

## **RESOLUTION NO. PC 17-25**

**A RESOLUTION OF THE PLANNING AND ENVIRONMENTAL QUALITY COMMISSION OF THE CITY OF GARDENA, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT #6-25 AND ENVIRONMENTAL ASSESSMENT #15-25 TO APPROVE THE OPERATION OF A WAREHOUSE WITHIN AN EXISTING INDUSTRIAL BUILDING LOCATED IN THE GENERAL INDUSTRIAL (M-1) ZONE AT 1219 WEST 135<sup>TH</sup> STREET AND FINDING THAT THE PROJECT IS CATEGORICALLY EXEMPT FROM THE PROVISIONS OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT PURSUANT TO SECTION 15301 (CLASS 1 – EXISTING FACILITY)**

**1219 WEST 135<sup>TH</sup> STREET  
(APN: 6115-004-021)**

**THE PLANNING AND ENVIRONMENTAL QUALITY COMMISSION OF THE CITY OF GARDENA, CALIFORNIA, DOES HEREBY FIND AND RESOLVE AS FOLLOWS:**

### **SECTION 1. RECITALS**

A. On September 11, 2025, Applicant Ferrari Express, Inc represented by Jake Mallot, submitted an application for a conditional use permit (CUP) to permit the operation of a warehouse facility within existing industrial buildings totaling 10,388 sf (the “Project”) at 1219 West 135<sup>th</sup> Street (the “Subject Property”); and

B. The General Plan Land Use designation of the Subject Property is Industrial, and the zoning is General Industrial (M-1); and

C. The Subject Property is bounded by West 135<sup>th</sup> Street to the north and between Raymond and Budlong Avenues.

D. On December 2, 2025, the Planning and Environmental Quality Commission held a duly noticed public hearing at which time it considered all the material and evidence presented by staff, the applicant, and the public, whether written or oral, and has considered the procedures and the standards required by the Gardena Municipal Code (GMC).

### **SECTION 2. CONDITIONAL USE PERMIT #6-25 FINDINGS**

Conditional Use Permit #6-25 allows the operation of a warehouse per GMC Section 18.46.030.C.18, within an existing industrial building totaling 10,388 square feet in the M-1 zone, is hereby approved based on the following findings and is subject to the conditions attached hereto as Exhibit A and as shown on the plans presented to the Planning and Environmental Quality Commission on December 2, 2025, attached hereto as Exhibit B.

**1. The use applied for at the location set forth in the application is properly one for which a conditional use permit is authorized by this chapter.**

In accordance with GMC section 18.46.030.C.18, warehouses in the M-1 and M-2 zones are subject to a CUP. Pursuant to GMC section 18.04, a “warehouse” means a building where goods or products are stored, whether on a short-term or long-term basis.

The facility is consistent with the overall intent of the M-1 zone and is designed to operate in a manner that minimizes impacts on nearby uses. While there are some residential properties in the general vicinity, the facility will be equipped with appropriate interior treatments and construction materials to reduce sound transmissions and potential noise impacts. Therefore, the application for a CUP is deemed proper.

**2. Such use is necessary or desirable for the development of the community and is compatible with the surrounding uses, is in harmony with the general plan, is not detrimental to the surrounding properties, existing uses, or to uses specifically permitted in the zone in which the proposed use is to be located, and will not be detrimental to the public health, safety, or welfare.**

The warehouse facility is compatible with the surrounding uses in the area because it is located within an existing industrial building that has the space needed for the use.

The applicant's proposal for a warehouse is consistent with the following General Plan Goals:

- Economic Development Plan Goal 1: Promote a growing and diverse business community that provides jobs, goods, and services for the local and regional market and maintains a sound tax base for the City, encourages diversification of businesses to support the local economy, and provides a stable revenue stream.
- Economic Development Plan Goal 2: Expand, retain and revitalize quality businesses.
- Economic Development Plan Goal 3: Attract desirable businesses to locate in the City.

- Land Use Goal 2: Develop and preserve high quality commercial center and clean industrial uses that benefit the City's tax base, create jobs and provide a full range of service to the residents and businesses.
  - Land Use Policy 3:3: Attract commercial and industrial uses that minimize adverse impact on surrounding land uses and are economically beneficial to the City in terms of revenue generation and employment opportunities.

By occupying and enhancing an underutilized industrial space, the project supports the City's efforts to maintain a sound tax base and encourages economic growth through business diversification and sustainable use of commercial properties.

**3. The site for the intended use is adequate in size and shape to accommodate such use and all of the yards, setbacks, walls, fences, landscaping, and other features required in order to adjust such use to those existing or permitted future uses on land in the neighborhood.**

The subject property, located within an existing industrial zone, is adequate in size, shape, and configuration to support the proposed warehouse facility. The 10,388-sf warehouse offers sufficient interior area to accommodate the tenant improvements, including warehouse and office uses. All required site features, including building setbacks, landscaping buffers, and screening, either currently exist or can be accommodated through minor site upgrades as part of the project. Furthermore, the project includes a proposal to restripe the on-site parking lot and provide new landscaping to conform with current City off-street standards. The project is designed to meet all applicable GMC standards. Therefore, the site is adequate in size and shape.

**4. The site for the proposed use relates to streets and highways properly designed and improved so as to carry the type of quantity of traffic generated or to be generated by the proposed use;**

The Circulation Plan, which is part of the Community Development Element of the Gardena General Plan, designates West 135<sup>th</sup> Street as major collector streets. The primary purpose of major collector roadways is to serve as an intermediate route to carry traffic between collector roadways and arterial roadways. Access to adjacent land uses is generally unrestricted. Traffic controls typically consist of signalization at intersections with arterials; however, left-turn lanes and/or left-turn signalization are generally not provided. On-street parking is generally acceptable,

although it might be prohibited during certain hours, or maybe based on a maximum time limit. Similar roadways in most cities are designed to carry moderate levels of traffic, with an average right-way width of 80 feet, generally in the range of 15,000 to 25,000 vehicles per day.

Staff do not foresee any adverse traffic impacts to the subject property.

**5. The conditions stated in the decision are deemed necessary to protect the public health, safety, and general welfare.**

The following conditions of approval have been added for Conditional Use Permit #6-25 (Exhibit B) to ensure that the warehouse facility use will be compatible with, and not be detrimental to the surrounding uses in the vicinity:

- The parking lot shall remain open at all times during operating hours.
- No outdoor storage shall be permitted.
- The applicant shall be required to notify the City of any changes to the use of the facility.
- A CCTV surveillance system shall be installed and shall view and record all areas within the warehouse.
- The business owner shall provide the Police Department with access to the CCTV system footage and information as deemed necessary for any investigation.
- The business owner shall ensure that the warehouse is monitored by a State-licensed security service from 8 AM to 6 PM daily.
- The business owner shall ensure that the warehouse is equipped with an alarm system that is properly maintained and registered with the Police Department.

**SECTION 3. CALIFORNIA ENVIRONMENTAL QUALITY ACT (EA #15-25)**

The Project is exempt from the provisions of the California Environmental Quality Act (CEQA), pursuant to the following exemption:

- A. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) Guidelines pursuant to Section 15301, Existing Facilities, which exempts negligible or no expansions of use in existing facilities from the provisions of CEQA. The building in which the project is proposed already exists. The project will not include any alterations to the existing building footprint nor the exterior façade as previously approved. The building in which the

warehouse would be located is an existing industrial tenant space, originally constructed in 1988 for industrial purposes. As a result, the applicant's request to operate a warehouse facility within the existing industrial space is not considered an expansion of use.

B. The project is not subject to any of the exceptions to the exemptions under Section 15300.2. The cumulative impact of establishing the warehouse facility is not considered significant. The project is not located along any state-designated scenic highway nor within any designated hazardous waste site. The building where the warehouse facility will be located is not considered a significant historical structure by any governmental body. Staff do not expect any significant impacts or unusual circumstances related to the approval of this project.

C. Therefore, the proposed project is categorically exempt from CEQA.

#### **SECTION 4. APPEAL.**

The approvals granted in this Resolution by the Commission may be appealed to the City Council within 10 calendar days from the date of adoption. All appeals must be in writing and filed with the City Clerk within this time period with the appropriate fee. Failure to file a timely written appeal will constitute a waiver of any right of appeal. The City Council may also call this matter for review within the same 10-day period.

#### **SECTION 5. RECORD.**

Each and every one of the findings and determinations in this Resolution is based on the competent and substantial evidence, both oral and written, contained in the entire record relating to the Project. All summaries of information in the findings which precede this section are based on the entire record. The absence of any particular fact from any such summary is not an indication that a particular finding is not based in part on that fact.

#### **SECTION 6. CUSTODIAN OF RECORD.**

The Custodian of Record for the proceedings relating to the Project is Greg Tsujiuchi, Community Development Director, City of Gardena, 1700 West 162<sup>nd</sup> Street, Gardena, California 90247. Mr. Tsujiuchi's email is [gtsujiuchi@cityofgardena.org](mailto:gtsujiuchi@cityofgardena.org) and his phone number is (310) 217-9530.

**SECTION 7. EFFECTIVE DATE.**

This Resolution shall take effect immediately.

**SECTION 8. CERTIFICATION.**

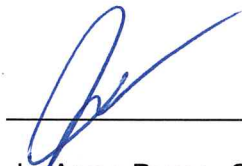
The Secretary shall certify the passage of this resolution.

**PASSED, APPROVED, AND ADOPTED this 2th day of December 2025.**



RONALD WRIGHT-SCHERR CHAIR  
PLANNING AND ENVIRONMENTAL  
QUALITY COMMISSION

ATTEST:



JoAnne Burns, SECRETARY  
PLANNING AND ENVIRONMENTAL QUALITY COMMISSION

Exhibits:

- Exhibit A – Project Plan
- Exhibit B – Conditions of Approval

Resolution No. PC. #17-25  
EA # 15-25; and CUP # 6-25  
December 02, 2025  
Page 7 of 7

### CERTIFICATION

I, Jo-Anne Burns, Planning and Environmental Quality Commission Secretary of the City of Gardena, do hereby certify that the foregoing Resolution was duly adopted by the Planning and Environmental Quality Commission of the City of Gardena at a regular meeting thereof, held the 2<sup>th</sup> day of December 2025, by the following vote of the Planning and Environmental Quality Commission.

