
13	**1945 148th St**	4	46	184						
14	**1950 148th St**	4	20	80			1	1	Crepe Myrtle	
15	**Deleted**									
16	**Deleted**									
17	**Deleted**									

NOTE: SOME LOCATIONS MAY CHANGE OR BE DELETED. ALL AREAS ARE APPROXIMATE. ACTUAL LIMITS SHALL BE FIELD MARKED BY THE CITY.

PEDESTRIAN SAFETY IMPROVEMENT 2021/2022
J.N. 993

NO.	ADDRESS	W	L	S/W (S.F.)	APCH (S.F.)	CURB & GUTTER (L.F.)	REMOVE TREE (EA.)	PLANT TREE (EA.)	TREE TO BE PLANTED	COMMENTS
18	**Deleted**									
19	**1816 150th St**	4	32	128						
20	**1829 150th St**	4	24	96			1	1	Crepe Myrtle	
21	**1830 150th St**	4	12	48						
22	**1836 150th St**	4	24	96						
23	**2527 152nd St**	4	60	240			1	1	Purple leaf Plum	
24	**2609 152nd St**	4	8	32						
25	**2821 152nd St**	4	33	132			1	1	Crepe Myrtle	
26	**2301 154th St**	4	108	432		68	3	3	Crepe Myrtle	Damage on Spinning side of residence.
27	**2616 154th St**	5	23	115			1	1	Crepe Myrtle	r/r of the Western most of 3 trees
28	**Deleted**					15				
29	**Deleted**									
30	**Deleted**									
31	**Deleted**									
32	**Deleted**									
33	**15936 Ardath Ave**	4	20	80						

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PEDESTRIAN SAFETY IMPROVEMENT 2021/2022
J.N. 993

NO.	ADDRESS	W	L	S/W (S.F.)	APCH (S.F.)	CURB & GUTTER (L.F.)	REMOVE TREE (EA.)	PLANT TREE (EA.)	TREE TO BE PLANTED	COMMENTS
34	**15940 Ardath Ave**	4	24	96		35				
35	**16008 Ardath Ave**	4	37	148		104				
36	**16019 Ardath Ave**	4	32	128	60					
37	**15905 Atkinson Ave**	4	14	56						
38	**15923 Atkinson Ave**	4	12	48						
39	**16012 Atkinson Ave**	4	34	136						
40	**16013 Atkinson Ave**	4	21	84						
41	**16103 Atkinson Ave**	4	10	40						
42	**16116 Atkinson Ave**	4	17	68						
43	**16123 Atkinson Ave**	4	8	32						
44	**15101 Berendo Ave**	4	28	112			1			No replant, corner house, hides view
45	**15103 Berendo Ave**	4	24	96						
46	**15105 Berendo Ave**	4	20	80			1	1	Evergreen Pear	
47	**15109 Berendo Ave**	4	30	120						
48	**Deleted**									
49	**Deleted**									

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PEDESTRIAN SAFETY IMPROVEMENT 2021/2022
J.N. 993

NO.	ADDRESS	W	L	S/W (S.F.)	APCH (S.F.)	CURB & GUTTER (L.F.)	REMOVE TREE (EA.)	PLANT TREE (EA.)	TREE TO BE PLANTED	COMMENTS
50	**Deleted**									
51	**Deleted**									
52	**Deleted**									
53	**Deleted**									
54	**15315 Catalina Ave**	5	19	95			1	1	Crepe Myrtle	DO FOR SURE
55	**15403 Catalina Ave**	5	46	230		34	1	1	Crepe Myrtle	DO FOR SURE
56	**15407 Catalina Ave**	5	25	125		35	1	1	Crepe Myrtle	DO FOR SURE
57	**15413 Catalina Ave**					19	1	1	Crepe Myrtle	DO FOR SURE
58	**15427 Catalina Ave**					38	1	1	Crepe Myrtle	DO FOR SURE
59	**13500 Daphne Ave**	4	30	144			1	1	Bradford Pear	
60	**13504 Daphne Ave**	4	20	80						
61	**13505 Daphne Ave**	4	24	96						
62	**13804 Daphne Ave**	4	27	108						
63	**14801 Kingsley Dr**	4	26	104			1	1	Crepe Myrtle	
64	**14811 Kingsley Dr**	4	12	48		40	1	1	Crepe Myrtle	
65	**14703 Kinsgley Dr**	4	32	128		33	2	2	Crepe Myrtle	
66	**14704 Kinsgley Dr**	4	51	204		49	2	2	Crepe Myrtle	

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NO.	ADDRESS	W	L	S/W (S.F.)	APCH (S.F.)	CURB & GUTTER (L.F.)	REMOVE TREE (EA.)	PLANT TREE (EA.)	TREE TO BE PLANTED	COMMENTS
67	**14709 Kinsgley Dr**	4	38	152		37	1	1	Crepe Myrtle	
68	**2724 Manhattan Bch Blvd**					50				**Complaint log.**
69	**15819 Marigold Ave**	4	47	188						
70	**14916 Miller Ave**					20				
71	**13003 Purche Ave**	4	28	112						
72	**13011 Purche Ave**	4	32	128						
73	**13027 Purche Ave**	4	47	188						
74	**13103 Purche Ave**	4	50	200						
75	**13107 Purche Ave**	4	29	116						
76	**14507 Purche Ave**	4	32	128			1	1	Crepe Myrtle	
77	**14522 Purche Ave**					20				
78	**15216 Purche Ave**	4	26	104			1	1	Bronze Loquat	
79	**15223 Purche Ave**	4	35	140			1	1	Bronze Loquat	
80	**15233 Purche Ave**	4	12	48			2	2	Bronze Loquat	
81	**15317 Purche Ave**					40				
82	**15323 Purche Ave**					25				

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PEDESTRIAN SAFETY IMPROVEMENT 2021/2022
J.N. 993

NO.	ADDRESS	W	L	S/W (S.F.)	APCH (S.F.)	CURB & GUTTER (L.F.)	REMOVE TREE (EA.)	PLANT TREE (EA.)	TREE TO BE PLANTED	COMMENTS
83	**1516-1542 Redondo Bch Blv**	8	40	360						DO FOR SURE - PROTECT BUS STOP
84	**14413 Roxton Ave**	4	24	96						
85	**14503 Roxton Ave**	4	30	120						
86	**14509 Roxton Ave**	4	16	64						
87	**15238 Spinning Ave**	4	32	128						
88	**15243 Spinning Ave**	4	29	116						
89	**15303 Spinning Ave**	4	20	80			1	1	Crepe Myrtle	Complaint log.
90	**15605 Van Buren Ave**				60	30	1	1	Crepe Myrtle	DO FOR SURE
91	**15609 Van Buren Ave**	4	43	172			1	1	Crepe Myrtle	DO FOR SURE
92	**15613 Van Buren Ave**	4	20	80			1	1	Crepe Myrtle	DO FOR SURE
93	**15617 Van Buren Ave**	4	45	180		30	1	1	Crepe Myrtle	DO FOR SURE
94	**15621 Van Buren Ave**	4	9	36			1	1	Crepe Myrtle	DO FOR SURE
95	**13104 Wilkie Ave**					15	2	2	Flowering Plum	Complaint log.
96	**13201 Wilkie Ave**	4	39	156	84		1	1	Flowering Plum	Damage on 132nd side.
97	**13505 Wilkie Ave**	4	20	80						
98	**13508 Wilkie Ave**	4	47	188						
99	**13509 Wilkie Ave**	4	12	48						

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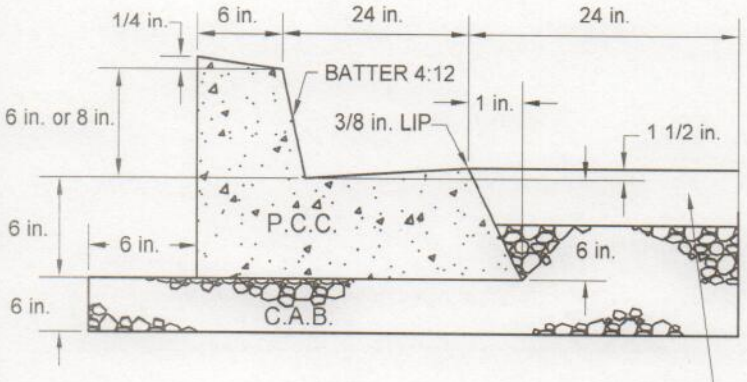
PEDESTRIAN SAFETY IMPROVEMENT 2021/2022
J.N. 993

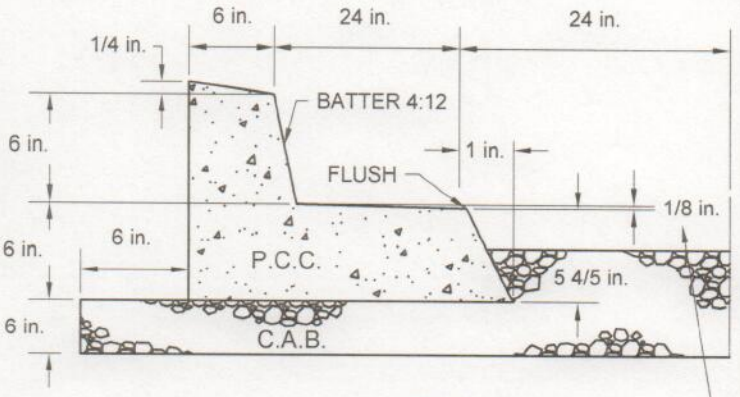
NO.	ADDRESS	W	L	S/W (S.F.)	APCH (S.F.)	CURB & GUTTER (L.F.)	REMOVE TREE (EA.)	PLANT TREE (EA.)	TREE TO BE PLANTED	COMMENTS
100	**13516 Wilkie Ave**	4	20	80						
101	**13604 Wilkie Ave**	4	16	64						
102	**13804 Wilkie Ave**	4	23	92						
103	**13813 Wilkie Ave**	4	36	144		27	1	1	Crepe Myrtle	**Complaint log.**
104	**149th St w/o Western Ave.**			300		30	2	1		Work Per plan.

