RESOLUTION NO. PC 12-25

A RESOLUTION OF THE PLANNING AND ENVIRONMENTAL QUALITY COMMISSION OF THE CITY OF GARDENA, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT #7-24 AND ENVIRONMENTAL ASSESSMENT #17-24 TO APPROVE THE USE OF PRIVATE VEHICLE STORAGE FACILITIES WITHIN TWO EXISTING INDUSTRIAL BUILDINGS TOTALING 23,334 SQUARE FEET LOCATED IN THE GENERAL INDUSTRIAL (M-2) ZONE AT 1608 AND 1612 WEST 139TH STREET AND FINDING THAT THE PROJECT IS CATEGORICALLY EXEMPT FROM THE PROVISIONS OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT PURSUANT TO SECTION 15301 (CLASS 1 – EXISTING FACILITY)

1608-1612 WEST 139TH STREET (APN: 6102-014-067 and -068)

THE PLANNING AND ENVIRONMENTAL QUALITY COMMISSION OF THE CITY OF GARDENA, CALIFORNIA, DOES HEREBY FIND AND RESOLVE AS FOLLOWS:

SECTION 1. RECITALS

- A. On October 25, 2024, Applicant Westside Collection Car Storage, represented by Matthew Farah, submitted an application for a conditional use permit (CUP) to permit the operations of private vehicle storage facilities within two existing industrial buildings totaling 23,334 square feet (the "Project") at 1608 and1612 West 139th Street (the "Subject Property"); and
- B. The General Plan Land Use designation of the Subject Property is Industrial, and the zoning is General Industrial (M-2); and
- C. The Subject Property is bounded by West 139th Street to the north and private property to the east, south, and west; and
- D. On August 19, 2025, the Planning and Environmental Quality Commission held a duly noticed public hearing at which time it considered all the material and evidence presented by staff, the applicant, and the public, whether written or oral, and has considered the procedures and the standards required by the Gardena Municipal Code (GMC).

SECTION 2. CONDITIONAL USE PERMIT #7-24 FINDINGS

Conditional Use Permit #7-24 to allow the operation of private vehicle storage facilities per Gardena Municipal Code Section 18.46.030.C.9, within two existing industrial buildings totaling 23,334 square feet in the M-2 zone, is hereby approved based on the following findings and is subject to the conditions attached hereto as Exhibit A and as shown on the plans presented to the Planning and Environmental Quality Commission on August 19, 2025, attached hereto as Exhibit B.

Resolution No. PC 12-25 EA #17-24 and CUP #7-24 August 19, 2025 Page 2 of 7

1. The use applied for at the location set forth in the application is properly one for which a conditional use permit is authorized by this chapter.

Although the proposed use of a private vehicle storage facility is not specifically listed under a defined use category within with M-2 zone, including automobile service stations, parking lots, and RV storage, the City's Zoning Code allows for uses not specifically listed that are not detrimental in any way to surrounding properties or uses permitted in the zone and are not permitted as a similar use, through an approved conditional use permit, as referenced in the Gardena Municipal Code section 18.46.030.C.9.

Since the project site and surrounding properties are zoned as M-2, are situated between different industrial, manufacturing, and automotive related uses, and the proposed use would be operated entirely within the existing buildings, the project will not be detrimental to the surrounding properties or land uses as conditioned. Therefore, the application for a conditional use permit is proper.

2. Such use is necessary or desirable for the development of the community and is compatible with the surrounding uses, is in harmony with the general plan, is not detrimental to the surrounding properties, existing uses, or to uses specifically permitted in the zone in which the proposed use is to be located, and will not be detrimental to the public health, safety, or welfare.

The proposal for private vehicle storage facilities is compatible with the surrounding uses in the area, as it is located within two (2) existing warehouse buildings of adequate size to allow for the use. The use would be operated entirely within the existing building with employees parking the vehicles to ensure limited disruption to surrounding areas.

The project is consistent with the following General Plan Goals and Policies:

- Economic Development Plan Goal 1: Promote a growing and diverse business community that provides jobs, goods, and services for the local and regional market, and maintains a sound tax base for the City.
- Economic Development Plan Goal 2: Expand, retain and revitalize quality businesses.
- Economic Development Plan Goal 3: Attract desirable businesses to locate in the City.
- Land Use Goal 2: Develop and preserve high quality commercial centers and clean industrial uses that benefit the City's tax base, create jobs and provide a full range of services to the residents and businesses.
- Land Use Goal 3: Provide high quality, attractive and well-maintained commercial, industrial, and public environments that enhance the image and vitality of the City.

Resolution No. PC 12-25 EA #17-24 and CUP #7-24 August 19, 2025 Page 3 of 7

- Land Use Policy 3.2: Encourage the upgrade and re-habilitation of existing commercial and industrial building facades and sites.
- Land Use Policy 3.3: Attract commercial and industrial uses that minimize adverse impacts on surrounding land uses and are economically beneficial to the City in terms of revenue generation and employment opportunities.

The facilities contribute to a diversified business landscape by introducing a unique service-based vehicle parking use that is not currently well-represented in the area. It caters to both the local and regional clientele, generating economic activity while providing a valuable service to car collectors. By occupying and enhancing an underutilized warehouse space, the project supports the City's efforts to maintain a sound tax base and encourages economic growth through business diversification in an industrial property.

3. The site for the intended use is adequate in size and shape to accommodate such use and all of the yards, setbacks, walls, fences, landscaping, and other features required in order to adjust such use to those existing or permitted future uses on land in the neighborhood.

The subject properties, located within the M-2 zone, are adequate in size, shape, and configuration to support the proposed private vehicle storage facilities. The 23,334-sf warehouse buildings offer sufficient interior area to accommodate the tenant improvements, new landscaping, trash enclosure, driveway gates, and screening walls. The project is designed to meet all applicable Gardena Municipal Code standards. Therefore, the site is adequate in size and shape to accommodate such use.

4. The site for the proposed use relates to streets and highways properly designed and improved so as to carry the type of quantity of traffic generated or to be generated by the proposed use;

The Circulation Plan, which is part of the Community Development Element of the Gardena General Plan, designates West 139th Street as a collector roadway. Collector roadways are intended to move traffic from a local roadway to a secondary roadway and provide access to all types of land uses and generally have no limitations on access. The applicant's request to operate private vehicle storage facilities are not anticipated to generate traffic beyond the current levels, and it is unlikely to impact the area's circulation. Based on the storage of vehicles, off-street parking ratios for warehousing may determine the required amount of parking for the facility. Under warehousing uses, one parking space is required for every 1,000-sf for warehousing areas and one parking space is required for every 300-sf of office area. With approximately 20,234 sf used for warehousing space and approximately 3,100 sf used for office space, in total the minimum number of

Resolution No. PC 12-25 EA #17-24 and CUP #7-24 August 19, 2025 Page 4 of 7

parking spaces required is 31 parking spaces, but the site offers 35 parking spaces for its employees and patrons, resulting in a four (4) parking space surplus. Staff do not foresee any adverse traffic impacts related to the subject property's proposed use.

The surrounding streets are properly designed to carry the quantity of traffic generated by the proposed uses.

5. The conditions stated in the decision are deemed necessary to protect the public health, safety, and general welfare.

The following conditions of approval have been added for Conditional Use Permit #7-24 (Exhibit A) to ensure that the private vehicle storage facilities use will be compatible with, and not be detrimental to the surrounding uses in the vicinity:

- Vehicles shall be stored as depicted in the approved floor plans shown to the Planning and Environmental Quality Commission on August 19, 2025. Vehicles shall not be stored in any drive aisle or in front of the vehicle lifts within the buildings. Deviations from the approved plans will require modification to the approved Conditional Use Permit #7-24.
- Parking of oversized trucks, recreational vehicles, or equipment shall be prohibited.
- The Applicant and/or business owner shall collect all water used for washing and detailing vehicles by the Building and Safety approved filtration system and shall properly dispose the wastewater. The Applicant and/or business owner shall not cause any illicit water discharge to enter the municipal stormwater system.
- The carwash and detailing services, within the designated area in the 1608 building, shall be an ancillary use to the main vehicle storage use, and such carwash and detailing services shall only be made available as an additional service to vehicles being stored onsite.
- The battery and tire changing services, within the business buildings and operating hours, shall be an ancillary use to the main vehicle storage use, and such battery and tire changing services shall only be made available as an additional service to vehicles being stored onsite. All other automobile repair services/uses are prohibited on the property without an approved conditional use permit in accordance with GMC.18.36.030.B. Exterior battery and tire changing services and storage of vehicle batteries and/or tires are prohibited at all times.
- No special events shall be held at the project site without the applicant obtaining a temporary event permit from the City, and paying all appropriate

Resolution No. PC 12-25 EA #17-24 and CUP #7-24 August 19, 2025 Page 5 of 7

fees. Temporary events are those that meet the intent and purpose of GMC Section 18.60.010

SECTION 3. CALIFORNIA ENVIRONMENTAL QUALITY ACT (EA #15-24)

The Project is exempt from the provisions of the California Environmental Quality Act (CEQA), pursuant to the following exemption:

- A. Section 15301 Class 1, Existing Facilities which exempts negligible or no expansions of use in existing facility from the provisions of CEQA. The building in which the project is proposed already exists. The project will not include any alterations to the existing building footprint but makes minor modifications to the exterior façade. The private vehicle storage facilities would be in two existing industrial buildings, originally constructed in 1963 for manufacturing and warehousing purposes. The applicant's request to operate private vehicle storage facilities within the existing industrial spaces are not an expansion of use.
- B. The project is not subject to any of the exceptions to the exemptions under Section 15300.2 of the California Environmental Quality Act. The cumulative impact of establishing private vehicle storage facilities is not considered significant. The project is not located along any state-designated scenic highway nor within any designated hazardous waste site. The buildings where the private vehicle storage facilities will be located are not considered significant historical structures by any governmental body. Staff do not expect any significant impacts or unusual circumstances related to the approval of this project.
- C. Staff are hereby directed to file a Notice of Exemption.

SECTION 4. APPEAL.

The approvals granted in this Resolution by the Commission may be appealed to the City Council within 10 calendar days from the date of adoption. All appeals must be in writing and filed with the City Clerk within this time period with the appropriate fee. Failure to file a timely written appeal will constitute a waiver of any right of appeal. The City Council may also call this matter for review within the same 10-day period.

SECTION 5. RECORD.

Each and every one of the findings and determinations in this Resolution is based on the competent and substantial evidence, both oral and written, contained in the entire record relating to the Project. All summaries of information in the findings which precede this section are based on the entire record. The absence of any particular fact from any such summary is not an indication that a particular finding is not based in part on that fact.

Resolution No. PC 12-25 EA #17-24 and CUP #7-24 August 19, 2025 Page 6 of 7

SECTION 6. CUSTODIAN OF RECORD.

The Custodian of Record for the proceedings relating to the Project is Greg Tsujiuchi, Community Development Director, City of Gardena, 1700 West 162nd Street, Gardena, California 90247. Mr. Tsujiuchi's email is gtsujiuchi@cityofgardena.org and his phone number is (310) 217-9530.

SECTION 7. EFFECTIVE DATE.

This Resolution shall take effect immediately.

SECTION 8. CERTIFICATION.

The Secretary shall certify the passage of this resolution.

PASSED, APPROVED, AND ADOPTED this 19th day of August 2025.

RONALD WRIGHT-SCHERR, CHAIR PLANNING AND ENVIRONMENTAL QUALITY COMMISSION

ATTEST:

GREG TSUJIUCHI, SECRETARY

PLANNING AND ENVIRONMENTAL QUALITY COMMISSION STATE OF CALIFORNIA COUNTY OF LOS ANGELES

CITY OF GARDENA

Exhibits:

- Exhibit A Conditions of Approval
- Exhibit B Project Plans

Resolution No. PC 12-25 EA #17-24 and CUP #7-24 August 19, 2025 Page 7 of 7

CERTIFICATION

I, Greg Tsujiuchi, Planning and Environmental Quality Commission Secretary of the City of Gardena, do hereby certify that the foregoing Resolution was duly adopted by the Planning and Environmental Quality Commission of the City of Gardena at a regular meeting thereof, held the 19th day of August 2025, by the following vote of the Planning and Environmental Quality Commission.

AYES: Kanhan, Wright-Scherr, Langley and Sherman

NOES: None ABSENT: Henderson

Certification by:

GREG TSUJIUCHI, SECRETARY
PLANNING AND ENVIRONMENTAL QUALITY COMMISSION
STATE OF CALIFORNIA
COUNTY OF LOS ANGELES
CITY OF GARDENA

EXHIBIT A CITY OF GARDENA

CONDITIONS OF APPROVAL FOR CONDITIONAL USE PERMIT #7-24

GENERAL CONDITIONS

- GC 1. The Applicant accepts all conditions of approval set forth in this document and shall sign the acknowledgment, prior to building permit and business license issuance.
- GC 2. The Applicant shall comply with all written policies, resolutions, ordinances, and all applicable laws in effect at the time of approval. The conditions of approval shall supersede all conflicting notations, specifications, and dimensions which may be shown on the project development plans.
- GC 3. The architectural plans shall be in accordance with the plans approved by the Planning and Environmental Quality Commission and modified by these conditions of approval. The final completed project shall be in substantial compliance with the plans upon which the Commission based its decision on August 19, 2025, as modified by such decision. Deviations from the approved plans will require modification to the approved Conditional Use Permit #7-24.
- GC 4. The Applicant shall reimburse the City for all attorneys' and consultants' fees spent in processing the project application, including a review of all documents required by these conditions of approval prior to the issuance of a final building permit.
- GC 5. The Applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any claims, actions or proceedings, damages, costs (including without limitation attorneys' fees), injuries, or liabilities against the City or its agents, officers, or employees arising out of the City's approval of the Notice of Exemption and Conditional Use Permit. The City shall promptly notify the Applicant of any claim, action, or proceeding and the City shall cooperate fully in the defense. If the City fails to promptly notify the Applicant of any claim, action, or proceeding, or if the City fails to cooperate fully in the defense, the Applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the City. Although the Applicant is the real party in interest in the action, the City may, at its sole discretion, participate in the defense of any action with the attorneys of its own choosing, but such participation shall not relieve the Applicant of any obligation under this condition, including the payment of attorneys' fees.
- GC 6. The costs and expenses of any enforcement activities, including, but not limited to attorney's fees, caused by the applicant's violation of any condition imposed by this approval or any provision of the Gardena Municipal Code shall be paid by the applicant.

CONDITIONAL USE PERMIT (CUP #7-24)

- CUP1. Conditional Use Permit #7-24 shall be utilized within a period not to exceed twelve (12) months from the date of approval unless an extension is granted in accordance with Section 18.46.040 of the Gardena Municipal Code (GMC). Utilization shall involve the issuance of a business license.
- CUP2. Vehicles shall be stored as depicted in the approved floor plans shown to the Planning and Environmental Quality Commission on August 19, 2025. Vehicles shall not be stored in any drive aisle or in front of the vehicle lifts within the buildings. Deviations from the approved plans will require modification to the approved Conditional Use Permit #7-24.
- CUP3. Parking of oversized trucks, recreational vehicles, or equipment shall be prohibited on-site.
- CUP4. The Applicant and/or business owner shall collect all water used for washing and detailing vehicles by the Building and Safety-approved filtration system and shall properly dispose the wastewater. The Applicant and/or business owner shall not cause any illicit water discharge to enter the municipal stormwater system.
- CUP5. The carwash and detailing services, within the designated area in the 1608 building, shall be an ancillary use to the main vehicle storage use, and such carwash and detailing services shall only be made available as an additional service to vehicles being stored onsite.
- CUP6. The battery and tire changing services, within the business buildings and operating hours, shall be an ancillary use to the main vehicle storage use, and such battery and tire changing services shall only be made available as an additional service to vehicles being stored onsite. All other automobile repair services/uses are prohibited on the property without an approved conditional use permit in accordance with GMC.18.36.030.B. Exterior battery and tire changing services and storage of vehicle batteries and/or tires are prohibited at all times.
- CUP7. The hours of operation for the private vehicle storage facilities shall be limited to 7 AM to 7 PM seven days a week.
- CUP8. No special events shall be held at the project site without the Applicant obtaining a temporary event permit from the City and pay all appropriate fees. Temporary events are those that meet the intent and purpose of GMC Section 18.60.010.
- CUP9. The property/business owner shall maintain landscaping in accordance with the approved plans and provisions of GMC Section 18.42.075 and Section

- 18.40.090 in a healthy and well-kept manner and shall maintain the landscape irrigation system in an operating manner at all times.
- CUP10. The shade sail affixed to the exterior eastern walls between the 1608 and 1612 buildings shall be approved by both the LA County Fire Department and the Gardena Building and Safety Division prior to installation and shall be maintained in good condition without any rips, tears, holes, or visible patches.
- CUP11. The Applicant shall ensure that any proposed signage shall meet the necessary requirements put forth by GMC Chapter 18.58.
- CUP12. Barbed wire fencing shall be prohibited in locations visible to the public right-of-way in accordance with Section 18.42.070.E.2 of the GMC.
- CUP13. All activities must take place within the enclosed building. Loitering outside the tenant suite is prohibited.
- CUP14. The Applicant shall comply with all provisions outlined in the City's Noise Ordinance as specified in GMC Chapter 8.36.
- CUP15. In the event noise, lighting, parking, or traffic nuisances or other public safety issues are brought to the attention of the City, the Community Development Director may impose further conditions or restrictions or the site operations to ensure land use compatibility.
- CUP16. The Applicant shall be required to notify the City of any changes to the use of the facility.
- CUP17. If the business operation results in excessive issues or complaints at any time, the Director of Community Development shall initiate a review of the CUP by the Planning and Environmental Quality Commission. The Commission shall determine if additional restrictions, conditions, or physical changes are needed in order to address the issues or concerns.
- CUP18. Per Gardena Municipal Code Section 18.46.080, if the use discontinued for a period of one hundred eighty (180) days, the permit shall be deemed to have lapsed and shall be null and void.
- CUP19. The Conditional Use Permit may be revoked, amended and suspended by the Planning and Environmental Quality Commission under the provisions of Section 18.46.050 of the Gardena Municipal Code.

BUILDING AND SAFETY DIVISION

BS1. The Applicant shall comply with all applicable portions of the most current California Building Standards Code (Title 24, California Code of Regulations) in effect at the time of permit application.

- BS2. The Applicant shall obtain separate Building Division permits for Demolition, Grading, Building, Landscaping, Site Lighting, Trash Enclosure and Fences and Walls if required.
- BS3. The Applicant shall submit a Final Priority WQMP to the City for review and approval. This plan shall be in conformance with all current NPDES requirements. The WQMP must implement Low Impact Development (LID) principles such that projects infiltrate, harvest, re-use, evaporation, or bio-treat storm water runoff. Sheet flowing stormwater, without filtering, is no longer acceptable.
- BS4. The Applicant shall provide complete hydrology and hydraulic study prepared by a qualified engineer, and comply with the recommendations of the engineer, to the satisfaction of the City.
- BS5. The Applicant shall comply with all conditions set forth by other departments and agencies, including but not limited to: Gardena Planning, Gardena Public Works, and Los Angeles County Fire Department.
- BS6. The Applicant shall comply with the latest adopted Los Angeles County Fire Code and Fire Department requirements, as applicable.
- BS7. The Applicant shall comply with all applicable State and Federal Accessibility codes.
- BS8. All indoor parking areas are to be ventilated in accordance to the California Energy Code.
- BS9. The approval of plans and specifications does not permit the violation of any section of the Building Code, City Ordinances, or State law.
- BS10. The Applicant shall submit plans and specifications to the Building Division for review.

PUBLIC WORKS – ENGINEERING DIVISION

- PW1. All work in the public right of way shall be constructed in accordance with the Standard Plans and Standard Specifications for Public Works Construction, latest edition and the City and State Codes as applicable. This includes supplements thereto and City of Gardena Standard Drawings. All work shall be designed and signed by a registered Civil Engineer or other applicable professional license engineer(s).
- PW2. Before undertaking any Encroachment/Excavation within the public right of way, the owner must first obtain the applicable permit from the Public Works Engineering Division.

Resolution No. PC 12-25 EA #17-24 and CUP #7-24 Page **5** of **6**

PW3. The project shall utilize the County's benchmarks and any controlling survey monumentation (property lines, tract lines, street centerline, etc.) which are at risk of being destroyed or disturbed during the course of the project must be preserved in accordance with Section 8771(b) of the California Business and Professions Code (Professional Land Surveyors Act). Preconstruction field ties, along with the preparation and filling of the required Corner Records or Record of Survey with the County of Los Angeles, shall be accomplished by, or under the direction of, a licensed surveyor or civil engineer authorized to practice land surveying.

Copies of said records shall be furnished to the City Engineering for review and approval prior to issuance of any onsite or offsite construction permit. In addition, any monuments disturbed or destroyed by this project must be reset and post-construction Corner Records or Record of Survey filed with the County of Los Angeles. A copy of the recorded documents shall be submitted to the Engineering office for review and approval prior to issuance and/or finalizing any permits within the public right of way.

- PW4. Prior to issuance of permits, all public improvements (if any) shall be guaranteed to be installed by the execution of an Agreement for Public Improvements secured by sufficient bond sureties or cash, complete indemnification form, Certification of Insurance (General Liability, Auto & Workers Compensation) naming City of Gardena as additional insured, contractor State License and City Business License.
- PW5. Secure permit to remove and replace approx. 200 S.F. of sidewalk.
- PW6. Requirements based on preliminary review only. Additional requirements may be required upon full plan submittal and review.
- PW7. Contractor/Applicant is responsible for all applicable permit, plan check surety, and other incidental fees pertaining to the proposed project.
- PW8. Provide industrial waste clearance.
- PW9. The Applicant shall submit a Final Priority WQMP to the City for review and approval. This plan shall be in conformance with all current NPDES requirements. The WQMP must implement Low Impact Development (LID) principles such that projects infiltrate, harvest, re-use, evaporation, or bio-treat storm water runoff. Sheet flowing stormwater, without filtering, is no longer acceptable.
- PW10. The Applicant shall provide complete hydrology and hydraulic study prepared by a qualified engineer, and comply with the recommendations of the engineer, to the satisfaction of the City

Resolution No. PC 12-25 EA #17-24 and CUP #7-24 Page **6** of **6**

LOS ANGELES COUNTY FIRE DEPARTMENT

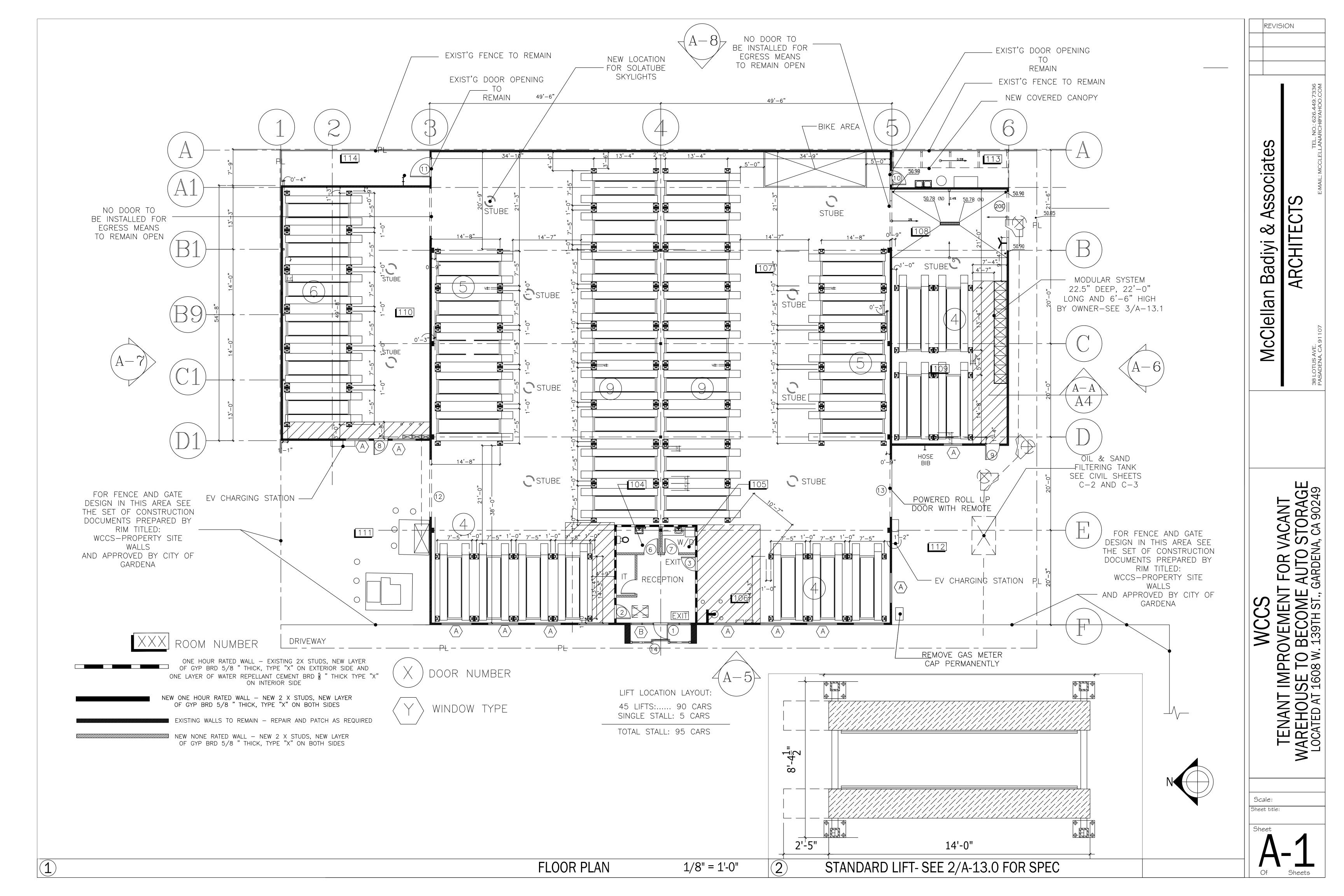
FD1. Review and approval by the Fire Department's Fire Prevention Engineering Section Building Plan Check Unit is required for this project prior to building permit issuance. Plans should be submitted through EPIC-LA, contact the Fire Prevention office at (323) 890-4125 for details on their submittal requirements