AYES: Wright-Scherr, Sherman, Kanhan and Henderson  
NOES: None  
ABSENT: Langley

Certification by:   
Jo-Anne Burns, SECRETARY  
PLANNING AND ENVIRONMENTAL QUALITY COMMISSION



# FERRARI EXPRESS LA WAREHOUSE

## 1219 W 135TH ST.

## GARDENA, CA 90247

### STANDARD ABBREVIATIONS

AB	ANCHOR BOLT	DBL	DOUBLE	GEN	GENERAL	MISC	MISCELLANEOUS	REIN	REINFORCE(D), REINFORCING,	W/O	WITHOUT
ABV	ABOVE	DEG	DEGREE	GI	GALVANIZED IRON	MM	MILLIMETER(S)	REQ(D)	REINFORCEMENT	WP	WATERPROOF(ING)
A/C	AIR CONDITIONING	DEMO	DEMOLISH, DEMOLITION	GL	GLASS, GLAZING, GLAZED	MOD	MODIFY, MODIFIED, MODULAR	REQUIRE(D), REQUIREMENT	WS	WOOD SCREW	
ADDN	ADDENDUM	DEP	DEPRESSED	GLB	GLUE LAMINATED BEAM	MS	MACHINE SCREW	RET	RETAIN(ING)	WT	WEIGHT
ADJ	ADJACENT, ADJUSTABLE	DF	DOUGLAS FIR	GR	GRADE, GRADING	(N)	NEW	REV	REVISION(S), REVISED	WWF	WELDED WIRE FABRIC
AIA	AMERICAN INSTITUTE OF	DIA	DIAMETER	GYP	GYPSUM	N	NORTH	RJ	ROOF JOIST(S)	WWM	WELDED WIRE MESH
ARCH	ARCHITECTS	DIAG	DIAGONAL	HDR	HEADER	N/A	NOT APPLICABLE	RM	ROOM	YD	YARD
ALUM	ALUMINUM	DIM	DIMENSION(S)	HEX	HEXAGONAL	NAT(L)	NATURAL, NATIONAL	RR	ROOF RAFTER(S)	Δ	ANGLE
ALT	ALTERNATE	DIST	DISTANCE	HOR(IZ)	HORIZONTAL	NEG	NEGATIVE	SIM	SIMILAR	@	AT
APPROX	APPROXIMATE	DIV	DIVISION, DIVIDER	HS	HIGH STRENGTH	N/C	NOT IN CONTRACT	SMRF	SPECIAL MOMENT	#	DELTA
ARCH	ARCHITECT(URAL)	DJ	DECK JOIST(S)	HT	HEIGHT	NO	NUMBER		RESISTING FRAME	/	NUMBER/ POUND
ASTM	AMERICAN SOCIETY OF	DL	DEAD LOAD	HVAC	HEATING/VENTILATION/	NOM	NOMINAL		SPECIFICATION(S)	±	PLUS OR MINUS
	TESTING & MATERIALS	DN	DOWN		AIR CONDITIONING	NTS	NOT TO SCALE		STANDARD(S)	=	EQUAL
AUTO	AUTOMATIC	DSA	DEPARTMENT OF THE	IBC	INTERNATIONAL BUILDING	OC	ON CENTER(S)		STEEL	≠	NOT EQUAL
AVG	AVERAGE	DWG	DRAWING	ICC	INTERNATIONAL CODE	OD	OUTSIDE DIAMETER		STRUCTURAL, STRUCTURE	≠	ALMOST EQUAL
BD	BOARD	DWG	DRAWING		COUNCIL	OMRF	ORDINARY MOMENT		SURF	≠	BOUNDARY LINE
BEV	BEVEL(ED)	(E)	EXISTING		INSIDE DIAMETER	OPP	OPPOSITE		SUSP	≠	CENTER LINE
BLDG	BUILDING	EA	EACH		INCH(ES)	OSB	ORIENTED STRAND BOARD		SW	≠	FLOW LINE
BLK(G)	BLOCK(ING)	EJ	EXPANSIONS JOINT		INCL(UD)(D), (S), INCLUDING	OSHPD	OFFICE OF STATEWIDE		SYM	≠	MONUMENT LINE
BM	BEAM	EL	ELEVATION (GRADE)		INSPECTION, INSPECTOR		HEALTH PLANNING &			≠	PROPERTY LINE
BN	BOUNDARY NAILING	ELEC	ELECTRICAL(AL)		INST(ALL), INSTALL		DEVELOPMENT	SYN	SYNTHETIC	≠	DIAMETER
BOT	BOTTOM	ELEV	ELEVATOR, ELEVATION		INSUL(ATE)(D), INSULATION	OT	OVERTURNING	T&B	TOP AND BOTTOM	≠	DEGRESS
BPL	BASE PLATE	ENCL	ENCLOSURE(D), ENCLOSURE		INT	PAR	PARALLEL	T&G	TONGUE AND GROOVE		
BRG	BEARING	ENGR	ENGINEER		INV	PCF	POUND PER CUBIC FOOT	TEMP	TEMPORARY, TEMPERED		
BTWN	BETWEEN	EQ	EQUAL		JST	PEN	PENETRATE, PENETRATION	TH(K)	THICK, THICKNESS		
BW	BOTH WAYS	EQUIP	EQUIPMENT		K	PERF	PERFORATE(D)	THRU	THROUGH		
CANT	CANTILEVER(ED)	EQUIV	EQUIVALENT		KIP	PERIM	PERIMETER	TL	TILE		
CBC	CALIFORNIA BUILDING	EST	ESTIMATE(D)		KIP (1000 POUNDS)	PERP	PERPENDICULAR	TOP	TOP OF BEAM		
	CODE	ET	ET CETERA		KIP PER LINEAR FOOT	PK(G)	PARK(ING)	TOC	TOP OF CONCRETE		
CDX	GRADE C-D PLYWOOD W/	EW	EACH WAY		KIP PER SQUARE FOOT	PL	PLATE, PROPERTY LINE	TOG	TOP OF GRADE		
	CEMENT	EXIST	EXISTING		LOS ANGELES CITY	PLF	POUNDS PER LINEAR FOOT	TOL	TOLERANCE		
CEM	CEMENT	EXP	EXPAND, EXPANSION		LASC	PLT	PLATE, PLOT	TOP	TOP OF PLATE		
CJ	CEILING JOIST(S)	EXT	EXTENSION		LAM	PLY(WD)	PLYWOOD	TOS	TOP OF SLAB		
CJP	COMPLETE JOINT	EXTN	EXTENSION		LB(S)	PREFAB	PREFABRICATED	TOW	TOP OF WALL		
	PENETRATION	FDN	FOUNDATION		LG	PRELIM	PRELIMINARY	TYP	TYPICAL		
CL	CENTER LINE	FF	FINISHED FLOOR		LF	PROJ	PROJECT	UBC	UNIFORM BUILDING		
CLG	CEILING	FIN	FINISH(ED)		LN	PROP	PROPERTY	UNO	UNLESS NOTED		
CLR	CLEAR(ANCE)	FJ	FLOOR JOIST(S)		LL	PSF	POUNDS PER SQUARE FOOT	UTL	UTILITY, UTILITIES		
CM	CENTIMETER(S)	FL	FLANGE		LT(G)	PSI	POUNDS PER SQUARE INCH	VAR	VARIES, VARNISH		
CMU	CONCRETE MASONRY	FLR(G)	FLOOR(ING)		LTWT	PT	PRESSURE TREATED, POINT	VENT	VENTILATE, VENTILATION		
	UNIT	FOP	FACE OF CONCRETE		MAS	PVC	POLYVINYL CHLORIDE	VERT	VERTICAL		
CNTR	CENTER	FOS	FACE OF MASONRY		MATL	PWD	POWDER	VIF	VERIFY IN FIELD		
COEFF	COEFFICIENT	FOUND	FOUNDATION		MAX	QTR	QUARTER	VOL	VOLUME		
COL	COLUMN	FR	FRAME(D), FRAMING		MBR	QTY	QUANTITY	W	WIDTH, WIDE, WATER		
COM	COMMON		FIRE RATED		MECH	R(AD)	RADIUS	W/	WITH		
COMBO	COMBINATION		FOOT, FEET		MED	RD	ROAD, ROOF DRAIN	WD	WOOD		
CONC	CONCRETE	FT	FOOTING		MEMB	RDWD	REDWOOD	WF	WIDE FLANGE		
CONN	CONENCT(ION)	FTG	FOOTING		MEZZ	REBAR	REINFORCING BAR(S)	WIN	WITHIN		
CONSTR	CONSTRUCTION	FUT	FUTURE		MF	REC(D)	RECEIVE(D)	WIN	WINDOW		
CONT	CONTINUOUS, CONTINUE	GA	GAGE, GAUGE		MFR	RECT	RECTANGULAR				
CORR	CORRUGATED	GALV	GALVANIZED		MIN	REF	REFERENCE				
CU	CUBIC	GC	GENERAL CONTRACTOR								
c	PENNY										

### SHEET INDEX

T-1.0	ARCHITECTURAL
T-1.1	ARCHITECTURAL
A-0.1	ARCHITECTURAL
A-1.0	ARCHITECTURAL
A-1.1	ARCHITECTURAL
A-1.2	ARCHITECTURAL
A-1.3	ARCHITECTURAL
A-1.4	ARCHITECTURAL
A-2.0	ARCHITECTURAL
A-2.1	ARCHITECTURAL

-VICINITY MAP, PROJECT TEAM  
-STANDARD ABBREVIATIONS  
-SCOPE OF WORK, SHEET INDEX  
-SITE PLAN  
-OCCUPANCY LOAD ANALYSIS  
-AS-BUILT/ DEMO FLOOR PLAN  
-PROPOSED FLOOR PLAN  
-GENERAL NOTES  
-DIMENSION PLAN  
-EGRESS PLAN  
-REFLECTED CEILING PLAN  
-RESTROOM ELEVATIONS  
-DETAILS

### SCOPE OF WORK:

TENANT IMPROVEMENT FOR A NEW JEWELRY LOGISTICS HUB AND WAREHOUSE. NO CHANGE TO EXISTING PARKING.

