

RESOLUTION NO. PC 13-25

A RESOLUTION OF THE PLANNING AND ENVIRONMENTAL QUALITY COMMISSION OF THE CITY OF GARDENA, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT #4-25 AND ENVIRONMENTAL ASSESSMENT #9-25 TO APPROVE THE USE OF AN INDOOR PICKLEBALL FACILITY WITHIN AN EXISTING WAREHOUSE BUILDING TOTALING 26,136 SQUARE FEET LOCATED IN THE GENERAL INDUSTRIAL (M-1) ZONE AT 1495 WEST 139TH STREET AND FINDING THAT THE PROJECT IS CATEGORICALLY EXEMPT FROM THE PROVISIONS OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT PURSUANT TO SECTION 15301 (CLASS 1 – EXISTING FACILITY)

**1495 WEST 139TH STREET
(APN: 6102-017-050)**

THE PLANNING AND ENVIRONMENTAL QUALITY COMMISSION OF THE CITY OF GARDENA, CALIFORNIA, DOES HEREBY FIND AND RESOLVE AS FOLLOWS:

SECTION 1. RECITALS

A. On May 7, 2025, Applicant Dink House LA, represented by Kevin Lee, submitted an application for a conditional use permit (CUP) to permit the operation of an indoor pickleball facility within existing warehouse buildings totaling 26,136 sf (the “Project”) at 1495 West 139th Street (the “Subject Property”); and

B. The General Plan Land Use designation of the Subject Property is Industrial, and the zoning is General Industrial (M-1); and

C. The Subject Property is bounded by West 139th Street to the north and between Halldale and Brighton Avenues.

D. On September 16, 2025, the Planning and Environmental Quality Commission held a duly noticed public hearing at which time it considered all the material and evidence presented by staff, the applicant, and the public, whether written or oral, and has considered the procedures and the standards required by the Gardena Municipal Code (GMC).

SECTION 2. CONDITIONAL USE PERMIT #7-24 FINDINGS

Conditional Use Permit #4-25 to allow the operation of an indoor pickleball facility per GMC Section 18.46.030.C.9, within an existing industrial building totaling 26,136 square feet in the M-2 zone, is hereby approved based on the following findings and is subject to the conditions attached hereto as Exhibit 1 and as shown on the plans presented to the Planning and Environmental Quality Commission on September 16, 2025, attached hereto as Exhibit 2.

- 1. The use applied for at the location set forth in the application is properly one for which a conditional use permit is authorized by this chapter.**

Although the proposed pickleball facility use is not specifically listed under a defined use category within the M-1 zone, GMC Section 18.46.030.C.9 allows for uses not specifically listed that are not detrimental in any way to surrounding properties or uses permitted in the zone and are not permitted as a similar use, through an approved conditional use permit process.

The proposed facility is consistent with the overall intent of the M-1 zone and is designed to operate in a manner that minimizes impacts on nearby uses. While there are some residential properties in the general vicinity, the facility will be equipped with appropriate interior treatments and construction materials to reduce sound transmissions and potential noise impacts. Therefore, the application for a CUP is deemed proper.

- 2. Such use is necessary or desirable for the development of the community and is compatible with the surrounding uses, is in harmony with the general plan, is not detrimental to the surrounding properties, existing uses, or to uses specifically permitted in the zone in which the proposed use is to be located, and will not be detrimental to the public health, safety, or welfare.**

The proposal for a new indoor pickleball facility is compatible with the surrounding uses in the area because it is located within a warehouse with space that will allow for the use. The nature of the use, being conducted entirely indoors and largely by appointment, helps ensure limited disruption to surrounding areas.

The applicant's proposal for an indoor pickleball facility is consistent with the following General Plan Goals:

- Economic Development Plan Goal 1: Promote a growing and diverse business community that provides jobs, goods, and services for the local and regional market and maintains a sound tax base for the City, encourages diversification of businesses to support the local economy, and provides a stable revenue stream.
- Economic Development Plan Goal 2: Expand, retain and revitalize quality businesses.
- Economic Development Plan Goal 3: Attract desirable businesses to locate in the City.
- Land Use Goal 2: Develop and preserve high quality commercial center and clean industrial uses that benefit the City's tax base, create jobs and provide a full range of service to the residents and businesses.