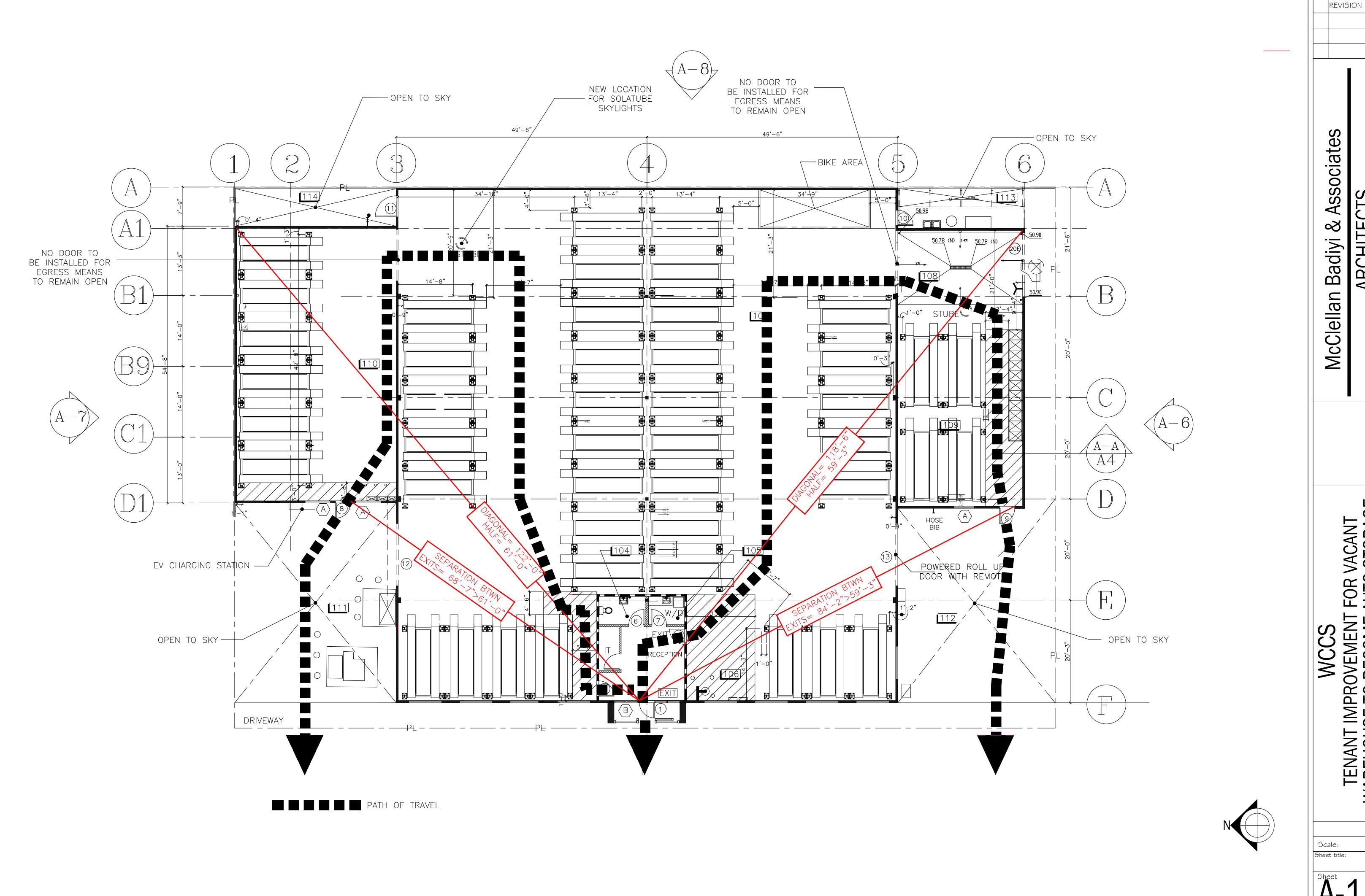
For any questions regarding the report, please contact Wally Collins at (323) 890-4243 or Wally.Collins@fire.lacounty.gov

END LIST OF THE CONDITIONS OF APPROVAL

Westside Collection Car Storage, representative, certifies that he/she/they/it has read, understood, and agrees to the Project Conditions listed herein.