### PROJECT DESCRIPTION

DESIGN CODES:	DESIGN CODES: ALL CODES SHALL CONFORM TO THE 2022 CBC, CMC, CPC, CEC, CFC, 2022 ENERGY EFFICIENCY STANDARDS, AND THE CITY OF GARDENA MUNICIPAL CODES
OCCUPANCY:	S-1
OCCUPANCY LOAD:	47
APN #:	6115-004-021
LEGAL DESC.:	PANAMA ACRES E 64 FT (EX OF ST) OF LOT 15 BLK 4
LOT SIZE:	16,422 SQ.FT.
BUILDING AREA	10,338 SQ.FT.
NUMBER OF STORIES:	1
TYPE OF CONSTRUCTION:	TYPE III-B (NON-SPRINKLERED)

Tenant:  
Ferrari Express Inc.

Designer:  
Mourad Kirakosian  
Space Concepts & Design  
17944 Ventura Blvd.  
Encino, CA 91318  
213-384-8131

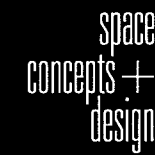
Mechanical/Plumbing Engineer:  
Mehrdad Hajilo  
17944 Ventura Blvd.  
Encino, CA 91318  
213-384-8131

Electrical Engineer:  
Bruno Moussiesse  
Electrical Design Services  
6504 Buffalo Ave  
Van Nuys, CA 91401  
818-448-2605

Electrical Engineer:  
Robert Ghevondian  
RG Engineering LLC  
818-669-1781







17844 VENTURA BLVD  
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INFO@SCDESIGNLA.COM  
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**FERRARI EXPRESS LA  
WAREHOUSE**  
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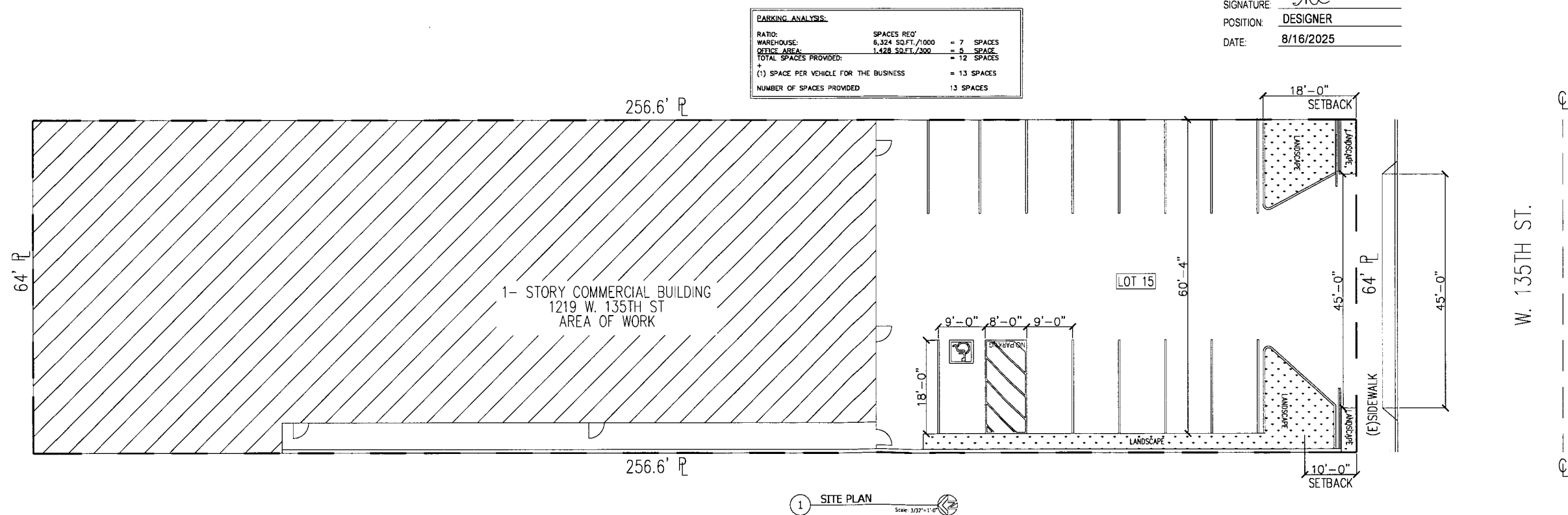
Designed by: MOURAD KIRAKOSIAN

Drawn by: JASON

## SITE PLAN

sheet

## T-1.1



I, MOURAD KIRAKOSIAN, CERTIFY THAT THE PRIMARY PATH OF TRAVEL TO THE AREA OF ALTERATION FROM THE PUBLIC WAY OR ACCESSIBLE PARKING SPACE AS INDICATED ON THE PLANS DOES NOT INCLUDE STEPS OR A SLOPE EXCEEDING 1:20 EXCEPT WHERE ACCESS IS PROVIDED BY A RAMP WITH 1:12 MAXIMUM SLOPE OR ACCESSIBLE ELEVATOR. I UNDERSTAND THAT IF THE PRIMARY PATH OF TRAVEL IS FOUND NOT TO BE AS INDICATED, SIGNIFICANT DELAYS MAY RESULT.

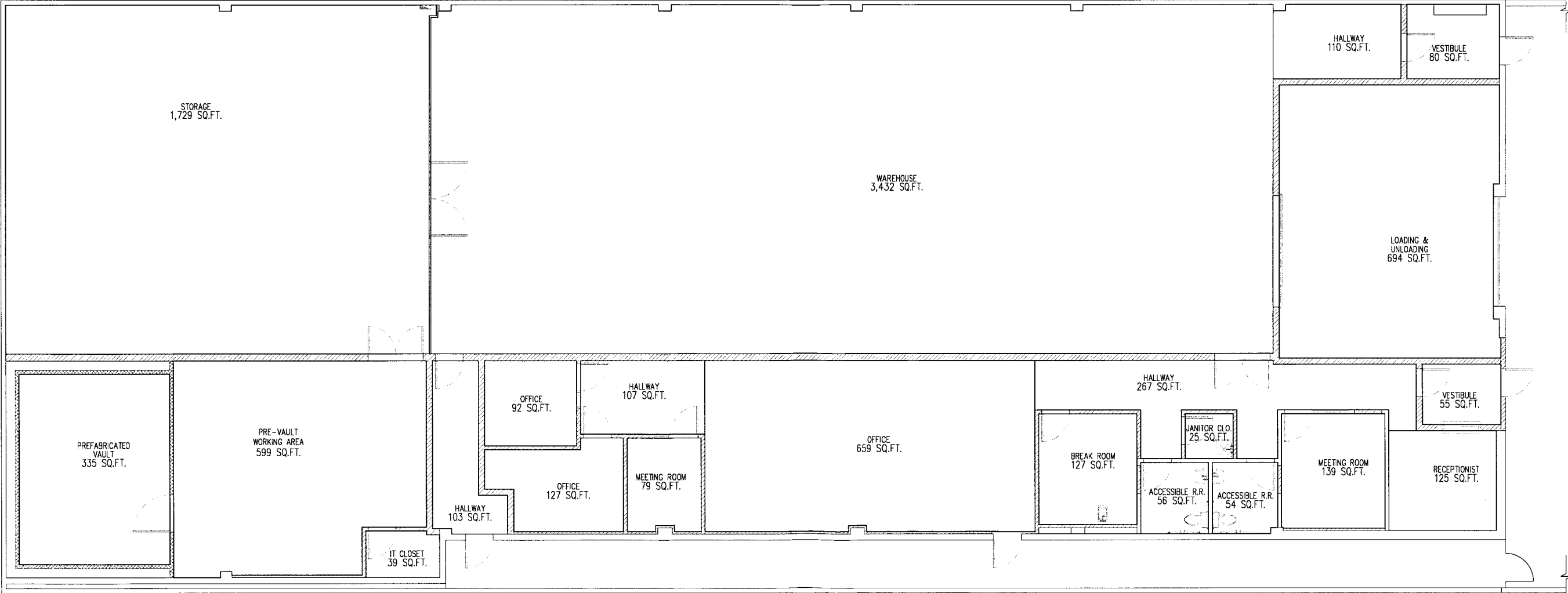
SIGNATURE \_\_\_\_\_

POSITION: DESIGNER

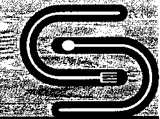
DATE: 8/16/2025

MIN. PLUMBING FACILITIES ANALYSIS						
PLUMBING OCCUPANT LOAD FACTOR			47/12 = 24		24 MALE   24 FEMALE	
TYPE OF BUILDING OR OCCUPANCY	WATER CLOSETS (FIXTURES PER PERSON)			URINALS (FIXTURES PER PERSON)	LAVATORIES (FIXTURES PER PERSON)	
	MIN. REQUIRED:	MALE 1:100	FEMALE 1:1-100		MALE 1:1-200	FEMALE 1:1-200
		PROVIDED:	MALE 1	FEMALE 1		MALE 1
	RESTAURANT OCC. S-1					

OCCUPANT LOAD ANALYSIS TABLE				
ROOM	USE	LOAD FACTOR	SQUARE FOOTAGE	OCC. LOAD
WAREHOUSE	WAREHOUSE	1 PER 500/SF	3,432 SF	7
STORAGE	STORAGE	1 PER 300/SF	1,729 SF	6
OFFICE	BUSINESS	1 PER 150/SF	878 SF	6
VESTIBULE	WAITING	1 PER 15/SF	135 SF	9
RECEPTION	BUSINESS	1 PER 150/SF	125 SF	1
MEETING ROOM	BUSINESS	1 PER 150/SF	218 SF	2
IT CLOSET	UTILITY	1 PER 300/SF	39 SF	1
JANITORS CLOSET	UTILITY	1 PER 300/SF	25 SF	1
BREAK ROOM	ASSEMBLY	1 PER 15/SF	127 SF	8
PRE-VAULT WORKING AREA	BUSINESS	1 PER 150/SF	599 SF	4
VAULT	STORAGE	1 PER 300/SF	335 SF	2
RESTROOMS			110 SF	
HALLWAYS			587 SF	
TOTAL				47