NOTE: SOME LOCATIONS MAY CHANGE OR BE DELETED. ALL AREAS ARE APPROXIMATE. ACTUAL LIMITS SHALL BE FIELD MARKED BY THE CITY.



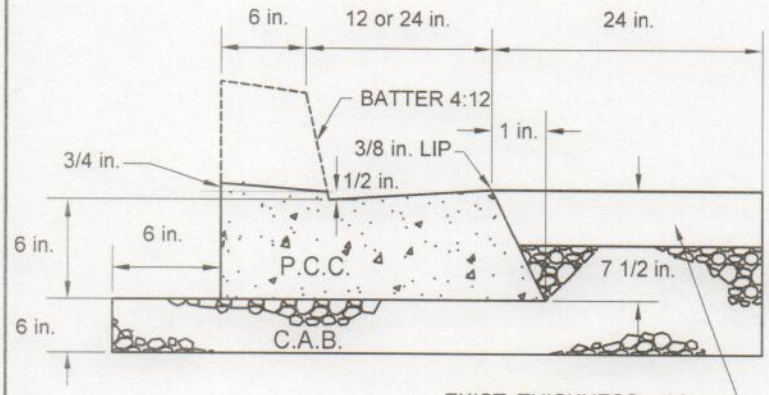
C-1

EXIST. THICKNESS + 1 in.
3 in. MIN. C2 PG 64-10
ASPHALT CONCRETE



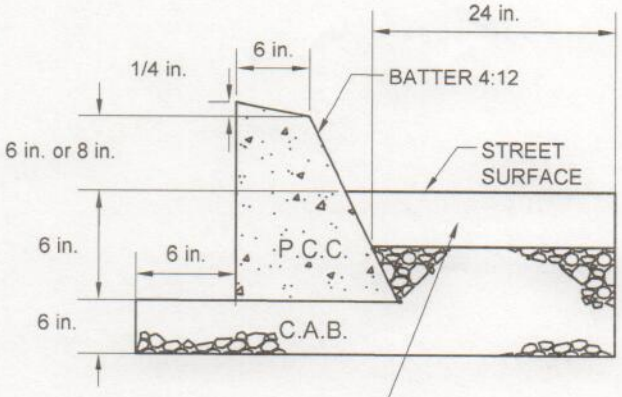
C-3

EXIST. THICKNESS + 1 in.
3 in. MIN. C2 PG 64-10
ASPHALT CONCRETE



C-2

EXIST. THICKNESS + 1 in.
3 in. MIN. C2 PG 64-10
ASPHALT CONCRETE



C-4

EXIST. THICKNESS + 1 in.
3 in. MIN. PG 64-10
ASPHALT CONCRETE

NOTES:

1. 1/2 IN. EXPANSION JOINTS SHALL BE PLACED EVERY 60 FT. WEAKENED PLANE JOINTS PLACED EVERY 20 FT.
2. BASE SHALL BE CRUSHED AGGREGATE BASE PER THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" LATEST EDITION.
3. PORTLAND CEMENT CONCRETE SHALL BE 520-C-2500 PER "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" LATEST EDITION.
4. ALL EXPOSED CORNERS ON P.C.C. CURBS AND GUTTERS TO BE ROUNDED WITH 3/4 IN. RADIUS.
5. ALL ASPHALT CONCRETE AND P.C.C. TO BE REMOVED SHALL BE SAWCUT AT REMOVAL LIMITS. (MIN 5 IN. SAWCUT.)

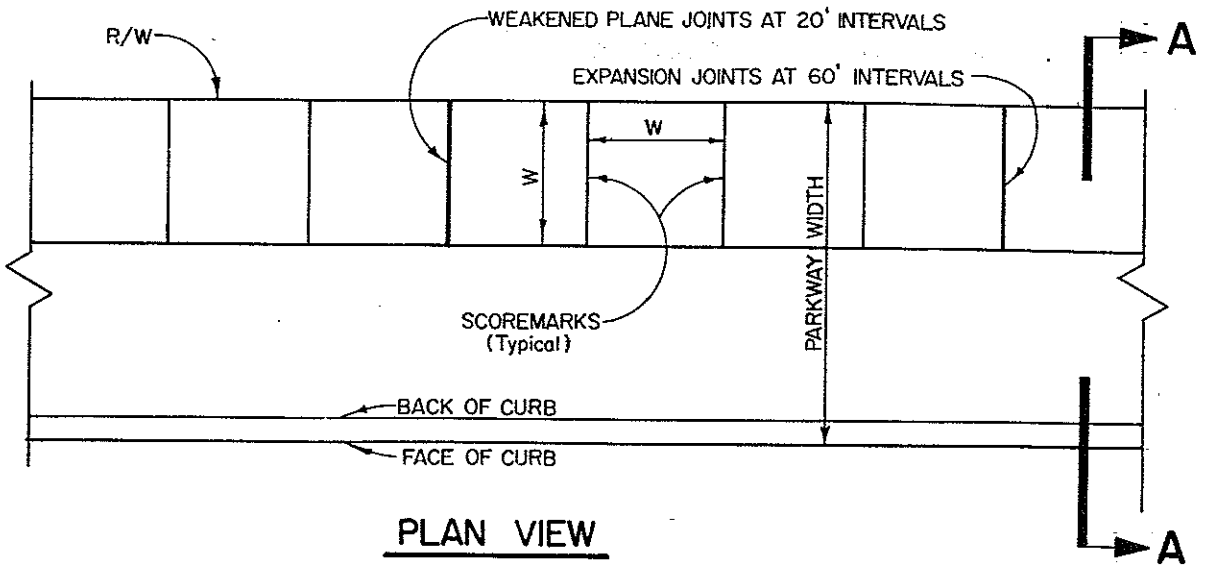
CITY OF GARDENA | PUBLIC WORKS DEPARTMENT | ENGINEERING DIVISION

TITLE: CURB AND GUTTER

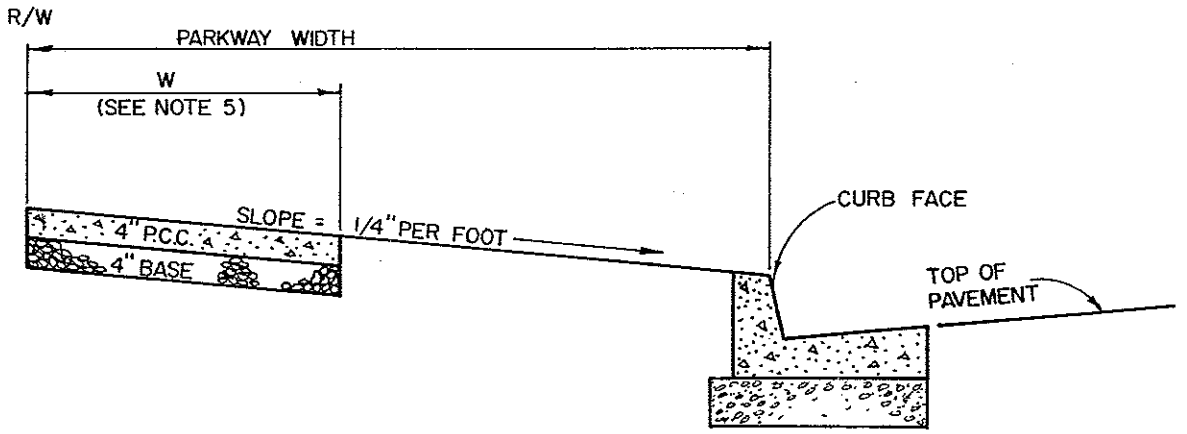
APP. BY: J. Rudd — CITY ENGINEER — 5/27/2015 — DATE

DESIGNED BY	JC	5/6/15
DRAWN BY	RS	5/6/15
CHECKED BY	JF	5/6/15

DWG. NO. ST - 7



PLAN VIEW



SECTION A-A

NOTES:

1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION."
2. WHERE EXISTING CONCRETE IS TO BE REMOVED, IT SHALL FIRST BE SAWCUT AT THE NEAREST SCOREMARK.
3. BASE SHALL BE CRUSHED MISC. BASE PER "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION"
4. "W" SHALL BE A MINIMUM OF 5' ON ARTERIAL & COLLECTOR STREETS, AND A MINIMUM OF 4' ON LOCAL STREETS.
5. FULL PARKWAY SIDEWALK, CONSTRUCTED PER STANDARD ST-5B, IS PERMITTED FOR MULTIPLE RESIDENTIAL ZONES WHICH FRONT ON ARTERIAL OR COLLECTOR STREETS.
6. NO SAWCUT ON CONTROL LINES.