Bv	Dates

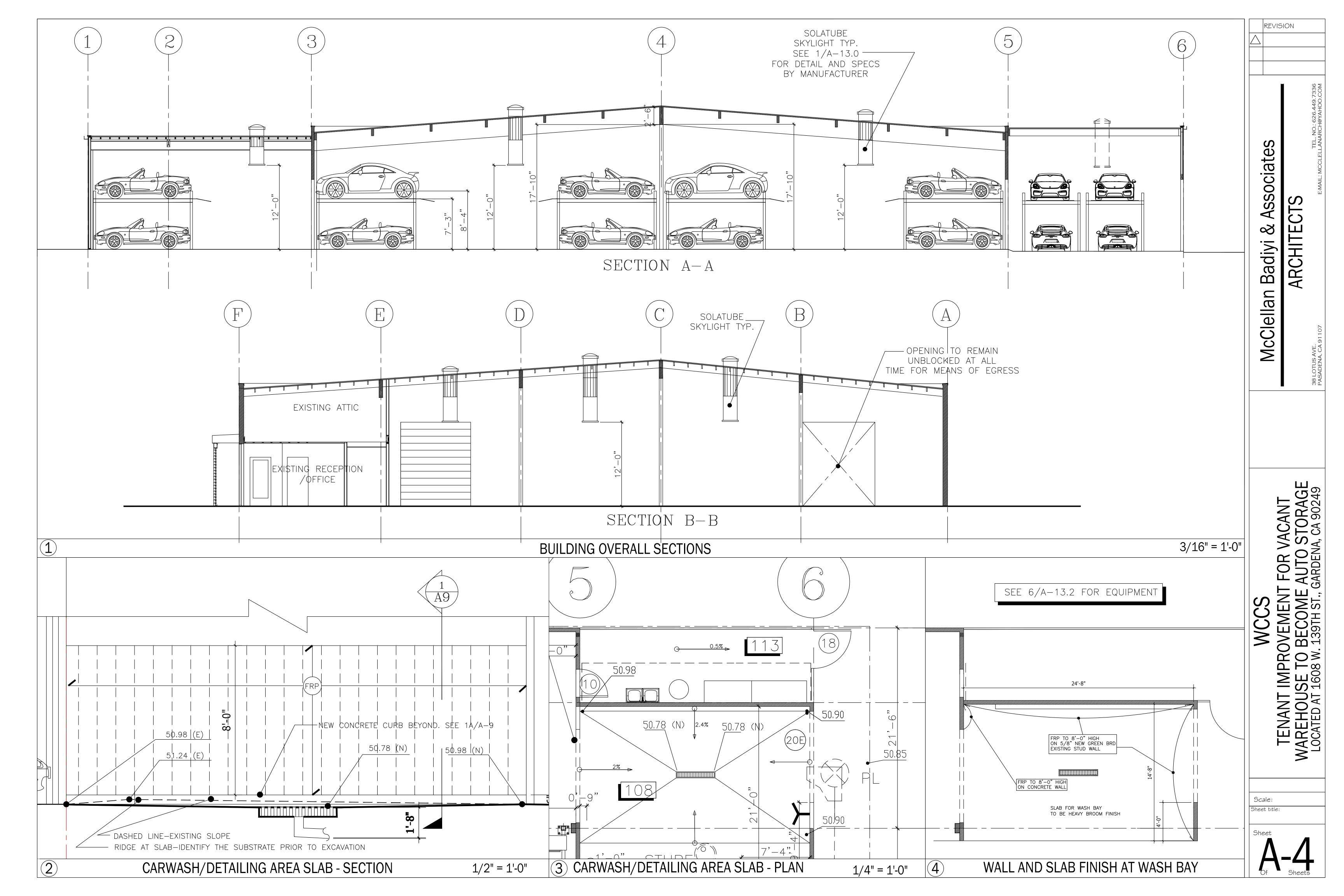


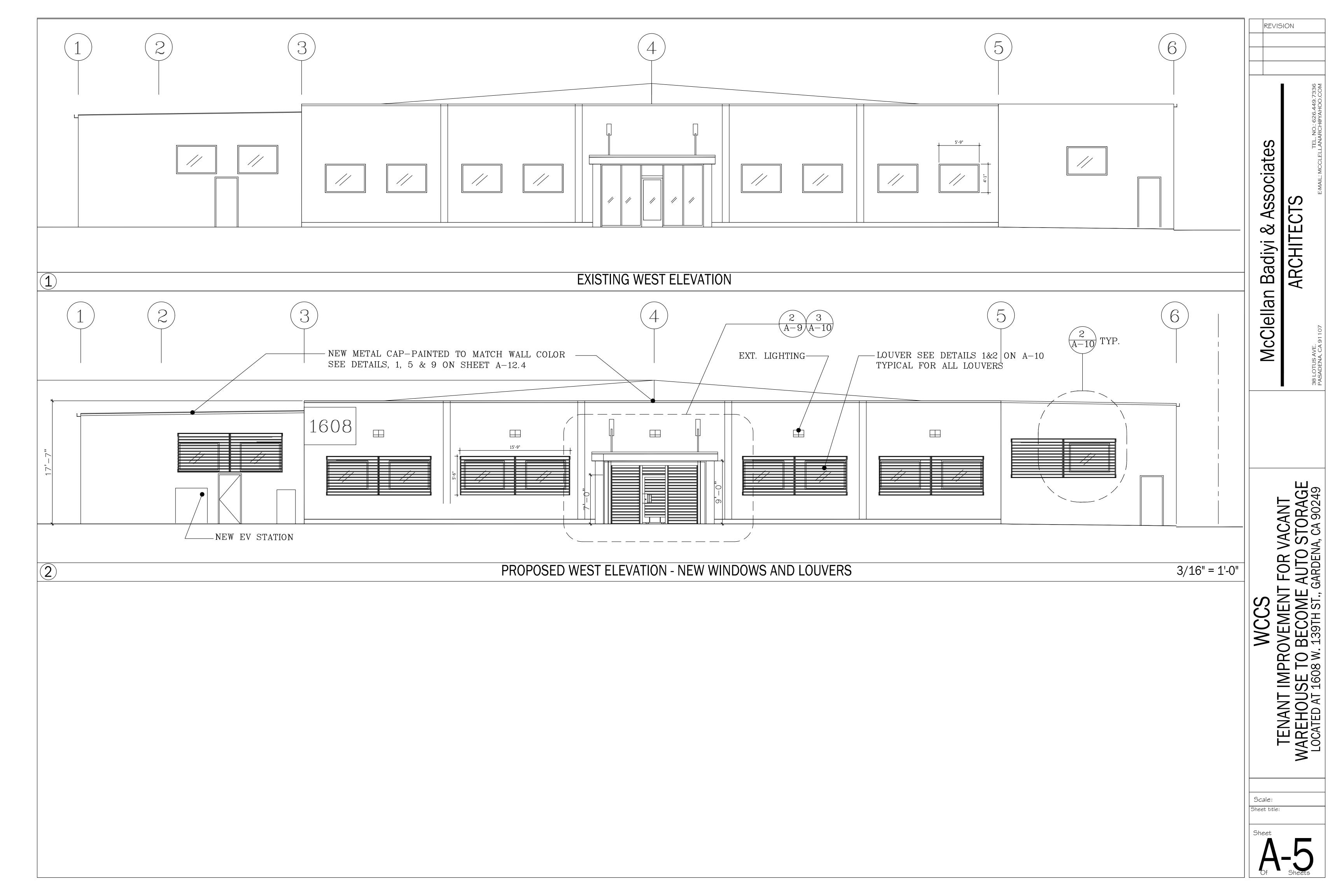


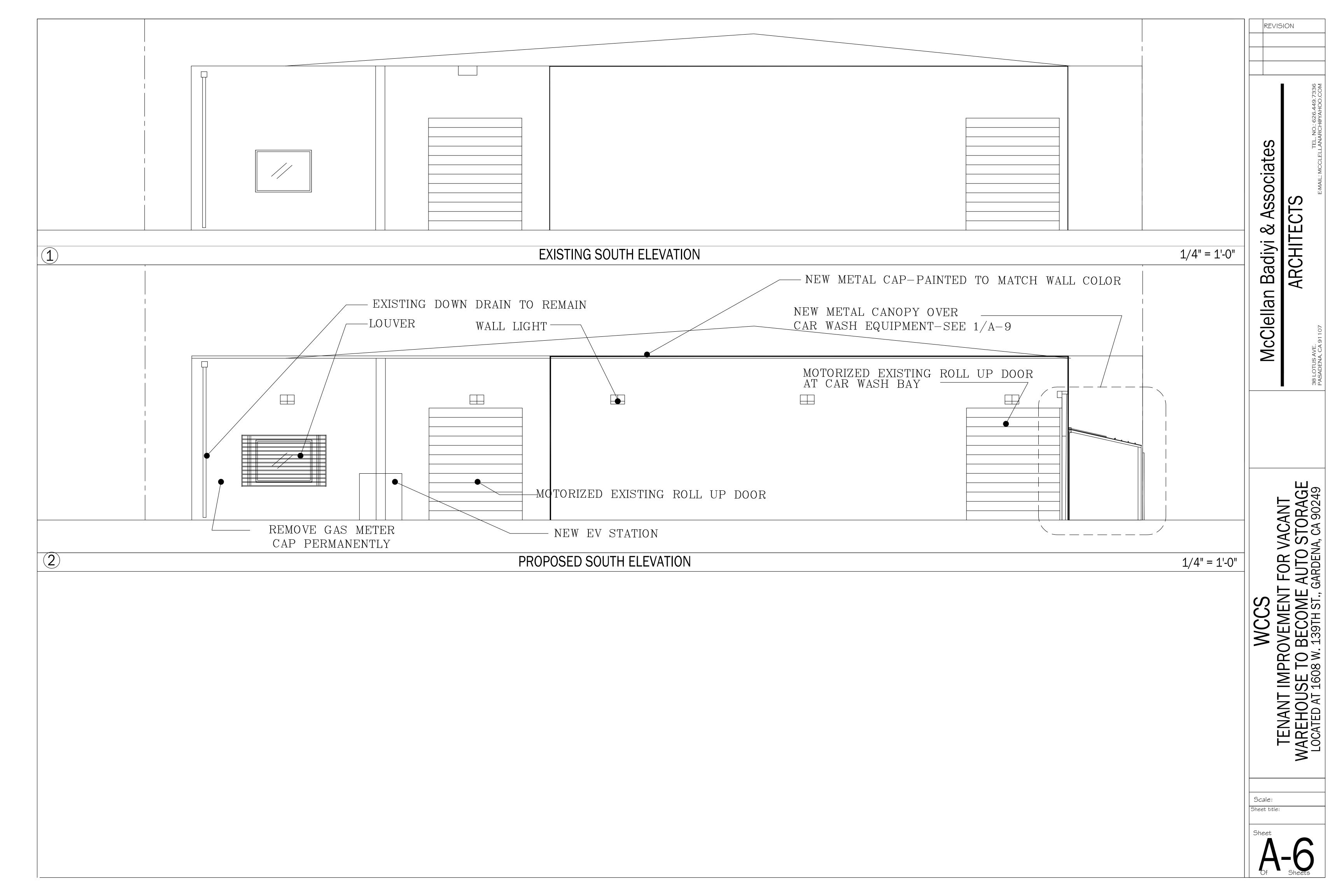
ARCHITE(

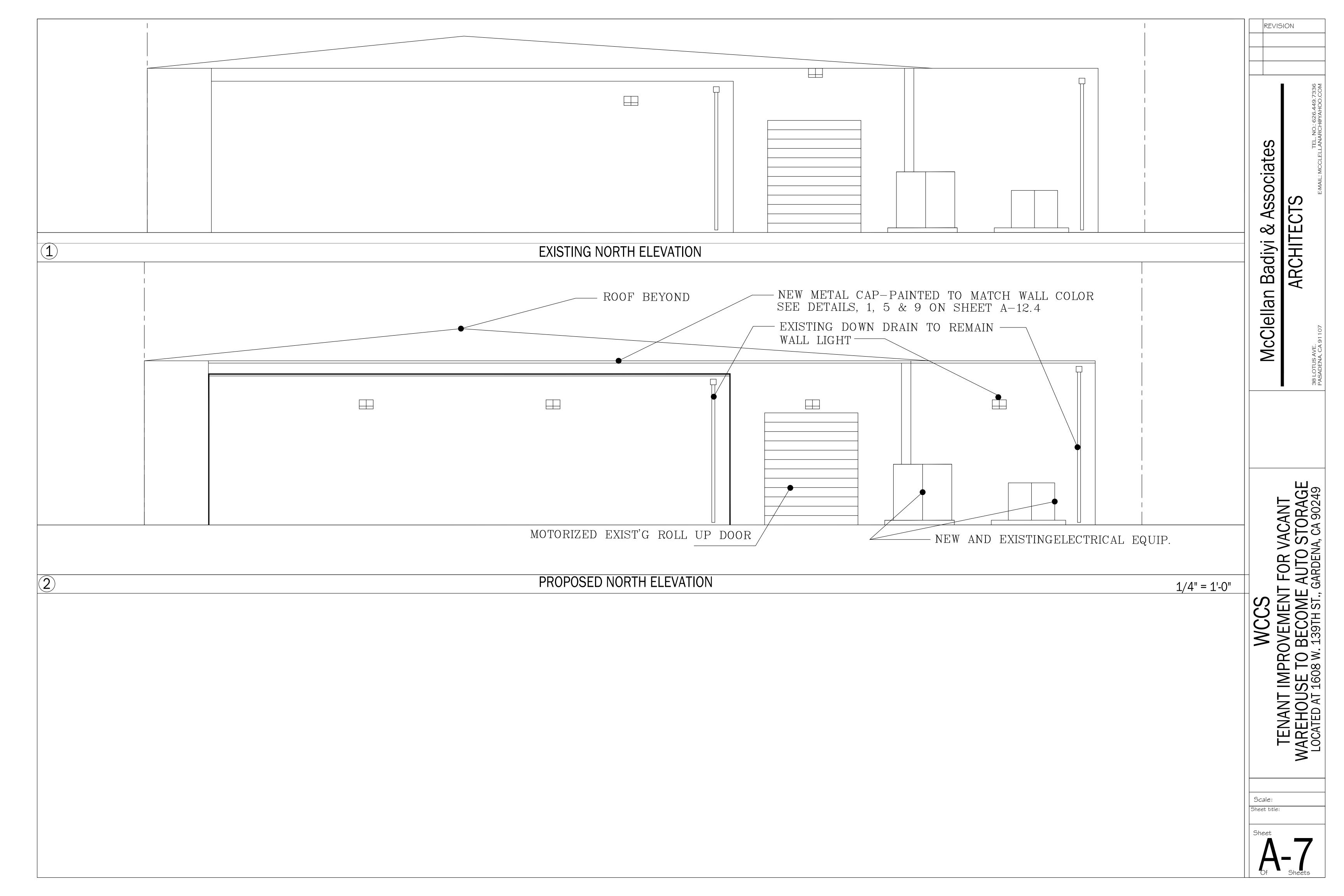
TENANT IMPROVEMENT WAREHOUSE TO BECOME LOCATED AT 1608 W. 139TH ST., (

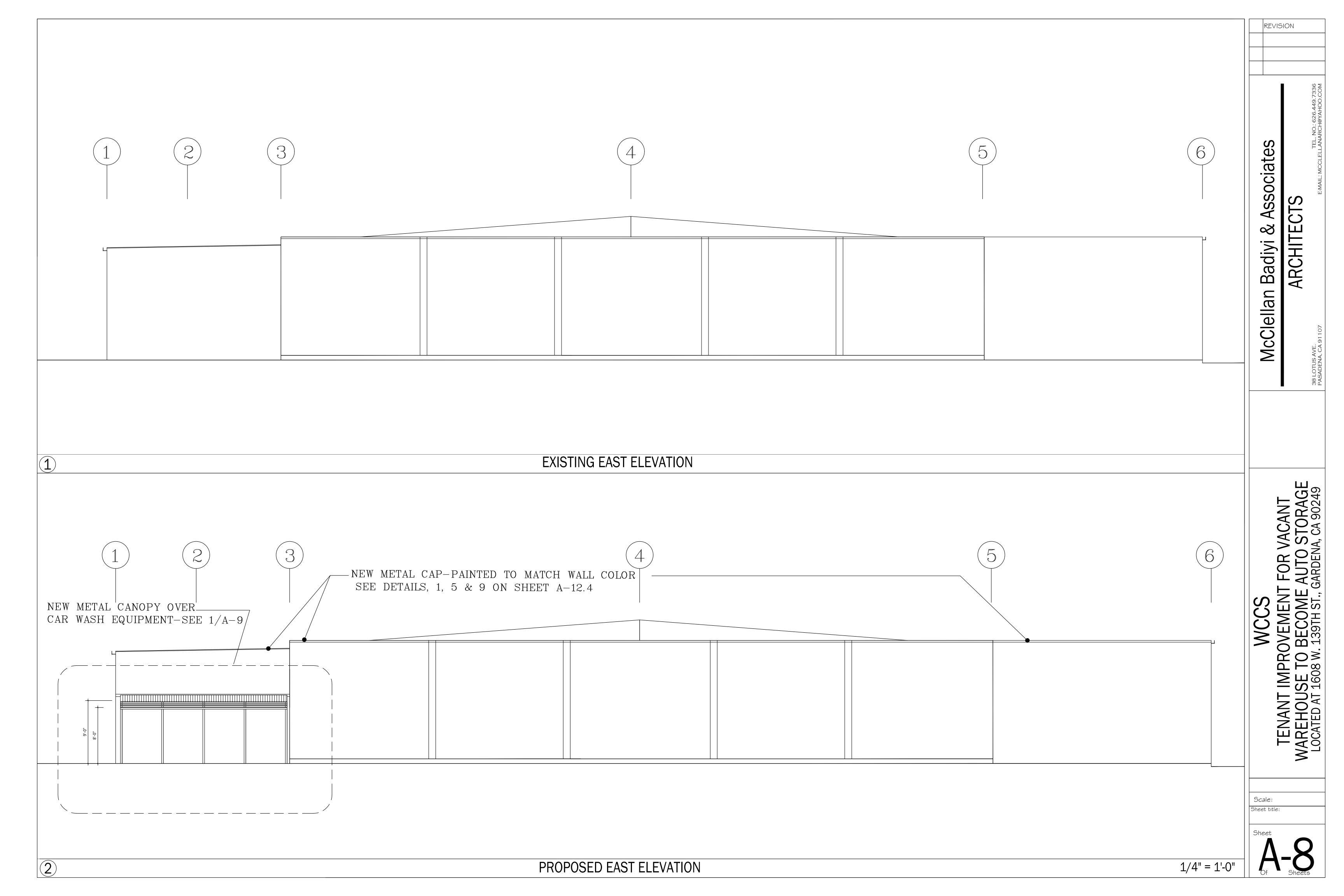
Sheets

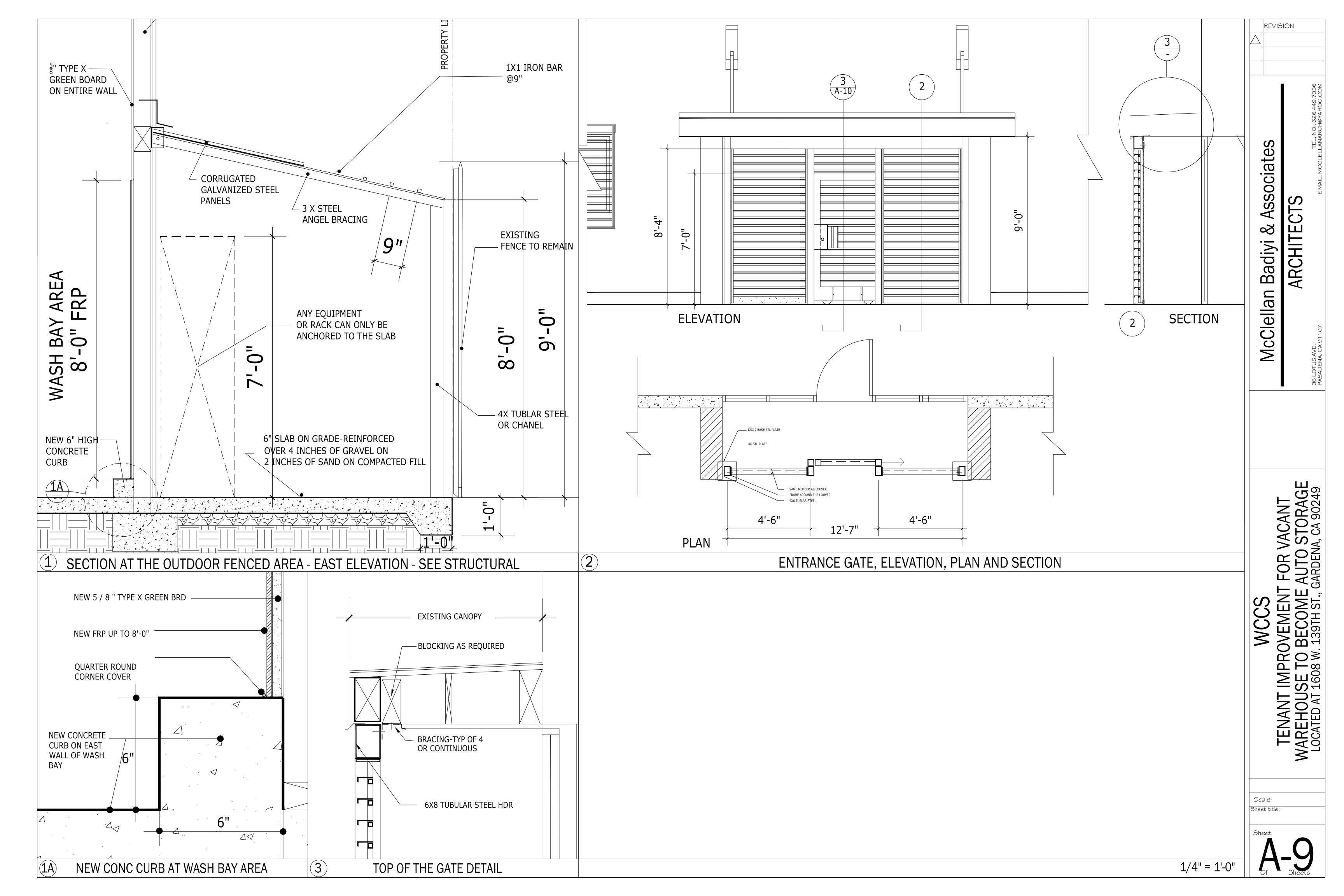


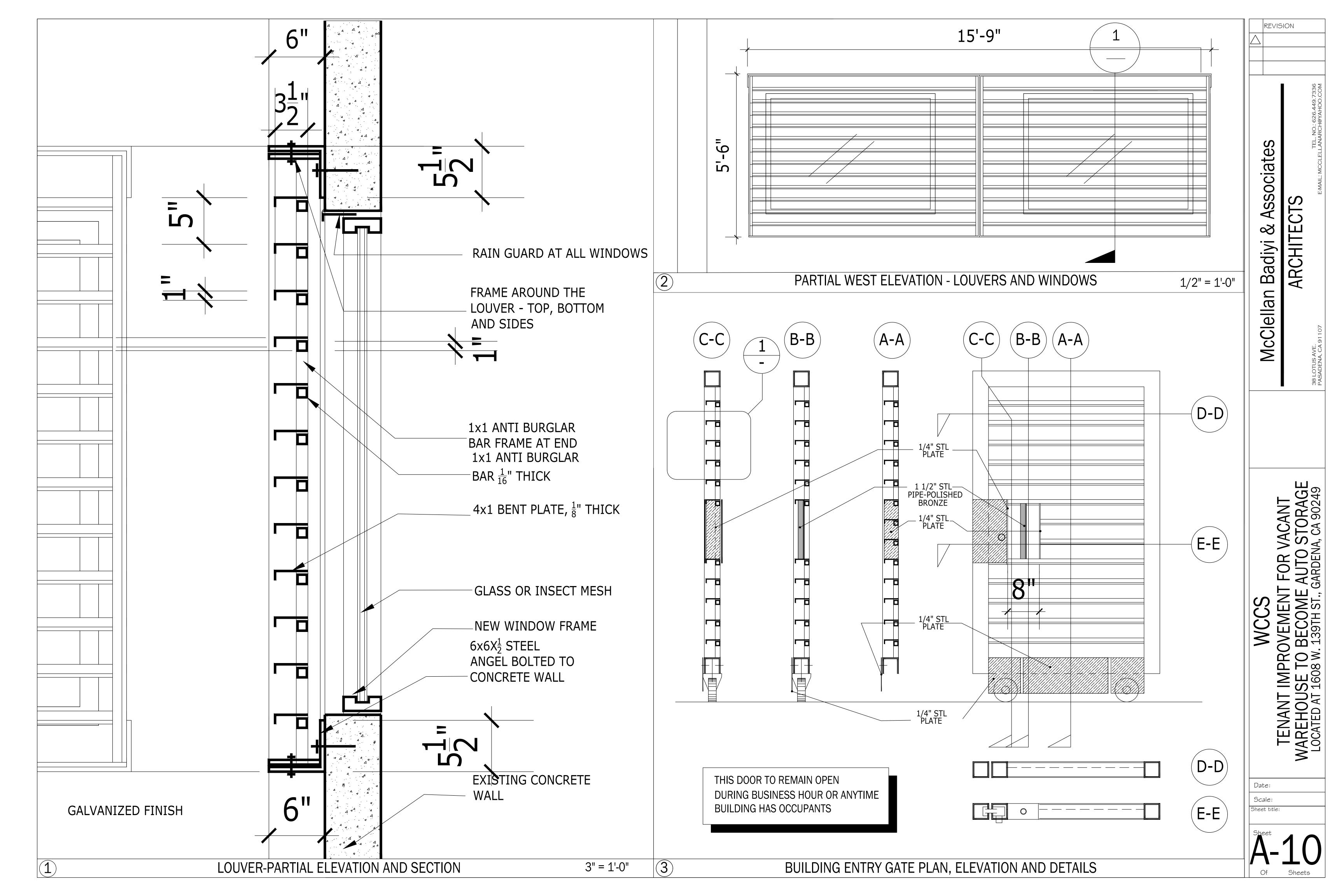


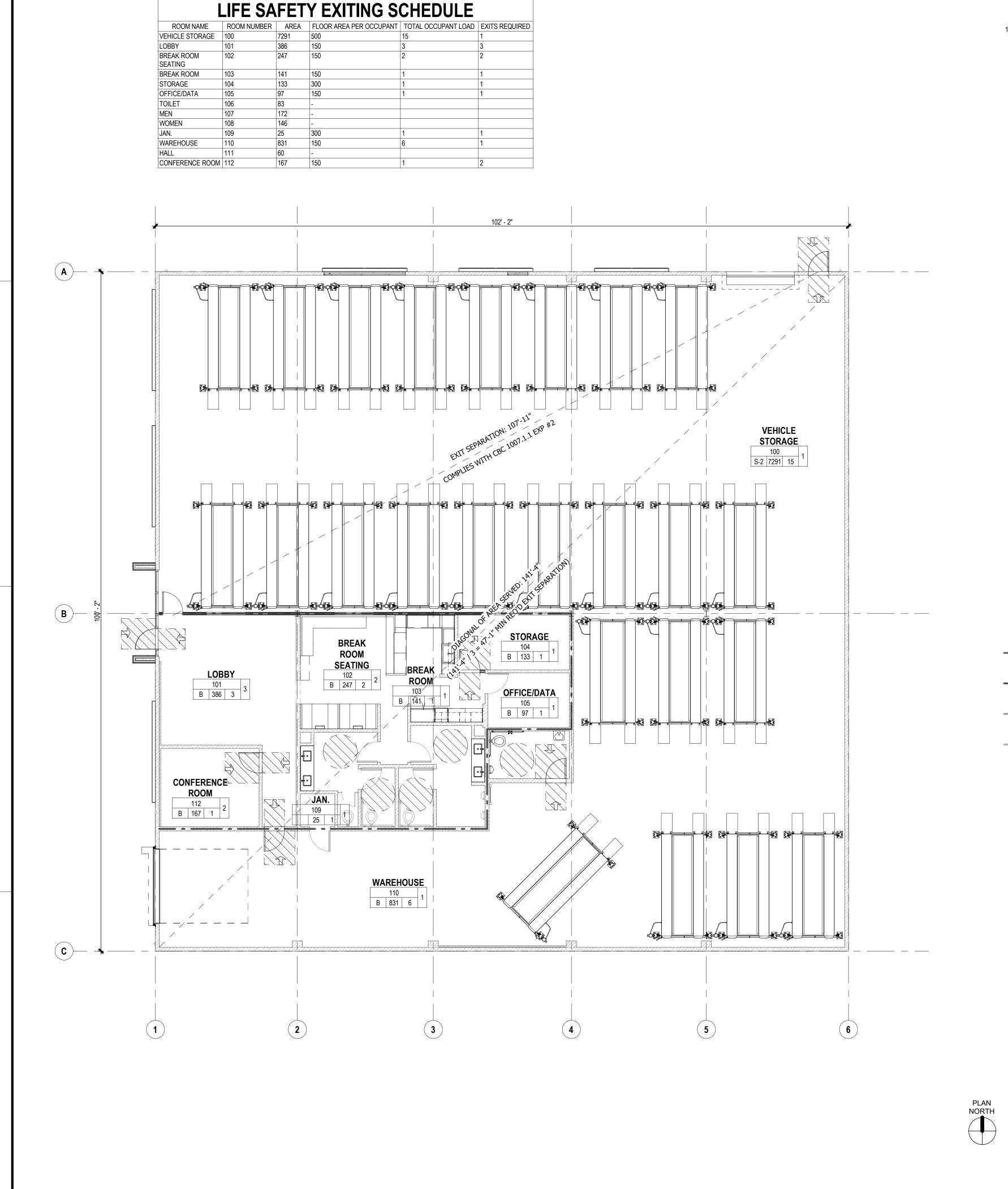












LIFE SAFETY PLAN GENERAL NOTES

1. REFERENCE CODES: ALL WORK SHALL CONFORM TO ALL APPLICABLE BUILDING CODES, STANDARDS, REGULATIONS, AND OTHER SUPPLEMENTAL AMENDMENTS RELATED TO THE JURISDICTIONS OF THE PROJECT, IN THEIR LATEST AND MOST RECENT ADOPTED EDITIONS, AND EFFECTIVE DATES.

LIFE SAFETY PLAN LEGEND

X X ■ NUMBER OF EXITS REQUIRED

NUMBER OF OCCUPANTS

— CBC OCCUPANCY CLASSIFICATION

NET SF

NAME

RM NO

XX XXXXXXXX ′

2 HOUR FIRE WALL

1 HOUR FIRE WALL

SMOKE BARRIER

SMOKE PARTITION

DOOR WITH PANIC HARDWARE

FIRE EXTINGUISHER LOCATION

OCCUPANT LOAD THRU EXIT

DOOR CLEARANCE PER 2010 ADA STANDARDS FOR

TURNING RADIUS PER 2010 ADA STANDARDS FOR

ACCESSIBLE DESIGN

TYPE OF CONSTRUCTION

CODE ANALYSIS

OCCUPANCY CLASSIFICATION B / S-2 1 HOUR SEPARATION REQUIRED SEPARATED OCCUPANCY (CBC Table 508.4) ALLOWABLE AREA AND HEIGHT ALLOWABLE ACTUAL BUILDING HEIGHT (CBC Table 504.3) NUMBER OF STORIES (CBC Table 504.4) ALLOWABLE AREA (CBC Table 506.2) 9,993 sf

TYPE V-B

ALLOWABLE EXTERIOR WALL PROTECTION AND EXTERIOR WALL OPENING PROTECTION.

FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS. (CBC Table 601)				
CONSTRUCTION TYPE	TYPE VB			
BUILDING ELEMENT	FIRE - RESISTANCE RATING REQUIREMENT (HOURS)			
STRUCTURAL FRAME	0			
BEARING WALLS - EXTERIOR	0			
BEARING WALLS - INTERIOR	0			
NONBEARING WALLS AND PARTITIONS - EXTERIOR	0			
NONBEARING WALLS AND PARTITIONS - INTERIOR	0			
FLOOR CONSTRUCTION - INCLUDING SUPPORTING BEAMS AND JOISTS	0			
ROOF CONSTRUCTION - INCLUDING SUPPORTING BEAMS AND JOISTS	0			

FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPERATION DISTANCE (CBC TABLE 705.5)

FIRE SEPERATION DISTANCE X (FEET)	FIRE - RESISTANCE RATING REQUIREMENT (HOURS)
X < 5	1
5 < X < 10	1
10 < X < 30	0
X > 30	0
	X < 5 5 < X < 10 10 < X < 30

MAXIMUM AREA OF EXTERIOR WALL OPENINGS (CBC Table 705.8) - UNPROTECTED

FIRE SEPARATION DISTANCE	ALLOWABLE AREA
0 to less than 3 ft.	Not Permitted
3 to less than 5 ft.	15%
5 to less than 10 ft.	25%
10 to less than 15 ft.	45%
15 to less than 20 ft.	75%
20 to less than 25 ft.	No Limit
25 to less than 30 ft.	No Limit
30 ft. or greater	No Limit

INTERIOR WALL AND CEILING FINISH REQUIREPMENTS BY OCCUPANCY (CBC Table 803.13)

OCCUPANCY	EXIT ENCLOSURES AND PASSAGEWAYS	CORRIDORS, ROOMS, AND ENCLOSED SPACES
GROUP B *	CLASS B	CLASS C
GROUP S *	CLASS C	CLASS C

APPLIES WHEN THE EXIT ENCLOSURES, EXIT PASSAGEWAYS, CORRIDORS OR ROOMS AND ENCLOSED SPACES ARE PROTECTED BY A SPRINKLERS SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2.

MINIMUM ROOF COVERING CLASS (CBC Table 1505.1)

CONSTRUCTION TYPE V-B	MINIMUM CLASS C
MAXIMUM TRAVEL DISTANCE (CBC Table 1017.2)	
OCCUPANCY	WITH SPRINKLER SYSTEM
В	300 ft.
S-2	400 ft.
MAXIMUM COMMON PATH OF EGRESS TRAVEL (CBC Table 1006.	.2.1)

OCCUPANCY

В	100 ft.
S	100 ft.
EVITING SYSTEMS (CDC Chapter 10)	

WITH SPRINKLER SYSTEM

EXITING SYSTEMS (CBC Chapter 10)

	REQUIRED WIDTH	MINIMUM CLEAR WIDTH	MINIMUM HEIGHT
	0.15" per occupant	32 in.	6 ft. 8 in.
ORRIDORS	0.15" per occupant	44 in. *36 in. if < 49 occupants	7 ft. 6 in.

CBC 1003.3.3 OBJECTS WITH LEADING EDGES MORE THAN 27 IN. AND NOT MORE THAN 80 IN. ABOVE THE FLOOR SHALL NOT PROJECT HORIZONATALLY MORE THAN 4 IN. INTO THE CIRCULATION PATH. EXCEPTION 1 - HANDRAILS ARE PERMITTED TO PROTRUDE 4-1/2 IN. FROM WALL.

CBC 1013.5 AND 1013.6 EXIT SIGNS ARE REQUIRED AND SHALL BE ILLUMINATED AT ALL TIMES.

191 E. MAIN STREET, SUITE 2D TUSTIN, CALIFORNIA 92780 Phone: 714.505.0500 Fax: 714.824.8647

www.rimarchitects.com



1612

NO DESCRIPTION DATE

2023.07.31 PROJECT NO 227029 DRAWN BY M. O'ROURKE CHECKED BY D. AIKEN COPYRIGHT : 2023 RIM ARCHITECTS

DWG NO:

WCCS GARDENA

1612 W. 139TH STREET

191 E. MAIN STREET, SUITE 2D TUSTIN, CALIFORNIA 92780 Phone: 714.505.0500 Fax: 714.824.8647

www.rimarchitects.com

DANA C. AIKEN C 30867 AL

39TH 1612

GARDENA

WCCS

NO DESCRIPTION DATE 2023.07.31 PROJECT NO: 227029 DRAWN BY M. O'ROURKE

COPYRIGHT : 2023 RIM ARCHITECTS DWG NO: A001

D. AIKEN

CHECKED BY

WCCS

CLIENT

LICHA CONSTRUCTION 124 N. First Avenue, Suite 200 Arcadia, California 91006 626.447.2500

ARCHITECTURAL

RIM ARCHITECTS 191 E. Main Street, Suite 2D Tustin, California 92780 714.505.0500

STRUCTURAL

WHEELER & GRAY 1333 S. Mayflower Avenue, Suite 320 Monrovia, California 91016 626.432.5850

MECHANICAL & **PLUMBING**

TOM1 ASSOCIATES INC. 24800 Eilat Street, Woodland Hills, California 91367 818.348.1556

ELECTRICAL

PACIFIC ENGINEERS GROUP 1106 W. Magnolia Boulevard, Suite A Burbank, California 91506 818.842.7285

191 E. Main Street, Suite 2D Tustin, California Phone: 714.505.0500 Fax: 714.824.8647 www.rimarchitects.com

LEGAL INFORMATION

SITE ADDRESS: 1612 139th STREET GARDENA, CA 90249

PROPERTY LEGAL DESCRIPTION: TRACT NO. 196-78

PROJECT INFORMATION

GOVERNING CODES: 2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA FIRE CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA ENERGY CODE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE LOCAL MUNICIPAL CODE ADA ACCESSIBIILTY GUIDELINES

THE PROJECT SHALL ALSO COMPLY WITH THE APPLICABLE CODES AND STANDARDS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA).

CONSTRUCTION TYPE: VB

OCCUPANCY GROUPS: B & S-1

NUMBER OF LEVELS: 1

SCOPE OF WORK: TENANT IMPROVEMENT TO OFFICE & WAREHOUSE SPACE.

STRUCTURAL

GENERAL NOTES EXISTING ROOF FRAMING PLAN **DETAILS**

INTERIOR ELEVATIONS

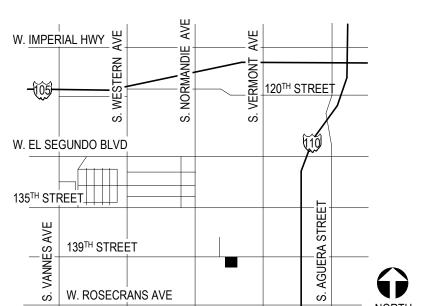
INTERIOR DETAILS

GENERAL NOTES, SCHEDULES & DETAILS FLOOR PLAN, NOTES & DETAIL NOTES & WIRING DIAGRAMS

ELECT. SYMBOLS, NOTES & SCHEDULES SINGLE LINE DIAGRAM AND PANEL SCHEDULE FLOOR PLAN EM PHOTOMETRIC FLOOR PLAN POWER **ROOF PLAN POWER** SINGLE LINE DIAGRAM AND PANEL SCHEDULE

TITLE-24 OUTDOOR LIGHTING CONTROL DIAGRAM SITE ELECTRICAL

VICINITY MAP



SHEET INDEX **ARCHITECTURAL**

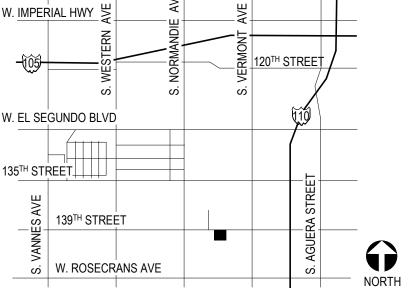
TITLE SHEET AND SHEET INDEX
ABBREVIATIONS AND SYMBOLS LEGEND
CODE ANALYSIS & LIFE SAFETY PLAN
SITE PLAN
OVERALL FLOOR PLAN
ENLARGED FLOOR PLAN
OVERALL CEILING PLAN
ENLARGED CEILING PLAN
ROOF PLAN
SCHEDULES AND LEGENDS
DOOR AND WNDOW DETAILS
EXTERIOR ELEVATIONS
EXTERIOR DETAILS
ROOF DETAILS
ENLARGED FINISH PLAN
INTERIOR ELEVATIONS

DETAILS S502

MECHANICAL

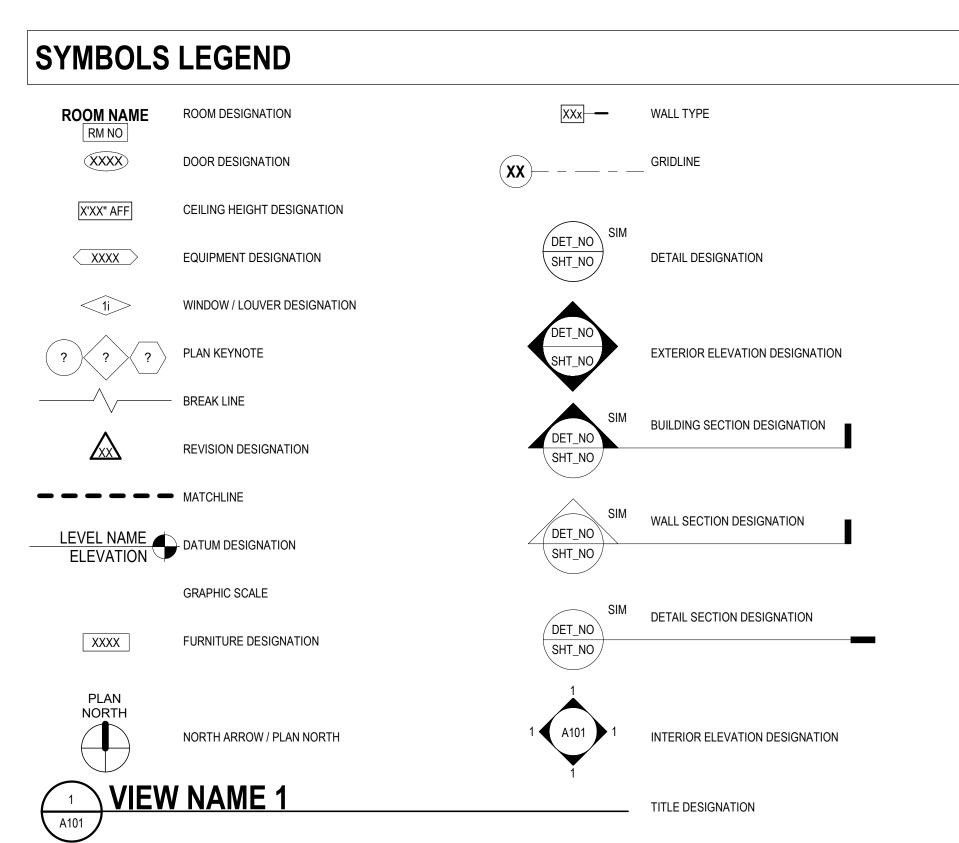
ELECTRICAL

TITLE-24 INDOOR



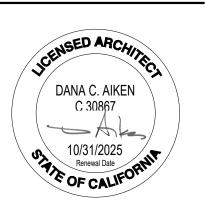
MATERIALS LEGEND SAND, MORTAR, PLASTER, CONCRETE GYPSUM BOARD TILE, BACKER BOARD 44 44 44 44 PLYWOOD EARTH (UNCLASSIFIED FILL) ////////////////////////// STEEL /// /// /// ALUMINUM INSULATION - BATT INSULATION - RIGID BOARD ACOUSTIC CEILING PANEL EARTH (UNDISTURBED) GLAZING, GLASS ☐ FLOORING - CERAMIC TILE OR RESILIENT