1 OCCUPANCY LOAD ANALYSIS  
SCALE: 3/16" = 1'-0"



space  
concepts +  
design

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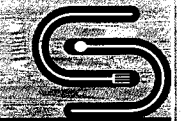
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stamp

no.	revision	date
Project no.	2025-035	
Date:	5/22/2025 8:44:35 PM	
Designed by:	MOURAD KIRAKOSIAN	
Drawn by:	JASON	

-OCCUPANCY LOAD ANALYSIS



space  
concepts +  
design

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WAREHOUSE  
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GARDENA, CA. 90247

Project name and address

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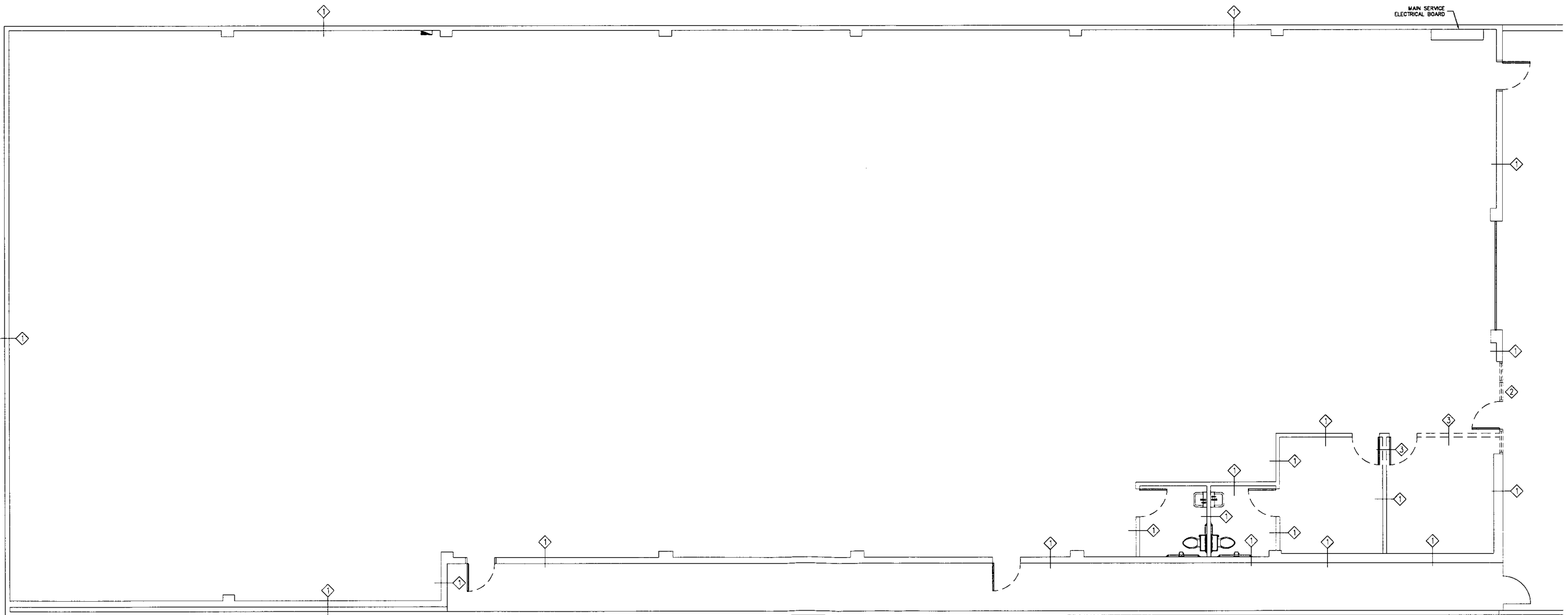
Project no. 2025-035  
Date: 5/22/2025 8:44:38 PM  
Designed by: MOURAD KIRAKOSIAN  
Drawn by: JASON

-EXISTING/DEMO PLAN

sheet

A-1.0

MARK	WALL LEGEND
KEY	DESCRIPTION
	EXISTING WALLS
	EXISTING WINDOWS TO BE REMOVED
	EXISTING NON LOAD BEARING WALL TO BE REMOVED



1 AS-BUILT FLOOR PLAN  
SCALE: 3/16"=1'-0"

# PARTITION NOTES

1. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL PARTITIONS INDICATED ON THE DRAWINGS.
2. PARTITION DIMENSIONS ARE FINISH FACE U.O.N CENTER LINE OF PARTITION SHALL ALIGN WITH CENTER LINE OF WALL ON WHERE OCCURS U.O.N
3. PARTITIONS SHOWN ALIGNED WITH EXISTING BASE BUILDING ELEMENTS SHALL BE INSTALLED FLUSH AND SMOOTH WITH BASE BUILDING ELEMENTS.
4. THE CONTRACTOR SHALL USE CORNER BEADS AT ALL EXPOSE CORNERS AND EXPOSED ENDS IN PLASTER AND DRYWALL PARTITIONS.
5. ALL PARTITIONS SHALL BE ANCHORED PER MANUFACTURERS SPECIFICATIONS AND AS REQUIRED BY APPLICABLE BUILDING CODES.
6. THE CONTRACTOR SHALL SUPPLY ALL RETURN AIR OPENINGS IN SLAB TO SLAB PARTITIONS ABOVE CEILING AS REQUIRED BY ENGINEERING DRAWINGS. ALL OPENINGS IN DEMISING AND SOUND-ATTENUATED PARTITIONS SHALL HAVE SOUND BOOTHS AND ALL OPENINGS IN FIRE-RATED PARTITIONS SHALL HAVE FIRE DAMPERS AS REQUIRED BY LOCAL BUILDING CODES. CONTRACTOR SHALL COORDINATE WITH ENGINEERING DRAWINGS AND INFORM MOSAIC OF DISCREPANCIES PRIOR TO BIDDING.
7. THE CONTRACTOR SHALL PROVIDE SUFFICIENT FRAMING IN PARTITIONS FOR ALL DUCT WORK, RETURN AIR OPENINGS AND GRILLS ABOVE AND BELOW CEILING SHALL BE COORDINATED WITH MECHANICAL ENGINEERING DRAWINGS AND MECHANICAL CONTRACTORS SHOP DRAWINGS. ALL OPENINGS SHALL BE PROPERLY SEALED FOR SOUNDPROOFING AND AGAINST VIBRATION.
8. THE CONTRACTOR SHALL PROVIDE AND INSTALL ACCESS PANELS AS REQUIRED FOR MECHANICAL, ELECTRICAL, AND PLUMBING INSTALLATIONS PER APPLICABLE BUILDING CODES. CONTRACTOR SHALL COORDINATE TYPE AND LOCATION OF ACCESS PANELS WITH MOSAIC PRIOR TO INSTALLATION.
9. THE PLUMBING CONTRACTOR SHALL FURNISH AND INSTALL ALL PLUMBING ROUGH-INS, FIXTURES, AND ACCESSORIES INDICATED IN THE DRAWINGS.
10. THE PLUMBING CONTRACTOR SHALL COORDINATE AND INSTALL HIS WORK IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
11. THE PLUMBING CONTRACTOR SHALL FURNISH AND INSTALL ALL VALVES AS INDICATED IN THE DRAWINGS AND/OR AS REQUIRED FOR THE PROPER CONTROL OF THE PIPING AND APPARATUS INSTALLED AS PART OF THIS REPAIRED WITHOUT INTERFERENCE OR INTERRUPTION OF SERVICE TO THE REMAINDER OF THE BUILDING.
12. BEFORE COVERED UP OR BUILT-IN, ALL PIPING SHALL BE TESTED AND INSPECTED AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION.
13. PROVIDE NEW SEMI-RECESSED FIRE EXTINGUISHER CABINETS AND BOTTLES.
14. THE CONTRACTOR SHALL PROVIDE 3/8" METAL STUDS AT PLUMBING WALLS.

# DOOR NOTES

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE WORKING DRAWINGS. THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES PRIOR TO COMMENCEMENTS OF ANY WORK IN THE EVENT OF FAILURE TO DO SO THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERROR.
2. PROVIDE HARDWARE AND ACCESSORIES AS REQUIRED FOR RATED AND MINERAL CORE DOORS.
3. CHECK DOOR SCHEDULE FOR DOOR THICKNESS, DETAILS OF TRIM CLEARANCES FOR HINGES, STRIKES, CLOSERS, FASTENER REQUIREMENTS, AND FIRE RATING REQUIREMENTS.
4. ALL NEW DOORS SHALL RECEIVE LEVER HARDWARE (SEE HARDWARE SCHEDULE) UNLESS NOTED OTHERWISE. HARDWARE SHALL BE IN COMPLIANCE WITH CALIFORNIA STATE ACCESSIBLE REGULATIONS TITLE 24.
5. MAXIMUM ALLOWABLE DOOR CLOSER PRESSURE:
  - a. INTERIOR DOORS: 5 POUNDS
  - b. EXTERIOR DOORS: 8.5 POUNDS
  - c. FIRE DOORS: 15 POUNDS
6. ALL LABELED DOORS SHALL BE TIGHT-FITTING WITH A GASKET SO INSTALLED AS TO PROVIDE A SEAL WHERE THE DOOR MEETS THE STOP ON BOTH SIDES AND ACROSS THE TOP.
7. GENERAL CONTRACTOR SHALL PROVIDE MANUFACTURERS CERTIFICATION THAT GLAZING ON DOORS AND WITHIN 4'-0" OF DOORS SHALL COMPLY WITH APPLICABLE CONSUMER PRODUCT SAFETY STANDARDS.
8. THE CONTRACTOR SHALL DEVELOP AND SUBMIT TO THE DESIGNER FOR APPROVAL AND COMPLETE SCHEDULE OF FINISH HARDWARE, INDICATING THE QUANTITY, PART NUMBER, INSTALLATION, LOCATION AND FINISH OF EACH ITEM AS NEEDED FOR A COMPLETE AND PROPER INSTALLATION. BID PRICE SHALL BE BASED ON THE HARDWARE SCHEDULE.
9. HARDWARE SCHEDULE SHALL INCLUDE BUT NOT NECESSARILY BE LIMITED TO BUTTS, LOCKSETS, LATCHES, CLOSERS, WEATHERSTRIPPING, PANK-HARDWARE, FLOOR HINGES, PIVOTS, KICKPLATES, PULLS, STOPS, ANCHORS, WALL BUMPERS, THRESHOLDS, DOOR SHOES AND MUTES.
10. ALL DOORS TO HAVE INDIVIDUAL KEYS. STAMPED WITH ROOM NUMBER WITH ONE MASTER KEY. CONTRACTOR TO SUBMIT 4 SETS OF EACH PRIVATE OFFICE DOOR AND 6 SETS OF KEYS FROM EACH AUXILIARY ROOM.
11. PROVIDE TENANT AN INDIVIDUAL KEY FOR ROOMS WITH "T" STAMPED ON THE KEY.
12. ALL LOCKS MUST BE KEYS TO A MASTER KEY WHICH IS TO BE STAMPED K1 QUANTITY OF 10 MASTER KEYS ARE REQUIRED.
13. CONTRACTOR TO PREP AND REWORK AND DRILL EXISTING DOORS AS WELL AS NEW DOORS TO RECEIVE SECURITY HARDWARE WHEN APPLICABLE.