NOTE:
NEW SIDEWALKS WILL REQUIRE CRUSHED MISCELANEOUS BASE.
SIDEWALKS (REPLACEMENT OF SIDEWALK) RECOMPACT EXISTING BASE MATERIAL.

CITY OF GARDENA — ENGINEERING DIVISION

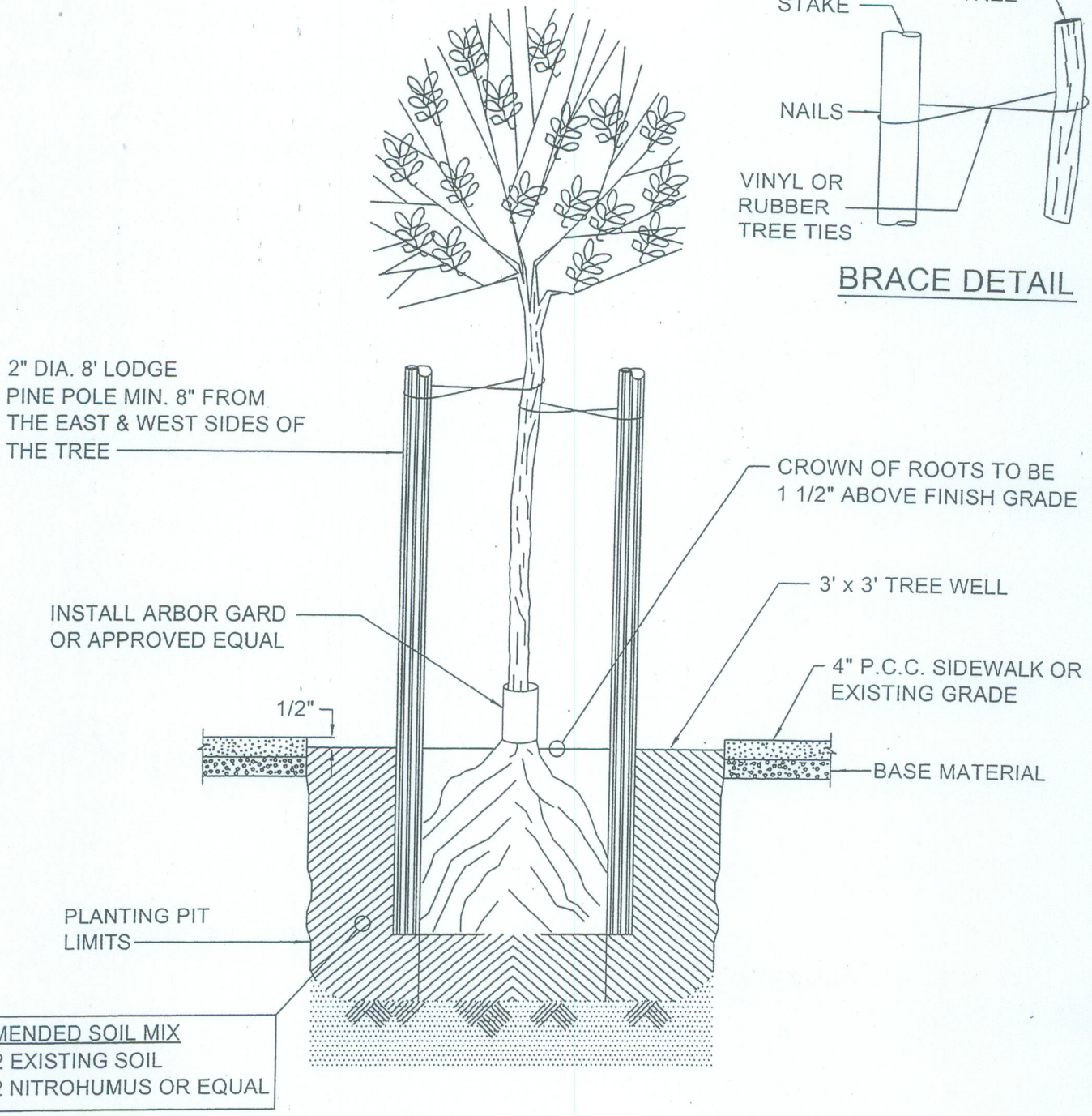
TITLE: **RESIDENTIAL SIDEWALK**

APP. BY: [signature] 12/16/98 DATE

DESIGNED BY		
DRAWN BY	A.W.D.	12/16/98
CHECKED BY		

DWG. NO. ST - 5A

BRACE DETAIL



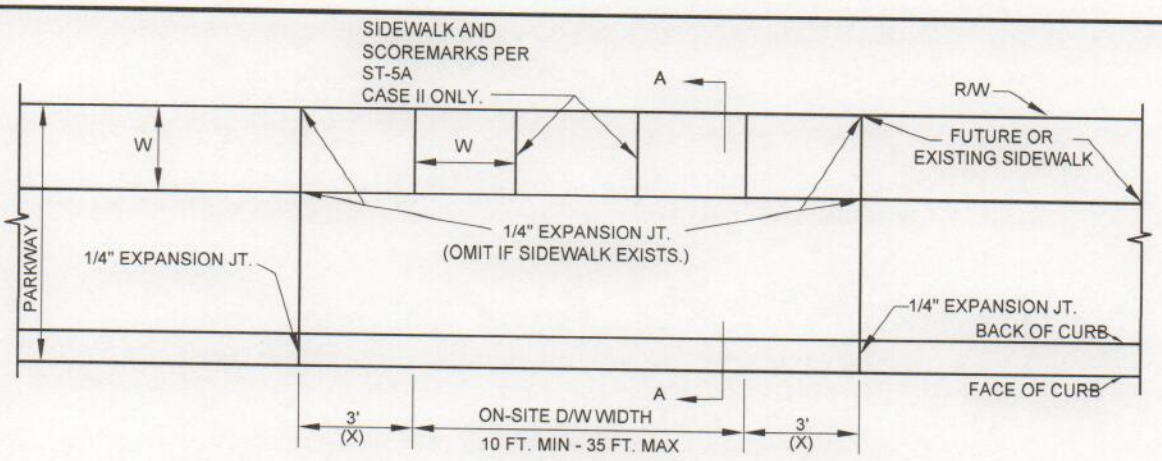
CITY OF GARDENA — ENGINEERING DIVISION

TITLE: **TREE PLANTING DETAIL**

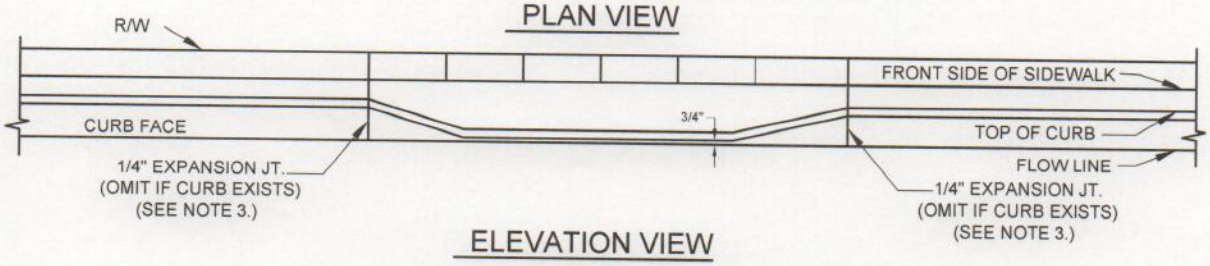
APP. BY: J. Osborne 12-16-08 DATE

DESIGNED BY	JO	11-25-2008
DRAWN BY	RS	11-25-2008
CHECKED BY	JF	11-25-2008

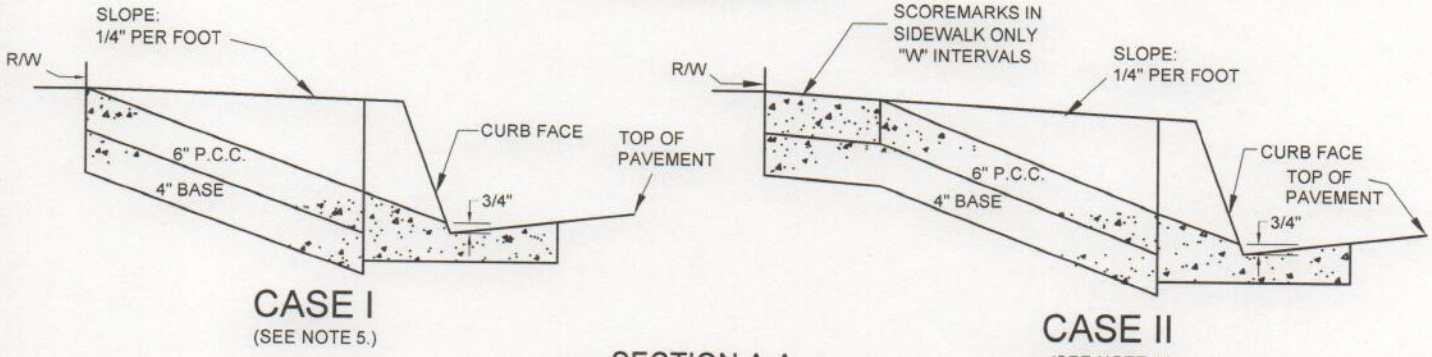
DWG. NO. **ST - 11**



PLAN VIEW



ELEVATION VIEW



CASE I
(SEE NOTE 5.)

SECTION A-A

CASE II
(SEE NOTE 4.)

NOTES:

1. MINIMUM 20' OF FULL HEIGHT CURB REQUIRED BETWEEN DRIVEWAYS SERVING THE SAME LOT.
2. NO MORE THAN 60% OF LOT FRONTAGE SHALL BE USED FOR DRIVEWAY.
3. SAWCUT EXISTING CURB AT TOP OF "X" FOR JOIN.
4. WHEN PARKWAY IS 10' OR MORE, MEET SIDEWALK GRADE AT FRONT OF SIDEWALK.
5. WHEN PARKWAY IS LESS THAN 10', STRAIGHT GRADE FROM CURB DEPRESSION TO BACK OF SIDEWALK. REMOVE INTERFERING EXISTING SIDEWALK.
6. BASE SHALL BE CRUSHED AGGREGATE BASE PER "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" LATEST EDITION.