PROJECT SPECIFIC ABBREVIATIONS



191 E. MAIN STREET, SUITE 2D TUSTIN, CALIFORNIA 92780 Phone: 714.505.0500 Fax: 714.824.8647

www.rimarchitects.com



39TH \geq 1612

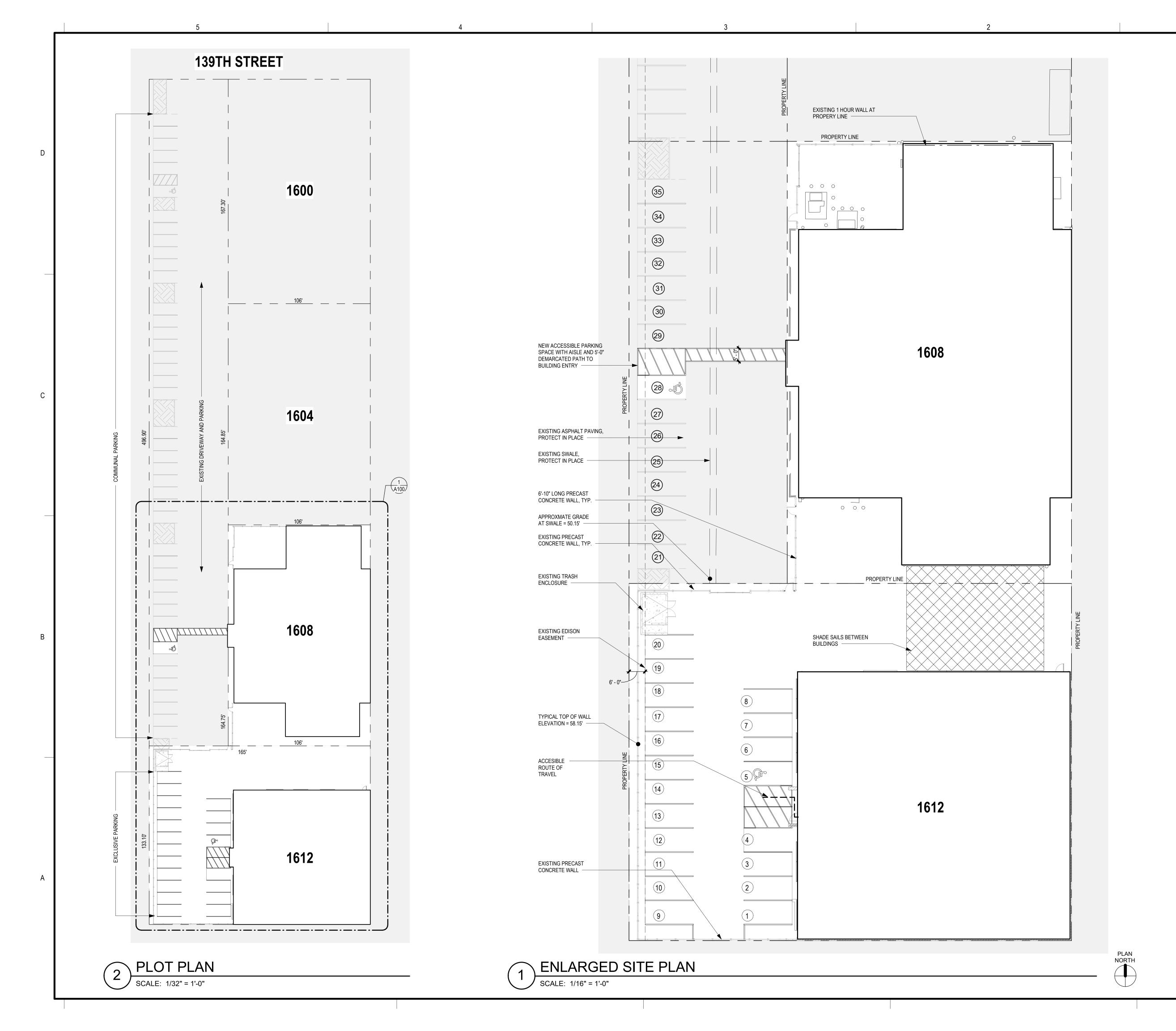
ARDI

WCCS

NO DESCRIPTION DATE 2023.07.31 PROJECT NO 227029 DRAWN BY M. O'ROURKE CHECKED BY

DWG NO:

COPYRIGHT : 2023 RIM ARCHITECTS



GENERAL NOTES

- 1. CAREFULLY REVIEW ALL CONSTRUCTION DOCUMENTS PRIOR TO BID AND START OF CONSTRUCTION. CONFIRM THAT WORK INDICATED IN THE CONSTRUCTION DOCUMENTS IS BUILDABLE AS SHOWN. IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY CONFLICTS, DISCREPANCIES AND OMISSIONS IN THE WORK SHOWN.
- CAREFULLY COMPARE ALL CONSTRUCTION DOCUMENTS WITH THE EXISTING SITE CONDITIONS PRIOR TO BID AND START OF CONSTRUCTION. IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY CONFLICTS, DISCREPANCIES AND OMISSIONS.
- 3. DO NOT SCALE DRAWINGS. REVIEW ALL DIMENSIONS SHOWN IN CONSTRUCTION DOCUMENTS PRIOR TO BID AND START OF CONSTRUCTION. IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY CONFLICTS, DISCREPANCIES AND OMISSIONS. 4. MAINTAIN FOR DURATION OF WORK EXITS, LIGHTING, FIRE PROTECTION DEVICES AND ALARMS REQUIRED BY ALL APPLICABLE CODES, ORDINANCES AND AUTHORITIES HAVING JURISDICTION. VERIFY WITH
- 5. KEEP IN PLACE AND STORED MATERIALS DRY AT ALL TIMES. REMOVE ITEMS THAT BECOME WET FROM PROJECT SITE AND DISPOSE OF IN A LEGAL MANNER.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING FIELD CONDITIONS, DIMENSIONS AND EXISTING GRADES PRIOR TO THE COMMENCEMENT OF WORK. PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES IN NEW AND/OR EXISTING CONDITIONS.
- 7. PATCH, REPAIR, INFILL AND SMOOTH OUT SURFACES WHERE ITEMS THAT HAVE BEEN MECHANICALLY ATTACHED LEAVE HOLES.
- 8. PATCH AND REPAIR ALL ASSEMBLIES OR SURFACES WHERE DEMOLITION IS REQUIRED TO INSTALL NEW WORK. ALL DISTURBED ASSEMBLIES & SURFACES ARE TO BE PATCHED AND REPAIRED AS TO BE VISUALLY UNDETECTABLE IN PROFILE, LIFT, TEXTURE, COLOR AND TO MATCH ALL ADJACENT SURFACES. PROVIDE ALL MATERIALS BOTH STRUCTURALLY AND COSMETICALLY TO COMPLETE THIS WORK.
- CITY OF ONTARIO REQUIRES ALL NEW BUILDINGS, AND DEMOLITION/RENOVATION/TENANT IMPROVEMENT PERMIT APPLICANT WITH PROJECT VALUATION OF \$100,000.00 OR MORE TO PREPARE A CONSTRUCTION & DEMOLITION RECYCLING PLAN (CDRP). FILL OUT "FORM CDRP" AND SUBMIT TO ONTARIO MUNICIPAL UTILITIES COMPANY - SOLID WASTE DEPARTMENT FOR APPROVAL. CALL (909) 395-2664 FOR FURTHER INFORMATION & ASSISTANCE.

LEGEND

NOT IN CONTRACT

LANDSCAPING

PARKING ANALYSIS FOR 1612

ROOM NAME	AREA	OCC.	RATIO	# REQ.
STORAGE	133	В	300	1
OFFICE/DATA	97	В	300	1
CONFERENCE ROOM	167	В	300	1
LOBBY	386	В	300	2
BREAK ROOM SEATING	247	В	300	1
BREAK ROOM	141	В	300	1
WAREHOUSE	831	В	300	3
VEHICLE STORAGE	7291	S-2	1000	7

EXCLUSIVE PARKING FOR 1612
TOTAL PARKING SPACES REQUIRED: 17
TOTAL PARKING SPACES PROVIDED: 20

MIN. ACCESSIBLE PARKING SPACES REQUIRED (CBC 11B-208.2): 1 TOTAL ACCESSIBLE PARKING SPACES PROVIDED: 1

COMMUNAL PARKING
TOTAL PARKING SPACES PROVIDED: 43 TOTAL ACCESSIBLE PARKING SPACES PROVIDED: 2

191 E. MAIN STREET, SUITE 2D TUSTIN, CALIFORNIA 92780 Phone: 714.505.0500 Fax: 714.824.8647

www.rimarchitects.com



1612

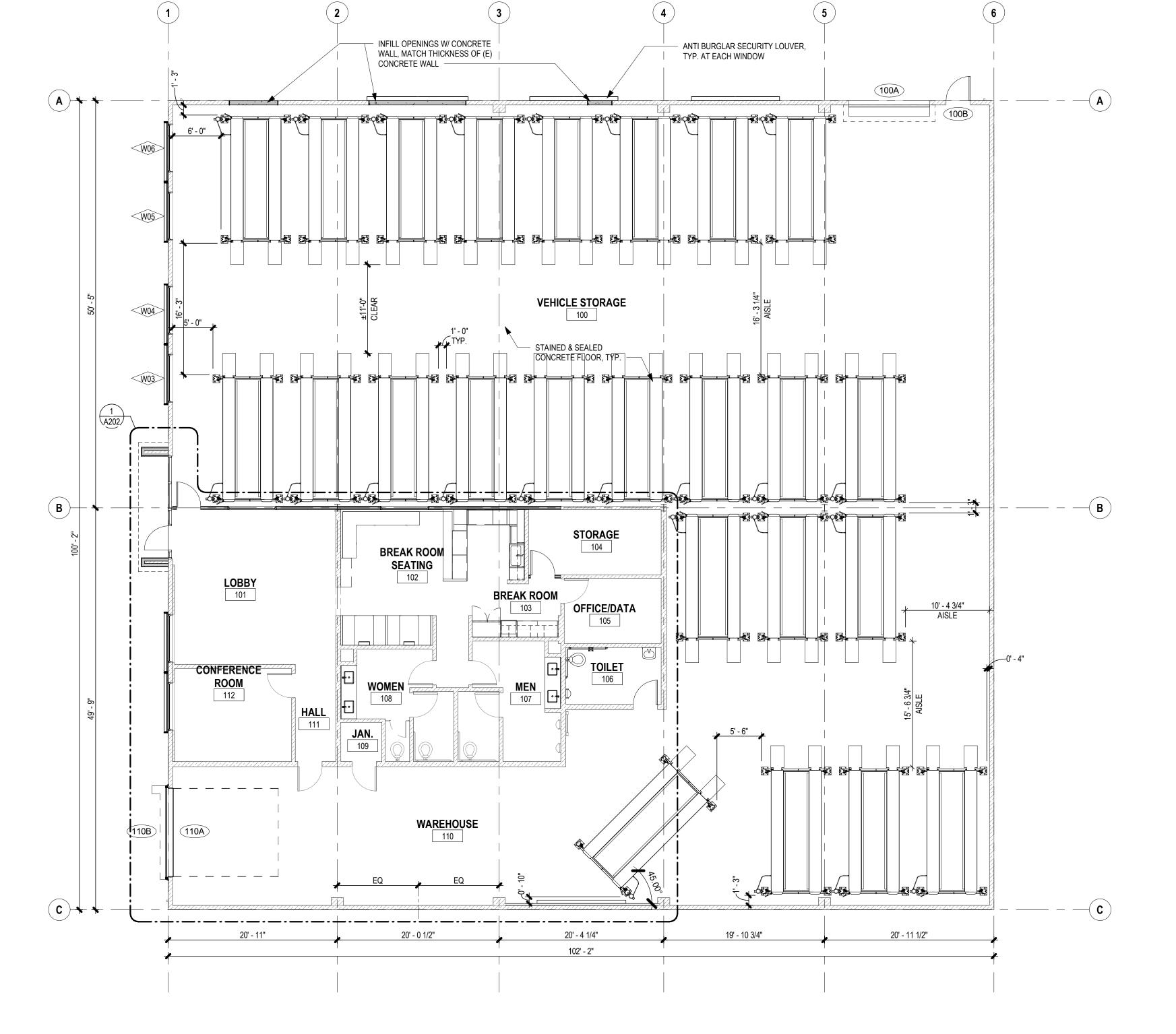
NO DESCRIPTION DATE 2023.07.31

DRAWN BY M. O'ROURKE CHECKED BY D. AIKEN COPYRIGHT : 2023 RIM ARCHITECTS

227029

PROJECT NO

DWG NO:



FLOOR PLAN GENERAL NOTES

1. REFER TO SHEET A001 FOR GENERAL PROJECT NOTES.

2. REFER TO SHEET A003 FOR ADDITIONAL LIFE SAFETY INFORMATION.

3. FIELD VERIFICATION: CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND VERTICAL CONTROL PRIOR TO THE COMMENCEMENT OF WORK. PROMPTLY NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING OF ANY DISCREPANCIES IN NEW AND/OR EXISTING CONDITIONS.

4. DIMENSIONING GUIDE: ALL DIMENSIONS ARE TAKEN TO/FROM GRID LINE, FACE OF CONCRETE AND MASONRY, AND FACE OF METAL/WOOD STUD PARTITION, UNLESS OTHERWISE NOTED. CLEAR DIMENSIONS BETWEEN SURFACES WILL BE NOTED WHERE APPLICABLE FROM MATERIAL FINISHES. FOR THE PURPOSE OF THIS PROJECT, ALL DIMENSIONS HEREIN SHALL BE TREATED EQUALLY, WITHOUT ANY HIERARCHY, AND/OR ORDER OF PRECEDENCE, UNLESS OTHERWISE

5. SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.

6. FOR FINISHES, SEE FINISH SCHEDULE, FINISH PLANS AND INTERIOR ELEVATIONS.

7. ALL GYPSUM BOARD TO BE 5/8" TYPE HI-ABUSE XP TO 6'-0" A.F.F. 5/8" TYPE "X" FROM 6'-0" TO

8. PROVIDE FIRE EXTINGUISHERS PER FIRE AUTHORITY DIRECTION. INCLUDE CABINETS AND HANGERS. MOUNT ALL FIRE EXTINGUISHER CABINETS WITH EXTINGUISHERS AT 48" A.F.F. TO LATCH OF EXTINGUISHER. 9. WHERE EXISTING SURFACES ARE TO BE FRAMED OR FURRED TO RECEIVE NEW FINISHES,

MILDEW, AND/OR SURFACE DIRT AND THAT ALL EXISTING FINISHES HAVE BEEN REMOVED DOWN TO BARE SUBSTRATE PRIOR TO ENCLOSING OR RECEIVING NEW FINISHES. 10. PATCH, REPAIR, INFILL AND SMOOTH OUT SURFACES WHERE ITEMS THAT HAVE BEEN

ENSURE THAT THE EXISTING SURFACES HAVE BEEN COMPLETELY CLEANED OF EXISTING MOLD,

LEGEND

EXISTING WALL

NEW WALL

ROOM TAG

DOOR TAG

PARITION TAG

WINDOW TAG

INTERIOR ELEVATION

ROOM NAME

XXx —

 $\langle \hat{1} \rangle$

MECHANICALLY ATTACHED LEAVE HOLES.

11. PATCH AND REPAIR ALL ASSEMBLIES OR SURFACES WHERE DEMOLITION IS REQUIRED TO INSTALL NEW WORK. ALL DISTURBED ASSEMBLIES & SURFACES ARE TO BE PATCHED AND REPAIRED AS TO BE VISUALLY UNDETECTABLE IN PROFILE, LIFT, TEXTURE, COLOR AND TO MATCH ALL ADJACENT SURFACES. PROVIDE ALL MATERIALS BOTH STRUCTURALLY AND COSMETICALLY TO COMPLETE THIS WORK.

191 E. MAIN STREET, SUITE 2D TUSTIN, CALIFORNIA 92780

Phone: 714.505.0500

www.rimarchitects.com

Fax: 714.824.8647

ME

139TH 1612 W.

NO DESCRIPTION DATE 2023.07.31

PROJECT NO 227029 DRAWN BY M. O'ROURKE CHECKED BY D. AIKEN

DWG NO:

COPYRIGHT : 2023 RIM ARCHITECTS

OVERALL FLOOR PLAN

SCALE: 1/4" = 1'-0"

FLOOR PLAN GENERAL NOTES

- REFER TO SHEET A001 FOR GENERAL PROJECT NOTES.
 REFER TO SHEET A003 FOR ADDITIONAL LIFE SAFETY INFORMATION.
- 3. FIELD VERIFICATION: CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND VERTICAL CONTROL PRIOR TO THE COMMENCEMENT OF WORK. PROMPTLY NOTIFY THE OWNER'S
- REPRESENTATIVE IN WRITING OF ANY DISCREPANCIES IN NEW AND/OR EXISTING CONDITIONS. 4. DIMENSIONING GUIDE: ALL DIMENSIONS ARE TAKEN TO/FROM GRID LINE, FACE OF CONCRETE AND MASONRY, AND FACE OF METAL/WOOD STUD PARTITION, UNLESS OTHERWISE NOTED. CLEAR DIMENSIONS BETWEEN SURFACES WILL BE NOTED WHERE APPLICABLE FROM MATERIAL FINISHES. FOR THE PURPOSE OF THIS PROJECT, ALL DIMENSIONS HEREIN SHALL BE TREATED EQUALLY, WITHOUT ANY HIERARCHY, AND/OR ORDER OF PRECEDENCE, UNLESS OTHERWISE
- 5. SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.
- 6. FOR FINISHES, SEE FINISH SCHEDULE, FINISH PLANS AND INTERIOR ELEVATIONS. 7. ALL GYPSUM BOARD TO BE 5/8" TYPE HI-ABUSE XP TO 6'-0" A.F.F. 5/8" TYPE "X" FROM 6'-0" TO
- 8. PROVIDE FIRE EXTINGUISHERS PER FIRE AUTHORITY DIRECTION. INCLUDE CABINETS AND HANGERS. MOUNT ALL FIRE EXTINGUISHER CABINETS WITH EXTINGUISHERS AT 48" A.F.F. TO LATCH OF EXTINGUISHER.
- 9. WHERE EXISTING SURFACES ARE TO BE FRAMED OR FURRED TO RECEIVE NEW FINISHES, ENSURE THAT THE EXISTING SURFACES HAVE BEEN COMPLETELY CLEANED OF EXISTING MOLD, MILDEW, AND/OR SURFACE DIRT AND THAT ALL EXISTING FINISHES HAVE BEEN REMOVED DOWN TO BARE SUBSTRATE PRIOR TO ENCLOSING OR RECEIVING NEW FINISHES.
- 10. PATCH, REPAIR, INFILL AND SMOOTH OUT SURFACES WHERE ITEMS THAT HAVE BEEN
- MECHANICALLY ATTACHED LEAVE HOLES.
- 11. PATCH AND REPAIR ALL ASSEMBLIES OR SURFACES WHERE DEMOLITION IS REQUIRED TO INSTALL NEW WORK. ALL DISTURBED ASSEMBLIES & SURFACES ARE TO BE PATCHED AND REPAIRED AS TO BE VISUALLY UNDETECTABLE IN PROFILE, LIFT, TEXTURE, COLOR AND TO MATCH ALL ADJACENT SURFACES. PROVIDE ALL MATERIALS BOTH STRUCTURALLY AND COSMETICALLY TO COMPLETE THIS WORK.

LEGEND

EXISTING WALL NEW WALL ROOM NAME **ROOM TAG** XXXX DOOR TAG PARITION TAG $\langle \hat{1} \rangle$ WINDOW TAG INTERIOR ELEVATION

191 E. MAIN STREET, SUITE 2D TUSTIN, CALIFORNIA 92780 Phone: 714.505.0500 Fax: 714.824.8647

www.rimarchitects.com



39TH

NO DESCRIPTION DATE 2023.07.31 PROJECT NO 227029

DRAWN BY

CHECKED BY

COPYRIGHT : 2023 RIM ARCHITECTS

M. O'ROURKE

3 20' - 0 1/2" 20' - 4 1/4" 19' - 10 3/4" 20' - 11 1/2" STRUCTURAL REINFORCING BETWEEN SUB-PURLINS, PURLINS, & CONCRETE WALL PER STRUCTURAL, SEE STRUCTURAL DRAWINGS SOLATUBE, TYP. SEE **ROOF PLAN FOR** MORE INFORMATION STRUCTURAL REINFORCING @ EACH PURLIN CONNECTION TO WALL, SEE STRUCTURAL DRAWINGS VEHICLE STORAGE OVERHEAD LIGHTS, TYP. R-19 FIBERGLASS BATT INSULATION W/ WHITE FOIL SCRIM KRAFT, TYP. — STRUCTURAL REINFORCING @ EACH PURLIN CONNECTION TO GLU-LAM BEAM PER STUCTURAL, SEE STRUCTURAL DRAWINGS STORAGE BREAK ROOM SEATING 102 OFFICE/DATA BREAK ROOM **TOILET** (E) ROOF FRAMING, PROTECT IN PLACE, TYP. ROOM 112 2X PURLINS TO INFILL THE OPENING AT REMOVED SKYLIGH, MATCH ADJACENT WAREHOUSE ROOF ASSEMBLY STRUCTURAL REINFORCING BETWEEN SUB-PURLINS, PURLINS, & CONCRETE WALL PER STRUCTURAL, SEE STRUCTURAL DRAWINGS 3 PLAN NORTH OVERALL CEILING PLAN SCALE: 1/8" = 1'-0"

CEILING PLAN GENERAL NOTES

- 1. FIELD VERIFICATION: CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND VERTICAL CONTROL PRIOR TO THE COMMENCEMENT OF WORK. PROMPTLY NOTIFY THE OWNER'S
- REPRESENTATIVE IN WRITING OF ANY DISCREPANCIES IN NEW AND/OR EXISTING CONDITIONS. 2. CEILING DEVICES: ALL CEILING LAYOUT PLANS SHOW MOST MAJOR MECHANICAL AND
- ELECTRICAL DEVICES. SEE MECHANICAL AND ELECTRICAL DOCUMENTS FOR ADDITIONAL M/E
- DEVICES INCLUDED IN THE CEILING CONFIGURATION. 3. CONTRACTOR TO COORDINATE LAYOUT OF ALL DEVICES.
- 4. ALL M/E DEVICES SCHEDULED FOR SUSPENDED ACOUSTIC CEILING TILES (ACT) TO BE LOCATED IN THE CENTER OF EACH TILE, UNLESS OTHERWISE NOTED.
- 5. PARTITION TYPES: PARTITION TYPES AND RELATED HEIGHTS ARE REFERENCED ON THE

EQUIPMENT/DEVICES REQUIRING ACCESS ARE LOCATED. COORDINATE LOCATION WITH EXISTING

- CORRESPONDING FLOOR PLANS. 6. CEILING ACCESS: PROVIDE CEILING ACCESS PANELS IN ALL INACCESSIBLE CEILINGS WHERE
- 7. SPRINKLER HEADS: ALL SPRINKLER HEADS SCHEDULED FOR SUSPENDED ACOUSTIC CEILING
- TILES (ACT) TO BE LOCATED IN THE CENTER OF EACH TILE.
- 8. LATERAL SUPPORT: PROVIDE LATERAL SUPPORT AND UPLIFT RESTRAINT AT ALL SUSPENDED ACOUSTICAL TILE CEILINGS AS REQUIRED BY THE LOCAL JURISDICTION (ASTM). COORDINATE LOCATIONS WITH ABOVE CEILING DEVICES AND RELATED CLEARANCES.

191 E. MAIN STREET, SUITE 2D TUSTIN, CALIFORNIA 92780 Phone: 714.505.0500 Fax: 714.824.8647

www.rimarchitects.com



LEGEND

WALL TO CONTINUE TO DECK ABOVE

FRAMED GYPSUM RECESSED DOWN LIGHT - SEE **BOARD CEILING** ELECTRICAL DRAWINGS BY OTHERS EXPOSED TO STRUCTURE 2 X 4 LIGHT FIXTURE - SEE ELECTRICAL EXP DRAWINGS BY OTHERS PENDANT LIGHT FIXTURE - SEE 2' X 2' ACT AND GRID ELECTRICAL DRAWINGS BY OTHERS

X'-X" CEILING HEIGHT AS NOTED

CHEVRON LIGHT FIXTURE

GARDENA 139TH 1612 W.