# CAL-GREEN NOTES

- REDUCE CONSTRUCTION WASTE BY RECYCLING OR SALVAGING FOR RE-USE A MINIMUM OF 66 PERCENT OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS, OR MEET THE LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE, WHICHEVER IS MORE STRINGENT. CGBC 5.408.1
- PROVIDE A CONSTRUCTION WASTE MANAGEMENT PLAN AND DOCUMENTATION DEMONSTRATING COMPLIANCE WITH THE PLAN SHALL BE SUBMITTED THAT:
  - A. IDENTIFIES THE MATERIALS TO BE DIVERTED FROM DISPOSAL BY EFFICIENT USAGE, RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.
  - B. DETERMINES IF MATERIALS WILL BE SORTED ON-SITE OR MIXED FOR TRANSPORTATION TO A DIVERSION FACILITY.
  - C. IDENTIFIES THE DIVERSION FACILITY WHERE THE MATERIAL COLLECTION WILL BE TAKEN.
  - D. SPECIFIES THAT THE AMOUNT OF MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME, BUT NOT BY BOTH. CGBC 5.408.1
- ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS, AND CAULKS SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION CONTROL OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE, OR SCAQMD RULE 1186 VOC LIMITS AND PROHIBITION ON THE USE OF CERTAIN TOXIC CHEMICALS, EXCEPT PER SUBSECTION 2. CGBC 5.504.4.1.1.
- AEROSOL ADHESIVES, SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON THE USE OF CERTAIN TOXIC COMPOUNDS, OF DCR, TITLE 17, COMMENCING WITH SECTION 94507. CGBC 5.504.4.1.2
- VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS (ARCHITECTURAL PAINTS) SHALL COMPLY WITH CGBC TABLE 5.504.4.3, UNLESS MORE STRINGENT LOCAL LIMITS APPLY. CGBC 5.504.4.3
- FOR RESILIENT FLOORING, AT LEAST 80 PERCENT OF THE FLOOR AREA SHALL COMPLY WITH VOC EMISSION. CGBC 5.504.4.6
- POLLUTANT CONTROL DOCUMENTATION SHALL BE PROVIDED TO INDICATE COMPLIANCE WITH SECTION 5.504 AND SHALL INCLUDE AT LEAST ONE OF THE FOLLOWING: PRODUCT CERTIFICATIONS AND SPECIFICATIONS, CHAIN OF CUSTODY CERTIFICATIONS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY. CGBC 5.504.4.5.3

# INTERIOR FINISHES NOTES

- INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E84 OR UL 723. SUCH INTERIOR FINISH MATERIALS SHALL BE GROUPED IN THE FOLLOWING CLASS IN ACCORDANCE WITH THEIR FLAME SPREAD AND SMOKE-DEVELOPED INDEXES, BASED ON TABLE 803.3.1 FOR OCCUPANCY "S" & "NON-SPRINKLERED":
  - INTERIOR EXIT PASSAGEWAYS: CLASS B
  - CORRIDORS AND ENCLOSURES FOR EXIT ACCESS: CLASS B
  - ROOMS & ENCLOSED AREAS: CLASS C
- CLASS A = FLAME SPREAD INDEX 0-25; SMOKE-DEVELOPED INDEX 0-450.
- CLASS B = FLAME SPREAD INDEX 26-75; SMOKE-DEVELOPED INDEX 0-450.
- CLASS C = FLAME SPREAD INDEX 76-200; SMOKE-DEVELOPED INDEX 0-450.
- CURTAINS, DRAPERIES, FABRIC HANGINGS AND SIMILAR COMBUSTIBLE DECORATIVE MATERIALS SUSPENDED FROM WALLS OR CEILINGS SHALL COMPLY WITH SECTION 806.4 AND SHALL NOT EXCEED 10 PERCENT OF THE SPECIFIC WALL OR CEILING AREA TO WHICH SUCH MATERIALS ARE ATTACHED OR BE OF NONCOMBUSTIBLE MATERIAL. FIXED OR MOVABLE WALLS AND PARTITIONS, PANELING, WALL PADS AND CRASH PADS APPLIED STRUCTURALLY OR FOR DECORATION, ACUSTICAL CORRECTION, SURFACE INSULATION OR OTHER PURPOSED SHALL BE CONSIDERED DECORATIVE MATERIAL, OR FURNISHINGS. BUILDING CODE 806 AND FIRE CODE 807.

# EGRESS NOTES

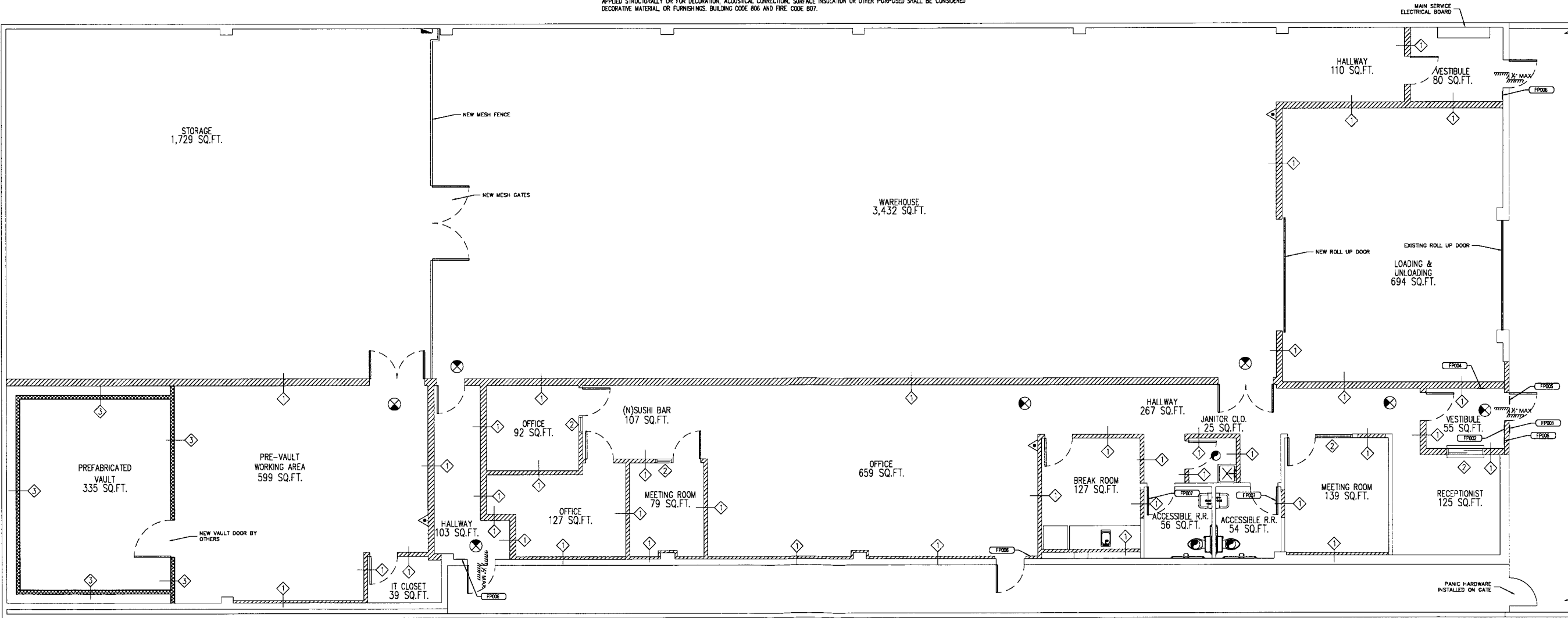
1. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED.
2. EXIT SIGNS ILLUMINATED BY AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT CANDLES (54 LUX).
3. INTERNALLY ILLUMINATED SIGNS SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH UL 924 AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND CHAPTER 27. EXTERNALLY ILLUMINATED EXIT SIGNS SHALL COMPLY WITH THE GRAPHICS AND POWER SOURCE REQUIREMENTS IN SECTIONS 1010.1.1 AND 1011.6.3, RESPECTIVELY. WHEN THE FACE OF AN EXIT SIGN IS ILLUMINATED FROM AN EXTERNAL SOURCE, IT SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT CANDLES (54 LUX) (1013.3).
4. ANY TIME A BUILDING OR PORTION OF A BUILDING IS OCCUPIED, THE MEANS OF EGRESS SERVING THE OCCUPIED PORTION SHALL BE ILLUMINATED AT AN INTENSITY OF NOT LESS THAN 1 FOOT CANDLE (11 LUX) AT THE WALKING SURFACE LEVEL.
5. EXIT SIGN SHALL BE ILLUMINATED AT ALL TIMES (1013.5 & 1013.6.3).
6. EXITS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM THAT WILL PROVIDE AN ILLUMINATION OF NOT LESS THAN 80 MIN IN CASE OF PRIMARY POWER LOSS (1013.6.3).
7. EGRESS DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. SEE 1010.1.9 FOR EXCEPTIONS.
8. DOOR HANDLES, LOCK AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT A MIN. 34" AND MAX 48" ABOVE THE FINISHED FLOOR.
9. THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED.
10. ALL EGRESS DOOR OPERATION SHALL ALSO COMPLY WITH SECTION 1010.1.9-1010.1.9.12.
11. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS OCCUPIED.
12. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT CANDLE AT WALKING SURFACE.
13. THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE FOLLOWING AREAS:
  - a. AISLES AND UNENCLOSED EGRESS STAIRWAYS IN ROOMS AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS.
  - b. CORRIDORS, EXIT ENCLOSURES AND EXIT PASSAGEWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
  - c. EXTERIOR EGRESS COMPONENTS AT OTHER THAN THE LEVEL OF EXIT DISCHARGE UNTIL EXIT DISCHARGE IS ACCOMPLISHED FOR BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
14. EXTERIOR EXIT DISCHARGE ELEMENTS, AS PERMITTED IN SECTION 1023, IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
15. EXTERIOR LANDINGS, AS REQUIRED BY SECTION 1010.1.8, FOR EXIT DISCHARGE DOORWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
16. THE EMERGENCY POWER SYSTEM SHALL ALSO BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM WHICH IS TO PROVIDE CONTINUED ILLUMINATION FOR A DURATION FOR A DURATION OF NOT LESS THAN 90 MIN IN CASE OF PRIMARY POWER LOSS. CONTINUED ILLUMINATION IS TO BE PROVIDED FROM STORAGE BATTERIES, UNIT EQUIPMENT, OR AN ON-SITE GENERATOR AND THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH CHAPTER 27 (1008.3.4).
17. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1 FOOT-CANDLE (11 LUX) AND A MINIMUM AT ANY POINT OF 0.1 FOOT-CANDLE (1 LUX) MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL BE PERMITTED TO DECLINE TO 0.06 FOOT-CANDLE (0.6 LUX) AVERAGE AND A MINIMUM AT ANY POINT OF 0.06 FOOT-CANDLE (0.6 LUX) AT THE END OF THE EMERGENCY LIGHTING TIME DURATION. A MAXIMUM TO MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED.