7. PORTLAND CEMENT CONCRETE SHALL BE CLASS 520-C-2500 PER "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" LATEST EDITION.
8. COARSE BROOM FINISH ON DRIVEWAY.
9. FINE HAIR BROOM FINISH ON SIDEWALK-CASE II ONLY.
10. 2' OF ASPHALT TO BE REMOVED WHEN REPLACING CURB AND GUTTER PORTION OF DRIVEWAY

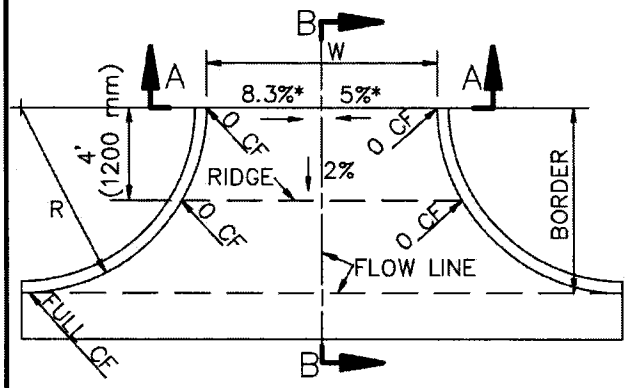
CITY OF GARDENA | DEPARTMENT OF PUBLIC WORKS | ENGINEERING DIVISION

TITLE: RESIDENTIAL DRIVEWAY

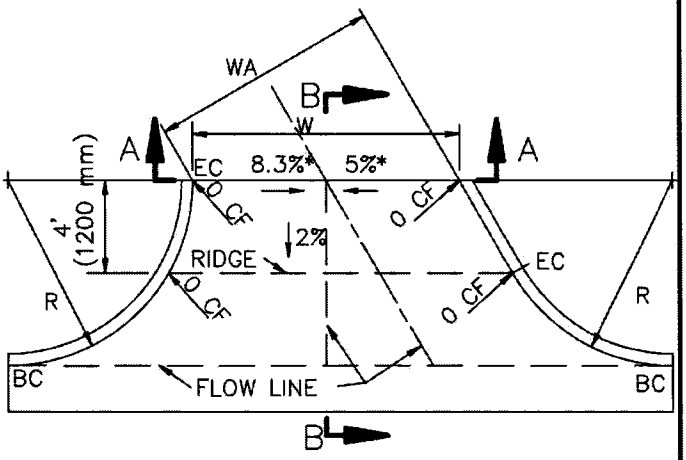
APP. BY: _____ CITY ENGINEER — DATE: June 17, 2015

DESIGNED BY	JC	5/6/15
DRAWN BY	RS	5/6/15
CHECKED BY	JF	5/6/15

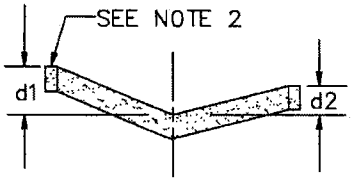
DWG. NO. ST-2



STANDARD APPROACH



ANGLED APPROACH



SECTION
A–A

SECTION
B–B

W, ft W, mm	8' (2400mm)	10' (3000mm)	15' (4500mm)	20' (6000mm)	25' (7500mm)	30' (9000mm)
d1, ft MAX	0.33' (100 mm)	0.42' (125 mm)	0.63' (188 mm)	0.83' (250 mm)	1.04' (313 mm)	1.25' (375 mm)
d2, ft MIN	0.17' (50 mm)	0.25' (75 mm)	0.25' (75 mm)	0.25' (75 mm)	0.25' (75 mm)	0.25' (75 mm)

NOTES:

1. FOR CASE A, THE RADIUS OF THE CURB RETURN, R, IS EQUAL TO THE PARKWAY WIDTH.
2. ALLEY INTERSECTION SHALL BE PCC, CLASS 520–C–2500 (310–C–17), 6" (150 mm) THICK. CURB SHALL BE INTERGRAL TYPE "A".
3. ASTERISKS, *, SHOW MAXIMUM GRADES.

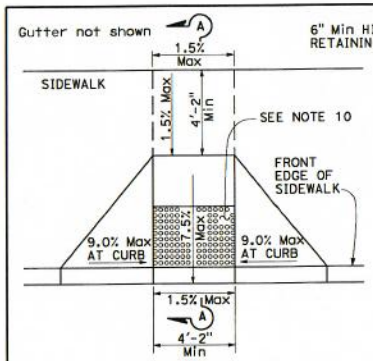
STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION

