

RESOLUTION NO. PC 10-25

A RESOLUTION OF THE PLANNING AND ENVIRONMENTAL QUALITY COMMISSION OF THE CITY OF GARDENA, CALIFORNIA, APPROVING ENVIRONMENTAL ASSESMENT #2-25, SITE PLAN REVIEW #1-25, AND TENTATIVE PARCEL MAP #1-25 FOR THE CONSTRUCTION OF THREE (3) THREE-STORY TOWNHOMES UNITS IN THE MEDIUM DENSITY MULTI-FAMILY RESIDENTIAL (R-3) ZONE AT 15903 BRIGHTON AVENUE AND FINDING THE PROJECT EXEMPT UNDER CEQA GUIDELINES SECTION 15303 (CLASS 3 - NEW CONSTRUCTION)

15903 BRIGHTON AVENUE (APN: 6105-014-017)

THE PLANNING AND ENVIRONMENTAL QUALITY COMMISSION OF THE CITY OF GARDENA, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. RECITALS

- A. On January 05, 2025, Mason Zojaji (Applicant) submitted an application for a site plan review (SPR) and tentative parcel map (TPM) to demolish one single-family unit and construct three (3) three-story townhomes unit at the property located at 15903 Brighton Avenue (APN: 6105-014-017). The actions required include approving a SPR for the development and a TPM for the subdivision.
- B. The project site zoning is Medium Density Multi-Family Residential (R-3).
- C. The subject property is bounded by a public park use (O) to the east, multi-family residential units (R-3) to the north, south, and west.
- D. On July 31, 2025, a public hearing was duly noticed for the Planning and Environmental Quality Commission meeting for August 19, 2025.
- E. On August 19, 2025, the Planning and Environmental Quality Commission held the duly noticed public hearing at which time it considered all material and evidence presented by staff, the Applicant, and the public, whether written or oral and has considered the procedures and the standards required by the Gardena Municipal Code (GMC).

SECTION 2. SITE PLAN REVIEW

Site Plan Review (#1-25) for the demolition of one single-family residence and construction of new townhomes, is hereby approved based on the following findings and subject to the conditions attached hereto as Exhibit 1 and as shown on the plans presented to the Planning and Environmental Quality Commission on August 19, 2025, attached hereto as Exhibit 2.

1. The physical location, size, massing, setbacks, pedestrian orientation, and placement of proposed structure on the site and the location of proposed uses within the project are consistent with applicable standards.

The property is located in the R-3 zone. The project complies with all the development standards of the R-3 zone, therefore, the physical location, size, massing, setbacks, and placement of the proposed townhomes on the site and location of the proposed uses within the project are consistent with the applicable standards. Parking for the proposed residential use is consistent with the number of parking spaces required of GMC. Each unit will have an attached two-car garage. There will be two open guest parking spaces. Vehicle access to the property is provided by a new driveway. Residential open space requirements in the R-3 zone include a minimum of 600 sf of open space per unit. The project exceeds this requirement by providing private open space areas in the side yard ranging in size from 603 to 644 sf.

2. The development is consistent with the intent and purpose of the general plan and provisions of the municipal code.

The General Plan land use designation for the subject property is medium density residential which allows for a minimum of twelve (12) units per acre and a maximum of seventeen (17) units per acre. The medium residential land use category is intended to provide a quality multifamily living environment. The project is consistent with the following General Plan Goals and Policies:

- Housing Element Goal 1: Maintain and enhance the stability and quality of the City's housing stock and residential neighborhoods.
- Land Use Plan LU Policy 1.4: Locate new medium- and high-density residential development near neighborhood and community shopping centers with commensurate high levels of community services and facilities.
- Community Design Plan DS Policy 2.11: Incorporate quality residential amenities such as private and communal open spaces into multi-unit development projects in order to improve the quality of the project and to create more attractive and livable spaces for residents to enjoy.

3. The health and safety services (police and fire) and public infrastructure are sufficient to accommodate the new development.

The proposed subdivision will not cause serious public health problems as the density conforms to the R-3 zone and the permitted uses in the General Plan Zone and Land Use of the respective property. The subdivision has been designed to provide adequate access for pedestrians and vehicles, guests, and residents, and emergency access. The three townhome units are not expected to create environmental damage or public health problems.

4. The project is compatible with the surrounding sites and neighborhoods.

The project focuses on making improvements that will minimize impact on the surrounding residential area. As a result, the project will remain in harmony with the neighboring sites and communities.

5. The project has been determined to be exempt from CEQA or the appropriate environmental document has been completed and required findings have been made.

The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Guidelines Section 15303 (Class 3 - New Construction or Conversion of Small Structure). The proposed project consists of the construction of three (3) new townhome units in the City of Gardena which is an incorporated city with a population of over 10,000 persons. These findings qualify the proposed project for exemption.

SECTION 3. TENTATIVE PARCEL MAP NO. 84583(#1-25)

Tentative Parcel Map No. 84583, dated January 5, 2025, and shown on Exhibit 3, creating three condominium lots is hereby approved, subject to the conditions of approval attached as Exhibit 1 based on the fact that none of the findings which would prohibit the approval of a map are present and the map satisfies the requirements of Government Codes 66474.

1. The proposed map is not consistent with applicable general and specific plans as specified in Section 65451.

The proposal is consistent with the provisions of the Medium Density Multifamily Residential Zone (R-3). The site does not lie within a specific plan area.

2. The design or improvement of the proposed subdivision is not consistent with the applicable general and specific plan.

The General Land Use Plan and the zoning map designate the project site as Medium Density Multifamily Residential Zone (R-3). The project will involve three (3) townhome units and will be consistent with the Land Use Plan of the Community Development Element of the General Plan. Additionally, the Circulation Plan of the Community Development Element designates West 160th Street as a local street. Local streets are designed to provide vehicular, pedestrian, and bicycle access to individual parcels. As conditioned, the Applicant will be making street improvements that will be consistent with the Circulation Plan. There are no applicable Specific Plans.

3. The site is not physically suitable for the type of development.

The project site is 7,405 sf lot serviced by all necessary utilities. The zoning of the property allows for 12-17 units per acre and the Applicant is proposing three (3) units, which complies with the minimum/maximum density allowed. The site also provides adequate ingress and egress. Therefore, the site is physically suitable for the type and density of the proposed development.

4. The site is not physically suitable for the proposed density of development.

The subdivision does not modify the physical conditions of the parcel established in 1927 and is consistent with all zoning regulations allowed by the City at the time.

5. The design of the subdivision or the proposed improvements are likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

The property is developed with a one-story single-family home. There is no substantial natural environment, fish, or wildlife in the area which will be harmed by the proposed project.

6. The design of the subdivision or type of improvements is likely to cause serious public health problems.

The subdivision has been designed to provide adequate access for pedestrians and vehicles, guests and residents, and emergency access. The three-unit residential units are not expected to create environmental damage or public health problems.

7. The design of the subdivision or the type of improvements will conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision. In this connection, the governing body may approve a map if it finds that alternate easements, for access or for use, will be provided, and that these will be substantially equivalent to ones previously acquired by the public. This subsection shall apply only to easements of record or to easements established by judgment of a court of competent jurisdiction and no authority is hereby granted to a legislative body to determine that the public at large has acquired easements for access through or use of property within the proposed subdivision.

The proposed subdivision was designed to not interfere with public access easements.

With the conditions of approval, the subdivision and subdivision design will be consistent with the General Plan and State Subdivision Map Act as supplemented by Title 17 of the GMC. As none of the findings for denial can be made, the tentative parcel map should be approved.

SECTION 4. CALIFORNIA ENVIRONMENTAL QUALITY ACT (EA #2-25)

The proposed project is categorically exempt from the CEQA pursuant to the following:

- A. Section 15303(b) Class 3, New Construction or Conversion of Small Structures.
The project consists of the construction of three new residential condominium units and is located in an urbanized area.
- B. The project is not subject to any of the exceptions for exemption under Section 15300.2 of the CEQA. The location of the project is predominantly urban and not considered a sensitive environment; therefore, the project will not result in any significant impacts that may otherwise occur in a sensitive environmental area. The cumulative impact of this project, and the approval of other projects like it in the vicinity, is not expected to have any significant environmental impact. Not only would the project not have any significant effects, but there are no unusual circumstances applicable to this project site. The project is not located along any state designated scenic highway nor within any designated hazardous waste site. There are no historical resources which would be impacted. Staff does not expect any significant impacts or unusual circumstances related to the approval of this project.
- C. Staff is hereby directed to file a Notice of Exemption.

SECTION 5. APPEAL

The approvals granted by this Resolution by the Commission may be appealed to the City Council within ten (10) calendar days from the date of adoption. All appeals must be in writing and filed with the City Clerk within this time period with the appropriate fee. Failure to file a timely written appeal will constitute a waiver of any right of appeal. The City Council may also call this matter for review within the same 10-day period.

SECTION 6. RECORD.

Each and every one of the findings and determinations in this Resolution is based on the competent and substantial evidence, both oral and written, contained in the entire record relating to the Project. All summaries of information in the findings which precede this section are based on the entire record. The absence of any particular fact from any such summary is not an indication that a particular finding is not based in part on that fact.

SECTION 7. CUSTODIAN OF RECORD.

The Custodian of Record for the proceedings relating to the Project is Greg Tsujiuchi, Community Development Director, City of Gardena, 1700 West 162nd Street, Gardena, California 90247. Mr. Tsujiuchi's email is gtsujiuchi@cityofgardena.org and his phone number is (310) 217-9530.

SECTION 7. EFFECTIVE DATE.

This Resolution shall take effect immediately subject to Section 4 above.

SECTION 8. CERTIFICATION.

The Secretary shall certify the passage of this resolution.

PASSED, APPROVED, AND ADOPTED this 19th day of August 2025.



RON WRIGHT-SCHERR, CHAIR
PLANNING AND ENVIRONMENTAL
QUALITY COMMISSION

ATTEST:



GREG TSUJIUCHI, SECRETARY
PLANNING AND ENVIRONMENTAL QUALITY COMMISSION

Attachments:

- Exhibit 1: Conditions of Approval
- Exhibit 2: Architectural Plans
- Exhibit 3: Tentative Parcel Map No. 84583
- Exhibit 4: Material

CERTIFICATION

I, Greg Tsujiuchi, Planning and Environmental Quality Commission Secretary of the City of Gardena, do hereby certify that the foregoing Resolution was duly adopted by the Planning and Environmental Quality Commission of the City of Gardena at a regular meeting thereof, held the 19th day of August 2025, by the following vote of the Planning and Environmental Quality Commission.

AYES: Kanhan, Wright-Scherr and Langley

NOES: Sherman

ABSENT: Henderson

Certification by: 

GREG TSUJIUCHI, SECRETARY
PLANNING AND ENVIRONMENTAL QUALITY COMMISSION

EXHIBIT B

CITY OF GARDENA

TENTATIVE PARCEL MAP NO. 83979 (#1-25)

GENERAL CONDITIONS

- GC 1. The Applicant accepts all of the conditions of approval set forth in this document and shall sign the acknowledgement. The resolution of approval and conditions shall be recorded with the County Recorder. Proof of compliance shall be in the form of a copy of the recorded document, submitted to the Community Development Office, prior to issuance of any construction permit.
- GC 2. Development of this site shall comply with the requirements and regulations of Title 15 (Building and Construction) and Title 17 (Subdivisions) of the Gardena Municipal Code
- GC 3. The applicant shall comply with all written policies, resolutions, ordinances, and all applicable laws in effect at time of approval. The conditions of approval shall supersede all conflicting notations, specifications, and dimensions which may be shown on the project development plans.
- GC 4. The applicant shall provide the City with a draft of the Covenants, Conditions and Restrictions (CC & R's) which shall apply to the townhomes for review and approval. The approved CC&R's shall be recorded with the Los Angeles County Registrar Recorder Office prior to the approval of the final map. The CC&R's shall include, at a minimum, the following provisions, as may be further detailed in these conditions:
- a. Any revisions to the CC & R's shall require prior city approval.
 - b. Maintenance and repair obligations of all private streets/driveways.
 - c. Maintenance and repair obligations of all open spaces and Common Area.
 - d. Prohibition against outdoor storage.
 - e. Prohibition against alterations to architectural treatments.
 - f. Requirement that all garage spaces be maintained in such a manner as to be able to be used for parking of two cars.
 - g. Prohibition against parking in driveways areas and in front of garages.
 - h. Prohibition against residents using guest parking spaces.

When the draft of the CC & R is provided to the City for review, it shall be accompanied by a table specifying where each of the above conditions can be found

- GC 5. California Government Section 66020(d)(1) requires that the project applicant be notified of all fees, dedications, reservations and other exactions imposed on the development for purposes of defraying all or a portion of the cost of public facilities related to development. Fees for regulatory approvals, including

Planning processing fees, building permit fees and park development fees, are not included under this noticing requirement. The applicant has ninety (90) days from the date of adoption of this Resolution to protest the impositions described above. The applicant is also notified of the 180-day period from the date of this notice during which time any suit to protest impositions.

- GC 6. The site layout shall be in accordance with the submitted plans dated August 19, 2025, approved by the Planning and Environmental Quality Commission, and modified by these conditions of approval. The final completed project shall be in substantial compliance with the plans upon which the Commission based its decision, as modified by such decision. Minor modifications or alterations to the design shall be subject to the review and approval of the Community Development Director.
- GC 7. All exterior lighting shall be designed, arranged, directed, or shielded in such a manner as to contain direct illumination on-site, thereby preventing excess illumination and light spillover onto adjoining land uses and/or roadways.
- GC 8. Parking shall be prohibited in front of the garages.
- GC 9. Residents' vehicles shall be stored in the garages at all times while on the site. Residents shall not be allowed to use Guest Parking for their own vehicles.
- GC 10. The entire site, all walls and fencing, and all building walls shall be maintained at all times free and clear of litter, rubbish, debris, weeds and graffiti. Graffiti shall be removed within 24 hours and if paint is used to cover the graffiti, it shall be of the same color and texture as the building wall.
- GC 11. Conditions GC7 - 10 shall be incorporated in the CC&Rs.
- GC 12. The applicant shall reimburse the City for all attorney's fees spent in processing the project application, including but not limited to review of all documents required by these conditions of approval.
- GC 13. The applicant/developer shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any claim, action, or proceeding, damages, costs (including, without limitation, attorney's fees), injuries, or liability against the City or its agents, officers, or employees arising out of the City's approval Tentative Parcel Map #1-25, and the subsequent Notice of Exemption. The City shall promptly notify the applicant/developer of any claim, action, or proceeding and the City shall cooperate fully in the defense. If the City fails to promptly notify the applicant/developer of any claim, action, or proceeding, or if the City fails to cooperate fully in the defense, the applicant/developer shall not thereafter be responsible to defend, indemnify, or hold harmless the City. Although the applicant/developer is the real party in interest in an action, the City may, at its sole discretion, participate in the defense of any action with the attorneys of its own choosing, but such participation shall not relieve the applicant/developer of any obligation under this condition, including the payment of attorney's fees.

TENTATIVE PARCEL MAP

- TPM 1. The final map shall be recorded with the Los Angeles County Recorder's office within a period not to exceed twenty-four (24) months from the date of approval, unless an extension is granted in accordance with Gardena Municipal Code section 17.08.070 or by State law. If said map is not recorded within such time, the life of the map shall be deemed expired and said approval shall be considered null and void.
- TPM 2. The tentative parcel map shall conform to the provisions of the State Subdivision Map Act and Title 17 of the Gardena Municipal Code (Subdivisions).
- TPM 3. In accordance with Section 17.08.170 of the Gardena Municipal Code, the applicant shall dedicate all necessary rights-of-way for public improvements and shall construct such improvements at no cost to the City. Such improvements may include, but not be limited to, site grading and drainage, new sidewalk, curb and gutter, driveways, street trees, roadway paving, street lights, traffic control devices, gas mains, electric power lines, telephone and cable lines, all of which shall be installed in accordance with the specifications of the Public Works Department. All utilities shall be underground.
- TPM 4. Pursuant to Government Code § 66495, at least one exterior boundary line of the land being subdivided must be adequately monumented or referenced before the map is recorded.
- TPM 5. Private driveways shall be indicated on the final map as "Private Driveway and Fire Lane" with the widths clearly depicted and shall be maintained in accordance with the Fire Code. All required fire hydrants shall be installed, tested and accepted prior to construction.
- TPM 6. The developer shall pay in lieu park fees in accordance with Chapter 17.20 of the Gardena Municipal Code. Total parkland (common open space) required for the project is 0.044 gross acres of land. Total in lieu park fees due is \$34,754.04 and shall be paid in full to the City prior to final map. This fee is based on the fair market value of land as determined by applicant's purchase price of the property in accordance with Gardena Municipal Code section 17.20.030

BUILDING

- BS1. This project shall comply with all applicable portions of the 2022 California

Building Standards Code (Title 24, California Code of Regulations; parts 1 through 12), as adopted and amended by the City of Gardena.