- Land Use Policy 3:3: Attract commercial and industrial uses that minimize adverse impact on surrounding land uses and are economically beneficial to the City in terms of revenue generation and employment opportunities.

The facility contributes to a diversified business landscape by introducing a unique, service-based recreational center use not currently well-represented in the area. It caters to both local and regional clientele, generating economic activity while providing a valuable service to youth, adults, families and seniors. By occupying and enhancing an underutilized warehouse space, the project supports the City's efforts to maintain a sound tax base and encourages economic growth through business diversification and sustainable use of commercial properties.

3. The site for the intended use is adequate in size and shape to accommodate such use and all of the yards, setbacks, walls, fences, landscaping, and other features required in order to adjust such use to those existing or permitted future uses on land in the neighborhood.

The subject property, located within an existing industrial zone, is adequate in size, shape, and configuration to support the proposed indoor pickleball facility. The 26,136-sf warehouse offers sufficient interior area to accommodate the tenant improvements, including multiple indoor pickleball courts, one practice court, and a restroom renovation. All required site features, including building setbacks, landscaping buffers, and screening, either currently exist or can be accommodated through minor site upgrades as part of the project. Furthermore, the project includes a proposal to restripe the on-site parking lot to bring parking spaces into conformance with current City off-street standards. The project is designed to meet all applicable GMC standards. Therefore, the site is adequate in size and shape.

4. The site for the proposed use relates to streets and highways properly designed and improved so as to carry the type of quantity of traffic generated or to be generated by the proposed use;

The Circulation Plan, which is part of the Community Development Element of the Gardena General Plan, designates West 139th Street as collector streets. Collector streets are designed to provide. These roadways are intended to move traffic from a local roadway to a secondary roadway. They are intended to provide access to all types of land uses and generally have no limitations on access. Street parking is generally allowed during most hours. The right-of-way width of this roadway type is variable but generally averages 60 feet and carries less than 15,000 vehicles

per day. The applicant's request to operate an indoor pickleball within the existing warehouse is not expected to generate traffic beyond the current levels, and it is unlikely to impact the area's circulation. The project complies with the 36 minimum parking spaces required by the City's zoning code. Staff do not foresee any adverse traffic impacts to the subject property.

5. The conditions stated in the decision are deemed necessary to protect the public health, safety, and general welfare.

The following conditions of approval have been added for Conditional Use Permit #4-25 (Exhibit 1) to ensure that the indoor pickleball facility use will be compatible with, and not be detrimental to the surrounding uses in the vicinity:

- No special events shall be held at the project site without the applicant obtaining a temporary event permit from the City and paying all appropriate fees. Temporary events are those that meet the intent and purpose of GMC Section 18.60.010.
- The hours of operation of the indoor pickleball facility shall be limited to 8:00 AM to 10:00 PM daily.
- The applicant shall stripe the parking spaces in accordance with the size and dimension specifications in GMC Section 18.40.050. Locations shall be in accordance with the approved site plan.
- All activities must take place within the enclosed building. Loitering outside the tenant suite is prohibited. Patrons should stay indoors while waiting for instructions or to be picked up and must be supervised by staff.

SECTION 3. CALIFORNIA ENVIRONMENTAL QUALITY ACT (EA #15-24)

The Project is exempt from the provisions of the California Environmental Quality Act (CEQA), pursuant to the following exemption:

- A. Section 15301 Class 1, Existing Facilities which exempt negligible or no expansion of use in existing facility from the provisions of CEQA. The building in which the project is proposed already exists. The project will not include any alterations to the existing building footprint but makes minor modifications to the exterior façade. The indoor pickleball facility would be in the existing industrial building, originally constructed in 1999 for warehousing purposes. The applicant's request to operate the indoor pickleball facility within the existing industrial space is not an expansion of use.
- B. The project is not subject to any of the exceptions to the exemptions under Section 15300.2. The cumulative impact of establishing indoor pickleball facility is not

considered significant. The project is not located along any state-designated scenic highway nor within any designated hazardous waste site. The buildings where the indoor pickleball facility will be located are not considered significant historical structures by any governmental body. Staff do not expect any significant impacts or unusual circumstances related to the approval of this project.