# NOTES:

- OPERATIONAL PROCEDURES ARE OFTEN NECESSARY TO ENSURE THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY REQUIREMENTS ARE MET. WHEN CHECK OUT AISLES ARE OPEN FOR CUSTOMER USE, THE BUSINESS SHOULD ENSURE THAT A MINIMUM OF ONE ACCESSIBLE CHECK OUT AISLE IS ALWAYS AVAILABLE FOR USE BY PERSONS WITH DISABILITIES AS CHECK OUT AISLES ARE OPENED AND CLOSED BASED ON FLUCTUATING CUSTOMER LEVELS. THE BUSINESS SHOULD ENSURE THAT THE NUMBER OF ACCESSIBLE CHECK OUT AISLES AVAILABLE COMPLIES WITH TABLE 118-227.2.
- ANY TIME A BUILDING OR PORTION OF A BUILDING IS OCCUPIED, THE MEANS OF EGRESS SERVING THE OCCUPIED PORTION SHALL BE ILLUMINATED WITH AT LEAST 1 FOOT CANDLE (11 LUX) AT THE WALKING SURFACE LEVEL.
- ALL EXITS TO BE OPERABLE FROM INSIDE WITHOUT USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- THE MEANS OF EGRESS SYSTEM SHALL BE ILLUMINATED WITH AT LEAST 1 FOOT CANDLE AT THE FLOOR LEVEL.

# KEY NOTES

- FP001 DISABLED ACCESSIBLE SIGN (SEE 414-2.2) FOR INTERNATIONAL SYMBOL OF ACCESSIBILITY
- FP002 ACCESSIBLE EGRESS TACTILE SIGNAGE (SEE 514-2.1)
- FP003 EMERGENCY LIGHT
- FP004 BUILDING MAX. OCCUPANCY SIGN
- FP005 6" ADDRESS NUMERALS IN FRONT AND REAR DOORS
- FP006 SIGN "THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED" (SEE 214-2.1)
- FP007 RESTROOM IDENTIFICATION DOOR SIGN (SEE 514-2.2)
- MED-ANICAL VENTILATION WILL BE ACTIVATED BY THE LIGHT SWITCH
- EXIT SIGN
- ILLUMINATED SIDE W/ 80 MIN. BATTERY BACKUP
- DOOR THRESHOLD 1/2" MAX
- FIRE EXTINGUISHER (AT 800 MIN. RATING) 48" MAX HEIGHT FROM FINISH FLOOR TO TOP OF UNIT.



1 PROPOSED FLOOR PLAN  
SCALE: 3/16"=1'-0"

5' 0' 5' 10' 20'

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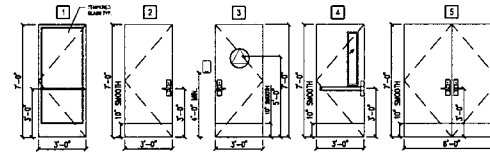
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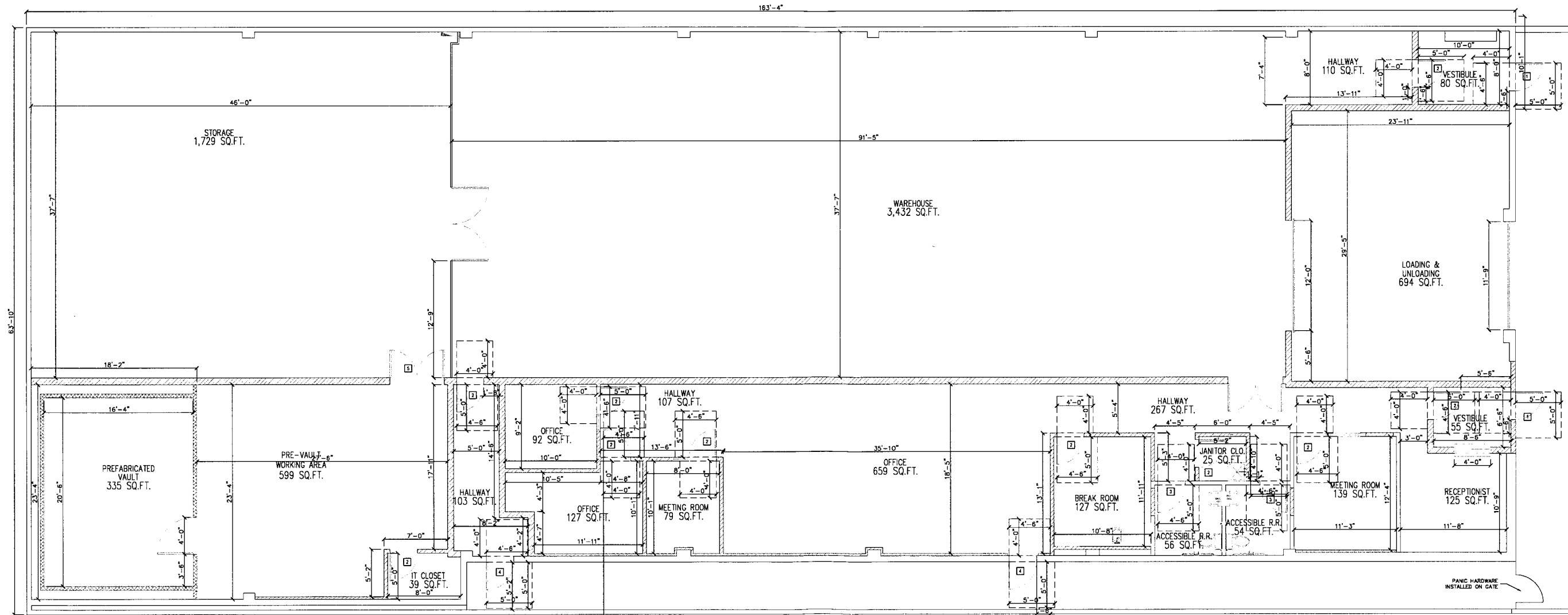
-PROPOSED FLOOR PLAN  
-GENERAL NOTES

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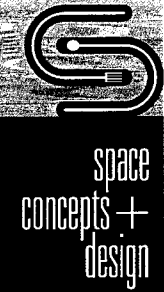


DOOR SCHEDULE											
MARK	SIZE	DOOR		FRAME		HARDWARE		HARDWARE		LABEL	REMARKS
		MATERIAL	FINISH	MATERIAL	FINISH	HINGES	LATCHES	MISC.	DOORSTOP		
1	3'-0" x 7'-0" x 1'-3/4"	ALUM./GLASS		ALUM.			EXIT/PANIC DEVICE				ENTRANCE/EXIT DR.
2	3'-0" x 7'-0" x 1'-3/4"	SOLID WOOD		PAINT-BLACK-WHITE			PANIC SET				INTERIOR DOORS
3	3'-0" x 7'-0" x 1'-3/4"	ALUM.		PAINT-BLACK-WHITE							RESTROOM
4	3'-0" x 7'-0" x 1'-3/4"	ALUM.		PAINT-BLACK-WHITE							REAR EXIT
5	6'-0" x 7'-0" x 1'-3/4"	ALUM.		PAINT-BLACK-WHITE							INTERIOR DOOR

NOTE:  
- ALL EXTERIOR DOORS AND RESTROOM DOORS ARE SELF CLOSING.  
- EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT PER BUILDING CODE 1010.1.6  
- EACH DOOR IN A MEANS OF EGRESS FROM AN ASSEMBLY AREA HAVING AN OCCUPANT LOAD OF 50 OR MORE SHALL NOT BE PROVIDED WITH A LATCH OR LOCK UNLESS IT IS PANIC HARDWARE OR FIRE EXIT HARDWARE, BUILDING CODE 1010.1.10 AND FIRE CODE 1010.1.10.  
- THE FORCE FOR PUSHING OR PULLING OPEN A DOOR OR GATE SHALL BE 5 POUNDS (22.2 N) MAXIMUM.