- BS2. The approval of plans and specifications does not permit the violation of any section of the Building Code, Cities Ordinances, and or State Law.
- BS3. The approval of plans and specifications does not permit the violation of any section of the building code, county ordinances, or state law.
- BS4. The CC&Rs shall require the Homeowners Association to maintain the parking lot and stripping in good condition.
- BS5. The applicant shall submit a Final Priority WQMP to the City for review and approval. This plan shall be in conformance with all current NPDES requirements. The WQMP must implement Low Impact Development (LID) principles such that projects infiltrates, harvest, re-use, evaporation, or bio-treat storm water runoff. Sheet flowing stormwater, without filtering, is no longer acceptable.
- BS6. The applicant shall provide complete hydrology and hydraulics study prepared by a qualified engineer, and comply with the recommendations of the engineer, to the satisfaction of the City.

PUBLIC WORKS

- PW1. All work in the public right of way shall be constructed in accordance with the Standard Plans and Standard Specifications for Public Works Construction, latest edition and the City and State Codes as applicable. This includes supplements thereto and City of Gardena Standard Drawings. All work shall be designed and signed by a registered Civil Engineer or other applicable professional license engineer(s).
- PW2. Before undertaking any Encroachment/Excavation within the public right of way, the owner must first obtain the applicable permit from the Public Works Engineering Division.
- PW3. The project shall utilize the County's benchmarks and any controlling survey monumentation (property lines, tract lines, street centerline, etc.) which are at risk of being destroyed or disturbed during the course of the project must be preserved in accordance with Section 8771(b) of the California Business and Professions Code (Professional Land Surveyors Act). Preconstruction field ties, along with the preparation and filling of the required Corner Records or Record of Survey with the County of Los Angeles, shall be accomplished by, or under the direction of, a licensed surveyor or civil engineer authorized to practice land surveying.

Copies of said records shall be furnished to the City Engineering for review and approval prior to issuance of any onsite or offsite construction permit. In addition, any monuments disturbed or destroyed by this project must be reset and post-construction Corner Records or Record of Survey filed with the County of Los

Angeles. A copy of the recorded documents shall be submitted to the Engineering office for review and approval prior to issuance and/or finalizing any permits within the public right of way.

- PW4. Prior to issuance of permits, all public improvements (if any) shall be guaranteed to be installed by the execution of an Agreement for Public Improvements secured by sufficient bond sureties or cash, complete indemnification form, Certification of Insurance (General Liability, Auto & Workers Compensation) naming City of Gardena as additional insured, contractor State License and City Business License.
- PW5. Remove and replace all curb, gutter, sidewalk, and driveway fronting property. Street tree(s) improvements to be coordinated with City Public Works Park's Superintendent, Kevin Thomas (310.217.9657).
- PW6. Contractor/Applicant is responsible for all applicable permit, plan check surety, and other incidental fees pertaining to the proposed project.
- PW7. Additional requirements may be required upon full plan submittal.
- PW8. The applicant shall submit a Final Priority WQMP to the City for review and approval. This plan shall be in conformance with all current NPDES requirements. The WQMP must implement Low Impact Development (LID) principles such that projects infiltrates, harvest, re-use, evaporation, or bio-treat storm water runoff. Sheet flowing stormwater, without filtering, is no longer acceptable.
- PW9. The applicant shall provide complete hydrology and hydraulics study prepared by a qualified engineer, and comply with the recommendations of the engineer, to the satisfaction of the City.

Mason Zojaji, Applicant, here by certifies that he has read, understood, and agrees to the Project Conditions listed herein.

Mason Zojaji, Applicant

By

Date

General Notes

1. ALL WORK, MATERIAL, METHODS, ETC. SHALL CONFORM TO THE 2013 CBC AND CITY OF GARDENA AMENDMENTS.

2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS THEREON BEFORE COMMENCING WORK, REPORT ANY DISCREPANCIES AND/OR POTENTIAL PROBLEMS TO THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING.

3. GOVERNING CODES AND FIRE DEPARTMENT FIELD, INSPECTOR SHALL DICTATE SIZE, TYPE, QUANTITY, AND LOCATIONS OF BOTH TEMPORARY AND PERMANENT PORTABLE FIRE EXTINGUISHERS (N.I.C.).

4. ALL TOILET ROOMS SHALL BE VENTILATED WITH 5 MINUTE AIR CHANGES BY MECHANICAL MEANS SEE APPLICABLE DRAWINGS. 50 CFM TO OUTSIDE.

5. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY CEILING OR WALL ACCESS PANELS (OR ACCESS DOORS) AS REQUIRED BY GOVERNING AGENCIES FOR AIR CONDITIONING, PLUMBING, FIRE SPRINKLER, AND ELECTRICAL SYSTEM. PROVIDE APPROVED ASSEMBLIES WITH SELF CLOSING DEVICES IN 1-HOUR RATED CONSTRUCTION.

6. ALL PENETRATIONS OF 1-HOUR FIRE RESISTIVE CONSTRUCTION SHALL BE PROTECTED WITH APPROVED FIRE ASSEMBLIES.

7. EXIT DOORS MUST OPEN OVER A LANDING NOT MORE THAN 6" BELOW THE THRESHOLD.

8. ALL EXPOSED ELECTRICAL EQUIPMENT SHALL BE PAINT TO MATCH ADJACENT SURFACES.

9. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL PROVIDE SOLID BLOCKING AS REQUIRED FOR MAILING OF ALL INTERIOR AND EXTERIOR TRIM, FINISHES, AND SHALL COORDINATE AND PROVIDE ALL FRAMING AND BRACING AS NECESSARY FOR INSTALLATION OF N.I.C. EQUIPMENT INDICATED.

10. UNLESS OTHERWISE NOTED, ALL EXTERIOR AND INTERIOR EXPOSED METAL, TRIM, TRELLAGE, RAILINGS, MOLDING, FRAMES, CASTING, W/ WORK, ETC., SHALL BE PAINTED.

11. CONTRACTOR SHALL OBTAIN ALL PERMITS, PAY ALL FEES FOR PERMITS AND CHECK GOVERNING AUTHORITIES SPECIFICATIONS FOR CONSTRUCTION.

12. AT COMPLETION OF THE PROJECT, PRIOR TO A CERTIFICATION OF OCCUPANCY BEING ISSUED, THE CONTRACTOR SHALL SUBMIT A SIGNED CERTIFICATE OF CONSTRUCTION COMPLIANCE TO THE STATE ENERGY REGULATIONS.

13. DO NOT SCALE DRAWINGS.

14. ALL EXTERIOR WALL OPENINGS, FLASHINGS, COUNTER FLASHINGS, COPINGS, AND EXPANSION JOINTS SHALL BE WEATHERPROOF.

15. GLU-LAM BEAMS SHALL BE MANUFACTURED BY A LICENSED FABRICATOR.

16. PROVIDE FIRE STOPPING TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AT 10'-0" or EACH WAY.

17. SIZES OF MECHANICAL EQUIPMENT PADS, BASES ROOF EQUIPMENT PADS, AND OPENINGS ARE A BASIS FOR DESIGN ONLY. CONTRACTOR SHALL VERIFY DIMENSIONS OF ALL EQUIPMENT PADS AND BASES WITH EQUIPMENT MANUFACTURERS. MECHANICAL CONTRACTOR SHALL VERIFY ALL SIZES AND LOCATIONS OF DUCT OPENINGS ON ROOF.

18. DRAIN LINES AND ELECTRICAL CONDUIT MUST BE AT LEAST 6" OFF THE FLOOR AND 6" AWAY FROM ALL WALLS.

19. ALL DIMENSIONS ARE TO THE CENTER OF STUD WALL AND FACE OF CONCRETE BLOCK WALLS, UNLESS OTHERWISE NOTED.

20. UNLESS OTHERWISE INDICATED ON THESE DRAWINGS OR THE SPECIFICATION AS BEING M.T.C. OR EXISTING, ALL ITEMS, MATERIALS, ETC., AND INSTALLATION OF THE SAME ARE A PART OF THE CONTRACT DEFINED BY THESE DRAWINGS AND SPECIFICATIONS.

21. An approved Seismic GAS SHUT OFF Valve or EXCESS FLOW SHUT OFF Valve will be installed on the fuel gas line on the down stream of the utility meter and be rigidly connected to exterior of the building or structure containing the fuel gas piping. Separate plumbing permit is REQUIRED.

22. Provide Ultra Flash water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.

23. The construction shall not restrict a five foot clear and unobstructed access to any water or power distribution facilities (Power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.

24. Provide (70/72) inch high non-absorbent wall adjacent to shower and approved shower-resistant materials for shower enclosure water consumption.

25. Water heater must be strapped to wall.

26. Field - cutting ends, notches and drilled holes of preservative-treated wood shall be treated in the field in accordance with AWPA M4 (CRC R317.1.1).

27. Each pane of safety glazing installed in hazardous locations shall be identified (acid etched, sand blasted, ceramic fired, etc.) by a manufacturer's designation, the manufacturer or installer and the safety glazing standards which it complies. Multi-pane assemblies shall be identified (CRC R308.1).

Project Data		
Zoning	R3	
Property Area	7500 sq. ft.	
Proposed New Three Story Triplex Residence		
Unit # A		
First Floor Living Area	134 sq. ft.	
Two Car Garage	550 sq. ft.	
Second Floor Living Area	725 sq. ft.	
Third Floor Living Area	825 sq. ft.	
Deck Floor Area	100 sq. ft.	
Private Open Area	630 sq. ft.	
Total Living Area	1684 sq. ft.	
Total Building Foot Print	652 sq. ft.	

Proposed Three Story
Single Family Residence

For
Silver Gate LLC

15903 Brighton Avenue Unit "A"
Gardena, CA 90247

Phone # (949) 463-1552

Vicinity Map

Consultants

Consultant: Structural Engineer
Name: Hai-Ray Shun
Address: 9817 Miloann Street Temple City, CA 91780
Phone number: (626) 372-1072 C 042961

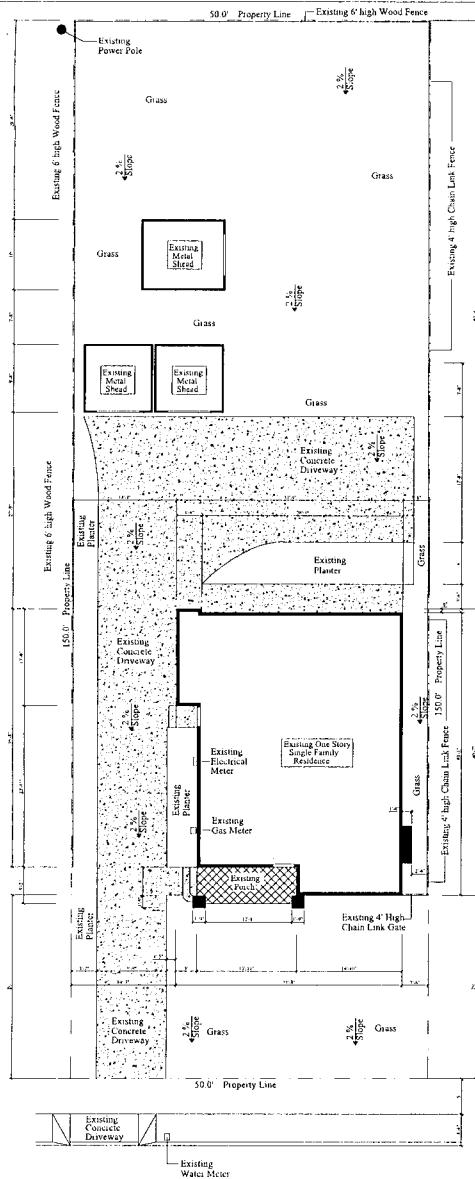
Consultant: Mechanical Engineer
Name: Raymond M. Zhong
Address: 2416 W. Valley Blvd. Alhambra, CA 91803
Phone number: (626) 289-8808 M 27635

Symbol Schedule	
Symbol	Description
	Indicates Existing Stud Walls
	Indicates New Stud Walls
	Indicates Existing Walls to be Removed
	Indicates New Concrete Block Walls
	Indicates New Fire Proof Stud Walls with 5/8" Type "X" Drywall - 1 Hour Fire Proof
	Indicates Recess Ceiling light fixtures
	Indicates Wall Mounted light fixtures
	Indicates Recess Fluorescent Ceiling light fixtures
	Indicates Recess Ceiling light fixtures Water Proof
	Indicates Fluorescent Strip Ceiling light fixtures
	Indicates Fan Unit with 5 min. air changes. 50 CFM Shall be ENERGY STAR compliant duct to terminate outside. Fans not functioning as a component of whole house ventilation system, must be controlled by a humidity control.
	Indicates Light, Heater lamp and Fan Unit with 5 min. air changes. 50 CFM Shall be ENERGY STAR compliant duct to terminate outside. Fans not functioning as a component of whole house ventilation system, must be controlled by a humidity control.
	Indicates Smoke Detector with dedicated circuit breaker and battery power back up.
	Indicates TV Antenna / Cable outlet
	Indicates Electrical Plug
	Indicates Light Switch
	Indicates Phone Jack
	Indicates Gas Outlet
	Indicates Hose Bibb with back flow prevention valve
	Indicates Sound System Speakers
	Indicates out-side light fixtures (Sylvania Integrated LED Outdoor Coach Light Fixture Item 221152 Model 60813)
	Indicates Ceiling light fixtures
	Indicates Direction of Framing Members
	Indicates Area to Cover by Framing Members
	Indicates Window (See Window Schedule)
	Indicates Doors (See Door Schedule)
	Indicates Construction / Demolition Notes
	Indicates F.A.U. / A.C. Vents / Registers
	Indicates F.A.U. Air Return
	Indicates Detail Number
	Indicates Sheet Number
	Indicates Ceiling Fan with lights
	Indicates Carbon Monoxide Detector with Dedicated circuit breaker and battery power back up.

Sequence of Inspections	
1. Foundation/Grounding Electrical /Ground Plumbing Deputy Inspection for Epoxy connections. 2. Slab/Floor Joist / Under Floor Plumbing 3. Insulation Raised Floor 4. Raise Floor deck (No Sill or Storage for Full Visible Inspection) 5. 2nd. Floor Deck (Clear) 6. Roof Sheathing / Exterior Shear-Wall Bracing / Exterior Hardware) 7. Lath 8. Rough Electrical / Mechanical 9. Rough Framing / Plumbing (ALL.) 10. Insulation (General) 11. Drywall 12. Other 13. Final Additional inspections may be inserted for special circumstances or uniqueness of the job. It is the duty of the permit tee to cause the work to remain accessible and exposed for inspection.	
Sheet Index	
T-1	Title Sheet
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SCOPE OF WORK:	
Proposed Three Story Single Family Residences Units A and B First Floor: Foyer and Garage Units A and B Second Floor: Living, Dining Area, Kitchen, Bedroom, Bathroom 1/2" / Guess Bathroom, Deck. Units A and B Third Floor: Master Bedroom, Master Bathroom, Laundry Closet Bedroom and Bathroom Unit C First Floor: Bedroom, Bathroom, Foyer and Garage Second Floor: Living Room, Dining Room, Kitchen, Guest Bathroom, Laundry Deck Third Floor: Master Bedroom, Master Bathroom, Walk-In Closet, Bedroom, Bathroom.	