C. Staff are hereby directed to file a Notice of Exemption.

SECTION 4. APPEAL.

The approvals granted in this Resolution by the Commission may be appealed to the City Council within 10 calendar days from the date of adoption. All appeals must be in writing and filed with the City Clerk within this time period with the appropriate fee. Failure to file a timely written appeal will constitute a waiver of any right of appeal. The City Council may also call this matter for review within the same 10-day period.

SECTION 5. RECORD.

Each and every one of the findings and determinations in this Resolution is based on the competent and substantial evidence, both oral and written, contained in the entire record relating to the Project. All summaries of information in the findings which precede this section are based on the entire record. The absence of any particular fact from any such summary is not an indication that a particular finding is not based in part on that fact.

SECTION 6. CUSTODIAN OF RECORD.

The Custodian of Record for the proceedings relating to the Project is Greg Tsujiuchi, Community Development Director, City of Gardena, 1700 West 162nd Street, Gardena, California 90247. Mr. Tsujiuchi's email is gtsujiuchi@cityofgardena.org and his phone number is (310) 217-9530.

SECTION 7. EFFECTIVE DATE.

This Resolution shall take effect immediately.

Resolution No. PC. #13-25
EA # 9-25; and CUP # 4-25
September 16, 2025
Page 6 of 7

SECTION 8. CERTIFICATION.

The Secretary shall certify the passage of this resolution.

PASSED, APPROVED, AND ADOPTED this 16th day of September 2025.



RONALD WRIGHT-SCHERR CHAIR
PLANNING AND ENVIRONMENTAL
QUALITY COMMISSION

ATTEST:



GREG TSUJIUCHI, SECRETARY
PLANNING AND ENVIRONMENTAL QUALITY COMMISSION

Exhibits:

- Exhibit 1 – Conditions of Approval
- Exhibit 2 – Project Plan

Resolution No. PC. #13-25
EA # 9-25; and CUP # 4-25
September 16, 2025
Page 7 of 7

CERTIFICATION

I, Greg Tsujiuchi, Planning and Environmental Quality Commission Secretary of the City of Gardena, do hereby certify that the foregoing Resolution was duly adopted by the Planning and Environmental Quality Commission of the City of Gardena at a regular meeting thereof, held the 16th day of September 2025, by the following vote of the Planning and Environmental Quality Commission.

AYES: Wright-Scherr, Kanhan, Sherman, Henderson and Langley
NOES: None
ABSENT: None

Certification by: 
GREG TSUJIUCHI, SECRETARY
PLANNING AND ENVIRONMENTAL QUALITY COMMISSION

EXHIBIT 1

CITY OF GARDENA

CONDITIONS OF APPROVAL FOR CONDITIONAL USE PERMIT #4-25

GENERAL CONDITIONS

- GC 1. The Applicant accepts all conditions of approval set forth in this document and shall sign the acknowledgment, prior to building permit and business license issuance.
- GC 2. The Applicant shall comply with all written policies, resolutions, ordinances, and all applicable laws. The conditions of approval shall supersede all conflicting notations, specifications, and dimensions which may be shown on the project development plans.
- GC 3. The architectural plans shall be in accordance with the plans approved by the Planning and Environmental Quality Commission and modified by these conditions of approval. The final completed project shall be in substantial compliance with the plans upon which the Commission based its decision on September 16, 2025, as modified by such decision. Deviations from the approved plans will require modification to the approved Conditional Use Permit #4-25.
- GC 4. The Applicant shall reimburse the City for all attorneys' and consultants' fees spent in processing the project application, including a review of all documents required by these conditions of approval prior to the issuance of a final building permit.
- GC 5. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any claims, actions or proceedings, damages, costs (including without limitation attorneys' fees), injuries, or liabilities against the City or its agents, officers, or employees arising out of the City's approval of the Notice of Exemption and Conditional Use Permit. The City shall promptly notify the applicant of any claim, action, or proceeding and the City shall cooperate fully in the defense. If the City fails to promptly notify the applicant of any claim, action, or proceeding, or if the City fails to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the City. Although the applicant is the real party in interest in the action, the City may, at its sole discretion, participate in the defense of any action with the attorneys of its own choosing, but such participation shall not relieve the applicant of any obligation under this condition, including the payment of attorneys' fees.
- GC 6. The costs and expenses of any enforcement activities, including, but not limited to attorney's fees, caused by the applicant's violation of any condition imposed

by this approval or any provision of the Gardena Municipal Code (GMC) shall be paid by the applicant.