PROMULGATED BY THE
PUBLIC WORKS STANDARDS INC.
GREENBOOK COMMITTEE
1984
REV. 1996, 2009

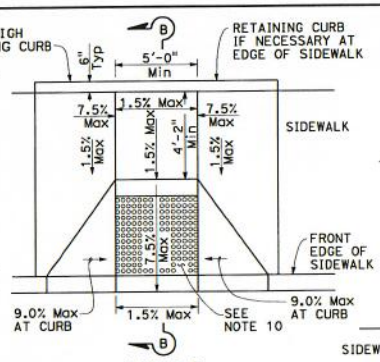
ALLEY INTERSECTION

USE WITH STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION

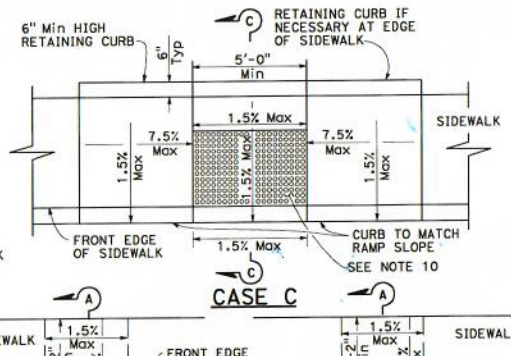
STANDARD PLAN
130–2
SHEET 1 OF 1



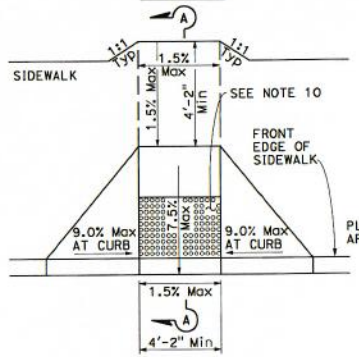
CASE A



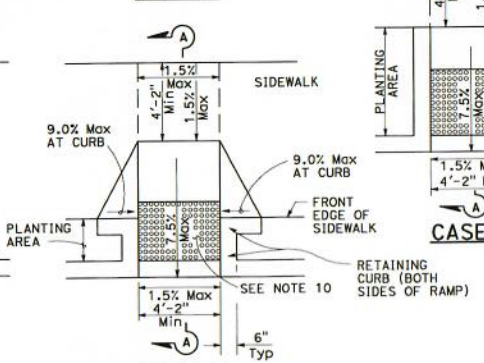
CASE B



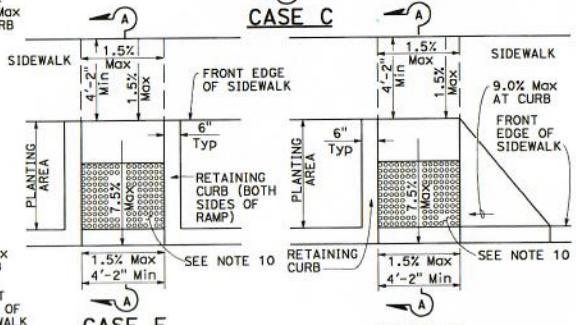
CASE C



CASE D



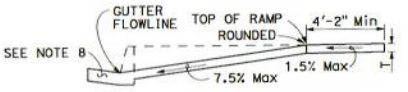
CASE E



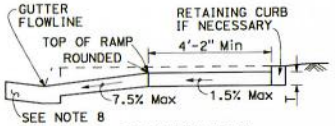
CASE F

CASE G

See Note 4

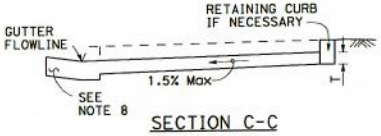


SECTION A-A

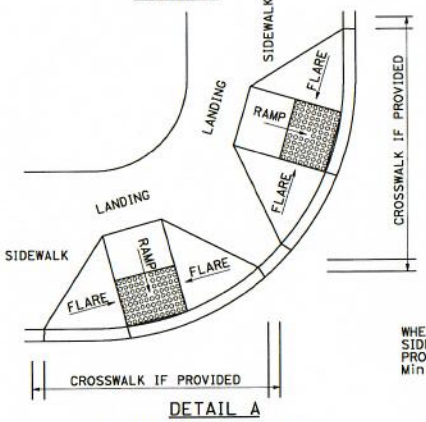


SECTION B-B

Depress entire sidewalk as required



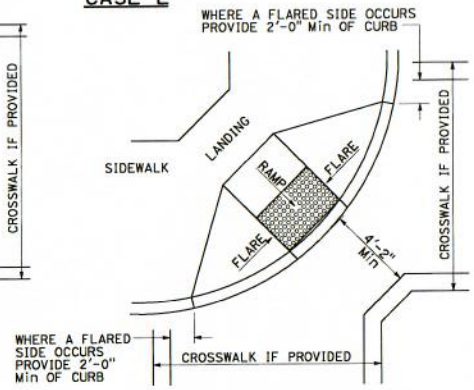
SECTION C-C



DETAIL A

TYPICAL TWO-RAMP CORNER INSTALLATION

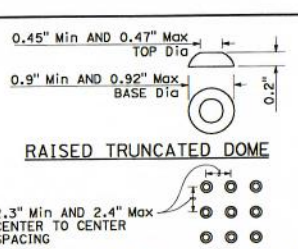
See Note 1



DETAIL B

TYPICAL ONE-RAMP CORNER INSTALLATION

See Notes 1 and 3



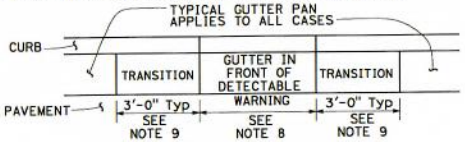
RAISED TRUNCATED DOME

RAISED TRUNCATED DOME PATTERN (IN-LINE)

DETECTABLE WARNING SURFACE

NOTES: See Note 10

1. As site conditions dictate, Case A through Case G curb ramps may be used for corner installations similar to those shown in Detail A and Detail B. The case of curb ramps used in Detail A do not have to be the same. Case A through Case G curb ramps also may be used at mid block locations, as site conditions dictate. For specific site condition configuration, including the conform to existing sidewalk, see Project Plans.
2. If distance from curb to back of sidewalk is too short to accommodate ramp and 4'-2" platform (landing) as shown in Case A, the sidewalk may be depressed longitudinally as in Case B or C or may be widened as in Case D.
3. When ramp is located in center of curb return, crosswalk configuration must be similar to that shown for Detail B.
4. As site conditions dictate, the retaining curb side and the flared side of the Case G ramp shall be constructed in reversed position.
5. The ramp portion of the curb ramp is a typical rectangle, unless modified in the Project Plans.
6. Side slope of ramp flares vary uniformly from a maximum of 9.0% at curb to conform with longitudinal sidewalk slope adjacent to top of the ramp, except in Case C and Case F.
7. The adjacent surfaces at transitions at curb ramps to walks, gutters, and streets shall be at the same level.
8. Counter slopes of adjoining gutters and road surfaces immediately adjacent to and within 24 inches of the curb ramp shall not be steeper than 1V:20H (5.0%). Gutter pan slope shall not exceed 1" of depth for each 2'-0" of width.
9. Transition gutter pan slope from 1" of depth for each 2'-0" of width to match typical gutter pan slope per Standard Plan A87A.
10. The detectable warning surface will be a rectangle as shown at back of curb, unless modified in the Project Plans. Curb ramps shall have a detectable warning surface that extends the full width and 3'-0" depth of the ramp. Detectable warning surfaces shall extend the full width of the ramp except a maximum gap of 1 inch is allowed on each side of the ramp. Detectable warning surfaces shall conform to the requirements in the Standard Specifications.
11. Sidewalk and ramp thickness, "T", shall be 3½" minimum.
12. Utility pull boxes, manholes, vaults and all other utility facilities within the boundaries of the curb ramp will be relocated or adjusted to grade by the owner prior to, or in conjunction with, curb ramp construction.
13. Detectable warning surface may have to be cut to allow removal of utility covers while maintaining detectable warning width and depth.



GUTTER PAN TRANSITION

Dist	COUNTY	ROUTE	POST MILES TOTAL PROJECT	SHEET No.	TOTAL SHEETS

REGISTERED CIVIL ENGINEER

May 31, 2018

PLANS APPROVAL DATE

Rebecca Lynn Mowry No. C54415 Exp. 12-31-19 CIVIL

REGISTERED PROFESSIONAL ENGINEER STATE OF CALIFORNIA

THE STATE OF CALIFORNIA OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF SCANNED COPIES OF THIS PLAN SHEET.

STATE OF CALIFORNIA
DEPARTMENT OF TRANSPORTATION

CURB RAMP DETAILS

NO SCALE

A88A

2018 STANDARD PLAN A88A

1-29-18

CITY OF GARDENA

149TH STREET ALLEY IMPROVEMENTS

±160' W/O WESTERN AVENUE

GENERAL NOTES

1. CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2015 EDITION AND THE APPLICABLE REQUIREMENTS OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, 2021 EDITION EXCEPT AS MODIFIED BY THE CITY'S STANDARD DRAWINGS OR THE SPECIAL PROVISIONS.

2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE STARTING WORK.

3. ALL AC PAVEMENT AND CONCRETE IMPROVEMENTS TO BE JOINED SHALL BE SAWCUT.

4. THE ENGINEER DOES NOT WARRANT THE ACCURACY OF SCALED DIMENSIONS ON ANY PLAN. ALL DIMENSIONS SHALL BE AS DESIGNATED ON THE PLANS. THE CONTRACTOR SHALL PROTECT ALL PUBLIC AND PRIVATE PROPERTY.

5. DURING THE PERFORMANCE OF WORK DONE UNDER THE CONTRACT, THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO AVOID ANY DAMAGE TO ANY STRUCTURES ADJACENT TO THE PROJECT BOUNDARIES.

6. EXISTING UTILITIES SHOWN ARE BASED ON AVAILABLE RECORDS OF PARENT UTILITY COMPANIES AND MAY NOT ACCURATELY REPRESENT THEIR ACTUAL LOCATIONS. PRIOR TO BEGINNING ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE ACTUAL LOCATIONS (VERTICAL AND HORIZONTAL) OF ALL UTILITIES IN THE FIELD OR COORDINATE SUCH INDEPENDENT VERIFICATION WITH THE PARENT UTILITY COMPANIES AND PROVIDE THE CITY WITH THE POTHOLE INFORMATION. THE CONTRACTOR SHALL PROTECT IN PLACE OR COORDINATE WITH PARENT COMPANY FOR THE RELOCATION OF CONFLICTING UTILITIES ENCOUNTERED DURING CONSTRUCTION.

7. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (USA) AT 811 TWO WORKING DAYS PRIOR TO ANY EXCAVATION WORK.