1 DIMENSIONAL FLOOR PLAN  
SCALE: 3/16" = 1'-0"



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- DIMENSION FLOOR PLAN

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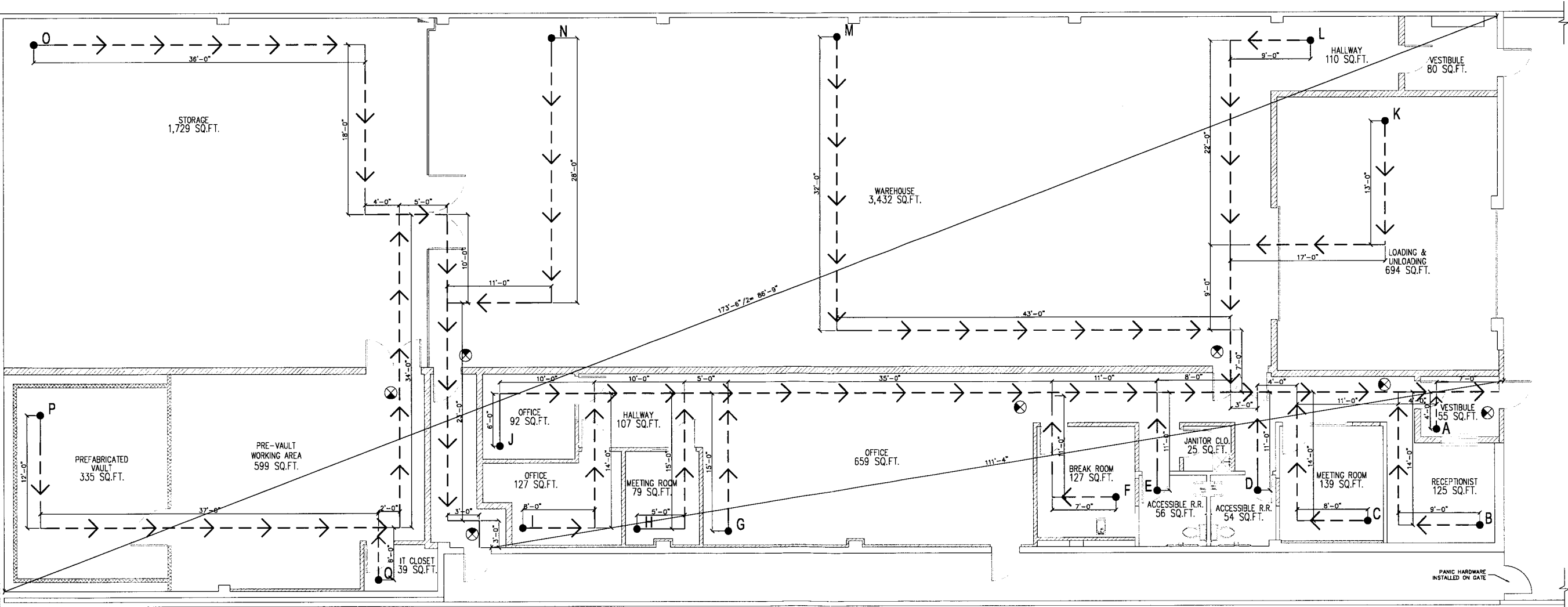


EGRESS NOTE:  
- THE MEANS OF EGRESS, AND EXIT DISCHARGE, SHALL BE ILLUMINATED AT ANY TIME THE BUILDING IS OCCUPIED WITH A LIGHT INTENSITY OF NOT LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE LEVEL PER BUILDING CODE 1008.2.1.  
- THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES' ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR PER BUILDING CODE 1008.3.4.  
- MEANS OF EGRESS SHALL BE READILY DISTINGUISHABLE FROM THE ADJACENT CONSTRUCTION AND FINISHES SUCH THAT THE DOORS ARE EASILY RECOGNIZABLE AS DOORS. MIRRORS OR SIMILAR REFLECTING MATERIALS SHALL NOT BE USED ON EGRESS DOORS. MEANS OF EGRESS DOORS SHALL NOT BE CONCEALED BY CURTAINS, DRAPES, DECORATIONS OR SIMILAR MATERIALS PER BUILDING CODE 1010.1 AND FIRE CODE 1031.6.

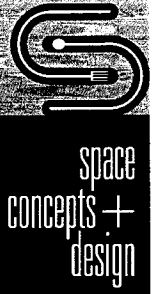
EGRESS PATH OF TRAVEL	
A	11'
B	34'
C	44'
D	37'
E	48'
F	66'
G	98'
H	108'
I	125'
J	109'
K	75'
L	76'
M	111'
N	68'
O	102'
P	129'
Q	86'

PER TABLE 1017.2 CBC  
EXIT ACCESS MAXIMUM TRAVEL DISTANCE SHALL BE LESS THAN 200' FOR OCCUPANCY S-1 & A NON-SPRINKLERED BUILDING.

PER 1007.1.1 CBC  
MAXIMUM DIAGONAL DIMENSION = 173'-6"  
NON-SPRINKLERED  $173'-6" / 2 = 86'-9"$  MIN. EXIT SEPARATION DISTANCE PROVIDED EXIT SEPARATION = 111'-4"



1 EGRESS FLOOR PLAN  
SCALE: 3/16"=1'-0"



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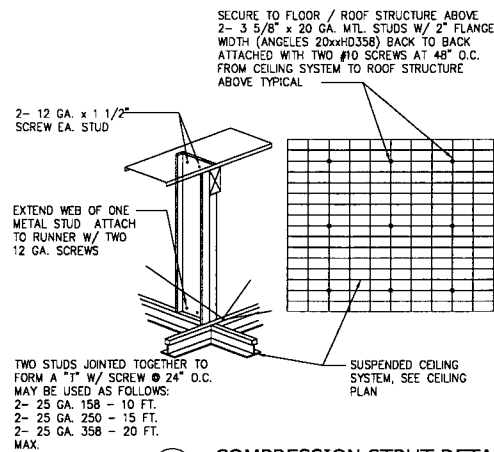
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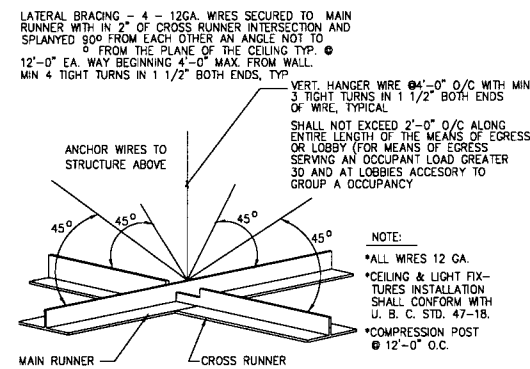
EGRESS PLAN

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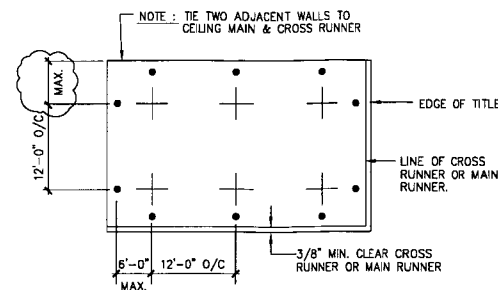
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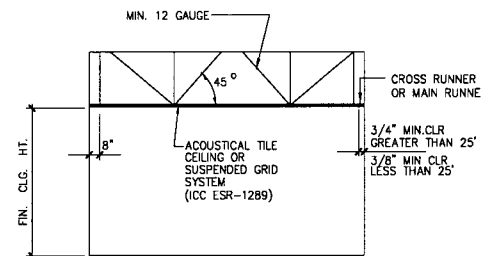
4 COMPRESSION STRUT DETAIL  
Scale: NTS



3 T-BAR SUSPENSION  
Scale: NTS



2 T-BAR SUSPENSION DETAIL  
Scale: NTS



SECTION THRU ROOM

1. INSTALL NEW CEILING GRID USING 12GA. SPLAY WIRE HANGERS AT 45 DEGREES AND 90 DEGREES TO EACH OTHER (4 WIRES), BEGINNING 48" FROM STARTING POINT OF GRID AND TITLE LAYOUT AND IN BOTH DIRECTIONS AT 12'-0" THEREAFTER, ALL CLEARANCES, TIES TO WALL, ETC. TO CONFORM TO THE CITY OF LOS ANGELES DEPARTMENT OF BUILDING AND SAFETY.
2. CEILING TILES TO BE MINERAL TILES WITH UL LABEL & HAVING A FRAME AROUND 25 LBS OR LESS.
3. NOTE: COMPRESSION POSTS @ 12'-0" O.C. EACH WALL. FOR CEILING LESS THAN 8'-0" BELOW SUPPORTING STRUCTURE USE 25 GA. 358 MTL. STUD. \* SEE TABLE FOR ALT.

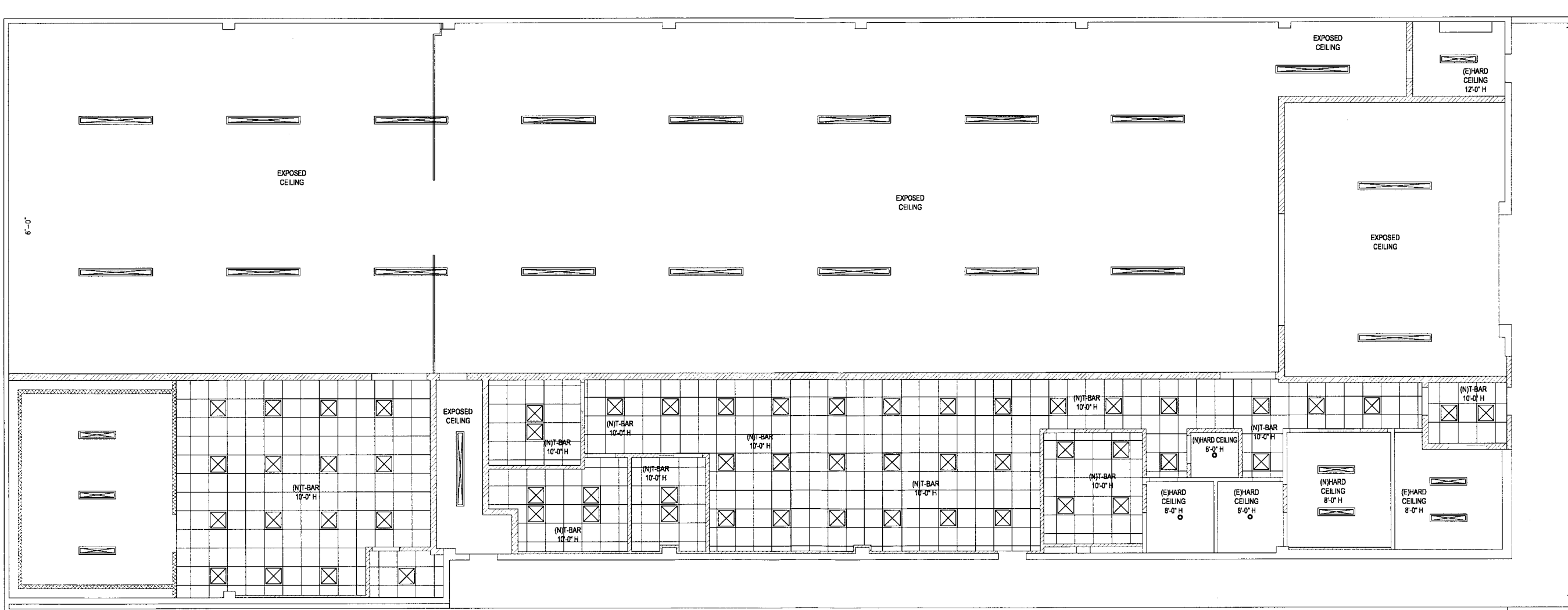
- \* TWO STUDS JOINED TOGETHER TO FORM A "T" WITH SCREWS @ 24" O.C. MAY BE USED AS FOLLOWS:  
2 - 25 GA. 158 - 10 FT. MAX.  
2 - 25 GA. 250 - 15 FT. MAX.  
2 - 25 GA. 358 - 20 FT. MAX.