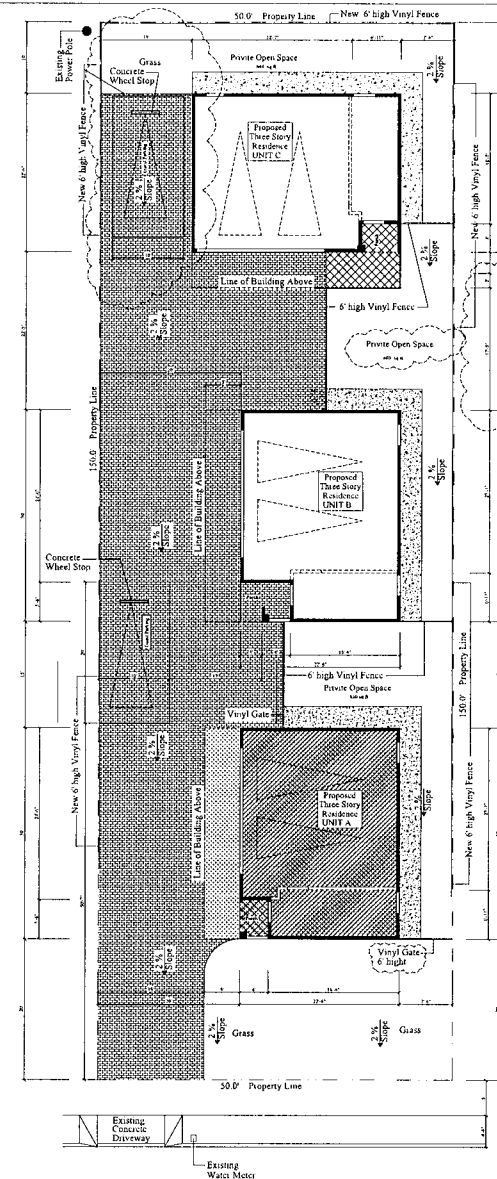
OWNER: Silver Gate LLC
15903 Brighton Avenue Unit "A"
Gardena, CA 90247
Phone # (949) 463-1552 Email: zoi@silvergate.com
OFFICE: 15903 Brighton Avenue Unit "A"
Gardena, CA 90247

DATE: 11-21-2024
SCALE: As shown
DRAWING BY: P.C.
SHEET NO: T-1 Unit A



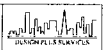
Existing Site Plan

Scale : 1/8" = 1'-0"



Site Plan

Scale : 1/8" = 1'-0"



5110 W. 140th Street
Highland, CA 91041
Phone: (916) 941-5400
jplanning@junglepals.com
Jungles Pals Planning
Principal

NO.	DATE	ISSUED	NO.	DATE	REVISION

OWNER: Silver Gate LLC
26772 Trammass
97493
Phone # (949) 443-1552 Email: zsoajin@yahoo.com
LEGAL DESCRIPTION: APN: 6105-014-017
BROADACRES LOT 19 BLK 3

DRAWING TITLE: Site Plan
DATE: 11-21-2024
SCALE: As shown
DRAWING BY: J.C.
SHEET NO:

SP-1
Units A

1 Y-O-Y-O's® Shower Enclosure, Ceramic tile to ceiling line. With approved pressure Balance or thermostatic mixing valve, at 2 GPM at 80PSI. With approved tempered glass door and side panel. Provide R-8 High Ceramic tile.

2 Whirlpool Tub w/ Jetset with 34 HP Pump & Heater. Provide required Plumbing and Electrical. Provide 1/2" Copper Access.

3 Toilet waste Entry sewer /low flow commodes/water waste closet shall meet the WATER CONSERVATION STANDARDS of ANSI A 115.1 for performance. Minimum 1.6 gpm @ 15 ft. of the Department of Housing and Community Development. 1.2 gallons per flush.

4 Hand sink one piece on granite with white sink and counter to be Oak or Maple. Provide a hand sink with a maximum flow rate of 1.5 gallons per minute at 80 psi. The maximum flow from the faucet shall be 1.2 gpm at 80 psi.

5 Vanity mirror, G.C. to verify with Owner and at field for size.

6 Indicates Fan Unit with 5 min. air changes minimum 59 CFM Shall be ENERGY STAR compliant due to terminate outside. Fans not functioning is a component of whole house ventilation system must be controlled by a mechanical fan speed control and must be under separate switch from high efficiency luminaires. Model: Panasonic FV-08V-118M (ceiling mounted) Kitchen Siding - 4 inch thick, 1/2" x 10 cm x 1 inch, SP or Hertz 60 ft.

7 Linen storage, provide organizer and shelves by Owner.

8 Provide shelves and poles, and closet organizer provided by Owner.

9 Refrigerator provide water line

10 Kitchen Sink with faucet : 1.8 GPM at 60 psi.

11 Garbage disposal 1/2 h.p. provide required plumbing and electrical

12 Save and Kitchen Hood, provide required plumbing and electrical
Kitchen Hood to vent directly outside, 16 CFM for Electric range (1/3) and 250 CFM for Gas range.

13 Dish Washing Machine provide required plumbing and electrical.

14 Counter wood cabinets, owner to pick style and color

15 Wall cabinets owner to pick style and color.

16 Washing Machine provide required plumbing and electrical.

17 Dryer: provide required plumbing and electrical.

18 Provide Wall cabinet or shelf for Dish Washing Machine and Dryer.

19 4" dia. dryer's vent in concrete slab to face of wall, with back-draft damper.

20 Provide a minimum of 2 - 2" small square appliance circuits for a kitchen counter tops. Such circuits shall have no other outlets. Loads shall be calculated as follows:

21 Provide a minimum of 1 - 20 amp laundry branch circuit. Such circuit shall have no other outlets.

22 Electrical outlets at 42" from Floor G P 1 - 20 amp circuit for bathroom outlet. Such circuit shall have no other outlets. This circuit may serve more than one bathroom, outlet/ room/ tapster/ room.

23 Electrical outlets at 42" from Floor G P 1 - 20 amp outlet tapster room/ restrooms. Local outlets at 24" from floor and provide water provision.

- 24 Light at Ceiling to Recessed Incandescent Fixture with Completely Enclosed Lamp

25 All Branch Circuits that supply 120 V, single phase, 15 & 20 Amps are installed in dwelling unit family rooms, dining rooms, living rooms, recreation rooms, libraries, den, bedrooms, sunrooms, porches, closets, hallways, or similar rooms or areas shall be protected by a listed arc-fault circuit interrupter (AFCI) combination-type or Temp-Sensitive (CEC 210.12 (D)(2))

26 Smoke Detector shall be hard wired, wiring shall be permanent and without a disconnect switch other than that required for over-current protection and equipped with a battery back-up. No shall be installed in accordance with NFPA 72

27 Smoke & CO alarms shall be interconnected so that activation of one alarm activates all of the alarms. (CEC R314.5, R315.1.2)

 - a. Battery smoke alarm permitted in existing buildings where no construction is taking place
 - b. Smoke Alarms shall be listed & maintained in accordance with manufacturer's instructions. Smoke alarms shall be replaced after 10 years from the date of manufacture marked on the unit.
 - c. Conventional Ionization Smoke Alarms that are solely battery powered shall be equipped with a 10 year battery and have a lifetime feature.

28 Carbon Monoxide Alarm shall be interconnected hard wired, wiring shall be permanent and without a disconnect switch other than that required for over-current protection and equipped with a battery back-up

 - a. Battery carbon monoxide alarm permitted in existing dwelling units where no construction is taking place

29 Water Heater RHEIM PERFORMANCE PLATINUM HYBRID line all non-pipe connections with 7/2" wide metal straps top and bottom. One in the 1/2" tank and one in the 40 gallon tank. The strap shall be minimum of 4-in above the controls. Provide Required Plumbing and Venting in the first reach with vents at top and bottom of door. Or on 18" high Platform.

NOTE:

 - 1 The first hour rating is found on the "Energy Guide" label.
 - 2 Non-store and solar water heaters shall be sized to meet the appropriate first hour rating as shown in the table.
 - 3 Provide dedicated 125V, 20A (10 AMP copper branch circuit) electrical receptacle that is within 3feet from the water heater and accessible to the water heater with no obstruction. The receptacle shall be a reserved single pole breaker space in the electrical panel labeled "Future 240V Use" Both ends of the unused conductor shall be labeled with the word "open" and be restricted to 150 degrees.
 - 4 A condensate drain that is no more than 2 inches higher than the base of the installed water heater and allows natural draining without pump assistance.
 - 5 Designate a space at least 2 ft. by 2 ft. wide and 7 ft. tall suitable for the future installation of a heat pump water heater (HPWH)

30 F.A.U. INFINITY 80 GAS FURNACE See energy calculation for size Location at outside provide required plumbing and electrical. Strap all non-rigid connections Provide high return vent near unit.

31 200 AMP Electrical meter located directly with Power Company. (UEF6 ground at electrical service panel 20 footed length of 1/2" diameter rod of #4 AWG Copper or 5/16" Galvanized Guy Wire) See Site Plan Sheet SP-1 for location

32 In every bedroom provide one open able escape window meeting all of the following: an open able size of not less than 5 7/8 sq ft and a minimum clear width and 20" width and a sill height over 44" above finish floor.

33 30"x30" Access covers provide a min. 3/8" above clearance.

34 House bill with back-up water valve.

35 All luminaires shall either be high efficacy or shall be controlled by a vacancy sensor or dimmer. Closets that are less than 70 square foot are exempt from this requirement.

36 Outdoor Lighting All luminaires mounted to be building or on other buildings or the same lot shall be high efficacy luminaires or shall be controlled by a photocell function sensor (photocell function sensor override)

37 High efficacy luminaires must be pin based.

38 All plumbing fixtures and fittings are to comply with the California Plumbing code.

39 Contractor shall provide copies of the California Guide to Home Comfort and Energy Savings, CF-1R, MF-1R, CF-6R and C-1 forms to building owner.

40 Contractor shall post the Installation Certificate (CF-4R) form and Insulation Certificate (IC-1) form in conspicuous location or kept with plans and made available to the Inspector.

41 Any fenestration product and exterior door, other than field-fabricated fenestration products and field-fabricated doors, which may be installed only if the manufacturer has been listed by the Energy Commission, or of an independent certifying organization approved by the Energy Commission has certified that the product complies with all of the applicable requirements of this subsection.

42 Any fenestration product shall have attached to it a clearly visible temporary label that lists the U-factor, the solar heat gain coefficient (SHGC) and Visible Transmittance (VT) and that certifies compliance with the air leakage requirements of Section 110.6 of the Compartment Modeling Approach (CMA) and site-built fenestration products shall have a label certificate that lists the U-factor, and the Visible Transmittance (VT)

43 Electrical Vehicle (EV) per Cal Green 4.106.4

44 Provide a minimum 1" (inside diameter) listed raceway is installed for each unit and accommodate the unit's service disconnect and disconnect switch. The disconnect switch shall be installed in the main service or a subpanel and terminated at the main service or subpanel and terminate in the main service or subpanel at the location of the charging system into a listed cabinet, box or enclosure.

Ⓢ All dimensions are approximate, contractor to verify dimensions at field if any major discrepancy occurs notify designer or Owner prior to continue with work.

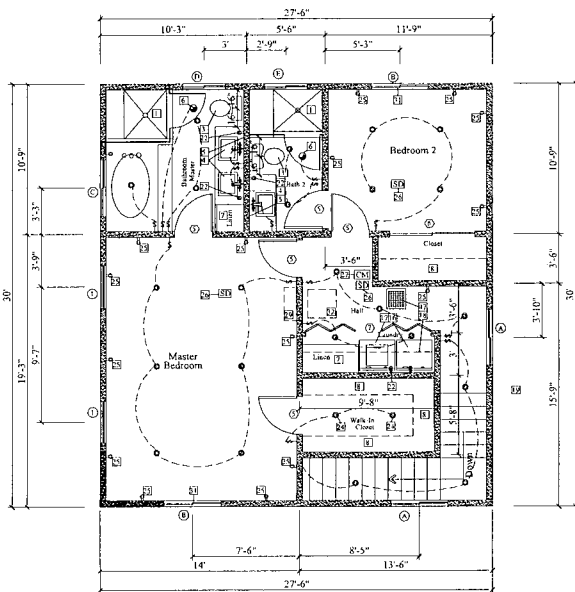
174. In compliance with the 2020 County of Los Angeles Plumbing code,
- a. Dual water piping shall be installed to permit the discharge from clothes washers, bathtubs, showers, and bathroom / restrooms wash basins to be used for a graywater irrigation system (PC 104.1)
- EXCEPTIONS:
- (1) Building with a geywater system, rain catchment systems or recycled water system.
 - (2) Sites with landscape area not exceeding 500 square feet.
 - (3) Projects where graywater system are not permitted due to geological conditions
 - (4) Additions and alterations that use the existing building drain.
- b. A hot water recirculation system shall be installed as defined in Chapter 2 of Los Angeles County Plumbing Code, and shall not allow more than 0.6 gallons of water to be delivered to any fixture before hot water arrives. Hot water recirculation systems may be used, but are not limited to the following (PC 601.2.2)
- (1) Timer - Initiated systems.
 - (2) Temperature sensor - initiated systems.
 - (3) Occupancy sensor-initiated systems.
 - (4) Smart hot water recirculation systems.
 - (5) Demand hot water recirculation systems.
 - (6) Other systems acceptable to the Authority Having Jurisdiction

An individual water meter or submeter shall be provided for each dwelling unit in newly-constructed multi-unit rental apartment, condominium structures and in residential portion of newly-constructed mixed-use structures. (PC 601.2.1 & 601.2.1.1)

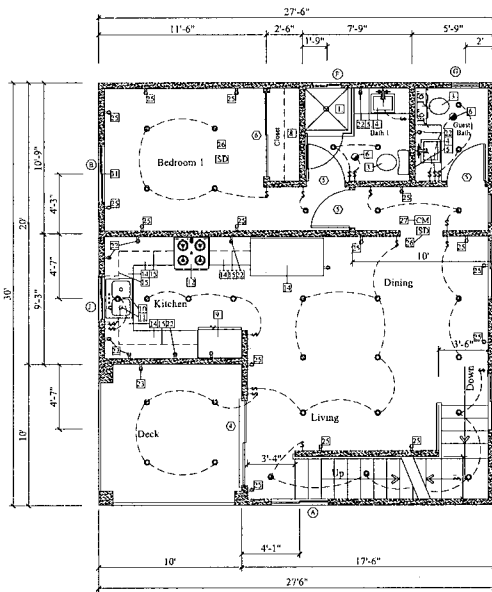
Symbol Schedule

Symbol	Description	DATE	REVISION	NO.	ISSUED	DATE
	Indicates Ceiling 2" x 4" Grid Work					
	Indicates 2" x 4" Grid Work					
	Indicates Ceiling of Concrete Slab Work					
	Indicates Existing Wall or its Extension					
	Indicates Existing and/or Final Eased Work See 407B Edition					
	Indicates Electrical Plug					
	Indicates 20 Amp 120 Volt Circuit Plug					
	Indicates Light fixture					
	Indicates Ceiling Light Fixture					
	Indicates Wall Mounted Light Fixture					
	Indicates Floor Mounted Light Fixture					
	Indicates Room Partitioning See 407B Edition					
	Indicates Room Partitioning (2000) See 407B Edition					
	Indicates Ceiling Partitioning See 407B Edition					
	Indicates Ceiling Partitioning See 407B Edition					
	Indicates Ceiling Partitioning See 407B Edition					
	Indicates Ceiling Partitioning See 407B Edition					
	Indicates Ceiling Partitioning See 407B Edition					
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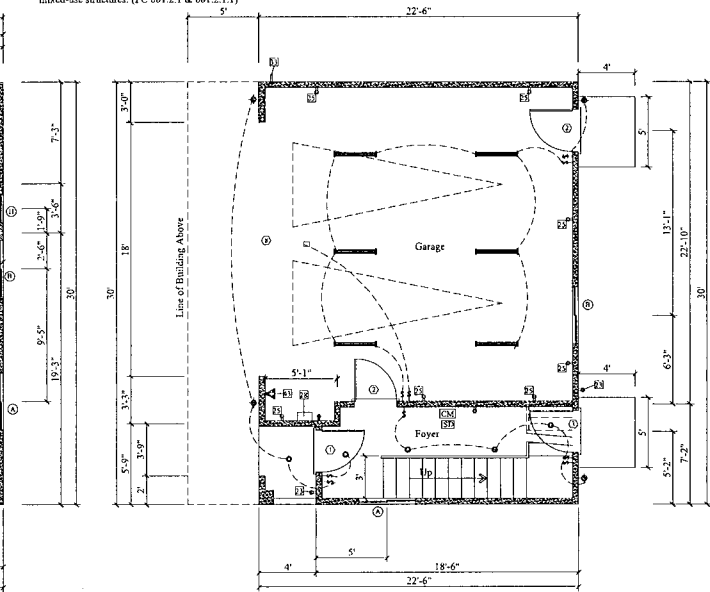
OWNER Silver GateLLC
26772 Transmuras
Mission Viejo, CA 92652
Phone # (949) 463-1552 Email : zojajim@yahoo.com
AUCTION DESCRIPTION APN: 6105-014-017
BROADACRES LOT 19 BLK 3