CONDITIONAL USE PERMIT

CUP1. Conditional Use Permit #4-25 shall be utilized within a period not to exceed twelve (12) months from the date of approval unless an extension is granted in accordance with Section 18.46.040 of the GMC. Utilization shall mean the issuance of a business license.

PLANNING

- PL1. The hours of operation of the indoor pickleball facility shall be limited to 8:00 AM to 10:00 PM daily.
- PL2. No special events shall be held at the project site without the applicant obtaining a temporary event permit from the City and paying all appropriate fees. Temporary events are those that meet the intent and purpose of GMC Section 18.60.010.
- PL3. The parking lot shall remain open at all times during operating hours. All onsite spaces shall be utilized to the extent feasible before vehicles are turned away from the parking lot. In the event the parking lot is full, vehicles shall be directed to park on the street where parking is available.
- PL4. The applicant shall comply with all provisions outlined in the City's Noise Ordinance as specified in GMC Chapter 8.36.
- PL5. The applicant shall ensure that any proposed signage shall meet the necessary requirements put forth by Chapter 18.58 of the GMC.
- PL6. In the event noise, lighting, parking, or traffic nuisances or other public safety issues are brought to the attention of the City, the Community Development Director may impose further conditions or restrictions on the site operations to ensure land use compatibility.
- PL7. The applicant shall restripe the parking lot/spaces in accordance with the size and dimension specifications in GMC Section 18.40.050. Locations shall be in accordance with the approved site plan.
- PL8. All activities must take place within the enclosed building. Loitering outside the building is prohibited. Patrons shall stay indoors while waiting for instructions or to be picked up and must be supervised by staff. The business owner/operator shall be responsible for ensuring that customers are not loitering outside the building and are not hitting balls on the parking lot and against any wall.

PL9. No outdoor storage shall be permitted.

PL10. The applicant shall be required to notify the City of any changes to the use of the facility.

BUILDING

BS1. The project shall comply with all applicable portions of the City adopted version of the California Building Code (Title 24, California Code of Regulations), in effect at the time of permit application.

BS2. The applicant shall comply with all applicable State and Federal Accessibility code.

BS3. The applicant shall comply with all conditions set forth by other departments and agencies including but not limited to the Los Angeles County Health Department, Los Angeles County Fire Department, Planning, and Public Works.

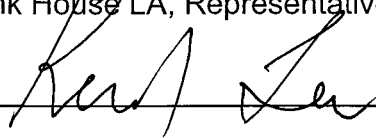
BS4. The approval of plans and specifications does not permit the violation of any section of the Building Code, City Ordinances, State and Federal law.

BS5. The applicant shall submit plans and specifications to the Building Division for review.

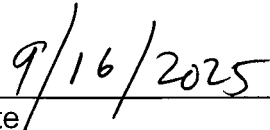
Dink House LA, representative, certifies that he/she/it has read, understood, and agrees to the Project Conditions listed herein.

Dink House LA, Representative

By



Date



	DETAIL NUMBER SHEET NUMBER (BLANK IF SAME SHEET)
	ELEVATION/SECTION NUMBER SHEET NUMBER (BLANK IF SAME SHEET)
	ROOM NAME AND NUMBER
	DOOR NUMBER
	WINDOW NUMBER
	KEYNOTE
	REVISION REFERENCE
	DIMENSION LINE - NUMBER TO LEFT OR TOP OF LINE
	CENTERLINE DIMENSION, ELEVATION FLOOR HEIGHT, FINISH INDICATOR LINE
	BREAK IN LINE, DETAIL OR DIMENSION
	FLOORS, CEILING LINE (ELEVATIONS, SECTIONS)
	ALIGN FINISHED SURFACE
	FIRE EXTINGUISHER CABINET
	GRID LINE REFERENCE: NUMBERS SHALL RUN HORIZONTALLY AND LETTERS RUN VERTICALLY IN GRID PATTERN
	OCCUPANCY LOAD OCCUPANCY FACTOR OCCUPANCY GROUP
	WALL TYPE TYPE DESIGNATION, SEE A8.01 STUD SIZE #-2X4 #-2X6 REQUIRED RATING 1-HR-TYPICAL NOT REQUIRED 2- 1 1/2 HR. 3- 1 HR. 4- 2 HR.
	NORTH ARROW
	PROPERTY LINE
	INT. ELEV. REFERENCE
	SMOKE DETECTOR
	EMERGENCY EXIT SIGN