8. ESTIMATE OF QAUNTITIES IS APPROXIMATE. THE CONTRACTOR SHALL BE REPONSIBLE FOR VERIFYING QUANTITIES AND CONDITIONS AT THE SITE.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES, PAVEMENT, CURBS, TRAFFIC STRIPING AND MARKINGS, TRAFFIC SIGNAL EQUIPMENT (INCLUDING DETECTOR LOOPS), STRUCTURES, TREES, LANDSCAPING, IRRIGATION SYSTEMS, AND OTHER IMPROVEMENTS AS A RESULT OF CONTRACTOR'S OPERATIONS AND WILL BE REQUIRED TO REPAIR, REMODEL OR REPLACE SAME TO THE SATISFACTION OF, AND AS DIRECTED BY, THE ENGINEER OR UTILITY COMPANY.

10. THE WORK SITE AND EXTERIOR STREETS SHALL BE MAINTAINED IN A NEAT, CLEAN, HAZARD FREE STATE THROUGHOUT THE CONSTRUCTION PERIOD. CONTRACTOR SHALL SWEEP THE AFFECTED AREAS OF THE PROJECT LIMITS WITH A VACUUM/BROOM TYPE SWEEPER DAILY FOR THE ENTIRE DURATION OF THE PROJECT. SITE SHALL ALSO BE CLEANED UPON REQUEST OF THE INSPECTOR. THE CONTRACTOR SHALL IMMEDIATELY HAUL AWAY AND DISPOSE OF, OFF THE PROJECT SITE, ALL EXCESS EXCAVATED MATERIAL AND CONSTRUCTION DEBRIS. ALL DISPOSAL SHALL BE AT THE CONTRACTOR'S

11. THE CONTRACTOR SHALL HAVE COPIES OF THE PLANS AND SPECIFICATIONS FOR THIS PROJECT ON THE SITE AT ALL TIMES, AND HE SHALL BE FAMILIAR WITH ALL APPLICABLE STANDARDS AND SPECIFICATIONS.

12. CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS, ASPHALT AND ANY OTHER MATERIAL FROM ENTERING THE STORM DRAIN OR ANY RECEIVING WATER. ALL STORM DRAIN INLETS SHALL BE COVERED WITH GEOFABRIC AND GRAVEL BAGS AND SHALL BE PLACED PER NPDES/CONTRACTOR'S SWPPP.

13. ALL EXISTING IMPROVEMENTS, INCLUDING CURB AND GUTTER, SIDEWALK, ASPHALT CONCRETE OR PCC PAVING THAT ARE BEING JOINED OR MATCHED IN CONNECTION WITH THE PROJECT, SHALL BE JOINED OR MATCHED IN A MANNER SATISFACTORY TO THE CITY ENGINEER, INCLUDING NECESSARY SAWCUTTING, REMOVAL, OR CAPPING.

14. CONSTRUCTION EQUIPMENT AND MATERIAL SHALL NOT BE STORED IN STREETS, ROADS, HIGHWAYS OR PUBLIC RIGHT-OF-WAY EXCEPT IN CITY ESTABLISHED OR APPROVED STAGING AREAS. ALL MATERIALS OR EQUIPMENT NOT INSTALLED OR USED IN CONSTRUCTION WITHIN THE DAILY WORK PERIOD SHALL BE STORED ELSEWHERE BY THE CONTRACTOR AT HIS EXPENSE.

15. ALL CONCRETE CURB AND GUTTER, AND PAVEMENT WITH LESS THAN 1% GRADE SHALL BE WATER TESTED PRIOR TO FINAL ACCEPTANCE TO INSURE POSITIVE DRAINAGE WITHOUT LOW SPOTS. IF ANY AREAS ARE IDENTIFIED WHERE PONDING OCCURS, THE CONTRACTOR SHALL REMOVE AND REPLACE THOSE IMPROVEMENTS AT HIS EXPENSE.

16. CONTRACTOR MUST ACCOMMODATE ACCESS TO ALL COMMERCIAL BUSINESSES AND PRIVATE RESIDENCES AT ALL TIMES.

17. ALL MATERIALS AND EQUIPMENT SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR.

18. LOOPS SHALL BE CENTERED IN THE LANE UNLESS OTHERWISE NOTED.

19. ALL NEW LOOPS SHALL BE ROUND (6' DIAMETER).

20. FOR DISPOSITION OF SALVAGED MATERIALS SEE SPECIAL PROVISIONS.

21. THE CONTRATCOR SHALL CONTACT UNDERGROUND SERVICE ALERT AT (800) 227-2600 OR 811 (48) HOURS PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS ON THE JOBSITE. HAND DIG TO DETERMINE EXACT UTILITY LOCATIONS AND DEPTHS AS REQUIRED UNTIL CLEAR OF OBSTRUCTIONS.

22. EXACT LOCATIONS OF ALL SHOWN UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY.

23. ALL TRAFFIC LINES AND PAVEMENT MARKINGS SHALL CONFORM TO CALTRANS STANDARD PLANS AND SPECIFICATIONS (LATEST EDITION).

24. LANE WIDTHS SHALL BE MEASURED BETWEEN THE CENTERLINES OF EACH ADJACENT SINGLE OR DOUBLE STRIPE OR TOP OF CURB AS APPROPRIATE.

25. 24 HOUR NOTICE FOR ALL INSPECTIONS REQUIRED.

26. CONTRACTORS SHALL REMOVE AND DISPOSE OF ALL TRASH AND BROKEN BRANCHES BEFORE AND AFTER PAVING.

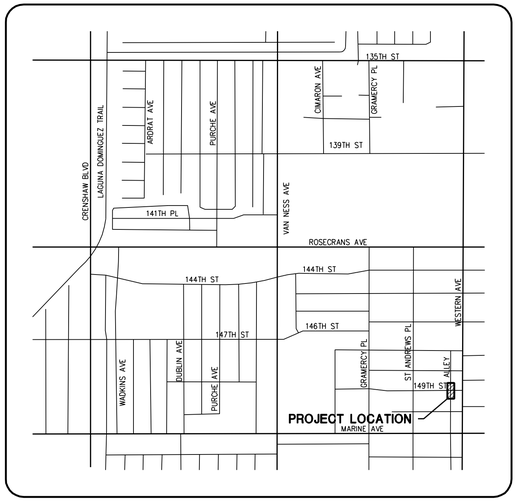
27. PRIOR TO CUTTING OF ANY ROOTS, CALL PARKS DIVISION AT (310) 217-9657 FOR APPROVAL.

28. ALL DAMAGED CONCRETE SIDEWALKS OR CURBS SHALL BE SAWCUT TO THE NEAREST TRANSVERSE SCORE MARK, OR ADJUSTABLE CONTROL JOINT, OR WEAKENED PLANE AND REPLACED IN CONFORMANCE WITH THE APPLICABLE PROVISIONS OF GREENBOOK STANDARD PLANS.

29. ALL SURVEY CENTERLINE TIES AND MONUMENTS THAT ARE DAMAGAED OR REMOVED SHALL BE RE-ESTABLISHED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO RETAIN THE SERVICES OF A LICENSED SURVEYOR. SEE TECHNICAL PROVISIONS.

30. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING, OBTAINING NECESSARY APPLICABLE PERMITS WITH LOCAL AGENCIES, CITIES, UTILITIES, RAILROADS, ETC. HAVING JURISDICTION AND PREPARING REQUIRED DOCUMENTATION NECESSARY FOR PERMITTING AT NO COST TO THE CITY.

31. ADJUST UTILITY VALVE COVERS, UTILITY BOXES, TRAFFIC SIGNAL BOXES, ETC. TO FINISH GRADE. PAYMENT SHALL BE INCLUDED IN ADJACENT CONSTRUCTION.