Scale : 1/4" = 1'-0"



Scale : 1/4" = 1'-0"



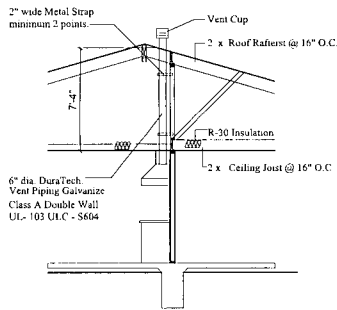
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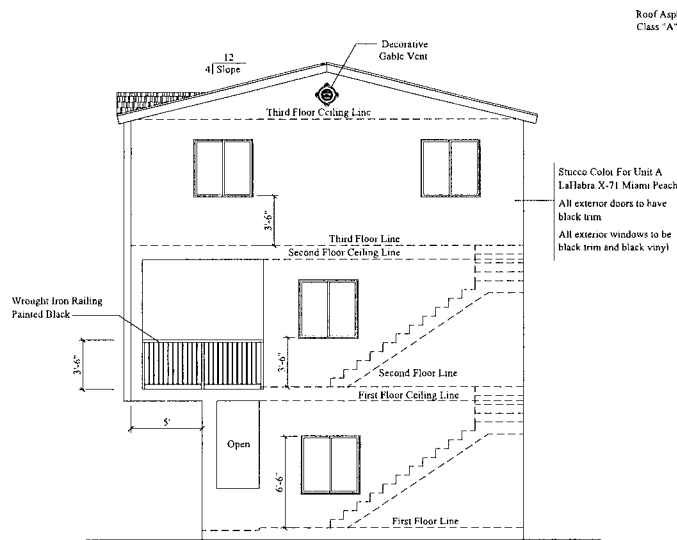
Units A

A-1

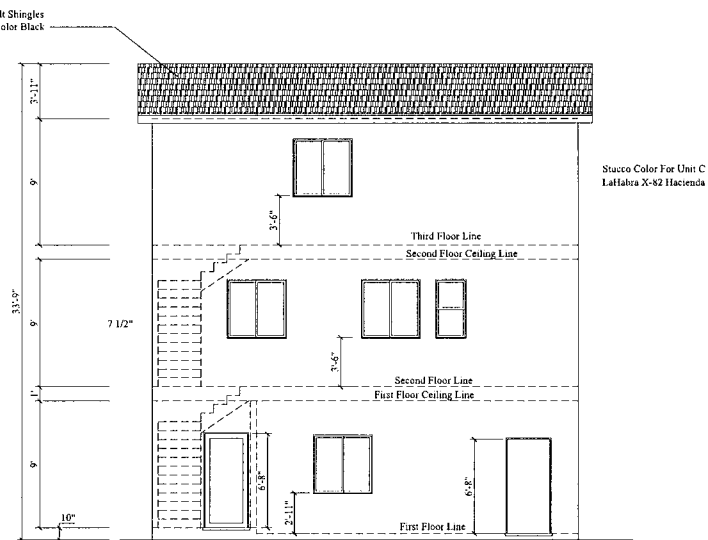
SCALE.
As shown
DRAWING BY.
P.C.
SHEET NO.



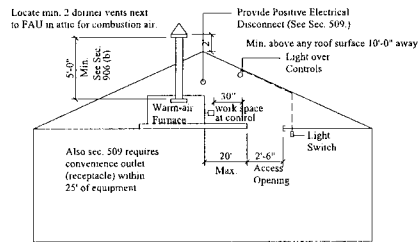
Kitchen Venting Section View
Scale : 1/4" = 1'-0"



South Elevation View
Scale : 1/4" = 1'-0"



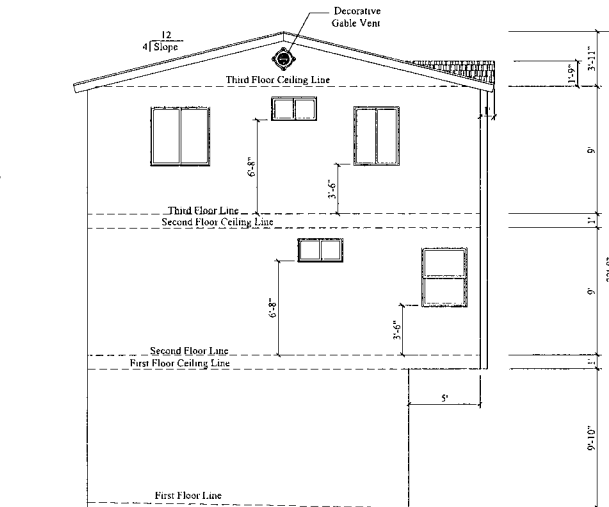
East Elevation View
Scale : 1/4" = 1'-0"



RELATED CODE SECTION: 509 - 708
Central warm-air furnaces installed in an attic must be accessible for routine inspections and maintenance by owner/occupant and for service and repair as needed. Changing filters, lubricating motor and fan bearing, checking belt tension, and relighting the pilot following a service interruption are normal owner functions, adequate light, and electrical outlet, safe access way and sufficient working space in the control side all encourage and facilitate maintenance and also enable rapid egress in an emergency.

- NOTES:**
1. Provide double joist below unit.
 2. Provide seismic braces or anchor unit to platform.
 3. Condensate drain line shall terminate at an approved plumbing fixture.

FAU Attic Location
Scale : 1/4" = 1'-0"



North Elevation View
Scale : 1/4" = 1'-0"



West Elevation View
Scale : 1/4" = 1'-0"

Units A

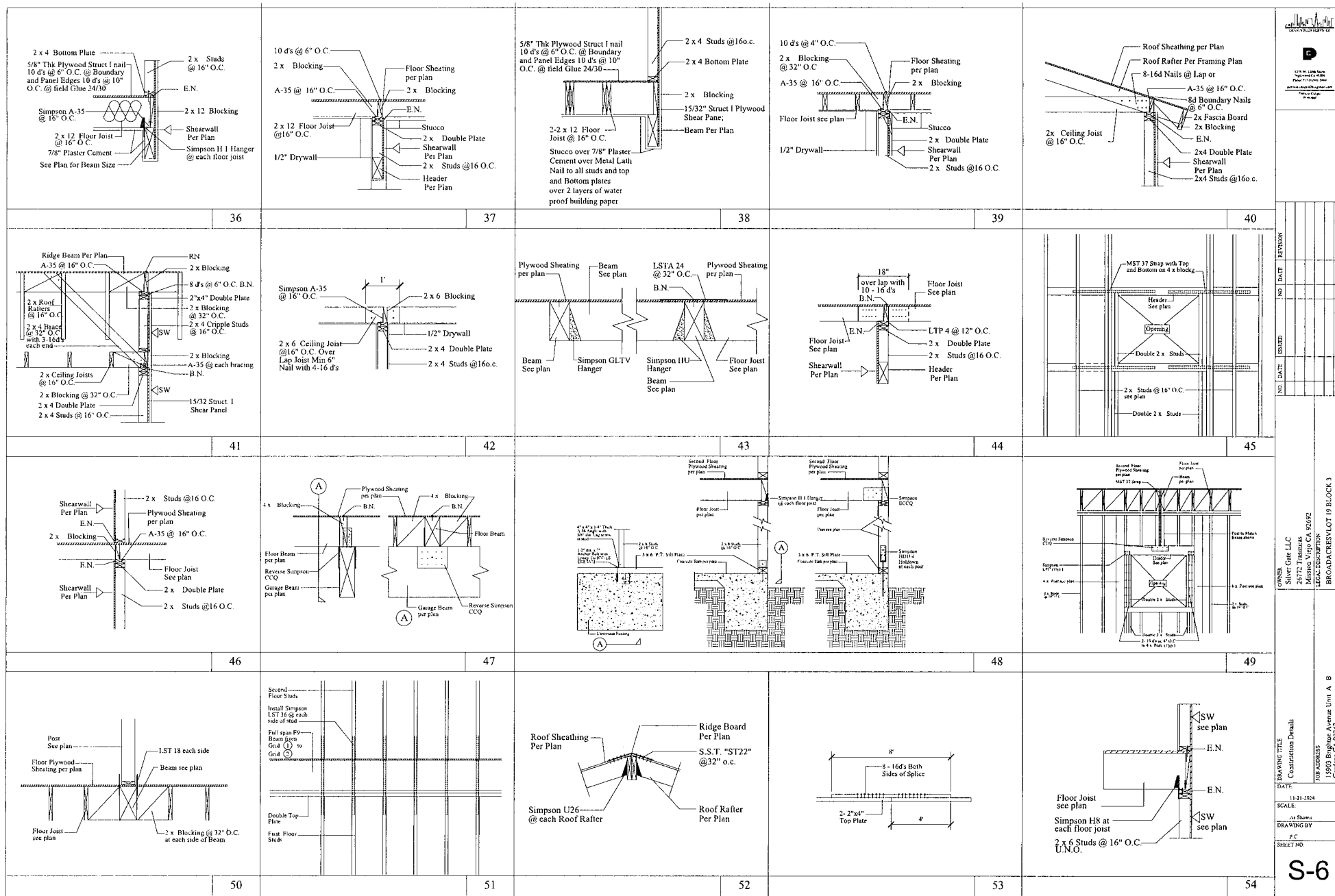
A-2

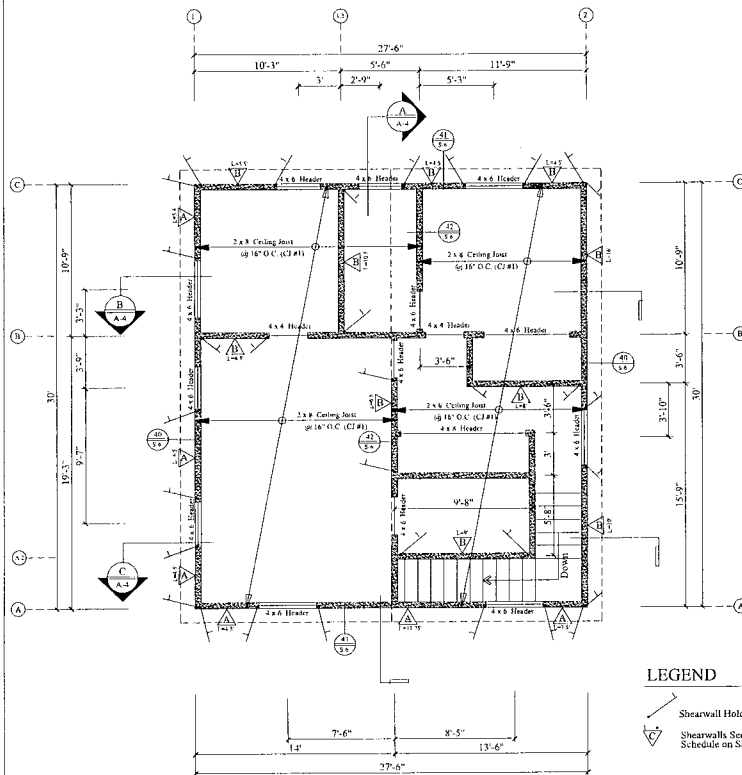


NO.	DATE	ISSUED	NO.	DATE	REVISION

OWNER: Silver Gate LLC
26772 Translucina
Portland, OR 97224
Phone: (503) 465-1552, Email: zojas@wyaboo.com
LEGAL DESCRIPTION: APN: 6105-014-017
BROADACRES LOT 19 BLK 3

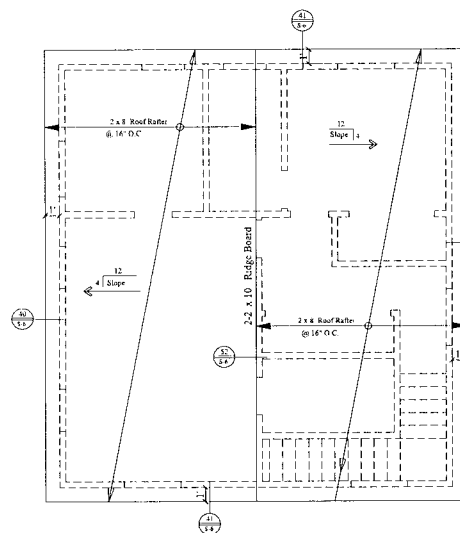
DRAWING TITLE: Exterior Elevations
DATE: 11-21-2024
SCALE: As shown
DRAWING BY: P.C.
SHEET NO.





Roof Ceiling Joist and Third Floor Shearwalls Plan

Scale: 1/4" = 1'-0"



Roof Framing Plan Units A and B

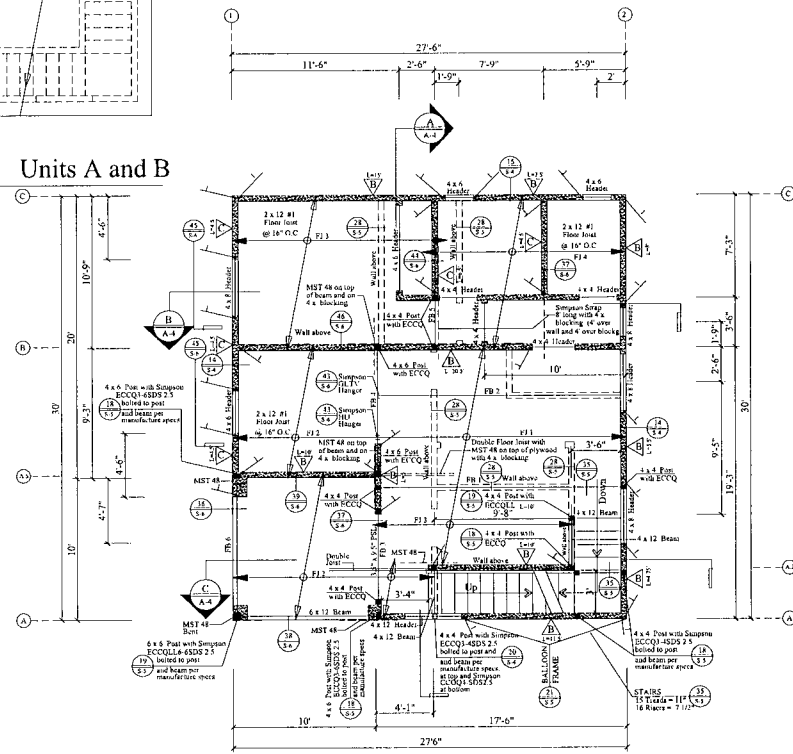
Scale: 1/4" = 1'-0"

THIRD FLOOR FRAMING AND SECOND FLOOR FRAMING PLAN LEGEND

Shearwall Holdown Simpson MSC 48
Shearwalls See Shearwall Schedule on Sheet S-1

THIRD FLOOR FRAMING LEGEND

- FI 1 2 x 12 #1 @ 16" O.C.
- FI 2 2 x 12 #1 @ 16" O.C.
- FI 3 2 x 12 #1 @ 16" O.C.
- FI 4 2 x 12 #1 @ 16" O.C.
- FI 5 2 x 12 #1 @ 16" O.C.
- FB 1 3.5" x 11.25" PSL
- FB 2 3.5" x 11.25" PSL
- FB 3 3.5" x 9.25" PSL
- FB 4 5.5" x 11.25" PSL
- FB 5 3.5" x 7.5" PSL
- FB 6 5.5" x 11.25" PSL