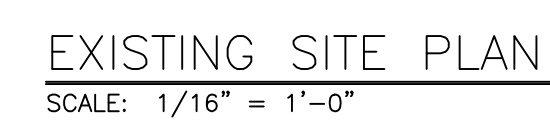
A/C	AIR CONDITIONING	JAN.	JANITOR
A.C. TILE	ACOUSTICAL CEILING	JNT.	JOINT
ACQUIS.	ACQUISITION	KIT.	KITCHEN
ADJUST.	ADJUSTABLE	LAM.	LAMINATE
A.F.F.	ABOVE FINISH FLOOR	LAW.	LAVATORY
ALUM.	ALUMINUM	LBS.	POUNDS
AMP	AMPERE	L.H.	LEFT HAND
APPROX.	APPROXIMATE	L.T.	LIGHT
ARCH.	ARCHITECTURAL	MAINT.	MAINTENANCE
BD.	BOARD	MAS.	MASONRY
BDC.	BUILDING	MAT.	MAT
BLK.	BLOCK	MAIL	MATERIAL
BLCK	BLOCKING	MAX.	MAXIMUM
BOT.	BOTTOM	MECH.	MECHANICAL
CAB.	CABINET	MFR.	MANUFACTURER
C.B.	CORNER BEAD	MISC.	MISCELLANEOUS
CEM.	CEMENT	MILLWK.	MILLWORK
CIG.	CEILING	M.O.	MASONRY OPENING
CLOS.	CLOSE	MTD.	MOUNTED
CLR.	CLEAR	MUL.	METAL
CL. OPEN.	CLEAR OPENING	MULL.	MULLION
C.M.U.	CONCRETE MASONRY UNIT	N.	NORTH
COL.	COLUMN	N.I.C.	NOT IN CONTRACT
CONN.	CONNECTION	NO.	NUMBER
CONT.	CONTINUOUS	NOM.	NOMINAL
CONTR.	CONTRACTOR	N.T.S.	NOT TO SCALE
CORR.	CORRUGATED	O.C.	ON CENTER
CPT.	CARPET	OFF.	OUTSIDE DIAMETER
CS.	CERAMIC TILE	OPP.	OPENING
CTR.	CENTER		OPPOSITE
D.	DEEP	PL	PLATE
DBL.	DOUBLE	P.L.A.M.	PLASTIC LAMINATE
DED.	DEDICATED	PLASTER	PLASTER
D.F.	DRAINING	PLUMB.	PLUMBING
DIA.	DIAMETER	PLYWOOD	PLYWOOD
DIAG.	DIAGONAL	P.N.L.	PANEL
DIA.	DIAGONAL	PAR.	PARALLEL
DN.	DOWN	PROJ.	PROJECTION
DR.	DOOR	PT.	POINT
D.S.P.	DRY STRAND PIPE	PTIN.	PARTITION
DTL.	DETAIL	R.	RISER
DWG.	DRAWING	RAD.	RADIUS
DWR.	DRAWER	REF.	REFERENCE
E.	EAST	REFR.	REFRIGERATOR
E.A.	EACH	REINF.	REINFORCED
E.F.	EXHAUST FAN	REQ'D.	REQUIRED
ELEV.	ELEVATION	RESIL.	RESILIENT
ELEC.	ELECTRIC	R.H.	RIGHT HAND
EQ.	EQUAL	RM.	ROOM
EXIST.	EXISTING	R.O.	ROUGH OPENING
EXP.	EXPANSION	R.Y.S.B.	REAR YARD SETBACK
EXP'N.	EXPANDED	S.	SOUTH
EXT.	EXTERIOR	S.C.	SCHEDULE
F.	FLOOR	SCHED.	SCHEDULE
F.D.	FLOOR DRAIN	SECT.	SECTION
F.E.C.	FIRE EXTINGUISHER CABINET	SEPT.	SEPARATE
F.F.	FIRE FIGHTING CABINET	S.H.	SIGHT
FIN.	FINISH	SIM.	SIMILAR
FINT.	FINITURE	S.O.	SQUARE
FLR.	FLOOR	SPEC.	SPECIFICATION
FLOOR.	FLOOR	S.S.	STAINLESS STEEL
F.O.C.	FACE OF COLUMN	STD.	STANDARD
F.O.F.	FACE OF FINISH	STGD.	STAGGERED
F.O.M.	FACE OF MASONRY	STL.	STEEL
F.S.	FLOOR SINK	STR.	STRONG
FULL	FOOT OR FEET	STRUCT.	STRUCTURAL
FURN.	FURNITURE	SUPP.	SUPPLEMENTED
FURN.	FURNITURE	SYM.	SYMBOL
F.Y.S.B.	FRONT YARD SETBACK	S.Y.S.B.	SIDE YARD SETBACK
G.	GALLON	T.	TREAD
GA.	GALLON	TEL.	TELEPHONE
GALV.	GALVANIZED	TEMPER.	TEMPERED
G.C.	GENERAL CONTRACTOR	TONGUE AND GROOVE	TONGUE AND GROOVE
G.F.	GROUND FAULT INTERRUPT	T.O.W.	TOP OF WALL
GL.	GLAZING	TYP.	TYPICAL
GND.	GRADE	UNE.	UNDETERMINED LABORATORY
GROIND.	GRADE	U.N.O.	UNLESS NOTED OTHERWISE
GYP.	GYPSONIUM	U.O.N.	UNLESS OTHERWISE NOTED
GYP. BD.	GYPSONIUM WALLBOARD	V.	VOLTS
H.	HIGH	V.C.T.	VINYL COMPOSITION TILE
H.C.	HOLLOW CORE	VERT.	VERTICAL
HDWD.	HARDWOOD	VEST.	VESTIBULE
H.M.	HOLLOW METAL	V.I.F.	VERIFY IN FIELD
HORIZ.	HORIZONTAL	W.	WEST
HR.	HOOR	W/W.	WATER CLOSING
H.V.A.C.	HEATING, VENTILATION & AIR CONDITIONING	W.C.	WATER CLOSING
HW	HOT WATER	W.H.	WATER HEATER
I.	INSIDE DIAMETER	W/O	WITHOUT
I.D.	INSIDE DIAMETER	W.P.O.	WATERPROOF
IN.	INCH	W.R.	WATER RESISTANT
INSUL.	INSULATION	WT.	WEIGHT
INT.	INTERIOR		