LOCATION MAP
NTS

UTILITY CONTACTS

CYNTHIA CARRILLO
SOUTHERN CALIFORNIA EDISON CO.
505 MAPLE AVE.
TORRANCE, CA 90503
(310) 413-4497

MELISSA FUKUNAGA
SOUTHERN CALIFORNIA GAS CO.
701 N. BULLIS ROAD
COMPTON, CA 90221
(213) 231-7281

SALVADOR GONZALES
SOUTHERN CALIFORNIA GAS CO.
2929 W. 182ND ST.
REDONDO BCH BLVD.
(310) 970-4844

CONDE VENTURA
GOLDEN STATE WATER CO.
14835 S. SPRING ST.
GARDENA, CA 90248
(310) 436-6950 X107

JOSEPH SALCIDO
GOLDEN STATE WATER CO.
14835 S. SPRING ST.
GARDENA, CA 90248
(310) 660-0320 X101

TERENCE LITTLE
GOVERNMENTAL LIASION
PUBLIC WORKS COORDINATOR
AT & T
600 E. GREEN ST. ROOM 300
PASADENA, CA 91101
(626) 817-4252

ARTURO FERNANDEZ
CONSTRUCTION SUPERVISOR
TIME WARNER CABLE
1529 VALLEY DRIVE
HERMOSA BEACH, CA 90254
(310) 750-9099

MARYLIN DUARTE
METROPOLITAN WATER DISTRICT
CIVIL ENGINEER SUBSTRUCTURES SECTION
P.O. BOX 54153
LOS ANGELES, CA 90054-0153
(213) 217-7059

JOSE A. PORRAS
LOS ANGELES DEPT. OF WATER & POWER
WATER OPERATING DIVISION
P.O. BOX 51111, ROOM 1425
LOS ANGELES, CA 90051-0100
(213) 367-1049

JON GANZ
LOS ANGELES SANITATION DISTRICT
P. O. BOX 4998
WHITTIER, CA 90607-4998
(562) 908-4288

L.A. COUNTY FLOOD CONTROL DISTRICT
900 S. FREEMONT AVE. 8TH FLOOR
ALHAMBRA, CA 91803
(626) 458-3129

DAVE ZERLER
CHEVRON PIPELINE COMPANY
2600 HOMESTEAD PLACE
RANCHO DOMINGUEZ, CA 90220
(310) 669-4014
EMAIL: DAVEZERLER@CHEVRON.COM

HECTOR AGUILERA
CROWN CASTLE
226 N. LINCOLN AVE.
CORONA, CA 92882
(951) 454-5111

CONSTRUCTION NOTES

1. REMOVE AND RECONSTRUCT 6" PCC PAVEMENT OVER EXISTING BASE/NATIVE.
2. REMOVE AND RECONSTRUCT ALLEY INTERSECTION PER APWA STD PLAN 130-2.
3. REMOVE AND DISPOSE OF EXISTING CURB AND GUTTER. FURNISH AND RECONSTRUCT P.C.C. CURB AND GUTTER (VARIABLE CURB FACE) OVER 6" C.A.B. PER CITY OF GARDENA STD. PLAN ST-7 C-1. (TOP OF CURB TO MATCH EXISTING).
4. REMOVE AND DISPOSE OF EXISTING SIDEWALK. FURNISH AND RECONSTRUCT 4" P.C.C. SIDEWALK OVER EXISTING RECOMPACTED SUBGRADE PER CITY STD. ST-5B.
5. CONSTRUCT FULL DEPTH AC (2" WIDE, 12" DEEP).
6. REMOVE AND REINSTALL EXISTING VINYL FENCE AT R/W LINE.
7. CONSTRUCT 6" P.C.C. RETAINER CURB.
8. EXISTING SURVEY MONUMENT/TIE.
9. INSTALL CAST IN PLACE TRUNCATED DOME PER CALTRANS STD. PLAN A88A.
10. REMOVE EXISTING TREE, STUMP AND ROOTS.
11. PLANT 24" BOX CRAPE MYRTLE TREE PER CITY STD. ST-11.

SHEET INDEX

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	ALLEY IMPROVEMENT SHEET

ENGINEER'S NOTICE TO CONTRACTOR

1. THE EXISTENCE AND LOCATION OF ALL RIGHT OF WAY BOUNDARIES AND PARCEL BOUNDARIES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF RECORDS. NO CERTIFICATIONS IS MADE AS TO ACCURACY AND THORUGHNESS OF THESE RECORDS. REVIEW OF THIS PLAN BY THE CITY OF GARDENA DOES NOT CONSTITUTE A REPRESENTATION AS TO THE ACCURACY OR THE COMPLETENESS OF THE LOCATION OR NONEXISTENCE OF SAID RIGHT OF WAY OR PARCEL BOUNDARIES WITHIN THE LIMITS OF THE PROJECT.

2. THE EXISTENCE AND LOCATION OF ANY ROADWAY CENTERLINE SHOWN ON THESE PLANS ARE FOR CONSTRUCTION PURPOSE ONLY AND WAS OBTAINED BY A SEARCH OF AVAILABLE RECORDS, NO CERTIFICATION ID MADE AS TO THE ACCURACY OR THOROUGHNESS OF THESE RECORDS. REVIEW OF THIS PLAN BY CITY OF GARDENA DOES NOT CONSTITUTE A REPRESENTATION AS TO THE ACCURACY OR THE COMPLETENESS OF THE LOCATION OF THE EXISTENCE OR NONEXISTENCE OF SAID ROADWAY CENTERLINES WITHIN THE LIMITS OF THE PROJECT

NO WORK SHALL BE DONE ON THIS SITE UNTIL BELOW AGENCY IS NOTIFIED OF INTENTION TO GRADE OR EXCAVATE

Underground Service Alert of Southern California
Call: TOLL FREE
811
TWO WORKING DAYS BEFORE YOU DIG

BENCHMARK

RY5987 ELEV: 49.405 (2013 QUAD)

L&TAG LS#8924 NE CB RET ROSECRANS AVE & WESTERN AVE 8FT W/O BCR

PREPARED BY:
DMS CONSULTANTS, INC.
CIVIL ENGINEERS
12337 Lewis St. #201 Garden Grove CA. 92840 P. 714-740-8840 F. 714-740-8842

02/15/2022
SURENDER M. DEWAN RCE 34559 DATE

REGISTERED PROFESSIONAL ENGINEER
SURENDER M. DEWAN
NO. 34559
CIVIL
STATE OF CALIFORNIA

NO.	REVISIONS	DATE	BY	APP'D

DEPARTMENT OF PUBLIC WORKS — CITY OF GARDENA — ENGINEERING DIVISION

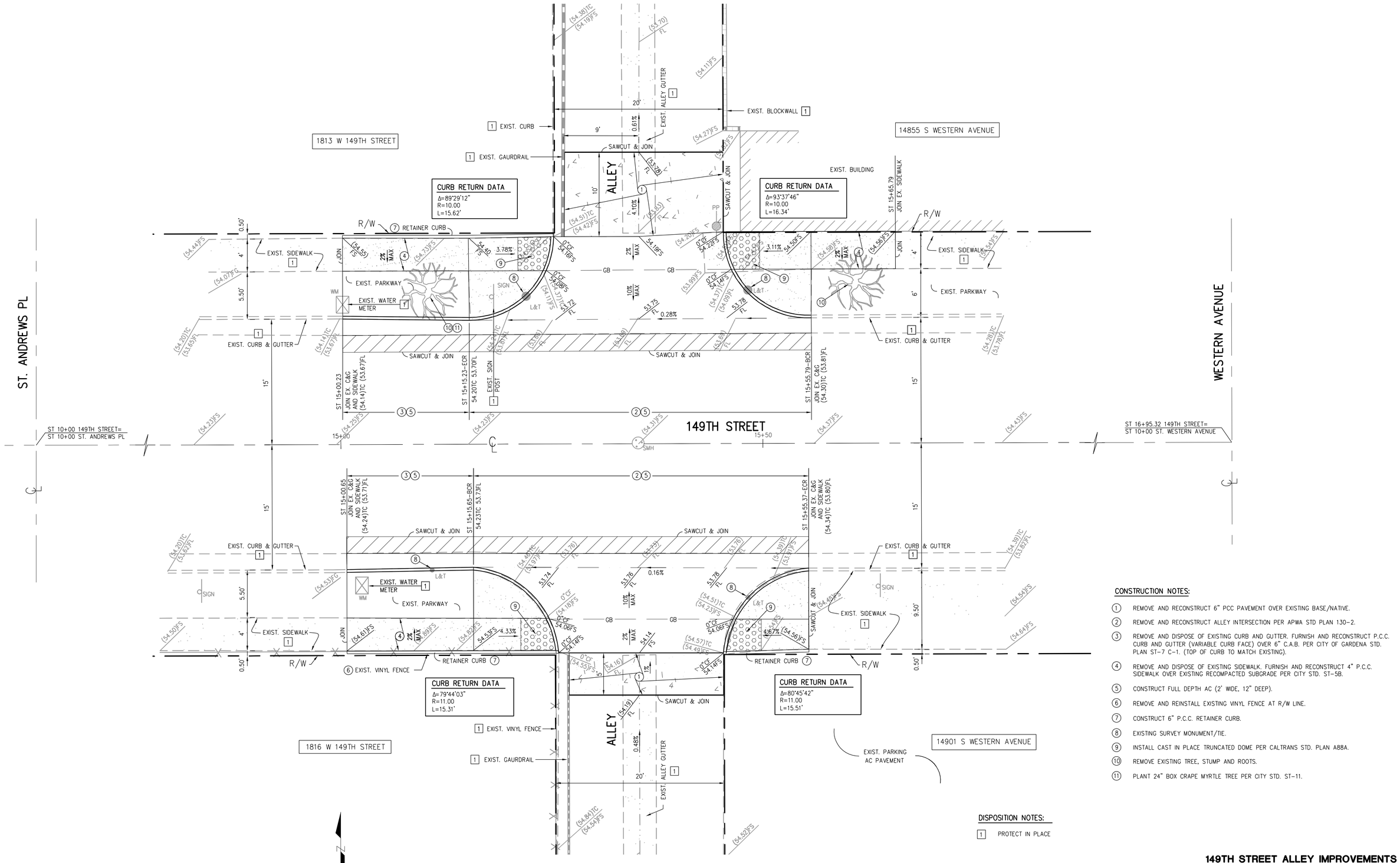
PROJECT: 149TH STREET ALLEY IMPROVEMENTS
LIMITS: ±160' W/O WESTERN AVENUE

F.B. REF.		
DESIGNED BY:	S.D.	02/15/22
DRAWN BY:	N.C.	02/15/22
CHECKED BY:	S.D.	02/15/22

APPROVED BY: Harold Allan Rigg DATE: 2/16/22
PUBLIC WORKS ENGINEERING DIVISION

SHT. 1 OF 2 — DWG NO.