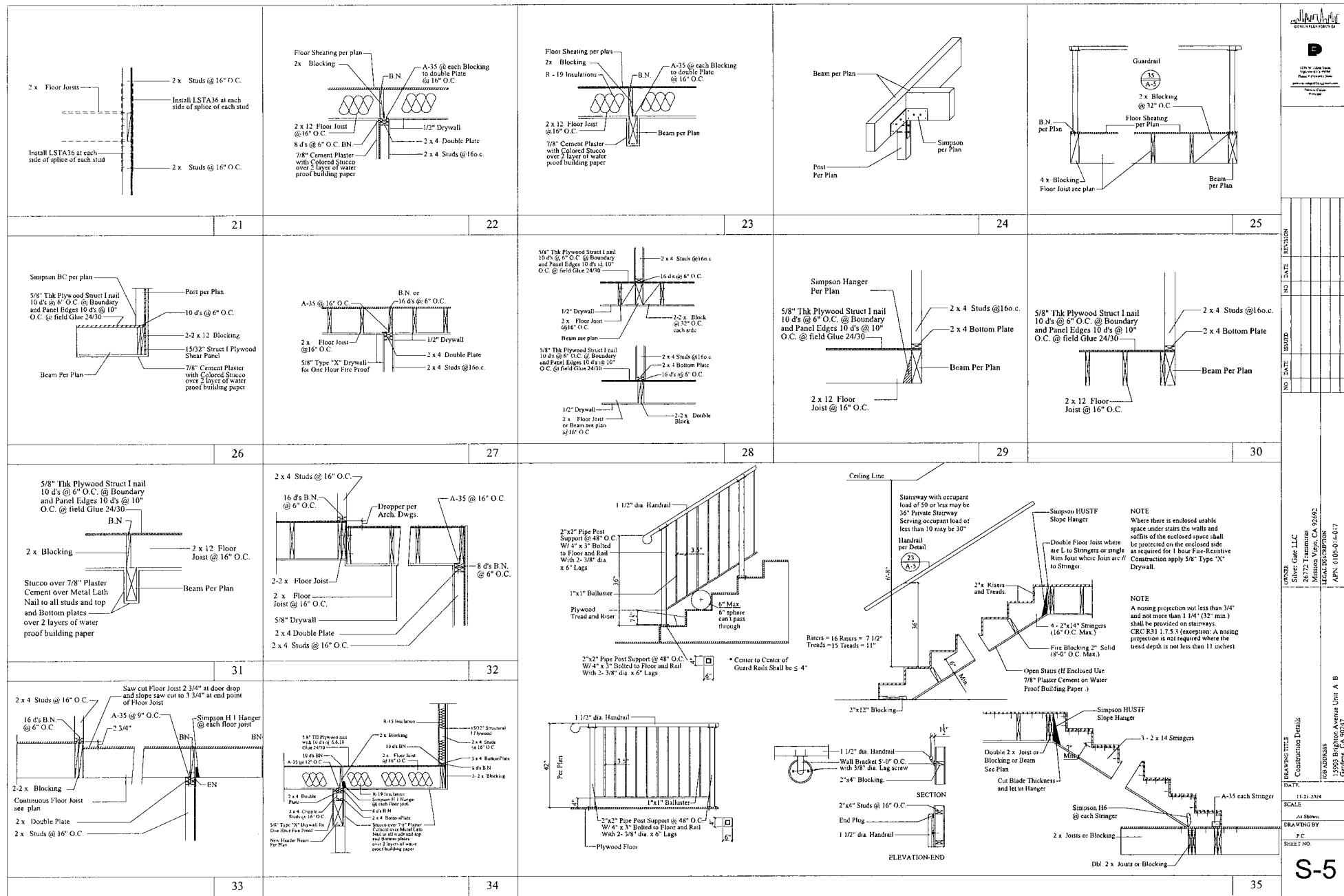
Third Floor Framing and Second Floor Shearwall Plan

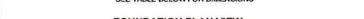
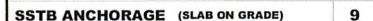
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Units A

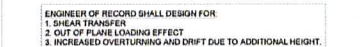
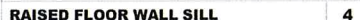
 1311 W. 126th Street Sagehen and W. 130th Phone: 415-361-5666 paul@silvergatellc.com paul@silvergatellc.com Paula Chaffee Paula Chaffee			
OWNER	Silver Gate LLC	DATE	11-21-2024
PROJECT	20772 Translance	SCALE	As shown
PHONE	92692	DRAWN BY	P.C.
EMAIL	909m@yahoo.com	SHEET NO.	S-3
LEGAL DESCRIPTION	APN: 6105-014-017		
BROADACRES LOT 19 BLK 3			
15903 Ingham Avenue Unit "A"			
Gardens, CA 90247			



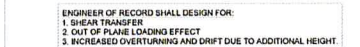


NOTES:

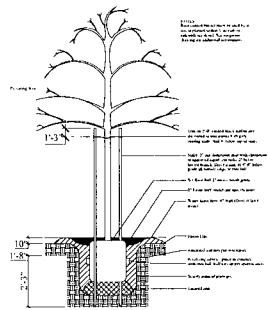
- ANCHORAGE DESIGNS CONFORM TO ACI 318-14 AND ACI 318-11 APPENDIX D AND ASSUME MINIMUM f'_c 5000 PSI CONCRETE, ASTM A307 OR ASTM A193, GRADE 36 ANCHOR RODS AND NO SUPPLEMENTARY REINFORCEMENT. HIGH STRENGTH ANCHORAGE DESIGN BY OTHERS WHEN REQUIRED.
- 1) INDICATES SEISMIC ANCHOR CAPACITY C, GROUP F, DETACHED 1 AND 2 FAMILY DWELLINGS IN GDC C MAY USE ANCHOR ALLOWANCES SEISMIC ANCHORAGE DESIGNS CONFORM TO ACI 318-14 SECTION 17.2.3.4 AND ACI 318-11 SECTION D.3.4.
- 2) WIND INCLUDES SEISMIC DESIGN CATEGORY A AND B.
- 3) FOUNDATION DIMENSIONS ARE FOR ANCHORAGE ONLY. FOUNDATION DESIGN (SIZE AND REINFORCEMENT) BY OTHERS. THE REGISTERED DESIGN PROFESSIONAL MAY SPECIFY ALTERNATE EMBEDMENT, FOOTING SIZE OR ANCHOR BOLT.
- 4) WIND LOADS ARE BASED ON 150 PSF EXPOSED SURFACE AREA.



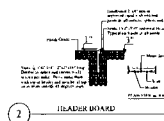
RAISED FLOOR STRONG WALL MODELS						
MODEL SET-UP	W (IN)	H (IN)	T (IN)	NUMBER OF FASTENERS IN BOTTOM CORNER JOINT	NUMBER OF FASTENERS IN TOP CORNER JOINT	HOLDOWN MAX. ANCHOR YIELD STRENGTH (KIP)
SW16-8-F	18	60	3/4	13,825 kips	9,805 kips	2.7 x 70 84
SW24-8-F	24	60	3/4	16,825 kips	12,806 kips	2.7 x 90 111
SW32-8-F	32	60	3/4	20,820 kips	15,803 kips	2.7 x 90 116
SW48-8-F	48	60	3/4	25,054 kips	24,823 kips	2.7 x 140 149
SW16-16-F	18	165	1/4	13,825 kips	9,805 kips	2.7 x 70 84
SW24-16-F	24	165	1/4	16,825 kips	12,806 kips	2.7 x 90 111
SW32-16-F	32	165	1/4	20,820 kips	16,800 kips	2.7 x 140 129
SW48-16-F	48	165	1/4	25,054 kips	24,823 kips	2.7 x 165 165
BW24-16-F	24	117	1/4	16,825 kips	12,806 kips	2.7 x 90 111
SW24-10-F	24	117	1/4	20,825 kips	16,833 kips	2.7 x 134 134
SW24-12-F	24	134	1/4	20,825 kips	16,833 kips	2.7 x 152 152



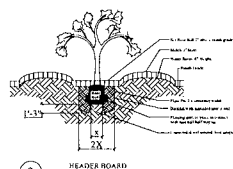
1. **STRONG-WALL®** SHEARWALL IS MANUFACTURED AND TRADEMARKED BY "SAMPSON STRONG-TIE COMPANY INC."
10000 W. 146th AVENUE, SUITE 200, MOOREVILLE, PLEASANTON, CA 94588
TEL. (800) 960 5094. FAX. (925) 875-6820
2. **STRONG-TIE COMPANY INC. IS AN ISO 9001 REGISTERED COMPANY.**
3. **INSTALLATION OF PRODUCT SHALL BE DONE IN STRICT CONFORMANCE WITH THE DRAWINGS AND MANUFACTURER'S MANUAL WITH NO ALTERATIONS OR MODIFICATIONS TO THIS PRODUCT AND ASSOCIATED SYSTEMS.** ANY CHANGES TO THE DRAWINGS SHALL BE SHOWN ON THESE DRAWINGS AND THE INSTALLATION GUIDE SHOULD ONLY BE MADE BY THE ARCHITECT OR ENGINEER. ANY CHANGES TO THE DRAWINGS, THE PERFORMANCE OF SUCH MODIFIED PRODUCTS OR ALTERED INSTALLATION PROCEDURES SHALL BE THE RESPONSIBILITY OF THE ARCHITECT/ENGINEER. REFER TO CCS-ESP-1297 FOR FURTHER INFORMATION.
4. **THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS, ELEVATIONS, ETC., PRIOR TO INSTALLATION OF THE STRONG-WALL® SYSTEM.** IF ANY DISCREPANCIES ARE FOUND, THEY SHALL BE REPORTED TO THE ARCHITECT/ENGINEER PRIOR TO THE START OF PROJECT ERECTION OR BUILDING DESIGNER FOR CLARIFICATION PRIOR TO COMMENCEMENT.
5. **THE CONTRACTOR SHALL VERIFY THE POSITION OF THE STRONG-WALL IN RELATION TO THE REST OF THE BUILDING SYSTEM AS SHOWN ON THE DRAWINGS.**
6. **USE OF THIS PRODUCT IS SUBJECT TO THE APPROVAL OF THE LOCAL BUILDING OFFICIAL.**
7. **THE BUILDING STRUCTURE SHALL BE DESIGNED IN ACCORDANCE WITH THE LATEST UNIFORMED VERSION OF THE BUILDING CODE AND ANY OTHER LOCAL, STATE OR FEDERAL REQUIREMENTS THAT MAY APPLY.** VERY DESIGN REQUIREMENTS WITH THE STRONG-WALL SYSTEM SHALL BE THE RESPONSIBILITY OF THE ARCHITECT/ENGINEER.
8. **THIS PRODUCT IS PART OF THE OVERALL LATERAL FORCE RESISTING SYSTEM OF THE STRUCTURE. DESIGN OF THE BUILDING'S LATERAL FORCE RESISTING SYSTEM INCLUDING A CONNECTION OF THE STRONG-WALL TO THE OVERALL LATERAL FORCE FROM THE STRUCTURE TO THE GROUND, IS THE RESPONSIBILITY OF THE DESIGNER.**
9. **SAMPSON STRONG-TIE COMPANY INC. RESERVES THE RIGHT TO CHANGE SPECIFICATIONS, DESIGNS AND MODELS WITHOUT NOTICE OR LIABILITY FOR SUCH CHANGES.**
10. **ALL HARDWARE CALLED OUT IS SAMPSON STRONG-TIE®.**



1 TREE SPACING



2 HEADER BOARD



3 HEADER BOARD

LANDSCAPE GENERAL NOTES

- Plans are based upon Civil Drawings prepared by Owner. Contractor shall review notes for accuracy and confirm all dimensions and elevations and notify engineer of any discrepancies on the plans or observed in the field prior to commencing work.
- All work shall be fully coordinated with other disciplines. All work shall be performed by qualified licensed contractors having at least 5 years experience with similar projects. Unless otherwise noted, requirements of contract.
- Contractor shall be responsible for coordination of work with that of other subcontractors on the site to avoid conflict with work required and delays in the progress of work by others.
- Codes and Standards: All work shall be in accordance with standards stated in the project specifications. AMERICAN DISABILITY ACT, CALIFORNIA STATE TITLE 24, CALIFORNIA STATE BOARD OF CONSUMER AFFAIRS FOR AREAS OF WORK COVERED BY APPLICABLE LICENSE REQUIREMENTS, CITY OF SACRAMENTO, COUNTY OF SACRAMENTO.
- Prior to the commencement of work, contractor shall contact underground service alert at 1-800-642-2244 in order to determine exact location of any existing underground utilities and structures. Contact Engineer if any conflict or obstruction affecting the work was identified. Do not commence work until notified to proceed.
- Construction Layout: Per Civil Plans and Specifications.
- Grading and Drainage: Per Civil Plans and Specifications.
- Lighting: Coordinate work with Civil & Electrical Plans and Specifications.
- Contractor shall coordinate with any regulatory or jurisdictional of the existing street trees: plans to remove and construction of Landscape work.
- Inspection: Provide minimum 48 hours prior notice to landscape designer to schedule inspection. Inspection shall include but not be limited to the following items: Contractor to make every effort to coordinate time for inspection whenever possible. Pre-Construction site walk through. Irrigation monitoring and testing - prior to authorizing maintenance period. Final inspection prior to authorizing maintenance period. End of Maintenance period to authorizing warranty period.
- Submittals: Contractor shall allow 21 days review by designer for approval of submittal items. Contractor to identify lead times for production, installation and delivery of all submittal items identified in the specifications and provide adequate time for review by designer delays to the work schedule resulting from inadequate time to review submittal items shall be the responsibility of the contractor.

PLANTING

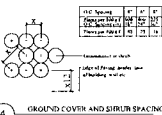
- All work shall be performed in accordance with plans and specifications by persons having at least two years experience in planting and horticultural practices and under the direction of a qualified planning person having at least five years experience in similar work.
- The landscape contractor is to provide an agricultural suitability analysis for the site and disposal of material to be provided to landscape designer for approval and further recommendation, if any. Recommendations for amendments contained in the analysis are to be carried out before planting occurs. Contractor shall follow and unconditionally accept recommendations by and not to better.
- Ground Cover shall be planted as shown on the plan, including adjacent shrubs and tree watering layout as shown on the detail.
- Plant count is for the convenience of the contractor in the case of discrepancies, the plan governs.
- Plant material locations as shown are diagrammatic and may be subjected to change the field by the landscape designer. Plant locations are to be adjusted in the field as necessary to screen utilities but not to block windows, signs or impede access.
- The landscape designer reserves the right to make substitutions, additions, and deletions in the planting scheme as they feel necessary while work is in progress upon approval by the owner. Such changes are to be accompanied by equitable adjustments in the contract price if necessary.
- All trees are to be staked as shown on the tree staking/spacing diagram. Branching height of the tree shall be 6' 0" minimum above finish grade. All trees are to be staked in a formal group planting shall be staking in the base and slope. All trees are to be installed in accordance with the standards and specifications of Sacramento County. Landscape designer shall be consulted regarding orientation of trees prior to planting and/or fertilizing.
- Plant trees at 4' minimum from face of curb at parking, wall and from edges of paving. All trees within 5' of paving areas shall have deep root barriers installed. See root barrier detail. Deep root barrier model No. 118-242. Install per manufacturer's specifications.
- On-grade planting back filling mix shall consist of 2 parts native topsoil and 1 part certified seedbed soil conditioner.
- All planting areas shall be top-dressed with 3" layer of fine filter mulch, a shredded bark product. Submit sample to landscape designer for approval prior to ordering.
- The contractor shall repair any damage caused by his operations to the satisfaction of the owner's representative without any additional charge.
- Each plant shall receive a gallon slow release plant tablet. 20-10-5 Composition or approved similar apply per manufacturer's specifications. Place near rootball. 5 for 24" box trees - 2 below and 4 on side of rootball. 5 for 15 gallon can trees - 1 below and 4 on side of rootball. 4 for 5 gallon can trees - 1 below and 3 on side of rootball.
- Tree roots have an avoid leader that has a uniform taper from base to top. Trees must meet at least nominal caliper and height for container size. Overgrown or root bound trees are not acceptable.
- Contractor to provide 90 days maintenance following installation as part of base contract.