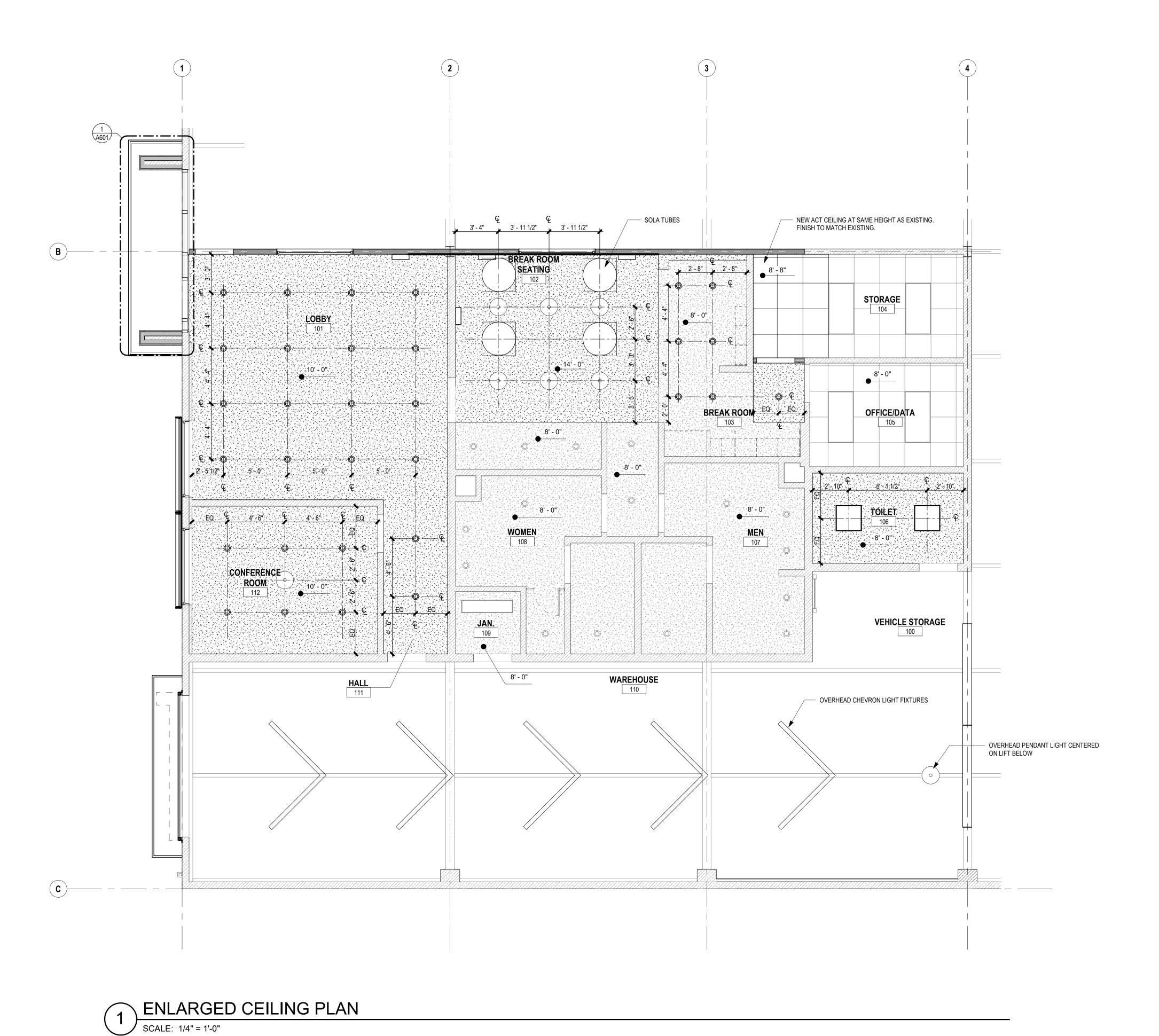
NO DESCRIPTION DATE 2023.07.31 PROJECT NO: 227029 DRAWN BY M. O'ROURKE

D. AIKEN

DWG NO:

CHECKED BY

COPYRIGHT : 2023 RIM ARCHITECTS



CEILING PLAN GENERAL NOTES

- 1. FIELD VERIFICATION: CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND VERTICAL CONTROL PRIOR TO THE COMMENCEMENT OF WORK. PROMPTLY NOTIFY THE OWNER'S
- REPRESENTATIVE IN WRITING OF ANY DISCREPANCIES IN NEW AND/OR EXISTING CONDITIONS. 2. CEILING DEVICES: ALL CEILING LAYOUT PLANS SHOW MOST MAJOR MECHANICAL AND
- ELECTRICAL DEVICES. SEE MECHANICAL AND ELECTRICAL DOCUMENTS FOR ADDITIONAL M/E DEVICES INCLUDED IN THE CEILING CONFIGURATION.
- 3. CONTRACTOR TO COORDINATE LAYOUT OF ALL DEVICES.
- 4. ALL M/E DEVICES SCHEDULED FOR SUSPENDED ACOUSTIC CEILING TILES (ACT) TO BE LOCATED IN THE CENTER OF EACH TILE, UNLESS OTHERWISE NOTED.
- 5. PARTITION TYPES: PARTITION TYPES AND RELATED HEIGHTS ARE REFERENCED ON THE
- CORRESPONDING FLOOR PLANS. 6. CEILING ACCESS: PROVIDE CEILING ACCESS PANELS IN ALL INACCESSIBLE CEILINGS WHERE
- 7. SPRINKLER HEADS: ALL SPRINKLER HEADS SCHEDULED FOR SUSPENDED ACOUSTIC CEILING

EQUIPMENT/DEVICES REQUIRING ACCESS ARE LOCATED. COORDINATE LOCATION WITH EXISTING

- TILES (ACT) TO BE LOCATED IN THE CENTER OF EACH TILE.
- 8. LATERAL SUPPORT: PROVIDE LATERAL SUPPORT AND UPLIFT RESTRAINT AT ALL SUSPENDED ACOUSTICAL TILE CEILINGS AS REQUIRED BY THE LOCAL JURISDICTION (ASTM). COORDINATE LOCATIONS WITH ABOVE CEILING DEVICES AND RELATED CLEARANCES.

www.rimarchitects.com

191 E. MAIN STREET, SUITE 2D

TUSTIN, CALIFORNIA 92780

Phone: 714.505.0500

Fax: 714.824.8647



LEGEND

WALL TO CONTINUE TO DECK ABOVE

FRAMED GYPSUM RECESSED DOWN LIGHT - SEE ELECTRICAL DRAWINGS BY OTHERS **BOARD CEILING** 2 X 4 LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS BY OTHERS EXPOSED TO STRUCTURE EXP PENDANT LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS BY OTHERS 2' X 2' ACT AND GRID

CEILING HEIGHT AS NOTED

PLAN NORTH

CHEVRON LIGHT FIXTURE

GARDENA 1612 W.

NO DESCRIPTION DATE PROJECT NO DRAWN BY CHECKED BY

> COPYRIGHT : 2023 RIM ARCHITECTS DWG NO:

A212

2023.07.31

M. O'ROURKE

227029

- (E) SCUPPER & DOWNSPOUT, 7 PAINT, TYP. FOR (3) (E) SLOPE (VIF) (E) SLOPE (VIF) REINSTALL ANY (E) REMOVED COPING, PAINT, TÝP. 60 MIL PVC ROOFING OVER 5/8" GLASS MAT ROOF BOARD OVER (E) PLYWOOD DECK, TYP. -(E) MECH. (E) MECH. ` ´UNIT ` ´UNIT RIDGE — SOLATUBE MODEL S33ODS-O-DABSK-FCC12CC1-E1EL-L5-I, TYP FOR (12) 3 A602 TYP. NEW REPLACEMENT
SOLATUBES AT SAME
LOCATION AS EXISTING. (E) SLOPE +/- 1:12 (VIF) (E) SLOPE (VIF) 3 ROOF PLAN

ROOF PLAN GENERAL NOTES

- ROOF PLAN SHOWs MOST MAJOR MECHANICAL AND ELECTRICAL ROOF-MOUNTED EQUIPMENT AND DEVICES. SEE MECHANICAL AND ELECTRICAL DOCUMENTS FOR ADDITIONAL DEVICES INCLUDED ON THE ROOF. CONTRACTOR TO COORDINATE LAYOUTS AND MOUNTING
- 2. ROOF SLOPE: MEMBRANE ROOF ASSEMBLIES TO BE INSTALLED WITH MINIMUM 1/4 INCH PER 12
- INCH SLOPE TO DRAIN/SCUPPER, UNLESS OTHERWISE NOTED. 3. ROOF CURBS: WHERE SCHEDULED ON THE ROOF PLAN, PROVIDE INSULATED ROOF CURBS
- EXTENDING A MINIMUM 12 INCHES ABOVE THE ADJACENT ROOF MEMBRANE, UNLESS OTHERWISE NOTED.
- DO NOT PENETRATE ROOFING WITHING 1'-6" OF VALLEYS, HIPS OR RIDGES.
 DIRECTLY CONNECT ALL RAIN SCUPPER TO DOWNSPOUTS.

191 E. MAIN STREET, SUITE 2D TUSTIN, CALIFORNIA 92780 Phone: 714.505.0500 Fax: 714.824.8647

www.rimarchitects.com



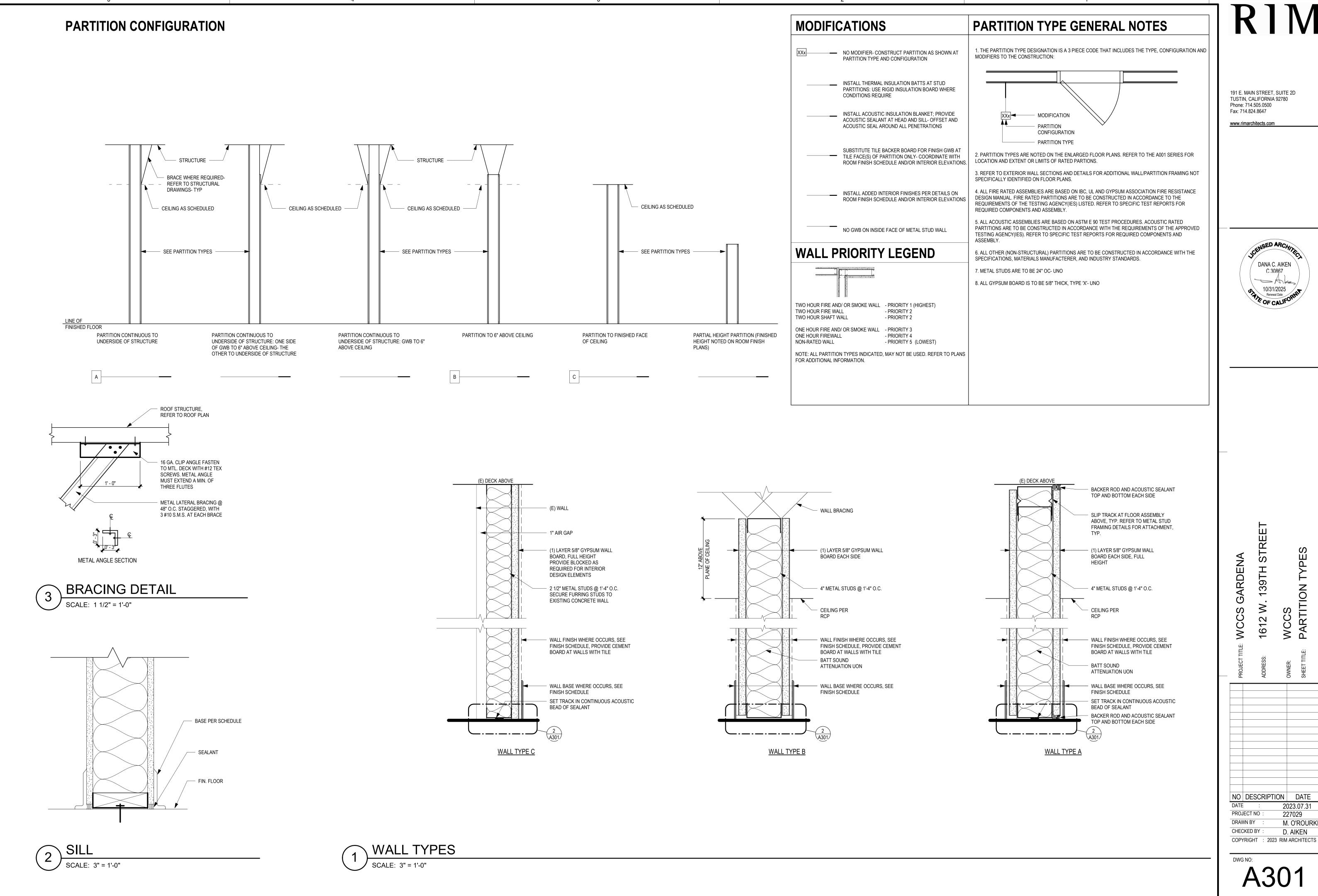
139TH STREET 1612 W.

NO DESCRIPTION DATE

DATE : 2023.07.31 2023.07.31 227029 M. O'ROURKE PROJECT NO

COPYRIGHT : 2023 RIM ARCHITECTS

CHECKED BY



191 E. MAIN STREET, SUITE 2D TUSTIN, CALIFORNIA 92780 Phone: 714.505.0500

www.rimarchitects.com

DANA C. AIKEN ME 10/31/2025 Renewal Date OF CALIFO

39TH 1612

NO DESCRIPTION DATE 2023.07.31 PROJECT NO: 227029

DWG NO:

M. O'ROURKE

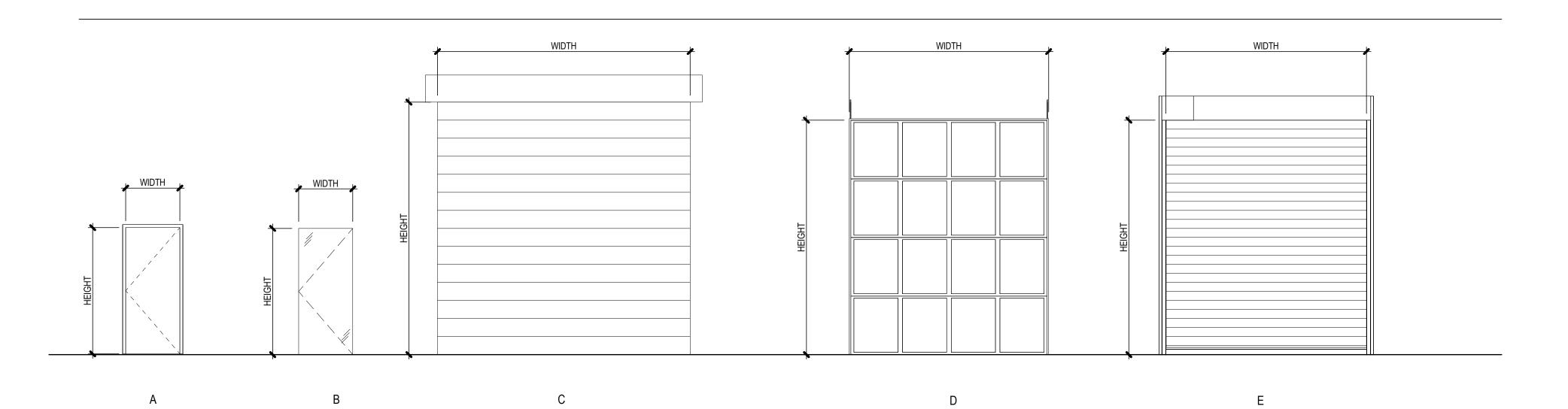
			MATERI	AL & FINISH S	SCHEDULE	
SYMBOL	MATERIAL	MANUFACTURER	DESCRIPTION	FINISH / COLOR	LOCATION	REMARKS
COUSTIC CEI	ING PANEL SYSTEM					
ACP1	ACOUSTIC CEILING PANEL SYSTEM	ARMSTRONG	24"x24"x3/4" TEGULAR EDGE	USG RADAR / WHITE		
ARPET					·	·
CPT-1	CARPET	SHAW CONTRACT GROUP	30"x30" CARPET TILE	PATTERN		
ONCRETE						
CON-1	CONCRETE	TBD	POLISHED CONCRETE			EXISTING CONCRETE
AINT						
P-1	PAINT	DUNN EDWARDS	DET648	WHITE PICKET FENCE		
P-2	PAINT	TBD	TBD	TBD	SHOWROOM	
OLID SURFAC	E				·	
SS-1	SOLID SURFACE	CAESARSTONE	TBD	TBD	RESTROOMS + KITHCEN COUNTERTOPS	
LE						
TL-1	TILE	ZIA TILE	4"x12" TILE	BUFF + HONED	RECEPTION DESK WALL	
TL-2	TILE	TBD	4"x4" GLAZED TILE	TBD	KITCHEN	

ROOM			BASE WALLS						
NUMBER	ROOM NAME	FLOOR FIN	MATL	HEIGHT	NORTH FIN	EAST FIN	SOUTH FIN	WEST FIN	CEILING FIN
100	VEHICLE STORAGE	CON-1							
101	LOBBY	CON-1			PT-1	TL-1	PT-1	PT-1	PT-1
102	BREAK ROOM SEATING	CON-1			PT-1	PT-1	PT-1	PT-1	PT-1
103	BREAK ROOM	CON-1			TL-2	TL-2	PT-1	PT-1	PT-1
104	STORAGE								PT-1
105	OFFICE/DATA								PT-1
106	TOILET								PT-1
107	MEN								PT-1
108	WOMEN								PT-1
109	JAN.								
110	WAREHOUSE	CON-1			PT-2	PT-1	PT-1	PT-1	PT-1
111	HALL	CON-1			PT-1	PT-1	PT-1	PT-1	PT-1
112	CONFERENCE ROOM				PT-1	PT-1	PT-1	PT-1	PT-1

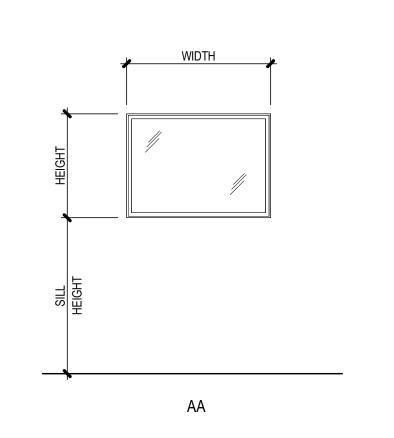
							D	001	R SC	HED	ULE					
DOOR FRAME DETAILS														FIRE		
	DOOR SIZE													RATING	HARDWARE	
OPENING	ROOM NAME	TYPE	WIDTH	HEIGHT	MAT	FINISH	TYPE	MAT	FINISH	HEAD	JAMB	SILL	GLAZING TYPE	(MINUTES)	SET	COMMENTS
100A	VEHICLE STORAGE	С	10' - 0"	12' - 0"						12/A321	11/A321	10/A321				
100B	VEHICLE STORAGE	Α	3' - 0"	7' - 0"	HM	PAINT	F-1	HM		3/A321	3/A321	2/A321				
101A	LOBBY	В	3' - 0"	7' - 10 3/4"	AL	ANOD.	F-2	AL		8/A321	8/A321	7/A321	SAFETY			
101B	VEHICLE STORAGE	Α	3' - 0"	7' - 0"	WD	STAIN	F-1	HM		4/A321	4/A321	-		45		
104	STORAGE	Α	3' - 0"	7' - 0"	WD	STAIN	F-1	HM		4/A321	4/A321	-				
106	TOILET	Α	3' - 0"	7' - 0"	WD	STAIN	F-1	HM		4/A321	4/A321	-				
110A	WAREHOUSE	D	11' - 0 1/2"	13' - 0"						16/A321	15/A321	14/A321				
110B	WAREHOUSE	Е	11' - 0 1/2"	13' - 0"						9/A321	13/A321					

	WINDOW SCHEDULE													
MARK	TYPE	WIDTH	HEIGHT	SILL HEIGHT	OPERATION									
W01	AA	6' - 0"	4' - 4"	4' - 9 1/2"										
W02	AA	6' - 0"	4' - 4"	4' - 9 1/2"										
W03	AA	6' - 0"	4' - 4"	4' - 9 1/2"										
W04	AA	6' - 0"	4' - 4"	4' - 9 1/2"										
W05	AA	6' - 0"	4' - 4"	4' - 9 1/2"										
W06	AA	6' - 0"	4' - 4"	4' - 9 1/2"										
W07	AA	12' - 0"	4' - 2 1/2"	7' - 10 1/2"										
W08	AA	10' - 5"	4' - 2 1/2"	7' - 10 1/2"										
W09	AA	10' - 5"	4' - 2 1/2"	7' - 10 1/2"										
W10	AA	6' - 0"	4' - 0"	3' - 3"										
W11	AA	6' - 0"	4' - 0"	3' - 4"										

DOOR TYPES



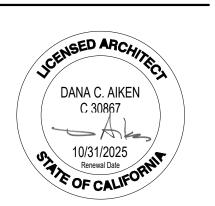
WINDOW TYPES



RIM

191 E. MAIN STREET, SUITE 2D TUSTIN, CALIFORNIA 92780 Phone: 714.505.0500 Fax: 714.824.8647

www.rimarchitects.com



312 W. 139TH STREET CCS CHEDULES AND LEGENDS

ADDRESS:
OWNER:
SHEET TITLE:

DESCRIPTION DATE

= 2023.07.31

DJECT NO : 227029

NO DESCRIPTION DATE

DATE : 2023.07.31

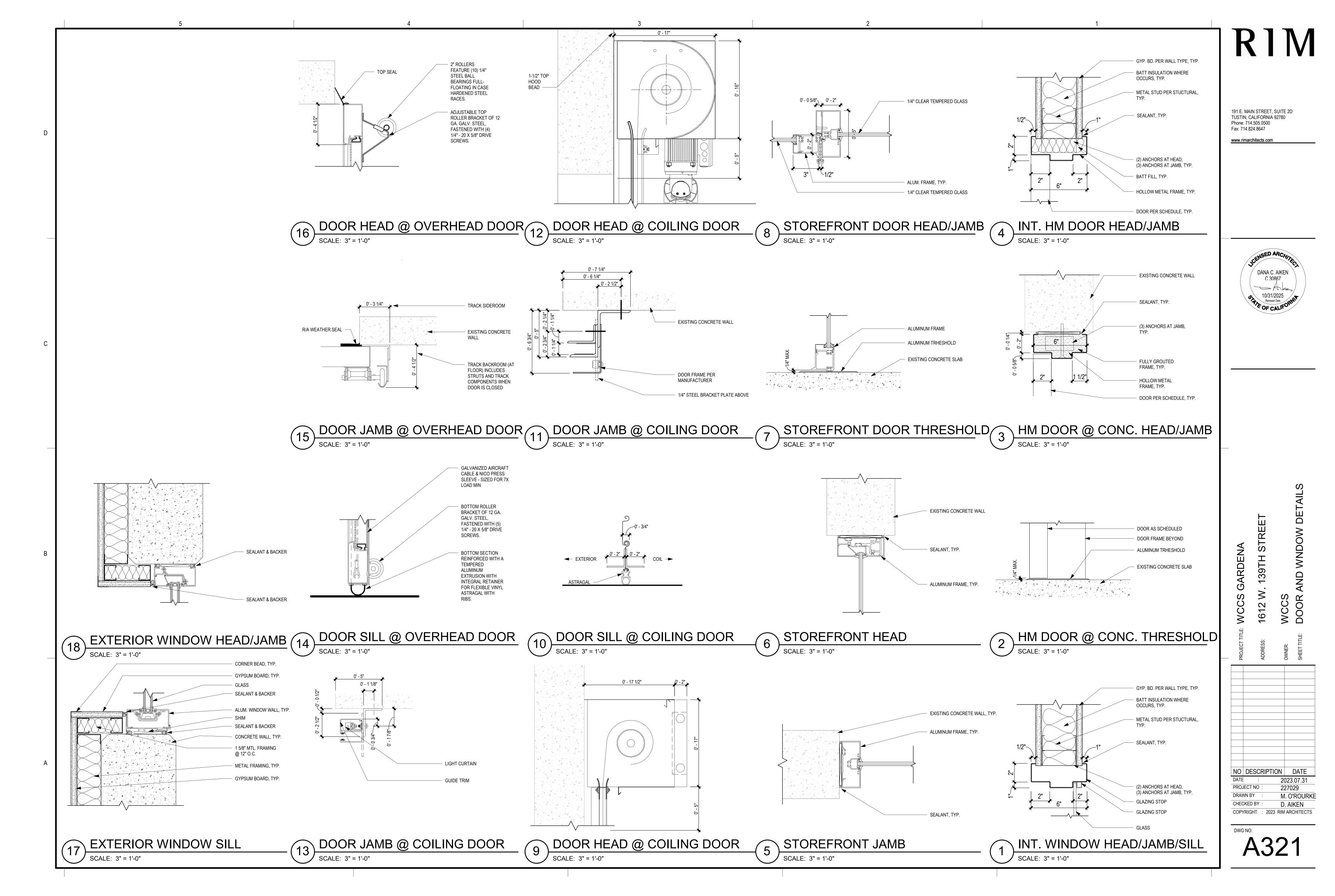
PROJECT NO : 227029

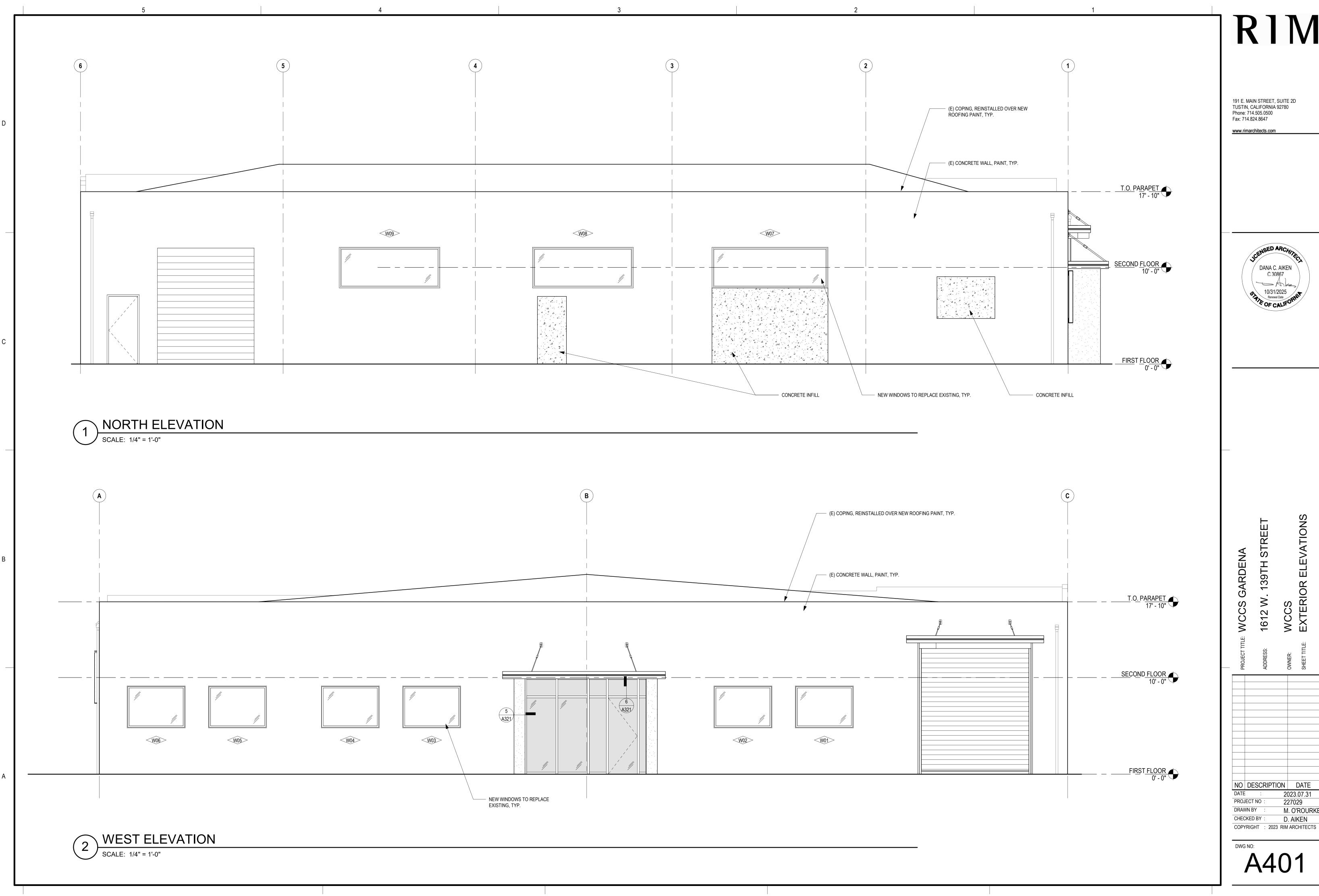
DRAWN BY : M. O'ROURKE

CHECKED BY : D. AIKEN

COPYRIGHT : 2023 RIM ARCHITECTS

DWG NO:







NO DESCRIPTION DATE

DATE : 2023.07.31

2023.07.31 227029 M. O'ROURKE D. AIKEN

3 A601 3 CANOPY SECTION

SCALE: 1" = 1' 0" CANOPY CEILING PLAN

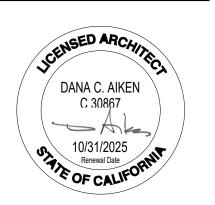
SCALE: 1/2" - 1' 0" 2 CANOPY ROOF PLAN

SCALE: 1/2" = 1'-0" CANOPY SECTION

RIM

191 E. MAIN STREET, SUITE 2D TUSTIN, CALIFORNIA 92780 Phone: 714.505.0500 Fax: 714.824.8647

www.rimarchitects.com



PROJECT TITLE: WCCS GARDENA
ADDRESS: 1612 W. 139TH STREET
OWNER: WCCS

NO DESCRIPTION DATE

DATE : 2023.07.31

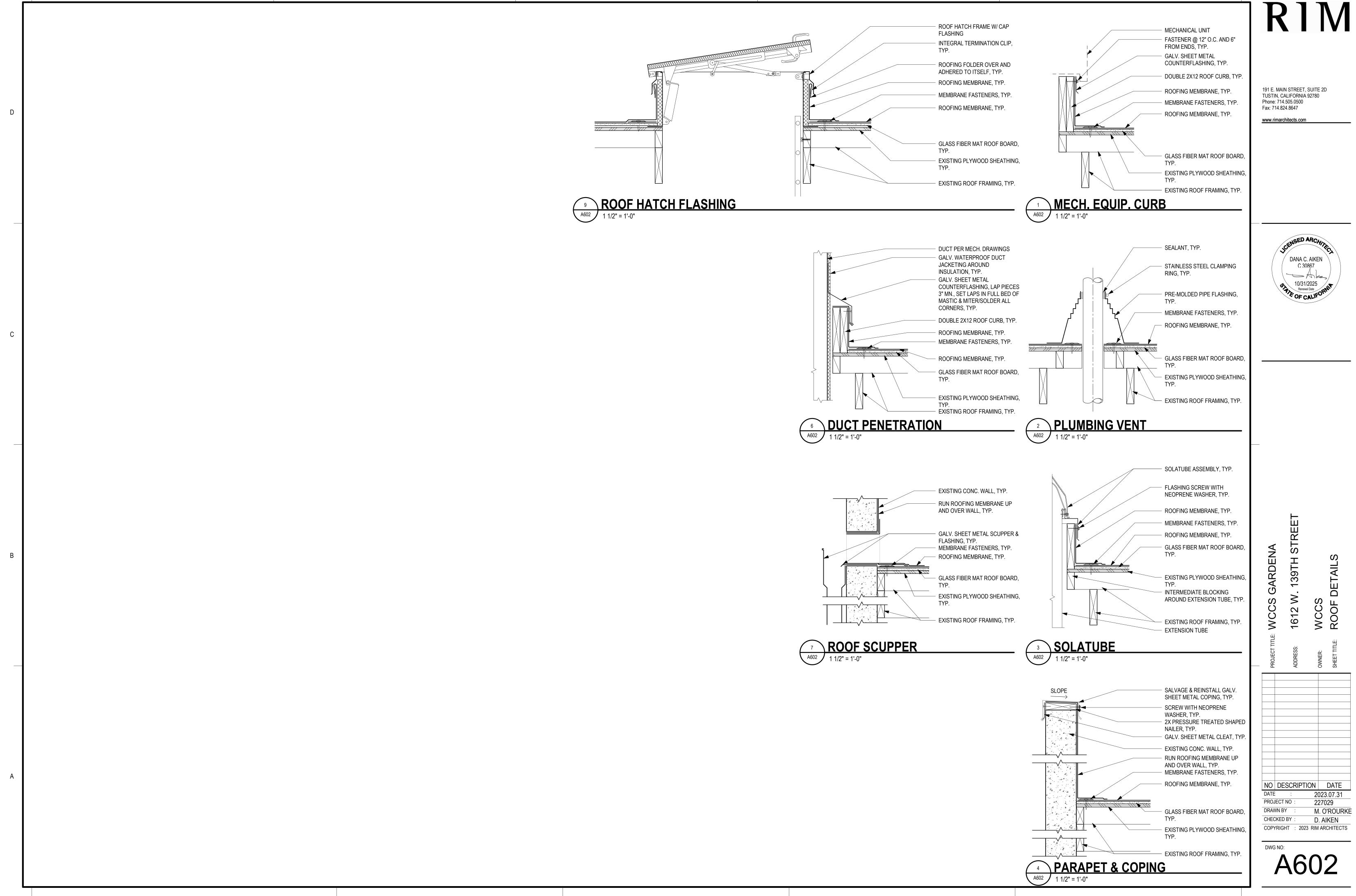
PROJECT NO : 227029

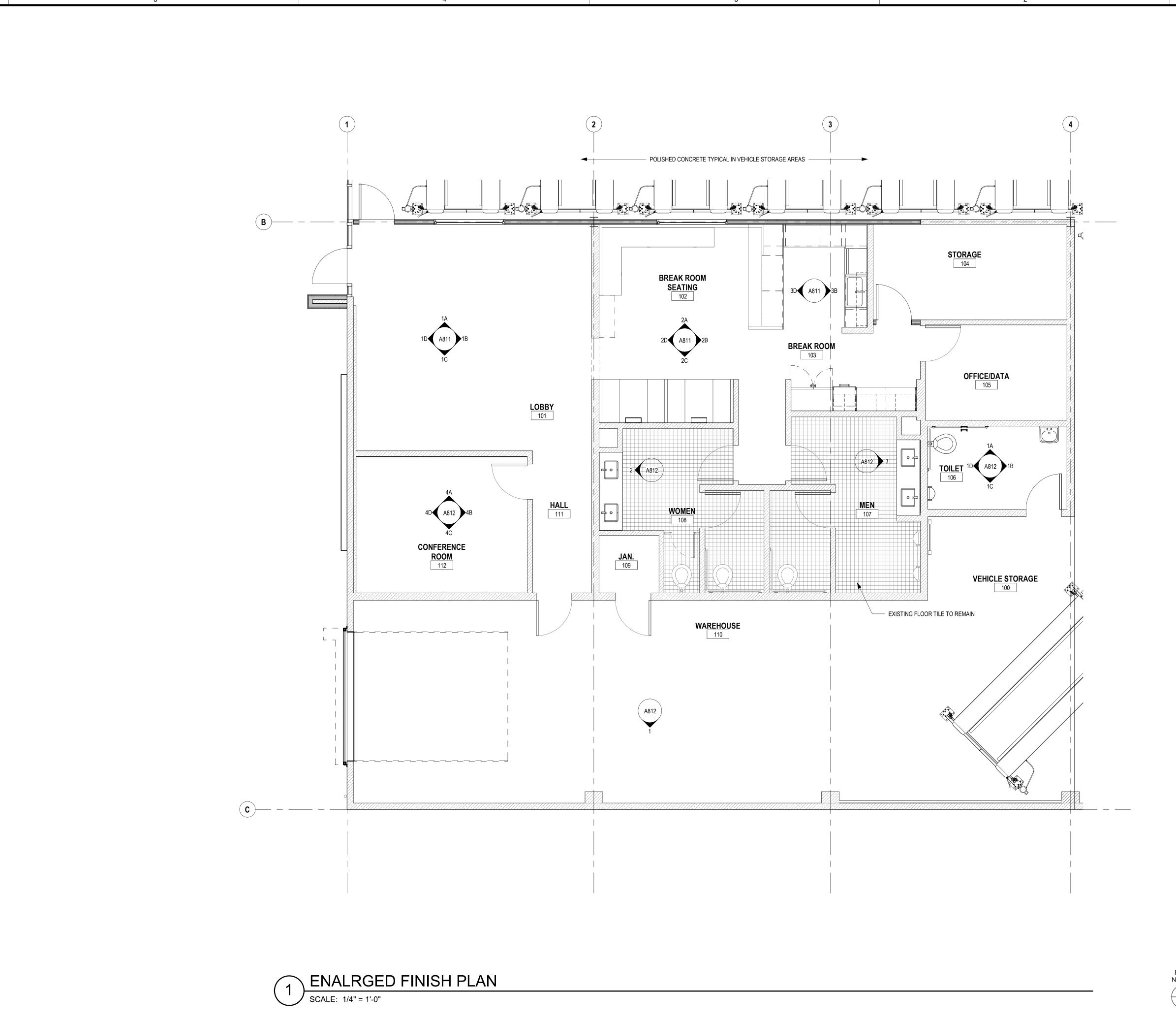
DRAWN BY : M. O'ROURKE

CHECKED BY: D. AIKEN

COPYRIGHT: 2023 RIM ARCHITEC

DWG NO: A601





FLOOR FINISH PLAN GENERAL NOTES

- ALL WALLS TO BE PAINTED P-1, UNO.
 FLOORING TO BE CON-1, UNO.
 ALL FLOORING TRANSITIONS OCCUR AT CENTERLINE OF DOOR OR OPENING, UNO.
 INDICATES WALLS THAT ARE NOT TO HAVE MECHANICAL OR ELECTRICAL DEVICES, I.E.
- THERMOSTATS, STROBES, EMERGENCY LIGHTS, ETC. DUE TO CONFLICT WITH SPECIAL FINISHES.

191 E. MAIN STREET, SUITE 2D TUSTIN, CALIFORNIA 92780 Phone: 714.505.0500 Fax: 714.824.8647

www.rimarchitects.com

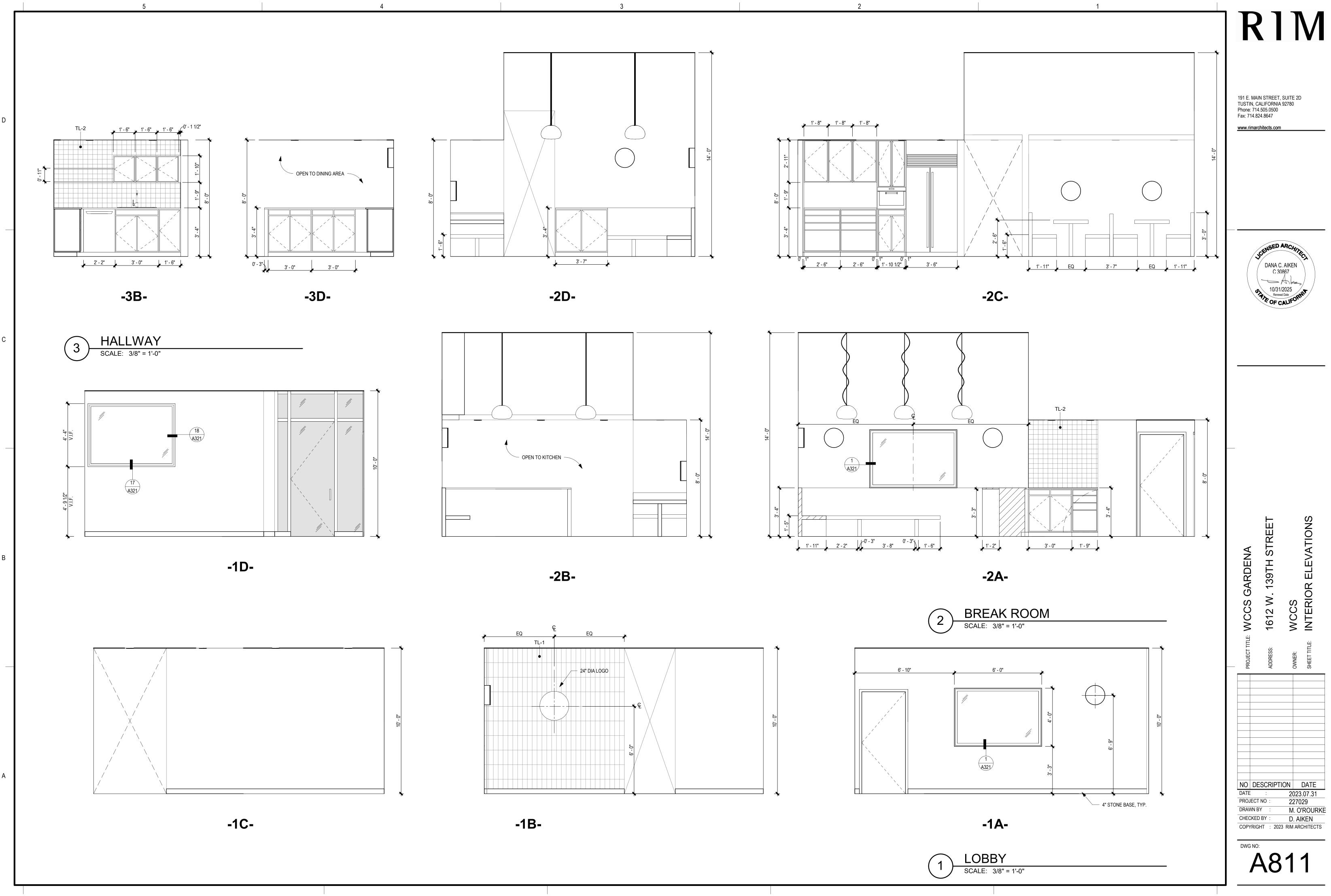


INTERIOR FINISH LEGEND

NO DESCRIPTION DATE

DATE : 2023.07.31 2023.07.31 227029 M. O'ROURKE PROJECT NO

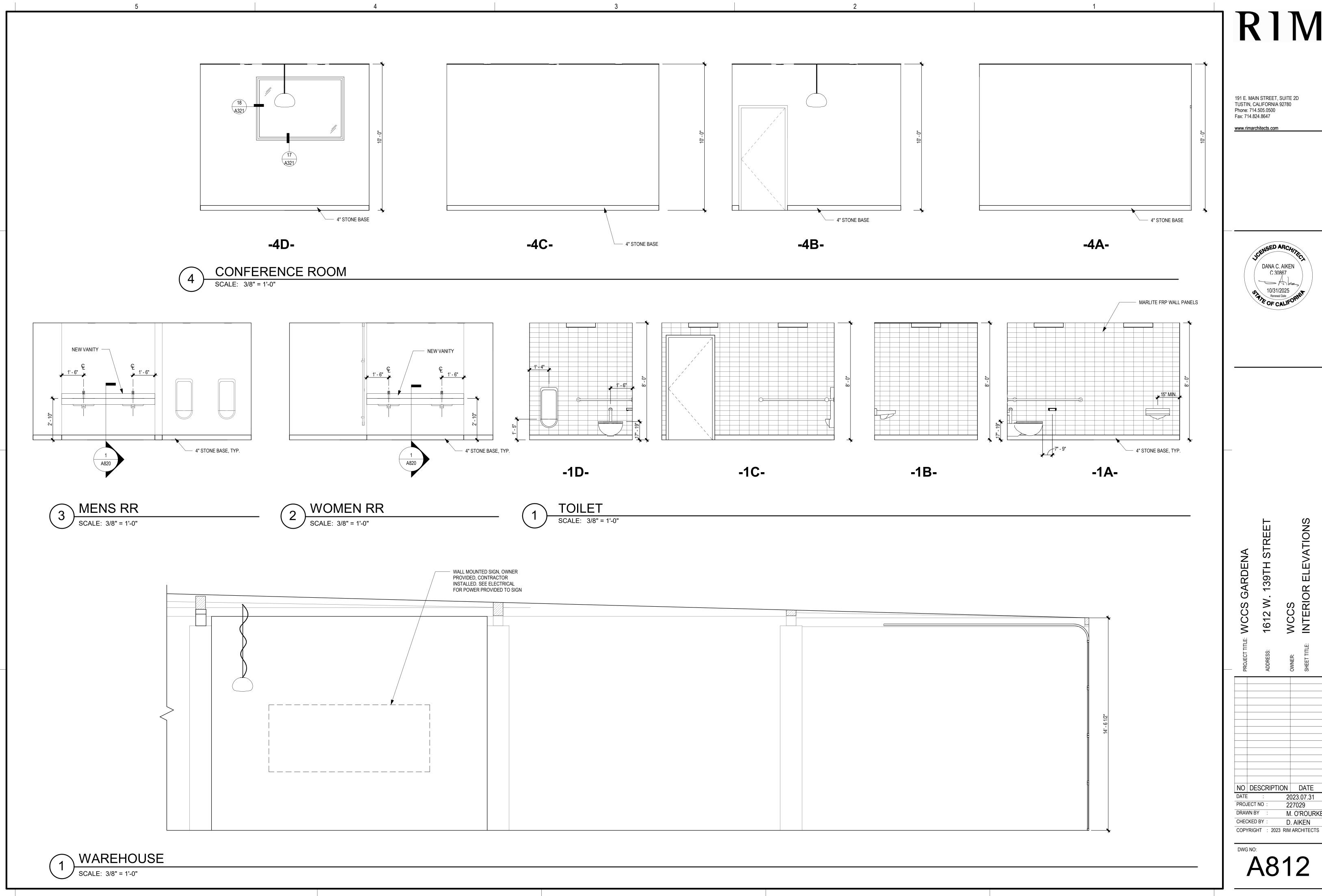
CHECKED BY





DANA C. AIKEN
C 30867

10/31/2025
Renewal Date
OF CALIFORN



191 E. MAIN STREET, SUITE 2D TUSTIN, CALIFORNIA 92780 Phone: 714.505.0500 Fax: 714.824.8647

www.rimarchitects.com



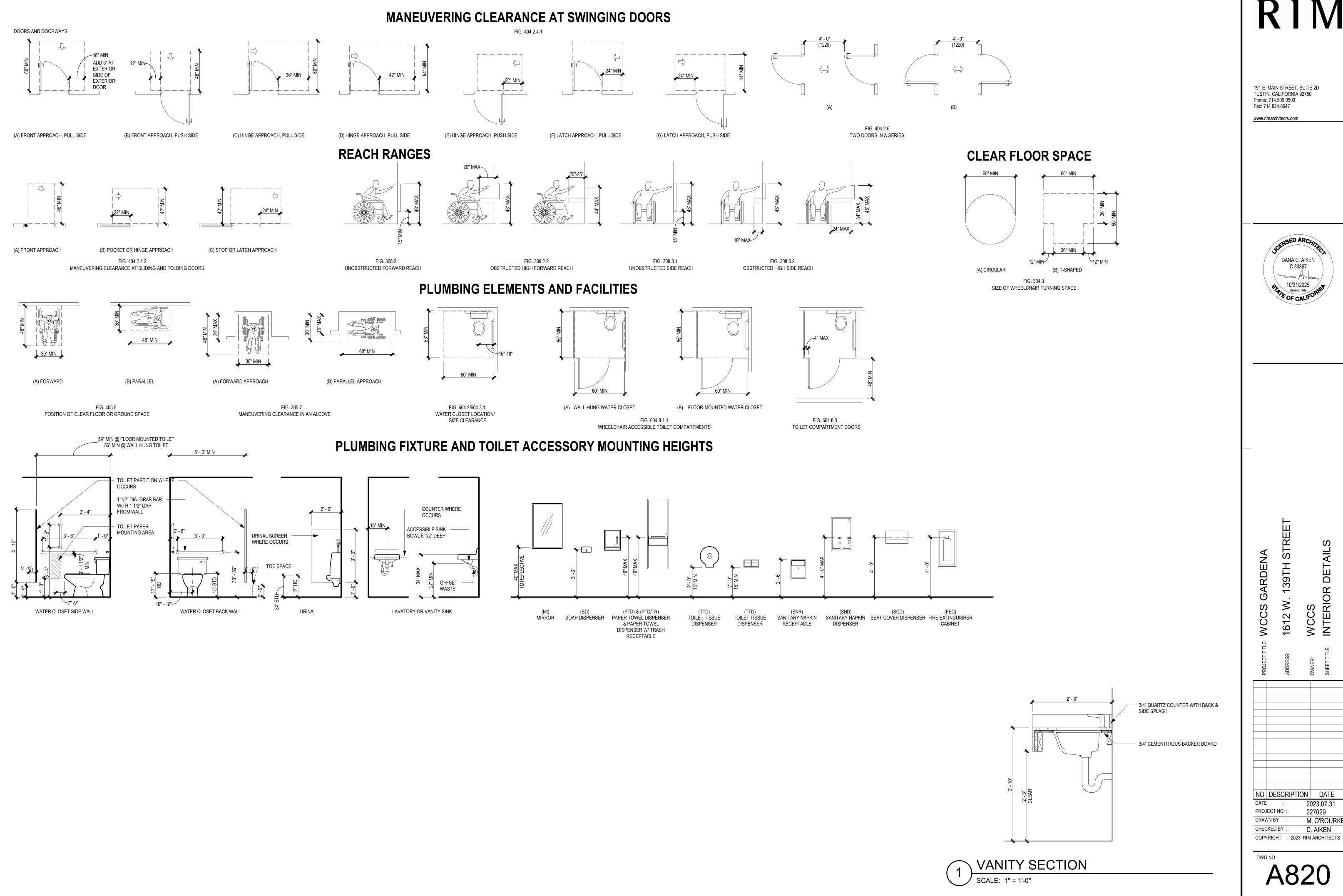
1612 W.