TITLE SHEET



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11. PLANT 24" BOX CRAPE MYRTLE TREE PER CITY STD. ST-11.

DISPOSITION NOTES:

1. PROTECT IN PLACE

GRAPHIC SCALE

5 0 5 10

(IN FEET)
1 inch = 5 ft.

149TH STREET ALLEY IMPROVEMENTS

PREPARED BY:
DMS CONSULTANTS, INC.
CIVIL ENGINEERS
12331 Lakeview St., Rancho Cucamonga CA. 92840 P. 714-740-8840 F. 714-740-8843
02/15/2022
SURENDER M. DEWAN RCE 34559 DATE

REGISTERED PROFESSIONAL ENGINEER
SURENDER M. DEWAN
NO. 34559
CIVIL
STATE OF CALIFORNIA

NO.	REVISIONS	DATE	BY	APP'D

CITY OF GARDENA
DEPARTMENT OF PUBLIC WORKS — ENGINEERING DIVISION

PROJECT: 149TH STREET ALLEY IMPROVEMENTS
LIMITS: ±160' W/O WESTERN AVENUE

F.B. REF.		
DESIGNED BY:	S.D.	02/15/22
DRAWN BY:	N.C.	02/15/22
CHECKED BY:	S.D.	02/15/22

APPROVED BY:
DATE:
PUBLIC WORKS ENGINEERING DIVISION

SHT. 2 OF 2 — DWG NO.

DEPARTMENT of PUBLIC WORKS
1717 WEST 162nd STREET / GARDENA, CALIFORNIA 90247-3731 / WWW.CITYOFGARDENA.ORG / PHONE (310) 217-9568

NOTICE OF EXEMPTION

TO: ☐ Office of Planning & Research
1400 Tenth Street
Sacramento, CA 95814

☐ County Clerk / Registrar Recorder
ATTN: Environmental Filings Clerk
12400 East Imperial Highway, Room 1101
Norwalk, CA 90650

Project Title: Pedestrian Safety Improvement 2021/2022, JN 993

Project Location (Specific): Various Locations

Project Location (City): Gardena **Location (County):** Los Angeles County

Description of nature, purpose and beneficiaries of project: This project will remove and replace existing curb, gutter, sidewalk, curb ramps and driveways

Name of public agency approving project: City of Gardena

Name of person or agency carrying out project: City of Gardena

Exempt Status: (Check One)

☐ Ministerial: (P.R.C. Sec. 21080[b][1]; Guidelines Sec. 15268)
☐ Declared Emergency: (P.R.C. Sec. 21080[b][3]; Guidelines Sec. 15269[a])
☐ Emergency Project (P.R.C. Sec. 21080[b][4]; Guidelines Sec. 15269[b][c])
x Categorical Exemption: Section 15301 Class 1, Existing Facilities
☐Other: Guidelines Sec. 15061):

Reason why project is exempt: This project consists of minor alteration of existing public facilities and involves negligible or no expansion of use beyond that previously existing.

Contact person: Jun De Castro **Telephone:** 310-217-9642

If filed by applicant:
1. Attach certified document of exempting finding.
2. Has a notice of exemption been filed by the public agency approving the project? ☐ Yes ☐ No

Date received for filing:

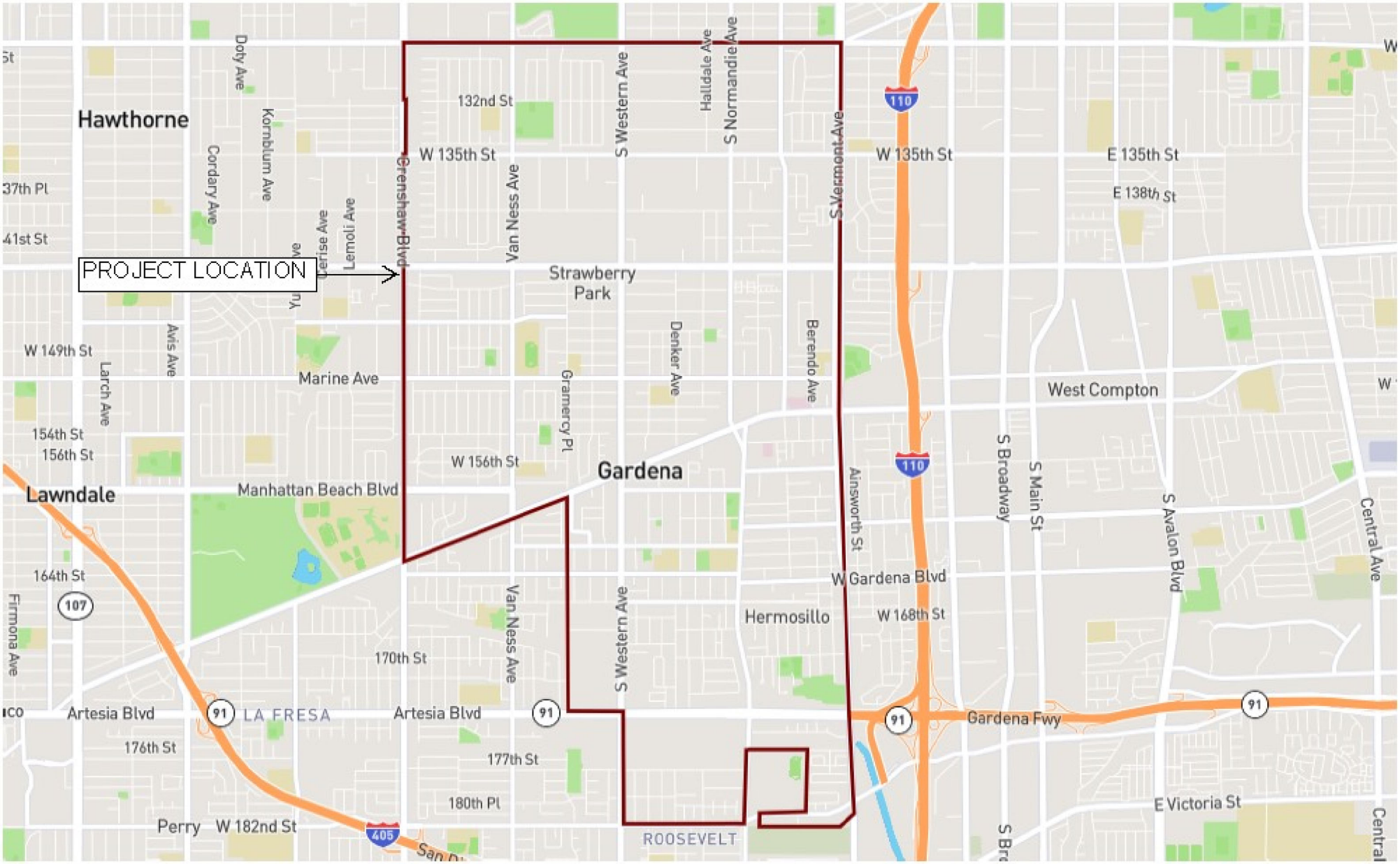
1/4/22

CLINT OSORIO Date
Environmental Quality Officer

NOTE: Exempt from Dept. of Fish & Game Wildlife Fee in accordance with de minimis impact finding (735.5[c])

TASHA CERDA, Mayor / RODNEY G. TANAKA, Mayor Pro Tem
PAULETTE C. FRANCIS, Councilmember / MARK E. HENDERSON, Councilmember / ART KASKANIAN, Councilmember
MINA SEMENZA, City Clerk / J. INGRID TSUKIYAMA, City Treasurer / CLINT OSORIO, City Manager / CARMEN VASQUEZ, City Attorney

PEDESTRIAN SAFETY IMPROVEMENT PROJECT VARIOUS LOCATIONS, JN 993



1" = 3916 ft	PROJECT LOCATION MAP	12/06/2021	

This map may represents a visual display of related geographic information. Data provided here on is not guarantee of acutual field conditions. To be sure of complete accuracy, please contact the responsible staff for most up-to-date information.