Plant Legend

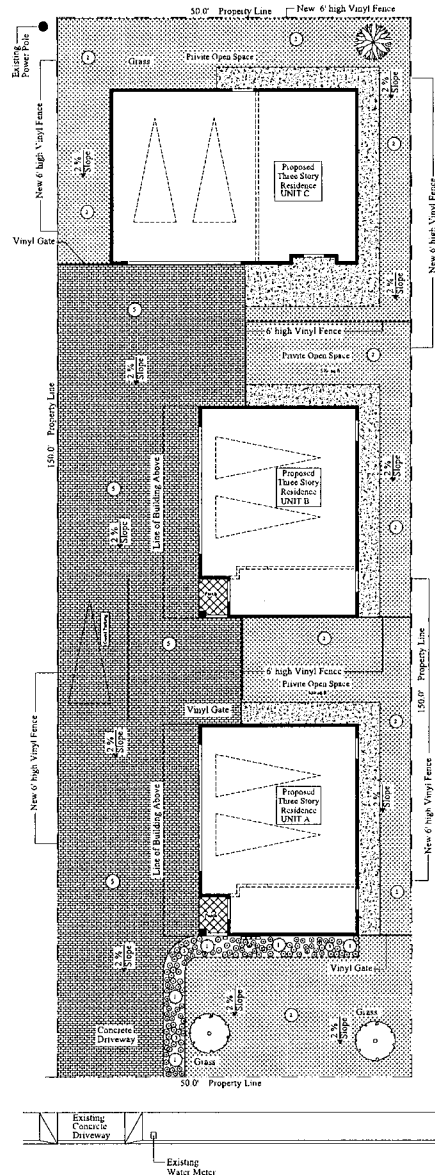
Symbol	Botanical Name	Common Name	Size	Qty
1	Cupressus Arborescens	Santa Cruz Cypress	24" Box 6'-0" High	2
2	Pinus Chinensis	Chinese Pine	24" Box 6'-0" High	1
3	Rosa rugosa	Madison Rose	5 gal	3
4	Acacia Mimosoides	Acacia	5 gal	
5	Larix laricina	Larix	5 gal	
6	Hyperboreum	Hyperboreum	5 gal	
7	Mulch			

Legend

Symbol	Description
1	Vinyl Gate (6'-0" Maximum in Height)
2	6" Center Block - Block Wall
3	Pavement Concrete Pavers
4	Concrete Driveway at Side Walks
5	Vinyl Security Gate
6	Cold Stamped Concrete



4 GROUND COVER AND SHRUB SPACING



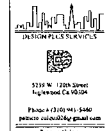
Site Plan

Scale: 1/8" = 1'-0"

Brighton

Avenue

Units A



3210 W. 12th Street
Folsom, CA 95630
Phone: (916) 451-5440
www.silvergatellc.com

Paul A. Silver
Principal

NO.	DATE	REVISION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

OWNER: Silver Gate LLC
3210 W. 12th Street
Folsom, CA 95630
Phone: (916) 451-5440
Email: zolajin@yahoo.com
LEGAL DESCRIPTION: APN: 6105-014-017
BROADACRES LOT 19 BLK 3

DRAWING TITLE: Site Plan
DATE: 11-21-2024
SCALE: As shown
DRAWING BY: P.C.
SHEET NO: L-1

General Notes	
1. ALL WORK, MATERIAL, METHODS, ETC. SHALL CONFORM TO THE 2013 CBC AND CITY OF GARDENA AMENDMENTS.	
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS THEREON BEFORE COMMENCING WORK, REPORT AND DISCREPANCIES AND/OR POTENTIAL PROBLEMS TO THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING.	
3. GOVERNING CODES AND FIRE DEPARTMENT FIELD INSPECTOR SHALL DICTATE SIZE, TYPE, QUANTITY, AND LOCATIONS OF BOTH TEMPORARY AND PERMANENT PORTABLE FIRE EXTINGUISHERS (N.I.C.).	
4. ALL TOILET ROOMS SHALL BE VENTILATED WITH 5 MINUTE AIR CHANGES BY MECHANICAL MEANS SEE APPLICABLE DRAWINGS. 50 CFM TO OUTSIDE.	
5. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY CEILING OR WALL ACCESS PANELS (OR ACCESS DOORS) AS REQUIRED BY GOVERNING AGENCIES FOR AIR CONDITIONING, PLUMBING, FIRE SPRINKLER, AND ELECTRICAL SYSTEM. PROVIDE APPROVED ASSEMBLIES WITH SELF-CLOSING DEVICES IN 1-HOUR RATED CONSTRUCTION.	
6. ALL PENETRATIONS OF 1-HOUR FIRE RESISTIVE CONSTRUCTION SHALL BE PROTECTED WITH APPROVED FIRE ASSEMBLIES.	
7. EXIT DOORS MUST OPEN OVER A LANDING NOT MORE THAN 1/2" BELOW THE THRESHOLD.	
8. ALL EXPOSED ELECTRICAL EQUIPMENT SHALL BE PAINT TO MATCH ADJACENT SURFACES.	
9. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL PROVIDE SOLID BLOCKING AS REQUIRED FOR MAILING OF ALL INTERIOR AND EXTERIOR TRIM FINISHES, AND SHALL COORDINATE AND PROVIDE ALL FRAMING AND BRACING AS NECESSARY FOR INSTALLATION OF N.I.C. EQUIPMENT INDICATED.	
10. UNLESS OTHERWISE NOTED, ALL EXTERIOR AND INTERIOR EXPOSED METAL, TRIM, TRAILLAGE, RAILINGS, BUILDING FRAMES, CASTING, W.I. WORK, ETC., SHALL BE PAINTED.	
11. CONTRACTOR SHALL OBTAIN ALL PERMITS, PAY ALL FEES FOR PERMITS AND CHECK GOVERNING AUTHORITIES SPECIFICATIONS FOR CONSTRUCTION.	
12. AT COMPLETION OF THE PROJECT, PRIOR TO A CERTIFICATION OF OCCUPANCY BEING ISSUED, THE CONTRACTOR SHALL SUBMIT A SIGNED CERTIFICATE OF CONSTRUCTION COMPLIANCE TO THE STATE ENERGY REGULATIONS.	
13. DO NOT SCALE DRAWINGS.	
14. ALL EXTERIOR WALL OPENINGS, FLASHINGS, COUNTER FLASHINGS, CORNINGS, AND EXPANSION JOINTS SHALL BE WEATHERPROOF.	
15. GLULAM BEAMS SHALL BE MANUFACTURED BY A LICENSED FABRICATOR.	
16. GLULAM BEAMS SHALL BE MANUFACTURED BY A LICENSED FABRICATOR.	
17. PROVIDE FIRE STOPPING TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AT 10'-0" ON EACH WAY.	
17. SIZES OF MECHANICAL EQUIPMENT PADS, BASES, ROOF EQUIPMENT PADS, AND OPENINGS ARE A BASIS FOR DESIGN ONLY. CONTRACTOR SHALL VERIFY DIMENSIONS OF ALL EQUIPMENT PADS AND BASES WITH EQUIPMENT MANUFACTURERS. MECHANICAL CONTRACTOR SHALL VERIFY ALL SIZES AND LOCATIONS OF DUCT OPENINGS ON ROOF.	
18. DRAIN LINES AND ELECTRICAL CONDUIT MUST BE AT LEAST 6" OFF THE FLOOR AND 1/2" AWAY FROM ALL WALLS AND FACE OF CONCRETE BLOCK WALLS, UNLESS OTHERWISE NOTED.	
20. UNLESS OTHERWISE INDICATED ON THESE DRAWINGS OR THE SPECIFICATION AS BEING N.I.C. OR EXISTING, ALL ITEMS, MATERIALS, ETC. AND INSTALLATION OF THE SAME ARE A PART OF THE CONTRACT IMPLIED BY THESE DRAWINGS AND SPECIFICATIONS.	
21. An approved Seismic GAS SHUT OFF Valve or EXCESS FLOW SHUT OFF Valve will be installed on the fuel gas line on the down stream of the utility meter and be rigidly connected to exterior of the building or structure containing the fuel gas piping. * Separate plumbing permit is REQUIRED.	
22. Provide Ultra Flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.	
23. The construction shall not restrict a five foot clear and unobstructed access to any water or power distribution facilities (Power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.	
24. Provide 170 (72) inch high non-absorbent wall adjacent to shower and approved shower-resistant materials for shower enclosure water consumption.	
25. Water heater must be strapped to wall.	
26. Field-cutting ends, notches and drilled holes of preservative-treated wood shall be treated in the field in accordance with AWPA M4 (CRC R317.1.1).	
27. Each pane of safety glazing installed in hazardous locations shall be identified (acid etched, sand blasted, ceramic fired, etc.) by a manufacturer's designation, the manufacturer or installer and the safety glazing standards which it complies. Multi-pane assemblies shall be identified (CRC R308.1).	

Project Data	
Zoning	RS
Property Area	7500 sq. ft.
Proposed New Three Story Triplex Residence	
Unit # B	
First Floor Living Area	134 sq. ft.
Two Car Garage	550 sq. ft.
Second Floor Living Area	725 sq. ft.
Third Floor Living Area	825 sq. ft.
Deck Floor Area	100 sq. ft.
Private Open Area	630 sq. ft.
Total Living Area	1684 sq. ft.
Total Building Foot Print	653 sq. ft.
Lot Coverage	
TOTAL FLOOR LIVING AREA	5296 sq. ft.
TOTAL BUILDINGS FOOT PRINT	2172 sq. ft.
FAR REQUIRED = 7500 x 60% = 4500 sq. ft.	FAR PROVIDED 4500 sq. ft. = 2172 sq. ft.
PARKING AND DRIVEWAYS	
Parking (Covered)	2 Per Unit
Additional Parking (Uncovered)	0
Guest Parking	1
Total Parking	7
LANDSCAPING	
7500 sq. ft. Lot x 15% = 1125 sq. ft.	1125 sq. ft.
2172 sq. ft.	2172 sq. ft.
Assessors ID NO	APN 6105-014-017
	BROADACRES LOT 19 BLK 3
Building Codes	
2022 California Residential Building Code	
2022 Mechanical Code (CMC)	
2022 Plumbing Code (CPC)	
2022 Electrical Code (CEC)	
2022 Green Building Standards Code (CGBS)	
2022 California Energy Code (CEC)	
CITY OF GARDENA MUNICIPAL CODE	
CONSTRUCTION TYPE	VB
2022 County of Los Angeles Fire Code	
Type of Construction	V - B
Occupancy	R3A1
	0 sq. ft.
The Proposed building will be protected by an automatic sprinkler system Under separate permit.	
Fire Sprinkler System Fire Department Approval shall be done prior to Framing Inspection.	
Roof Solar System Under separate permit. Approval for Roof Solar System shall be done prior to Framing Inspection.	
Overhangs Over 30"	
School District	

Symbol Schedule	
Symbol	Description
	Indicates Existing Stud Walls
	Indicates New Stud Walls
	Indicates Existing Walls to be Removed
	Indicates New Concrete Block Walls
	Indicates New Fire Proof Stud Walls with 5/8" Type "X" Drywall - 1 Hour Fire Proof
	Indicates Recess Ceiling light fixtures
	Indicates Wall Mounted light fixtures
	Indicates Recess Fluorescent Ceiling light fixtures
	Indicates Recess Ceiling light fixtures Water Proof
	Indicates Fluorescent Strip Ceiling light fixtures
	Indicates Fan Unit with 5 min. air changes. 50 CFM shall be ENERGY STAR compliant duct to terminate outside. Fans not functioning as a component of whole house ventilation system, must be controlled by a humidity control.
	Indicates Light, Heater lamp and Fan Unit with 5 min. air changes. 50 CFM shall be ENERGY STAR compliant duct to terminate outside. Fans not functioning as a component of whole house ventilation system, must be controlled by a humidity control.
	Indicates Smoke Detector with dedicated circuit breaker and battery power back up
	Indicates TV Antenna / Cable outlet
	Indicates Electrical Plug
	Indicates Light Switch
	Indicates Phone Jack
	Indicates Gas Outlet
	Indicates Hour Bibb with back flow prevention valve
	Indicates Sound System Speakers
	Indicates outside light fixtures (Sylvania Integrated LED Outdoor Coach Light Fixture Item 221152 Model 62813)
	Indicates Ceiling light fixtures
	Indicates Direction of Framing Members
	Indicates Area to Cover by Framing Members
	Indicates Window (See Window Schedule)
	Indicates Doors (See Door Schedule)
	Indicates Construction / Demolition Notes
	Indicates F.A.U. / A.C. Vents / Registers
	Indicates F.A.U. Air Return
	Indicates Detail Number
	Indicates Sheet Number
	Indicates Ceiling Fan with lights
	Indicates Carbon Monoxide Detector with Dedicated circuit breaker and battery power back up

Sequence of Inspections	
1	Foundation/Grounding Electrical /Ground Plumbing
2	Deputy Inspection for Epoxy connections
3	Insulation Raised Floor
4	Raise Floor deck (No Sill or Storage for Full Visible Inspection)
5	2nd Floor Deck (Clear)
6	Roof Sheathing / Exterior Shear-Wall Bracing / Exterior Hardware)
7	Lath
8	Rough Electrical / Mechanical
9	Rough Framing / Plumbing (ALL)
10	Insulation (General)
11	Drywall
12	Other
13	Final
Additional inspections may be inserted for special circumstances or uniqueness of the job. It is the duty of the permit tee to cause the work to remain accessible and exposed for inspection.	

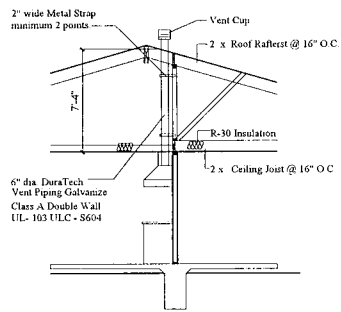
Sheet Index	
T-1	Title Sheet
SP-1	Site Plan
BB-CIVIL	Land Survey
C - 1	Grading Plan
C - 2	Grading Plan
C - 3	Grading Plan
C - 4	Grading Plan
C - 5	Grading Plan
BB-CIVIL	Tentative Parcel Map
L - 1	Landscaping Plan
GN-1	General Notes
GN-2	General Green Notes
GN-3	General Green Notes
A - 1	Floor Plans
A - 2	Exterior Elevations
A - 3	Schedules - Bath Elevations
A - 4	Section Views - Roof Plan
S - 1	Foundation Plan
S - 2	Framing Plan
S - 3	Framing Plan
S - 4	Construction Details
S - 5	Construction Details
S - 6	Construction Details
SW - 1	Strong Wall Details
1	Title 24
2	Title 24
3	Title 24

SCOPE OF WORK:	
Proposed Three Story Single Family Residences	
Units A and B First Floor: Foyer and Garage	
Units A and B Second Floor: Living, Dining Area, Kitchen, Bedroom, Bathroom	
1/2" Guest Bathroom, Deck	
Units A and B Third Floor: Master Bedroom, Master Bathroom, Laundry Closet	
Bedroom and Bathroom	
Unit C First Floor: Bedroom, Bathroom, Foyer and Garage	
Second Floor: Living Room, Dining Room, Kitchen, Guest Bathroom, Laundry Deck	
Third Floor: Master Bedroom, Master Bathroom, Walk-In Closet, Bedroom, Bathroom.	