NO DESCRIPTION DATE

DATE : 2023.07.31 PROJECT NO :

2023.07.31 227029 M. O'ROURKE DRAWN BY CHECKED BY D. AIKEN

DWG NO:



191 E. MAIN STREET, SUITE 2D TUSTIN, CALIFORNIA 92780 Phone: 714.505.0500 Fax: 714.824.8647

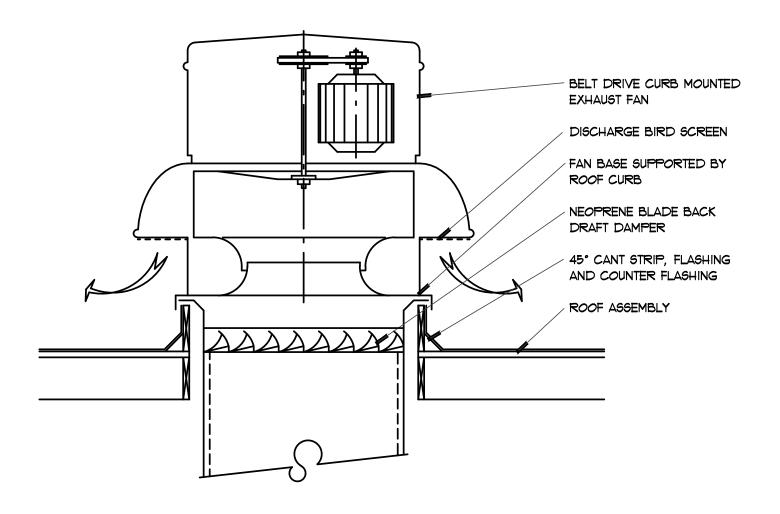
www.rimarchitects.com



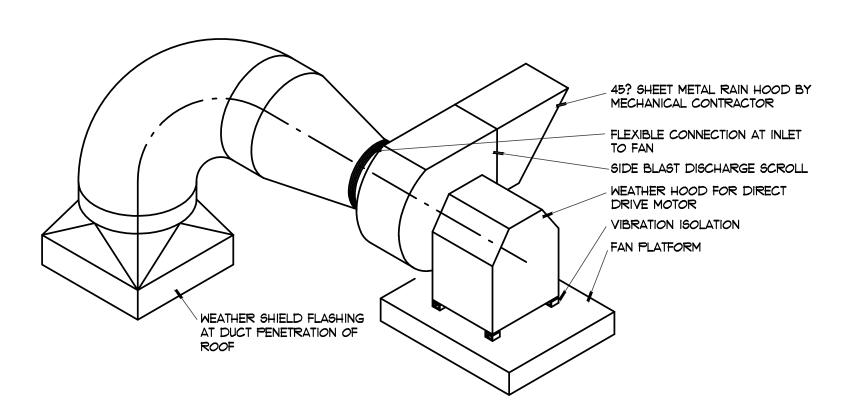
NO DESCRIPTION DATE 2023.07.31 PROJECT NO 227029 DRAWN BY M. O'ROURKE CHECKED BY D. AIKEN

DWG NO:

SCALE : NONE



EXHAUST FAN DETAIL SCALE: NONE



DESIG

CARRIER

CARRIER

INDOOR UNIT IS POWERED FROM THE OUTDOOR UNIT

UTILITY EXHAUST FAN DETAIL

TOTAL AUTO PARKING AREA 8,200.00 S.F CMC 2021 AREA X 0.75 CFM/S.F. 8,200 X 0.75 = 6150 CFM USE: TOTAL 6400 CFM EXHAUST USE: (2) EXHAUST FANS 3,200 CFM EACH USE: (2) MAKE-UP 3,400 CFM EACH

GARAGE VENTILATION CALCULATION:

NOTES TO CONTRACTOR

PROJECT SURVEY: THE CONTRACTOR MUST SURVEY THE PROJECT PRIOR TO SUBMITTING HIS PRICE. ANY VARIATIONS IN JOB CONDITIONS AND THOSE SHOWN ON THE DRAWINGS MUST BE TAKEN INTO CONSIDERATION PRIOR TO THE CONTRACTOR SUBMITTING HIS PROPOSAL. THE OWNER WILL NOT HONOR REQUESTS FOR ADDITIVE CHANGE ORDERS DUE TO THE CONTRACTOR'S INSUFFICIENT KNOWLEDGE OF THE PROJECT, ANY OF THE EXISTING CONDITIONS THAT MIGHT AFFECT THE PRICING OF THE JOB MUST BE BROUGHT TO THE OWNER'S ATTENTION PRIOR TO THE

HVAC GENERAL NOTES

- THE MECHANICAL CONTRACTOR SHALL FURNISH ALL MATERIAL, LABOR, EQUIPMENT, APPURTENANCES, AND ALL CONTRACTUAL EXPENSES REQUIRED FOR THE COMPLETE INSTALLATION OF THE MECHANICAL SYSTEM TO THE SATISFACTION OF THE OWNER, ARCHITECT AND MECHANICAL ENGINEER.
- 2) THE INSTALLATION SHALL COMPLY WITH AND BE INSTALLED IN ACCORDANCE WITH ALL LEGALLY CONSTITUTED AUTHORITIES AND CODES HAVING JURISDICTION, ALSO ALL THE REQUIREMENTS OF LANDLORD.
- 3) THE MECHANICAL CONTRACTOR SHALL GUARANTEE ALL EQUIPMENT, APPARATUS, ACCESSORIES (I.E., THE ENTIRE INSTALLATION) AS FURNISHED BY HIM FOR A PERIOD OF ONE YEAR.
- 4) THE MECHANICAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, LICENSES AND INSPECTIONS REQUIRED TO COMPLETE THIS JOB.
- 5) COORDINATE THE SIZE, LOCATION, AND SERVICE REQUIREMENTS OF ALL MECHANICAL EQUIPMENT AND DUCTWORK WITH THE GENERAL, PLUMBING, ELECTRICAL, CONTROLS, AND FIRE PROTECTION CONTRACTOR
- PRIOR TO THE START OF CONSTRUCTION, REPORT ALL UNRESOLVED CONFLICTS TO THE ARCHITECT. 6) COORDINATE THE LOCATION OF ALL CEILING DIFFUSERS, REGISTERS, GRILLES AND ETC. WITH THE
- ARCHITECTURAL REFLECTED CEILING PLAN. 7) ALL SHEET METAL DUCTWORK SHALL BE NEW GALVANIZED SHEET METAL DUCT GAUGES, CONSTRUCTION SUPPORT,
- AND INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 603.3 OF THE 2019 CMC. 8) ALL INSTALLATIONS MUST COMPLY WITH THE MANUFACTURER'S REQUIREMENTS INCLUDING THE OPERATION AND
- 9) ALL TRANSVERSE JOINTS IN SUPPLY AIR DUCT SHALL BE SEALED AIR TIGHT WITH DAP CMC DUCT SEALER.
- 10) FLEXIBLE CONNECTIONS SHALL BE PROVIDED FOR ALL DUCTWORK ATTACHED TO AIR MOVING EQUIPMENT MOUNTED ON OR SUSPENDED FROM VIBRATION ISOLATORS. FLEXIBLE CONNECTIONS SHALL BE CODE APPROVED NEOPRENE COATED GLASS TYPE FABRIC.
- 11) DUCT INSULATION: PROVIDE WRAP INSULATION ON ALL NEW SUPPLY AND RETURN AIR DUCTS ABOVE FINISHED CEILING PER SECTION 604.0 OF THE 2019 CMC.
- 12) THE ELECTRICAL AND PLUMBING CONTRACTORS SHALL PROVIDE FLEXIBLE CONNECTIONS AT ALL MECHANICAL EQUIPMENT MOUNTED ON VIBRATION ISOLATORS AND OR SUSPENDED FROM VIBRATION HANGERS. 13) PROVIDE TURNING VANES AT ALL 90 DEGREE ELBOWS FOR SUPPLY AND RETURN DUCTS, CONTRACTOR TO PAY SPECIAL ATTENTION TO WORKMANSHIP AND FABRICATION OF AIR DISTRIBUTION SYSTEM FOR MINIMUM
- 14) PROVIDE ALL FIRE AND SMOKE DAMPERS AS REQUIRED BY LEGALLY CONSTITUTED AUTHORITIES AND CODES HAVING JURISDICTION.
- 15) PAINT PLENUM BEHIND EACH GRILLE OR REGISTER WITH FLAT BLACK PAINT.

SERVICE CLEARANCE, PIPING, WIRING, ADJUSTMENTS AND ETC.

- 16) BALANCE AND ADJUST ALL DIFFUSERS, REGISTERS, ETC. FOR OPTIMUM AIR DISTRIBUTION AND MINIMUM NOISE. SUBMIT A CERTIFIED AIR BALANCE REPORT TO THE MECHANICAL ENGINEER FOR APPROVAL BALANCING OF THE SYSTEMS SHALL BE PERFORMED BY AN INDEPENDENT TEST AND BALANCING AGENCY WHICH SPECIALIZES IN THE BALANCING AND TESTING OF HEATING, VENTILATING AND AIR CONDITIONING SYSTEMS, ALSO PROVIDE COPY OF THE TESTING AND BALANCING REPORT TO THE CITY INSPECTOR PRIOR TO FINAL INSPECTION. INSPECTOR PRIOR TO FINAL INSPECTION.
- 17) AS-BUILT RECORD PRINTS MUST BE PROVIDED PRIOR TO JOB COMPLETION.
- 18) FLEXIBLE DUCT SHALL NOT BE ALLOWED ON THIS PROJECT. IF APPLICABLE, IT SHALL COMPLY WITH CMC 603.4.1 FOR LENGHT LIMITATIONS FOR FACTORY MADE FLEXIBLE AIR DUCTS (5') AND USE (NOT TO BE USED FOR RIGID ELBOWS OR FITTINGS).
- 19) ALL DUCTWORK SHALL BE AS CLOSE TO WALLS AND ROOF DECK AS POSSIBLE.
- 20) PROVIDE ALL TRANSITIONS AS REQUIRED FROM MAIN DUCT OR BRANCHES TO DIFFUSERS OR REGISTERS OR GRILLES, PROVIDE MANUAL VOLUME DAMPERS AT ALL BRANCHES TO EACH DIFFUSER NEAR MAIN TRUNK WITH
- 21) THE MECHANICAL CONTRACTOR SHALL REVIEW ALL OTHER DRAWINGS (ARCHITECTURAL PLUMBING AND ELECTRICAL) AND SPECIFICATIONS CONTAINED IN THE CONSTRUCTION DOCUMENTS FOR ITEMS TO BE INCLUDED IN HIS WORK WHICH MAY NOT BE SPECIFICALLY SHOWN HERE ON THE MECHANICAL DRAWINGS. UNDER NO CIRCUMSTANCES SHALL ADDITIONAL COMPENSATION BE DUE THE MECHANICAL CONTRACTOR FOR WORK SHOWN IN OTHER LOCATIONS OF THE CONSTRUCTION DOCUMENTS WHICH WAS NOT SUBMITTED WITH THE ORIGINAL BID.
- 22) LINED DUCTWORK SIZE SHOWN ON DRAWINGS ARE INSIDE DIMENSIONS. DUCT LINER SHALL BE JOHNS-MANVILLE
- "LINACOUSTIC "TYPE FIBER GLASS DUCT LINER 1.5" THICK, 1.5 LBS/CU. FT. DENSITY. 23) HORIZONTAL DUCT SUPPORTING MEANS AND SPACING PER SECTION 603.3 OF THE 2016 CMC.

	DUC	TLE	55	SF	PLIT S	YS	TEM	HEA	\T	⊃UM	P (JN	ITS	
		CFM COOLING HEATING			ELECTRI	CAL		OPER						
	MODEL	LOW	MED	HIGH	BTUH AT ARI	SEER	BTUH AT ARI	COP	MCA	MOCP	VOLT	ф	WT LBS	ACCESSORIES
?	RAV SP182KRTP-UL	324	424	530		23.6		11.4	11.0	0.60		1	33.0	CONDENSATE PUMP
₹	RAV SP182AT2P-UL				18,000		20,000				208/ 230	1	105.0	DIGITAL INVERTER COMPRESSOR

	PACKAGED HEAT PUMP UNITS SCHEDULE															
DESIG	I CEM I				LING @ ARI SEER	HEATING MBH @ ARI MBH COP		ELECTRICAL COMP UNIT VOLT RLA FLA		ф	NOM TONS	MCA	моср	OPER WT LBS	ACCESSORIES	
HP 1	CARRIER	50VT-C243	800 0.60"	23.24	14.5	22.79		13.5	17.9	230	1	2.0	21.3	30.0	325.0	SMOKE DETECTOR IN SUPPLY DUCT AND MANUAL OUTSIDE AIR HOOD
HP 2	CARRIER	50VT-C605	2,000 0.60"	58.62	14.0	58.39		16.0	24.6	230	3	5.0	28.7	40.0	630.0	SMOKE DETECTOR IN SUPPLY DUCT, HOR. ECONOMIZER AND BAROMETRIC DAMPER

	MAKE-UP-AIR UNIT SCHEDULE													
DESIG	MEG'R MODEL CEM ESP RPM					ELE HP	ELECTRICAL C			SERVING	REMARKS / ACCESORIES			
MUA 1	COOK	150 ASP-B	3,400	0.75"	670	0.85	120	1	360	VEHICLE STORAGE 100	WITH ROOF CURB RCA-30 AND MERV 13 FILTERS CONTROL WITH INTEC CO CONTROL SYSTEM			
MUA 2	COOK	150 ASP-B	3,400	0.75"	670	0.85	120	1	360	WAREHOUSE 110	WITH ROOF CURB RCA-30 AND MERV 13 FILTERS CONTROL WITH INTEC CO CONTROL SYSTEM			

	EXHAUST FAN SCHEDULE														
DESIG	MFG'R	MODEL	CFM	TSP	RPM	SONE	ELE HP	CTRICA VOLT	φ	OPER WT LBS	SERVING	REMARKS / ACCESORIES			
EF 1	COOK	ACE-B-180	3.200	0.5"	1,065	14.7	0.75	120	1	130.0	VEHICLE STOR 100	WITH ROOF MOUNTING CURB, ROOF OPENING 25.5" SQ. CONTROL WITH INTEC CO CONTROL SYSTEM			
EF 2	COOK	ACE-B-180	3.200	0.5"	1,065	14.7 0.75 120 1 130.0 W		WAREHOUSE 100	WITH ROOF MOUNTING CURB, ROOF OPENING 25.5" SQ. CONTROL WITH INTEC CO CONTROL SYSTEM						
EF 3	COOK	80 CPV	500	0.25"	1,330		0.06	120	1	165.0	WAREHOUSE 100	CONTROL WITH MANUAL SWITCH			
EF 4	COOK	100 C2B	640	0.50"	1,500	9.0	1/6	120	1	55.0	RESTROOMS	INTERLOCK WITH LIGHT SWITCH			

COMMERCIAL BUILDING MANDATORY

MEASURES GREEN BUILDING CODE

GREEN BUILDING CODE STANDARDS THE FOLLOWING ARE THE 2019 STATE OF CALIFORNIA GREEN BUILDING STANDARDS FOR NEW NONRESIDENTIAL PROJECTS THAT ARE REQUIRED TO BE COMPLIED WITH BY THE HVAC TRADE WHEN INSTALLING THE SYSTEMS ON THIS PROJECT. SECTION 5.410 BUILDING MAINTENANCE AND OPERATION

SECTION 5.5 ENVIRONMENTAL QUALITY SECTION 5.501 GENERAL SECTION 5.502 DEFINITIONS SECTION 5.503 FIREPLACES

SECTION 5.504 POLLUTANT CONTROL SECTION 5.505 INDOOR MOISTURE CONTROL SECTION 5.506 INDOOR AIR QUALITY

SECTION 5.507 ENVIRONMENTAL COMFORT SECTION 5.508 OUTDOOR AIR QUALITY

CODE SECTION 5.410.4.2 SYSTEMS : SEE BELOW FOR WRITTEN PLAN OF THE PROCEDURES FOR TESTING AND ADJUSTING SYSTEMS, SYSTEMS TO BE INCLUDED FOR TESTING AND ADJUSTING SHALL INCLUDE AT A MINIMUM AS APPLICABLE TO THE PROJECT TESTING AND ADJUSTING PROCEDURES

THE PROCEDURES FOR PERFORMING THE TESTING AND ADJUSTING SHALL BE PERFORMED IN ACCORDANCE WITH INDUSTRY BEST PRACTICES AND APPLICABLE STANDARDS ON EACH SYSTEM AS DETERMINED BY THE BUILDING OFFICIAL. IN ADDITION TO TESTING AND ADJUSTING, BEFORE THE PROJECT IS OPERATED FOR NORMAL USE, THE SYSTEM SHALL BE BALANCED IN ACCORDANCE WITH PROCEDURES DEFINED BY THE TESTING ADJUSTING AND BALACNING BUREAU NATIONAL STANDARDS, THE NATIONAL ENVIRON-MENTAL BALANCING BUREAU PROCEDURAL STANDARDS, OR THE ASSOCIATED AIR BALANCE COUNCIL NATIONAL STANDARDS OR AS APPROVED BY THE

BUILDING OFFICIAL. RESPONSIBILITY FOR TESTING AND ADJUSTING PROCEDURES THE CONTRACTOR WILL BE RESPONSIBLE FOR THE TESTING PHASE FOR THE FUNCTIONAL PERFORMANCE OF THE INSTALLED SYSTEMS, WHICH WILL INCLUDE THE TESTS TO DEMONSTRATE THE CORRECT INSTALLATION AND OPERATION OF EACH COMPONENT, SYSTEM AND SYSTEM- TO- SYSTEM INTERFACE IN ACCORD WITH THE APPROVED PLANS AND SPECIFICATIONS AS PART OF THIS PHASE OF WORK THE CONTRACTOR SHALL FURNISH TO

THE OWNER THE PERFORMANCE TESTING REPORTS THAT CONTRAIN THE INFORMATION ADDRESSING EACH OF THE HVAC SYSTEM COMPONENTS TESTED, THE TESTING METHODS UTILIZED, AND INCLUDE ANY READINGS AND ADJUSTMENTS MADE DURING THIS PHASE OF WORK. TIMING FOR TESTING AND ADJUSTING PROCEDURES PERFORM THE TESTING AND ADJUSTING PROCEDURES IN ACCORDANCE

WITH THE HVAC INDUSTRY BEST PRACTICES AND APPLICABLE STANDARDS ON EACH SYSTEM, DETERMINED BY THE BUILDING OFFICIAL. IN ADDITION TO TESTING AND ADJUSTING, BEFORE A NEW SPACE-CONDITIONING SYSTEM THAT SERVES A BUILDING OR SPACE IS OPERATED FOR NORMAL USE, THE SYSTEM SHALL BE BALANCED IN ACCORDANCE WITH THE PROCEDURES DEFINED BY THE TESTING ADJUSTING AND BALANCING BUREAU NATIONAL STANDARDS, THE NATIONAL ENVIRONMENTAL BALANCING BUREAU PROCEDURAL STANDARDS OR ASSOCIATED AIR BALANCE COUNCIL NATIONAL STANDARDS OR AS

APPROVED BY THE BUILDING OFFICIAL. AFTER COMPLETION OF TESTING, ADJUSTING AND BALANCING, PROVIDE A FINAL REPORT OF TESTING SIGNED BY THE INDIVIDUAL RESPONSIBLE FOR PERFORMING THESE SERVICES. BALANCING IN ADDITION TO TESTING AND ADJUSTING, BEFORE A NEW AIR CONDITIONING

SYSTEM SERVING A BUILDING OR SPACE IS OPERATED FOR NORMAL USE, THE SYSTEM SHALL BE BALANCED IN ACCORDANCE WITH THE PROCEDURES THAT ARE DEFINED BY THE TESTING ADJUSTING AND BALANCING BUREAU NATIONAL STANDARDS, THE NATIONAL ENVIRONMENTAL BALANCING BUREAU PROCEDURAL STANDARDS, OR ASSOCIATED AIR BALANCE COUNCIL NATIONAL STANDARDS OR AS APPROVED BY THE BUILDING OFFICIAL. BALANCING

AFTER COMPLETION OF TESTING, ADJUSTING AND BALANCING, PROVIDE A FINAL REPORT OF TESTING SIGNED BY THE INDIVIDUAL RESPONSIBLE FOR THESE SERVICES.

OPERATION AND MAINTENANCE INSTRUCTIONS MANDATOR MEASURES THAT STATE "PROVIDE THE BUILDING OWNER OR REPRESENTATIVE WITH DETAILED (0 &M) OPERATING AND MAINTENANCE INSTRUCTIONS AND COPIES OF GUARANTIES/WARRANTIES FOR EACH SYSTEM. O \$ M INSTRUCTIONS SHALL BE CONSISTENT WITH OSHA REQUIREMENTS IN CCR, TITLE 8, SECTION 5142, AND OTHER RELATED REGULATIONS. AS PART OF THE CONTRACT FOR THIS PHASE OF THE WORK WE ARE DIRECTING THE HVAC CONTRACTOR TO FURNISH AS PART OF HIS SUBMITTAL PACKAGE THE ABOVE DOCUMENTS BASED ON THE EQUIPMENT HE IS PROPOSING TO US ON THIS PROJECT. THE OPERATIONS AND MAINTENANCE MANUAL FOR THE SUBMITTED EQUIPMENT SHALL BE THE BASIS FOR HIS SYSTEM MANUAL, WHICH SHALL DOCUMENT THE PROJECT OWNER OR HIS REPRESENTATIVE OR THE ONE THAT OPERATES THE FACILITIES. THE SYSTEM MANUAL SHALL INCLUDE THE SITE INFORMATION, INCLUDING THE FACILITY DESCRIPTION, HISTORY AND CURRENT REQUIREMENT. CONTACT INFORMATION FOR THE SITE. BASIC OPERATIONS AND MAINTENANCE WHICH WILL INCLUDE GENERAL SITE OPERATING PROCEDURES, BASIC TROUBLE SHOOTING, RECOMMENDED MAINTENANCE REQUIREMENTS, SITE EVENT LOG, MAJOR SYSTEMS LIST, SITE EQUIPMENT INVENTORY AND MAINTENANCE NOTES, IN ADDITION TO A

THE CALIFORNIA MECHANICAL CODE AND OTHER RESOURCES AND ALL THE PROJECT DOCUMENTATION. VERBAL COMMUNICATION OF INSTRUCTIONS AFTER SYSTEM COMMISSIONING, DURING NORMAL WORKING HOURS AT A TIME MUTUALLY AGREED UPON WITH THE OWNERS REPRESENTATIVE, THE HVAC CONTRACTOR SHALL PROVIDE ON-SIGHT INSTRUCTIONS PERFORMED BY A COMPETENT REPRESENTATIVE FAMILIAR WITH THE INSTALLED SYSTEM.

COPY OF INSPECTION VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY,

THE CONTRACTOR SHALL GIVE FOUR (4) HOURS (OR REQUIRED AMOUNT OF TIME) OF INSTRUCTIONS TO OWNERS DESIGNATED PERSONNEL ON THE OPERATION OF ALL THE EQUIPMENT IN THE SYSTEM AND DESCRIBE ITS INTENDED USE, THE CONTRACTOR SHALL PREPARE AN OWNERS MANUAL FOR THE PROJECT TO BE USED DURING INSTRUCTIONS. THE CONTRACTOR SHALL DOCUMENT THAT HE HAS CONDUCTED THE TRAINING SESSION WITH THE APPROPRIATE MAINTENANCE STAFF FOR EACH EQUIPMENT TYPE AND SHALL BE DOCUMENTED IN THE FINAL COMMISSIONING REPORT WHICH WILL INCLUDE THE SYSTEM EQUIPMENT OVERVIEW. THIS OVERVIEW WILL DESCRIBE WHAT IT IS, WHAT IT DOES, AND WITH WHAT OTHER SYSTEMS AND OR EQUIPMENT IT INTERFACES WITH, REVIEW AND DEMONSTRATION OF SERVICING PREVENTATIVE MAINTENANCE, REVIEWING OF THE INFORMATION IN THE SYSTEM MANUAL, REVIEW OF THE RECORD DRAWINGS ON THE SYSTEM EQUIPEMENT.

POLLUTION CONTROL COVERING OF DUCT OPENINGS AND PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION: AT THE TIME OF ROUGH INSTALLATION, OR DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING AND COOLING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC SHEETMETAL OR ANY OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF DUST OR DEBRIS WHICH MAY COLLECT IN THE SYSTEM.

SYSTEM COMMISSIONING IN COMPLIANCE WITH THE CALIFORNIA GREEN CODE THE SYSTEM SHALL BE ADJUSTED TO REGULATE FLUID FLOW RATE AND AIR PATTERNS AT THE TERMINAL EQUIPMENT, SUCH AS REDUCE FAN SPEED OR ADJUST A DAMPER. IN ADDITION SYSTEMS SHALL BE BALANCED TO PROPORTION FLOWS WITHIN THE DISTRIBUTION SYSTEM. INCLUDE BRANCHES, SUB MAINS, AND TERMINALS, ACCORDING TO DESIGN QUANTITIES, THE PROJECT SHALL BE COMMISSIONED TO ASSURE THE SYSTEMATIC QUALITY THAT SPANS THE ENTIRE DESIGN AND CONSTRUCTION PROCESS, INCLUDING VERIFYING AND DOCUMENTING THAT THE BUILDING SYSTEMS AND COMPONENTS ARE ALL PLANNED, DESIGNED, INSTALLED, TESTED, OPERATED, AND MAINTAINED TO MEET THE OWNERS PROJECT REQUIREMENTS, AND THE FINAL TEST THAT SHALL DETERMINE QUALITATIVELY THE PERFORMANCE OF THE SYSTEM AND THE SYSTEM EQUIPMENT.

WITH THE MANUFACTURERS RECOMMENDATIONS. # VERIFY THE REFRIGERANT CHARGE BY SUPER-HEAT OR OTHER METHODS SPECIFIED BY THE EQUIPMENT MANUFACTURER. # BURNERS ARE SET TO FIRE AS THE NAME PLATE INPUT RATING. # TEMPERATURE DROP ACROSS THE EVAPORATIVE COIL, CHILLED WATER COIL OR HOT WATER COIL IS WITH THE MANUFACTURER'S RECOMMENDED RANGE AND MEETS THE DESIGN CRITERIA.

THE COMMISSIONING PROCEDURE SHALL CONSIST OF THE FOLLOWING:

VERIFY THE START UP PROCEDURE FOR EACH UNIT IS IN COMPLIANCE

TASKS FOR COMMISSIONING

OTHER RESOURCES AND DOCUMENTATION.