[illegible]

A0 PROJECT INFORMATION
A1 EXISTING SITE PLAN
A2 EXISTING FLOOR PLAN
A3 PROPOSED SITE PLAN, SECURITY PLAN & EXISTING SITE LIGHTING PLAN
A4 PROPOSED FLOOR PLAN

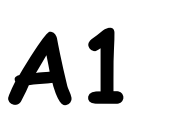
SITE & BUILDING STATISTICS:

[illegible]



FILE:

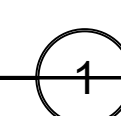
1

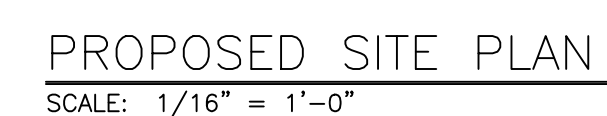




SCALE: $1/8" = 1'-0"$

FILE





1	PROPOSED ADDED STANDARD PARKING SPACES - (4) TOTAL
2	PROPOSED SECURITY CAMERA, 4 TOTAL
3	EXISTING WALL MOUNTED LED FLOOD LIGHT

[illegible]

CONSULTANTS:

Architect/Engineer Of Record:



Date Printed:
07/24/2025

A3



SCALE: $1/8" = 1'-0"$

FILE:



A4