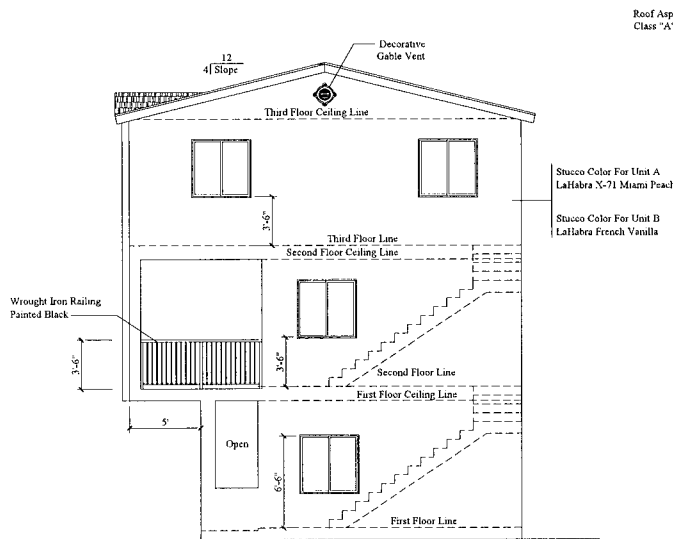
1319 W. 130th Street
Gardena, CA 90247
Phone # (949) 463-1552
www.designplusservices.com

OWNER: Silver Gate LLC
2672 Transmira
Phone # (949) 463-1552 Email: zongjun@valuelo.com
LEGAL DESCRIPTION: APN 6105-014-017
BROADACRES LOT 19 BLK 3

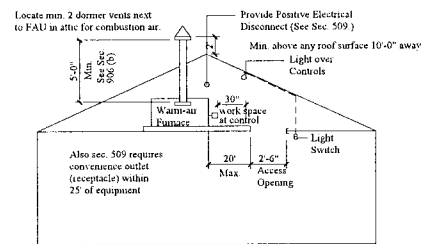
DATE: 11-21-2024
SCALE: As shown
DRAWING BY: P.C.
SHEET NO: T-1



Kitchen Venting Section View
Scale: 1/4" = 1'-0"



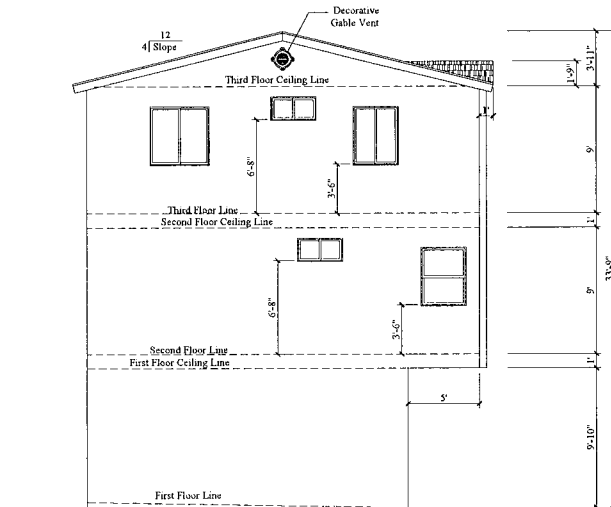
South Elevation View
Scale: 1/4" = 1'-0"



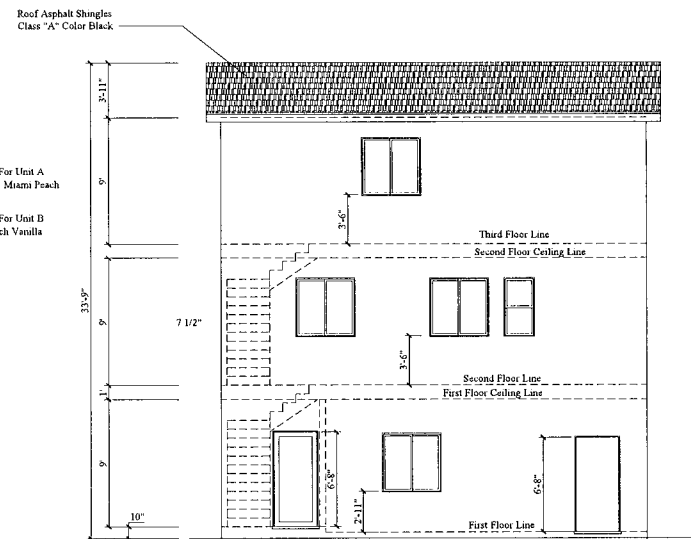
RELATED CODE SECTION 509 - 708
Central warm-air furnaces installed in an attic must be accessible for routine inspections and maintenance by owner / occupant and for service and repair as needed. Changing filters, lubricating motor and fan bearing, checking belt tension, and relighting the pilot following a service interruption are normal owner functions. Adequate light, and electrical outlet, safe access way and sufficient working space on the control side all encourage and facilitate maintenance and also enable rapid egress in an emergency.

- NOTES**
1. Provide double joint below unit.
 2. Provide seismic braces or anchor unit to platform.
 3. Condensate drain line shall terminate at an approved plumbing fixture.

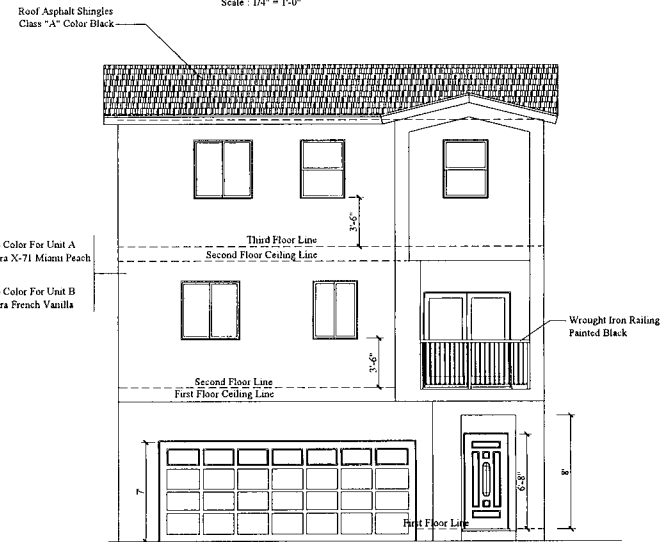
FAU Attic Location
Scale: 1/4" = 1'-0"



North Elevation View
Scale: 1/4" = 1'-0"



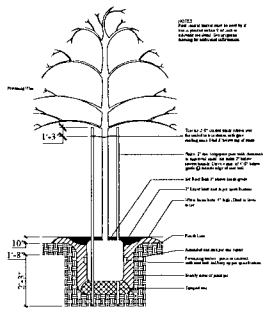
East Elevation View
Scale: 1/4" = 1'-0"



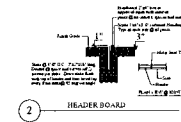
West Elevation View
Scale: 1/4" = 1'-0"

Units B

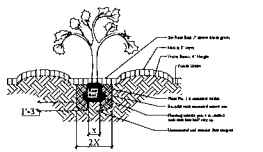
 12119 W. 120th Street Englewood, CO 80150 Phone # (303) 941-5400 Fax # (303) 941-5401 Email: info@designplusservices.com Website: www.designplusservices.com			
OWNER: SILVER GULL LLC 26772 Tule Springs Mason, VA 22072 Phone # (847) 462-1552 Email: zozgum@yahoo.com	DATE: 11-21-2024	SCALE: As shown	A-2
LEGAL DESCRIPTION: APN 6105-014-017 BROADACRES LOT 19 BLK 3	DRAWING TITLE: Exterior Elevations	DRAWING BY: P.C.	
15503 Brighton Avenue Unit "B" Gardena, CA 90247	SHEET NO: 1		



1 TREE STAKING



2 HEADER BOARD



3 HEADER BOARD

LANDSCAPE GENERAL NOTES

1. Plans are based upon Civil Drawings prepared by Owner. Contractor shall review these documents confirm all dimensions and elevations and notify engineer of any discrepancies either on the plans or observed in the field prior to commencing work.
2. All work shall be fully coordinated with other disciplines. All work shall be performed by qualified licensed contractors having at least 5 years experience with similar projects unless otherwise noted requirements or contract.
3. Contractor shall be responsible for coordination of work with that of other subcontractors on the site to avoid conflicts with work exposure and delays in the progress of work by others.
4. Codes and Standards: All work shall be in accordance with standards stated in the project specifications AMERICAN DISABILITY ACT (HINDEN) BUILDING CODE CALIFORNIA STATE TITLE 24 CALIFORNIA STATE BOARD OF CONSUMER AFFAIRS FOR AREAS OF WORK COVERED BY APPLICABLE LITIGANT REQUIREMENTS CITY OF SACRAMENTO, COUNTY OF SACRAMENTO
5. Prior to the commencement of work, contractors shall contact underground service alert 811 (800-462-2244) in order to conduct exact location of any existing underground utilities and structures. Contractor shall be responsible for any conflict or obstruction affecting the work as identified. Do not excavate work until authorized to proceed.
6. Construction Layout: Per Civil Plans and Specifications
7. Grading and Drainage: Per Civil Plans and Specifications
8. Lighting: Coordinate work with Civil & Electrical Plans and Specifications
9. Contractors shall coordinate with any regulation on demolition of the existing street trees prior to demo and replacement of landscape work.
10. Inspections: Provide minimum 48 hours prior notice to landscape designer to schedule inspections. Inspections shall include but not be limited to the following items: Contractor to make every effort to combine items for inspection whenever possible. Pre-Construction site walk through. Inspections conditions and schedule - prior to substantial maintenance period. Final Inspection prior to Substantial maintenance period. Final of Maintenance period to substantial warranty period.
11. Submittals: Contractors shall allow 21 days review by designer for approval of submittal items. Contractor to identify lead items for production, manufacture and delivery of all submittal items identified in the submittal list and provide adequate time for review by designer. Delays to the work schedule resulting from inadequate time to review submittal items shall be the responsibility of the contractor.

PLANNING

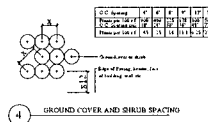
1. All work shall be performed in accordance with plans and specifications by persons having at least two years experience in planting and horticultural practices, and under the direction of a qualified planning person having at least five years experience in similar work.
2. The landscape contractor is to provide an agricultural suitability analysis for on-site and imported topsoil. Results of test to be provided to landscape designer for approval and further recommendations, if any. Recommendations for amendments contained in this analysis are to be carried out before planting occurs. Contractor shall follow and amendments as recommended by soil test or better.
3. Ground Cover shall be planted as shown on the plan, including adjacent shrubs and tree watering basins as shown on the detail.
4. Plant correct in the commencement of the contract in the case of discrepancies, the plan governs.
5. Plant material (landscape) as shown in diagrams and may be subjected to change the field by the landscape designer. Plant locations are to be adjusted in the field as necessary to screen utilities but not to block windows, signs or sight lines.
6. The landscape designer reserves the right to make substitutions, additions, and deletions in the planting scheme as they feel necessary while work is in progress upon approval by the owner and changes are to be accompanied by equitable adjustments in the contract price if necessary.
7. All trees are to be planted as shown on the tree staking/grading diagrams. Branching height of the tree shall be 4'-0" maximum above finish grade. All trees in a formal group planting shall be consistent in the size and shape. All street trees to be installed in accordance with the standards and specifications of Sacramento County. Landscape designer shall be consulted regarding orientation of trees prior to planting and/or landscaping.
8. Plant trees 4'-0" minimum 8' max from face of curb at parking, well and from edges of paving. All trees within 5' of paving areas shall have deep root barriers installed. See root barrier detail. Deep root barrier model No. 100 24 2. Install per manufacturer's specifications.
9. On grade planting back filling must consist of 2 parts native topsoil and 1 part mulched redwood soil conditioner.
10. All planting areas shall be top-dressed with 3" layer of fine filter mulch, a shredded bark product. Submit samples to landscape designer for approval prior to coloring.
11. The contractor shall repair any damage caused by his operations to the satisfaction of the owner's representative without any additional charge.
12. Each plant shall receive appropriate slow release plant fertilizer. 10-10-10 Composition or approved similar apply per manufacturer's specifications. Place near rootball: 6 for 24" box trees - 2 below and 4 on side of rootball. 5 for 15 gallon can trees - 1 below and 4 on side of rootball. 4 for 5 gallon can trees - 1 below and 3 on side of rootball.
13. Tree must have no weak leader that has a uniform taper form base to tip. Trees must meet at least normal caliper and height for container size. Overgrown or root bound trees are not acceptable.
14. Contractor to provide 90 day maintenance following authorization as part of base contract.

Plant Legend

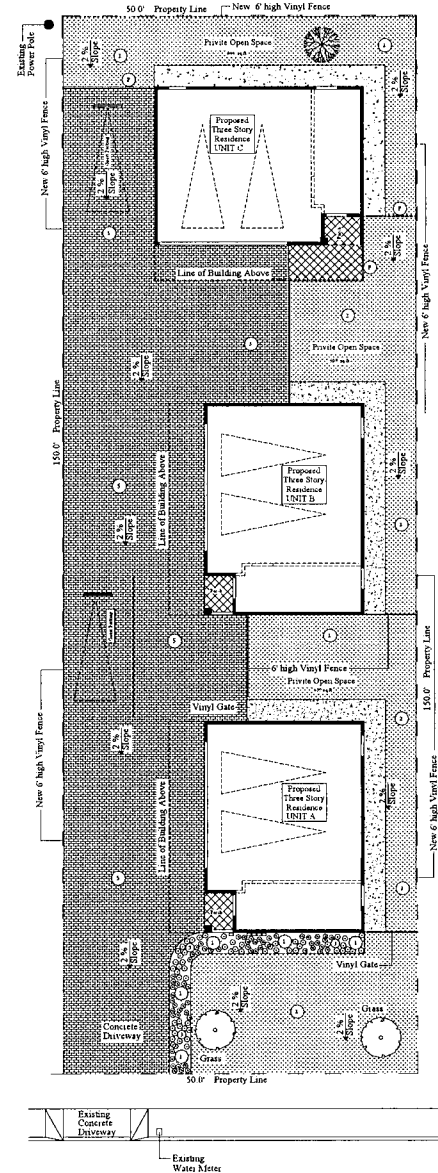
Symbol	Botanical Name	Common Name	Size	Qty
1	Chrysanthemum	Santa Cruz Cypress	24" Box 1-2' dia 6-8" High	2
2	Patience Chamaea	Chinese Pateche	24" Box 1-2' dia 6-8" High	1
3	Escallonia viridula	Marlin Poppy	1 gal	5
4	Jacarcia Mimosifolia	Jacaranda	3 gal	
5	Lavandula	Lavandula	1 gal	
6	Muhlenbergia rigens	Drumstick		
7	Melch			

Legend

Symbol	Description
1	Vinyl Gate (6'-0" Maximum in Height)
2	6" Chain Link - Block Wall
3	Pavedstone Concrete Pavers
4	Concrete Decorative at Side Walks
5	Vinyl Security Gate
6	Color Shaded Concrete



4 GROUND COVER AND SHRUB SPACING



Site Plan

Scale: 1/8" = 1'-0"

Brighton

Avenue

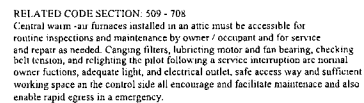
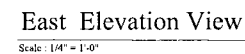
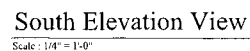
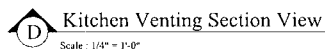
Units A



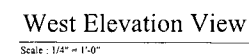
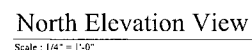
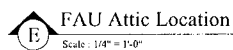
NO.	DATE	ISSUED	NO.	DATE	REVISION
1			2		
3			4		
5			6		
7			8		
9			10		

OWNER: Silver Gate LLC
1339 W 150th Street
Gardena, CA 90247
Phone: (310) 341-0407
Email: jason@designplus.com
LEGAL DESCRIPTION: APTS. 6105-014017
BROADACRES LOT 19 BLK. 3

DESIGNING TITLE: Site Plan
DATE: 11-21-2024
SCALE: As shown
DRAWING BY: P.C.
SHEET NO: L-1

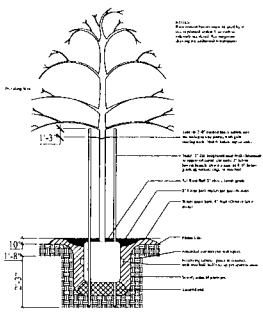


- NOTES:
1. Provide double joist below unit.
 2. Provide seismic braces or anchor unit to platform.
 3. Condensate drain line shall terminate at an approved plumbing fixture.