TEST AND VERIFY THE AIR FLOW FOR EACH COMPONENT IS WITHIN 10% OF THE LISTED DESIGN CONDITIONS. # TEST TO VERIFY THE SYSTEM COMPONENT STATIC PRESSURE IS WITHIN THE MANUFACTURERS ACCEPTABLE RANGE. # VERIFY THAT THE EXHAUST AND VENTILATION SYSTEM IS IN COMPLIANCE WITH AND MEETS TITLE 24 REQUIREMENTS. # VERIFY THAT THE RECOMMENDED MAINTENANCE PROCEEDURES AND

SCHEDULES ARE DOCUMENTED AND PROVIDED TO THE OWNER OR HIS REPRESENTATIVE. TESTING OF HYDRONIC SYSTEMS: SEE SPECIFICATIONS SHEET M-1 TESTING OF HVAC AIR SYSTEMS: SEE SPECIFICATIONS SHEET M-1 TESTING OF REFRIGERATION SYSTEM: SEE SPECIFICATIONS SHEET M-1 SUBMITTAL PACKAGE

THE CONTRACTOR FURNISHED EQUIPMENT SUBMITTAL PACKAGE SHALL BE USED AS THE BASIS FOR HIS SYSTEMS MANUAL, WHICH SHALL DOCUMENT THE OPERATIONAL ASPECTS OF THE SYSTEMS AND WILL BE FURNISHED TO THE PROJECT OWNER OR HIS REPRESENTATIVE AND THE OPERATOR OF THE FACILITIES. WHICH WILL INCLUDE THE SITE INFORMATION, INCLUDING FACILITY DESCRIPTION, HISTORY AND CURRENT REQUIREMENTS, CONTACT INFORMATION FOR THE SITE, BASIC OPERATIONS AND MAINTENANCE WHICH WILL INCLUDE GENERAL SITE OPERATING PROCEDURES. BASIC TROUBLE SHOOTING, RECOMMENDED MAINTENANCE REQUIREMENTS, SITE EVENT LOG, MAJOR SYSTEMS LIST. SITE EQUIPMENT INVENTORY. AND MAINTENANCE NOTES, IN ADDITION TO A COPY OF INSPECTION VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY, THE CALIFORNIA MECHANICAL CODE AND

TEMPORARY VENTILATION RESTRICTIONS THE PERMANENT HVAC SYSTEM SHALL ONLY BE USED DURING CONSTRUCTION IF NECESSARY TO CONDITION ADDITIONS OR AREAS OF ALTERATION WITHIN THE REQUIRED TEMPERATURE RANGE FOR MATERIAL AND EQUIPMENT INSTALLATION. IF THE HVAC SYSTEM IS USED DURING CONSTRUCTION, USE RETURN AIR FILTERS WITH A MINIMUM EFFICIENCY REPORTING VALUE (MERV) OF 8, BASED ON ASHRAE 52.2-1999, OR AN AVERAGE EFFICIENCY OF 30% BASED ON ASHRAE 52.1-1992. REPLACE ALL FILTERS IMMEDIATELY PRIOR TO OCCUPANCY, OR, IF THE BUILDING IS OCCUPIED DURING ALTERATION, AT THE CONCLUSION OF CONSTRUCTION.

DEMAND CONTROL VENTILATION CARBON DIOXIDE MONITORING, FOR ADDITIONS EQUIPPED WITH DEMAND CONTROL VENTILATION, CO2 SENSORS AND VENTILATION CONTROLS SHALL BE SPECIFIED AND INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT EDITION OF THE 2019 CALIFORNIA ENERGY CODE, SECTION 121 (c). THE MECHANICAL VENTILATION ON THIS PROJECT CONFORMS WITH THE REQUIRED OSA QUANTITIES BASE ON TABLE 121-A: OR 15 CFM PER PERSON TIMES THE EXPECTED NUMBER OF OCCUPANTS WHICH EVER IS GREATER. IN COMPLIANCE WITH EXCEPTION TO SECTION 121 (c)4C: THE OUTDOOR AIR VENTILATION RATE IS NOT REQUIRED TO BE LARGER THAN THE DESIGN OUTDOOR AIR VENTILATION RATE REQUIRED BY SECTION 121(b)2 REGARDLESS OF CARBON DIOXIDE CONCENTRATIONS.

CONSULTANT:

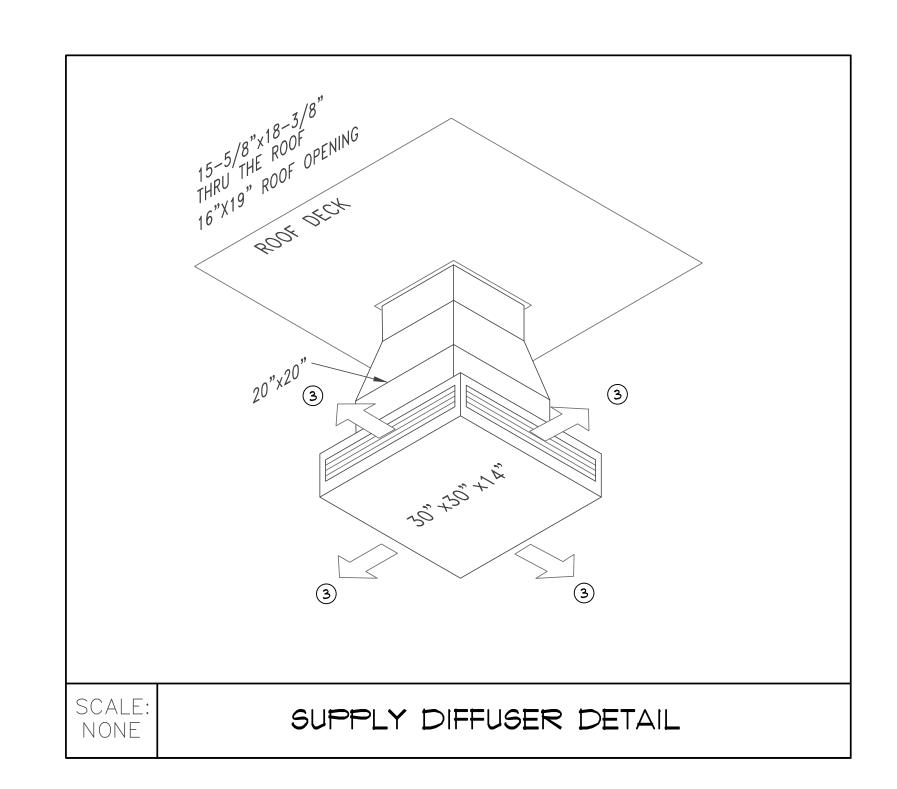


39 $\overline{}$ NO | DESCRIPTION | DATE 2023.04.28

DWG NO:

CHECKED BY

COPYRIGHT

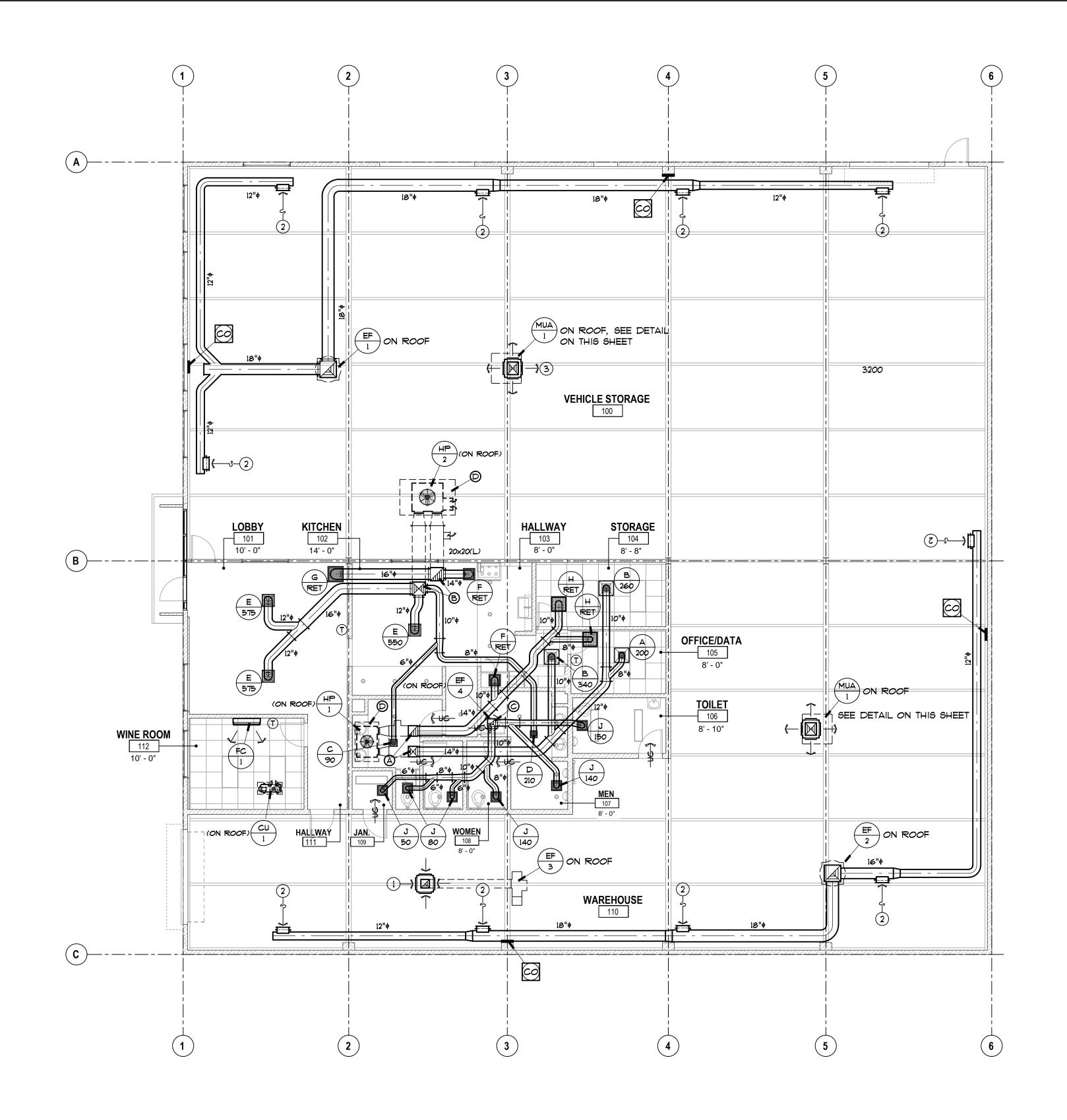


PLAN NOTES

1 18"x6" KRUEGER SSOH EXHAUST GRILLE TYPICAL OF 4 ON EACH SIDE 125 CFM EACH SIDE

2 18"x8" EXHAUST AIR DUCT WITH MVD. AND COVERED OPENING WITH 1/4" G.S. WIRE MESH, SET MVD. FOR 640 CFM

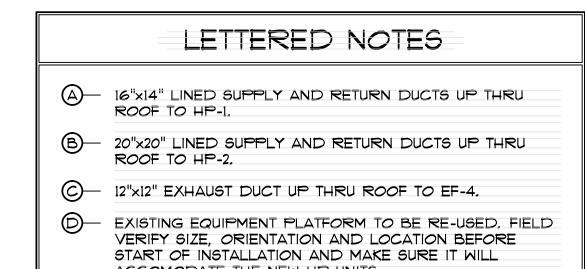
3 26"x10" WALL SUPPLY REGISTER KRUEGER MODEL 880 H DOUBLE DEFLECTION SET FOR 850 CFM ON EACH SIDE.



MECHANICAL FLOOR PLAN

SCALE: 1/8" = 1'-0"





ACCOMODATE THE NEW HP UNITS.

	MECHANICAL LEGEND														
ABV., BEL. AD, AP	ABOVE, BELOW ACCESS DOOR, ACCESS PANEL	DN. (E) (T)	DOWN EXISTING THERMOSTAT	TYP. OSA RA	TYPICAL OUT SIDE AIR RETURN AIR	5 5 MVE	MANUAL VOLUME DMP'R AT EACH BRANCH DUCT TAKE OFF	ME) M)	FURNISHED BY MECHANICAL INSTALLED BY ELECTRICAL FURNISHED AND INSTALLED BY MECHANICAL						
CD, CR CONTR. S.A.	CEILING DIFFUSER, REGISTER CONTRACTOR SUPPLY AIR	ELECT. EXH.	CO SENSOR ELECTRICAL EXHAUST	F.C. P.O.C.	FLEXIBLE CONNECTION POINT OF CONNECTION POINT OF CAP		SUPPLY AIR DUCT RETURN AIR DUCT EXHAUST AIR DUCT	— UC } N.I.C.	UNDERCUT DOOR !" NOT IN CONTRACT						

Consulting Engineers

'OM1 ASSOCIATES INC.

24800 Eilat Street

Woodland Hills, CA 91367

TEL. 818.348.1556

CONSULTANT:



ADDRESS: 1612 W. 139TH STREET
OWNER: WCCS

NO DESCRIPTION DATE

DATE : YYYY.MM.DD

PROJECT NO : 227029

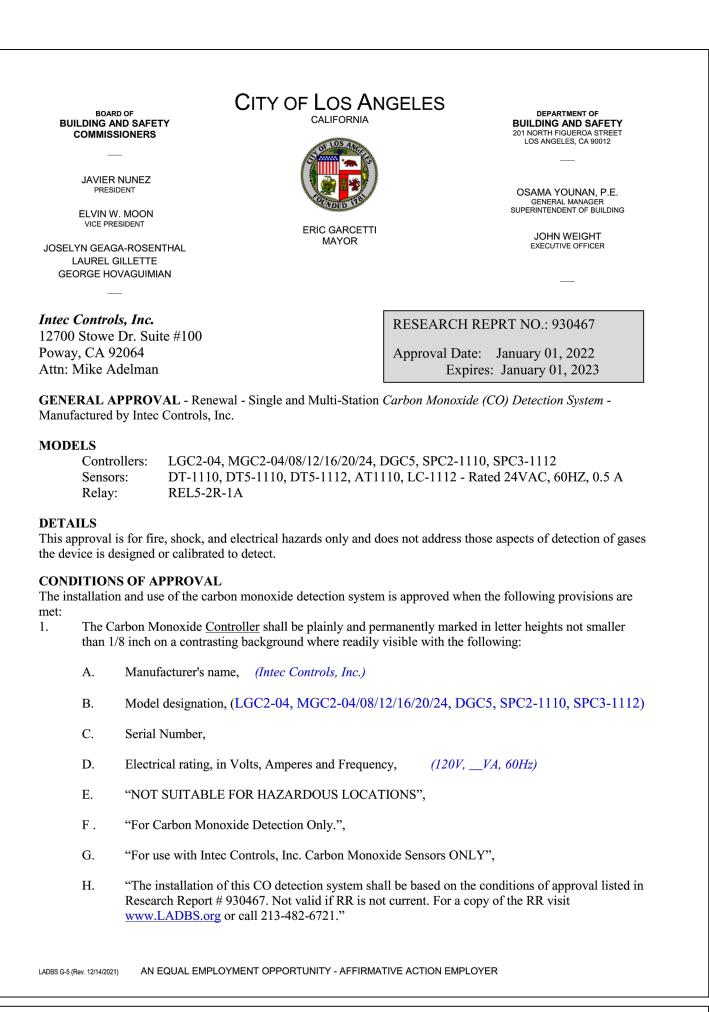
DRAWN BY : NAME

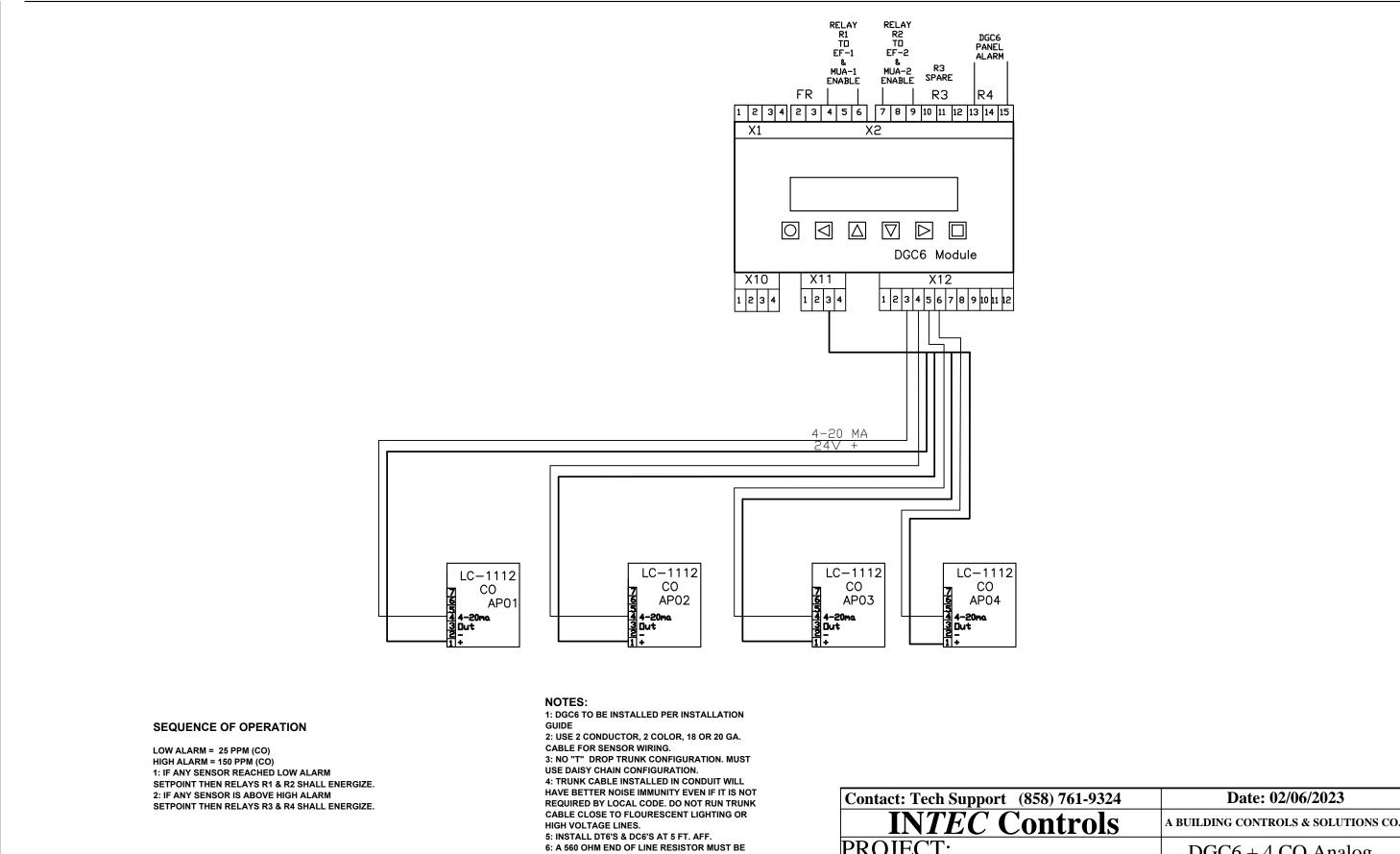
CHECKED BY : NAME

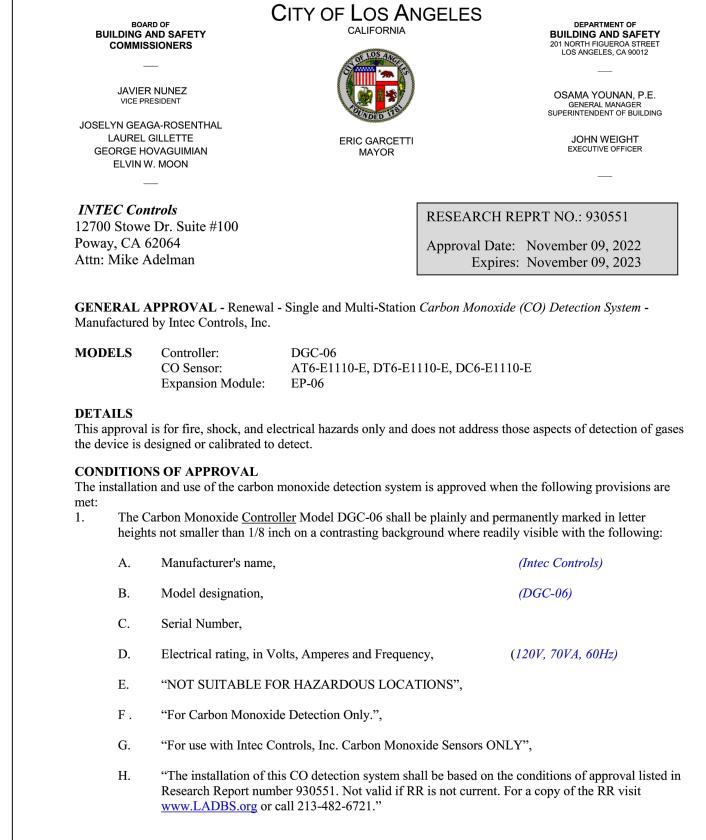
COPYRIGHT :

DWG NO:

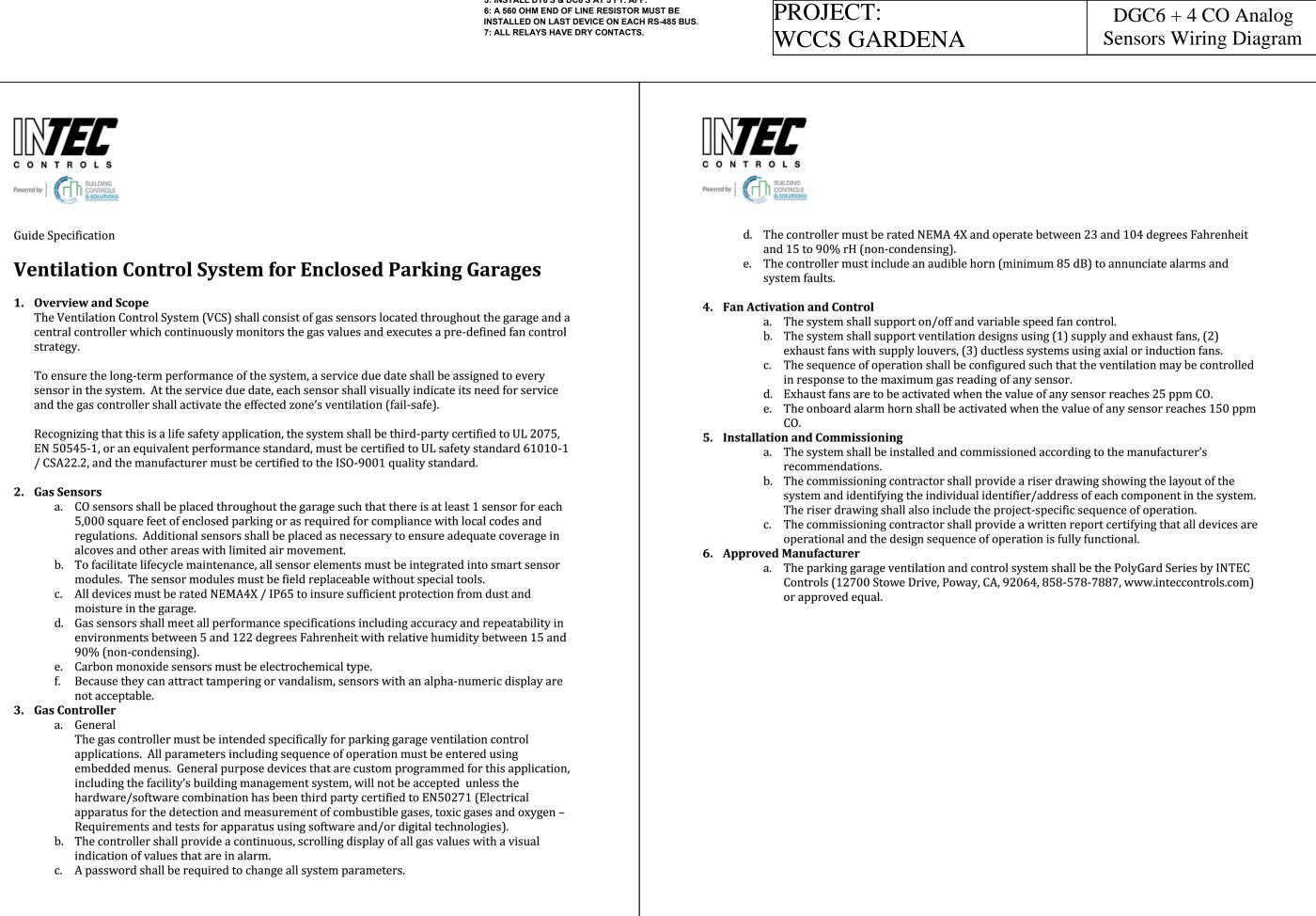
M-2







LADBS G-5 (Rev. 7/21/2020) AN EQUAL EMPLOYMENT OPPORTUNITY - AFFIRMATIVE ACTION EMPLOYER



INTEC Controls | 12700 Stowe Drive, Suite 100 | Poway, CA 92064 | 888.464.6832 | inteccontrols.com

INTEC Controls | 12700 Stowe Drive, Suite 100 | Poway, CA 92064 | 888.464.6832 | inteccontrols.com

TOM1 ASSOCIATES

24800 Eilat Street
Woodland Hills, CA 91

CONSULTANT :



ADDRESS: 1612 W. 139TH STREET
OWNER: WCCS
SHEETTILE: NOTES & WIRING DIAGF

DWG NO:

M-3

NO DESCRIPTION DATE

2023.04.28