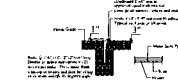


Units C

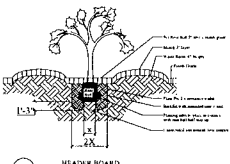
OWNER	Silver Gate LLC	15903 Brighton Avenue Unit "A" Gardena, CA 90247
ADDRESS/TITLE	First Floor, Second Floor & Third Floor Plans	
DATE	11-21-2024	
SCALE	As shown	
DRAWING BY	P.C.	
SHEET NO.		
MITION VAREQUE 15903 Brighton Avenue Unit "A" Gardena, CA 90247 Phone # (949) 463-1352 Email : jojo@jojo.com APN: 6105-014-017 BROADACRES LOT 19 BLK 3		



1 TREE STAKING



2 HEADER BOARD



3 HEADER BOARD

LANDSCAPE GENERAL NOTES

- Plans are based upon Civil Drawings prepared by Owner. Contractor shall review these documents carefully and immediately notify the architect of any discrepancies before the plans or observed in the field prior to commencing work.
- All work shall be fully coordinated with other disciplines. All work shall be performed by qualified licensed contractors having at least 5 years experience with similar project. Unless otherwise noted requirements or contract.
- Contractors shall be responsible for coordination of work with that of other subcontractors on the site to avoid conflicts with work sequence and delay in the progress of work by others.
- Codes and Standards: All work shall be in accordance with standards stated in the project specifications: AMERICAN DISABILITY ACT, UNIFORM BUILDING CODE, CALIFORNIA STATE TITLE 24, CALIFORNIA STATE BOARD OF CONSUMER AFFAIRS FOR AREAS OF WORK COVERED BY APPLICABLE LICENSE REQUIREMENTS, CITY OF SACRAMENTO, COUNTY OF SACRAMENTO.
- Prior to the commencement of work, contractors shall contact underground services at (916) 466-6224 in order to contact exact location of any existing underground utilities and structures. Contractor Design of any conflict or obstruction affecting the work are indicated. Do not commence work until authorized to proceed.
- Constructive Layout: Per Civil Plans and Specifications.
- Grading and Drainage: Per Civil Plans and Specifications.
- Lighting: Coordinate with Civil & Electrical Plans and Specifications.
- Contractor shall coordinate with any regulations or ordinances of the existing street trees prior to demo and commencement of landscape work.
- Inspection: Provide minimum 48 hours prior notice to landscape designer to schedule inspection. Inspections shall include but not be limited to the following items: Contractor to make every effort to complete work for inspection whenever possible. Per Contractor's own work through. Irrigation materials and wiring: prior to authorizing maintenance period. Final inspection prior to authorizing maintenance period. End of Maintenance period to authorize warranty period.
- Submittals: Contractors shall allow 21 days review by designer for approval of submittal items. Contractor to identify and issue for production, manufacture and delivery of all submittal items. Materials in the specifications and provide adequate time for review by designer delays to the work schedule resulting from inadequate time to review submittal items shall be the responsibility of the contractor.

PLANNING

- All work shall be performed in accordance with plans and specifications by persons having at least two years experience in planning and construction practices, and under the direction of a qualified planning person having at least five years experience in similar work.
- The landscape contractor is to provide an agricultural sustainability analysis for the site and support the project goals of the site to be provided to landscape designer for approval and further recommendations. Early Recommendations for amendments contained in this analysis are to be carried out before planting occurs. Contractors shall follow and amendments at recommended by soil test or better planting occur.
- Ground Cover shall be placed as shown on the plan, including adjacent areas and new watering basins as shown on the detail.
- Plan count is for the convenience of the contractor in the case of discrepancies, the plan governs.
- Plan material locations as shown are approximate and may be subject to change the field by the landscape designer. Plan locations are to be adjusted in the field as necessary to screen utility but not to block windows, a gas nor impede access.
- The landscape designer reserves the right to make substitutions, additions, and deletions in the planting schedule as they feel necessary while work is in progress upon approval by the owner such changes are to be accompanied by equitable adjustments in the contract price if necessary.
- All trees are to be planted as shown on the tree staking/spacing diagrams. Branching height of the tree shall be 6'-0" minimum above finish grade. All trees as a formal group planting shall be matching in the size and shape. All street trees to be installed in accordance with the standards and specifications of Sacramento County. Landscape designer shall be consulted regarding installation of trees prior to planting and/or backfilling.
- Plant trees 4'-0" minimum from face of curb at parking, wall and from edges of paving. All trees within 5' of paving areas shall have deep root barriers installed. See root barrier detail. Deep root barrier model No. UB-24-2: Detail per manufacturer's specifications.
- On grade planting hole filling mix shall consist of 2 parts native topsoil and 1 part imported redwood and conditioner.
- All planting areas shall be top-dressed with 3" layer of fine fiber mulch, a rounded bark product. Submit sample to landscape designer for approval prior to ordering.
- The contractor shall repair any damage caused by his operations to the satisfaction of the owner's representative without any additional charge.
- Each plant shall receive application slow release plant tablet: 20-10-5 Conquest or approved similar apply per manufacturer's specifications. Place near rootball: 6 for 24" box tree - 2 below and 4 on side of rootball. 5 for 18" gallon can tree - 1 below and 4 on side of rootball. 4 for 5 gallon can tree - 1 below and 3 on side of rootball.
- Tree must have an uncut leader that has a coniform taper form base to top. Trees must meet at least vertical caliper and height for consumer use. Overgrown or root bound trees are not acceptable.
- Contractor to provide 90 days maintenance following authorization as part of base contract.

Plant Legend

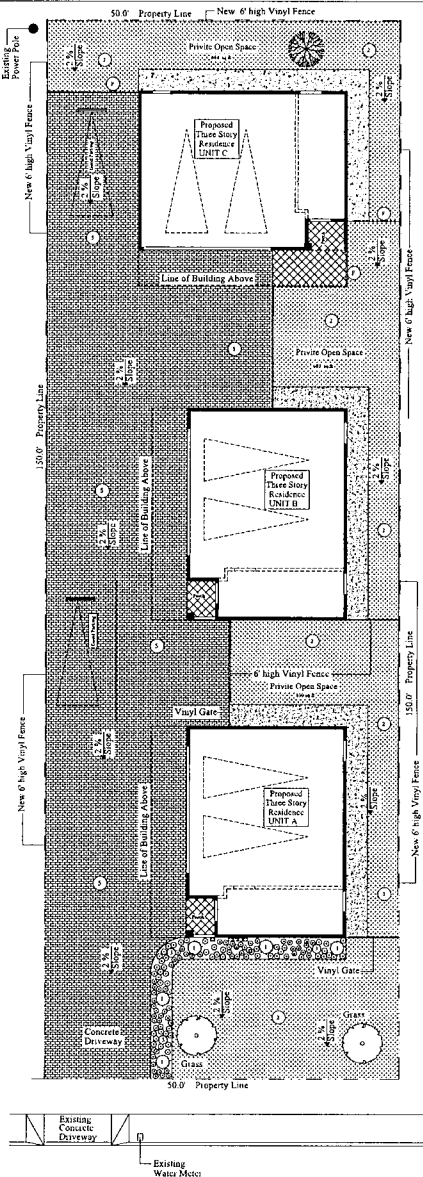
Symbol	Botanical Name	Common Name	Size	Qty
1	Cupressus Alternata	San Joaquin Cypress	24" Box Tree 6'-0" High	2
2	Parsonsia Chrysanthus	Chico's Pottery	24" Box Tree 6'-0" High	1
3	Romneya coulteri	Matilija Poppy	1 gal	5
4	Jasminum Multiflorum	Jacaranda	1 gal	5
5	Leucodendron	Lawsonia	1 gal	5
6	Malvaceae rigens	Deergrass		
7	Mulch			

Legend

Symbol	Description
1	Vinyl Fence (6'-0" Maximum in Height)
2	6" Center Block - Black Wall
3	Pavedstone Concrete Pavers
4	Concrete Decorative at Side Walks
5	Vinyl Security Gate
6	Coin Stamped Concrete

Tree Spacing	1'	2'	3'	4'	5'	6'	7'	8'	9'	10'
Planting Density	100%	50%	33%	25%	20%	17%	15%	13%	11%	10%
Planting Spacing	100%	50%	33%	25%	20%	17%	15%	13%	11%	10%

GROUND COVER AND SLOPE SPACING



Site Plan

Scale: 1/8" = 1'-0"

Brighton

Avenue

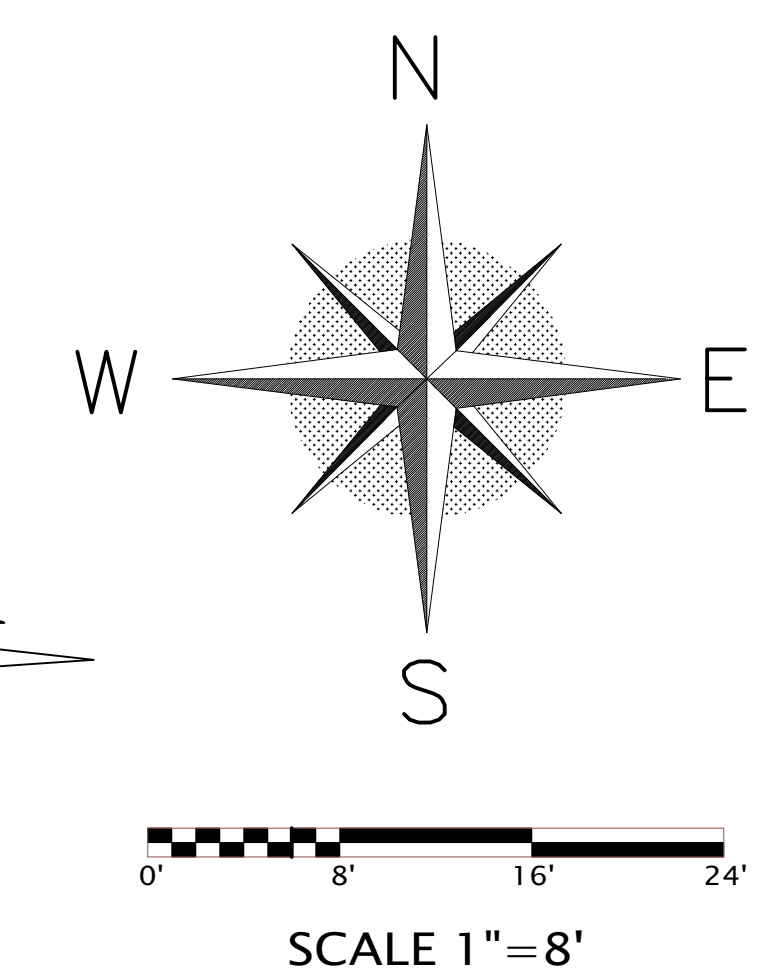
Units A

1224 W. 12th Street
Brighton, CA 94607
Phone # (916) 461-1340
info@silvergatellc.com

15903 Brighton Avenue Unit "A"
Gardens, CA 95247

OWNER: Silver Gate LLC
1777 Transcom
Manteca, CA 95269
Phone # (916) 461-1552 Email: zolajin@yahoo.com
LEGAL DESCRIPTION: APN: 6105-014-017
BROADACRES LOT 19 BLK 3

DRAWING TITLE: Site Plan
DATE: 11-21-2024
SCALE: As shown
DRAWING BY: P.C.
SHEET NO: L-1



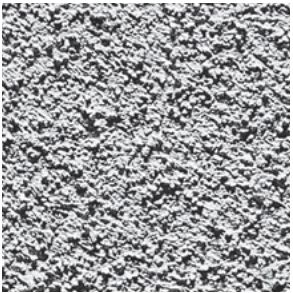
MICHAEL PROFET - LS 9806 DATE

BRUCE H. BORNEMANN - MANAGER - (310) 467-2333

VESTING TENTATIVE PARCEL MAP NO 84583

TEXTURES

STUCCO



16/20



20/30

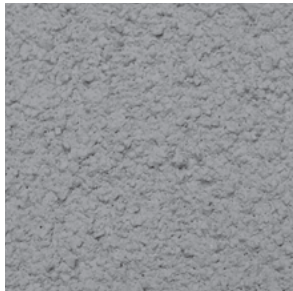


SANTA BARBARA

PERMA-FINISH AND PERMA-FLEX



COARSE



FINE



SMOOTH



SWIRL*

*Swirl only available in Perma-Finish



LaHabra®

STUCCO
COLOR COLLECTION



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Lyndhurst, NJ 07071 USA
Customer Service (800) 433-9517
Technical Service (800) 243-6739
lahabrastucco.com

BUILDING TRUST



PREMIUM COLORS



The purpose of this chart is to provide a representation of LaHabra's standard colors. It must not be used for final color selection.

X-63149 HATTERAS Base 100	X-63152 ASHEVILLE Base 100	X-81582 CORAL GABLES Base 100	X-81583 BELLE GLADE Base 100
X-81584 SUFFOLK Base 100	X-81585 CHARLESTON Base 100	X-81588 MORNING SIDE Base 100	X-81593 BAY RIDGE Base 100

OLD WORLD COLOR

Color plays a vitally important role in the world in which we live. When we look at art, fashion, automobiles, and interior décor we immediately experience an emotion from the colors projected. The color that is used on the exteriors of homes and buildings has this same effect - selecting the right stucco color accentuates building design and complements the other elements such as brick, stone veneers, siding, and trim.

The Stucco Color Collection was developed by color professionals who understand the importance of color and its impact. This Color Collection is the most demanded and readily available colors offered, but it doesn't stop there. Custom colors are also available through our on-demand custom color development service for all stucco finishes - we are stucco color specialists.

All colors are available in other finish and coating products such as Acrylic and Elastomeric Finishes, Coatings, Allegro II and FogCoat.

SELECT THE RIGHT BASE FOR THE CHOSEN COLOR:

LaHabra = Base 100 or 200

Note: Color will vary depending on type of finish selected. Application by machine spray or texturing will increase the depth of color. Variation in color due to weather, job conditions and method of application should be expected. For color verification, request a physical sample in the color and texture desired for approval prior to ordering material. Apply a sample of stucco to the substrate being used before proceeding with the application. LaHabra is not responsible for color correctness of applied finish. Color must be verified and approved by owner prior to application.

TRADITIONAL COLORS

P-6 EL DORADO Base 100	X-12 CHABLIS Base 100	X-16 SILVER GRAY Base 200	X-17 MISTY Base 200	X-23 ASPEN Base 200	X-24 SANTA FE Base 200	X-25 SADDLEBACK Base 200	X-28 MIRAGE Base 200
X-34 SAN SIMEON Base 200	X-40 DOVE GREY Base 200	X-48 MEADOWBROOK Base 100	X-50 CRYSTAL WHITE Base 100	X-53 PURE IVORY Base 100	X-55 FRENCH VANILLA Base 100	X-71 MIAMI PEACH Base 100	X-72 ADOBE Base 200
X-73 EGG SHELL Base 100	X-81 OATMEAL Base 200	X-82 HACIENDA Base 200	X-86 SANDSTONE Base 200	X-97 PACIFIC SAND Base 200	P-100 GLACIER WHITE Base 100	P-105 OAT GRAIN Base 200	P-174 DESERT BEIGE Base 200
P-192 CAMELO Base 200	X-215 MESA VERDE Base 200	X-278 TRABUCO Base 200	X-434 FALLBROOK Base 200	X-475 VIEJO Base 200	X-504 BLUE GREY Base 200	P-505 AGATE Base 200	X-524 ALAMO Base 200
P-525 NAVAJO WHITE Base 100	X-580 SIERRA TAN Base 200	X-696 SOUTHERN MOSS Base 200	X-820 SILVERADO Base 200	X-830 CLAY Base 200	P-1210 MOROCCAN SAND Base 200	P-1661 TITANIUM Base 200	P-2090 THUNDER SKY Base 200