LEGEND

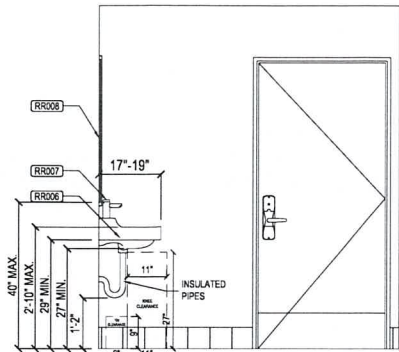
- 2X4 RECESSED LED LIGHT FIXTURE LITHONIA LIGHTING OR EQUIV. ORDERING 2146267PWWMS CONTROLLED BY DIMMER
- 4" FIXTURE, FLUSHED W/ CEILING LITHONIA LIGHTING OR EQUIV. (3LED T24 (DIMMABLE) ORDERING REAL606MMWESL1000L30K

- MECHANICAL VENTILATION LIGHT ACTIVATED - WOMEN MIN. 50 CFM/70 UNIT - MEN MIN. 100 CFM/70 UNIT
- EXIT SIGN ILLUMINATED SIDE

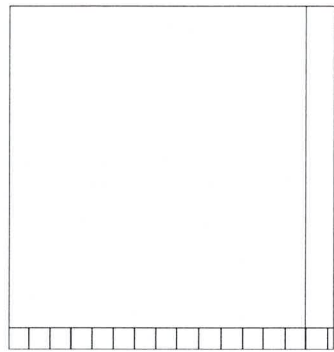
- 8" SUSPENDED STRIP LIGHT
- 4" SURFACE MOUNTED STRIP LIGHT



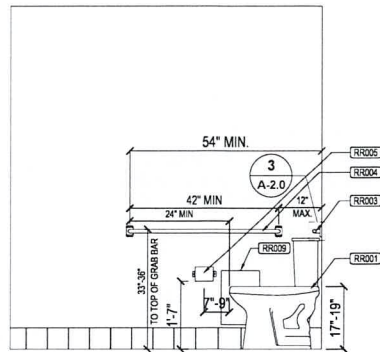
1 REFLECTED CEILING PLAN  
SCALE: 3/16"=1'-0"



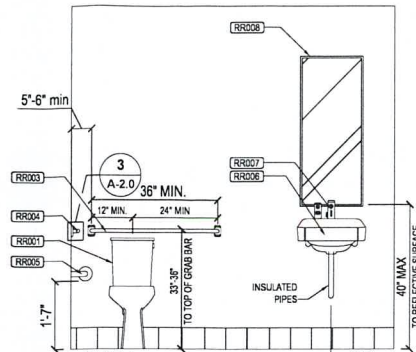
ELEVATION A



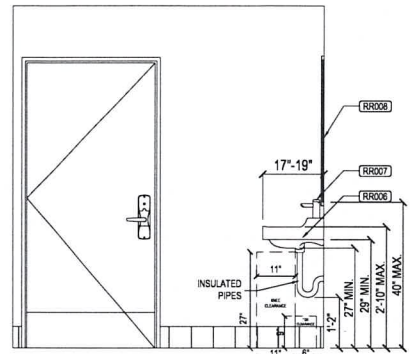
ELEVATION B



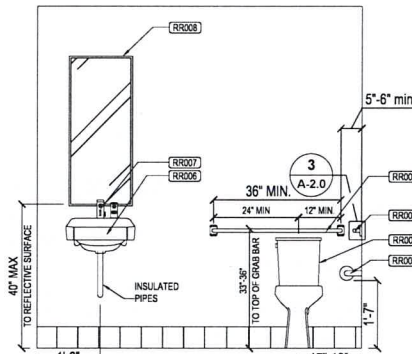
ELEVATION C



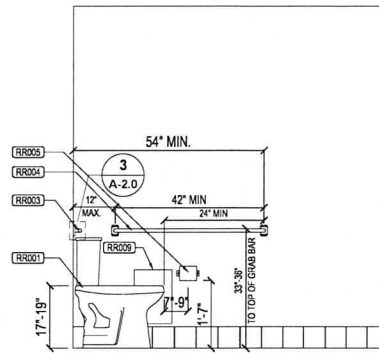
ELEVATION D



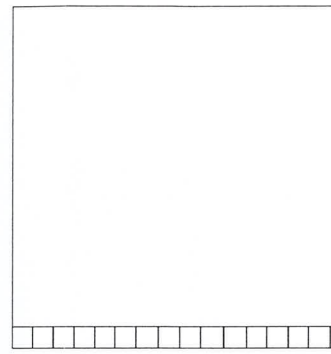
ELEVATION E



ELEVATION F



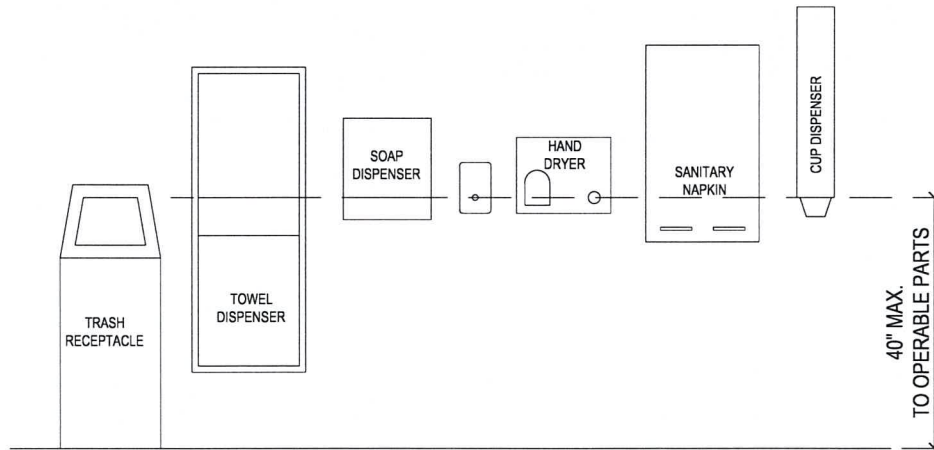
ELEVATION G



ELEVATION H

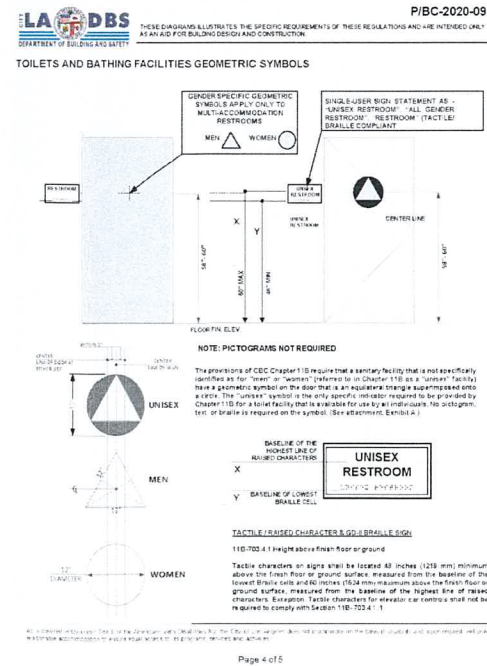
## 2 RESTROOM ELEVATIONS

A-2.0 SCALE: 1/2"=1'-0"



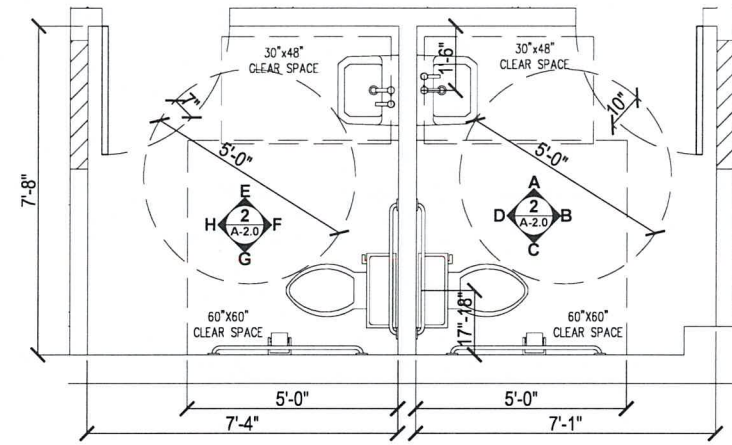
## 6 ALLOWABLE HEIGHTS FOR ALL OPERABLE CONTROLS

(REACH RANGE PER CBC 11B-603)



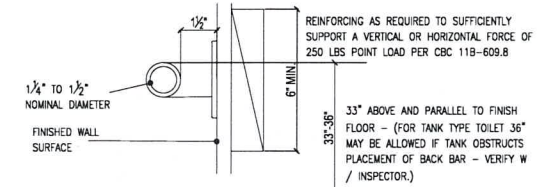
## 5 RESTROOM IDENTIFICATION SIGN DETAIL

Scale: NTS



## 1 ENLARGED RESTROOM PLAN

A-2.0 SCALE: 1/2"=1'-0"



## 3 TYP. GRAB BAR DETAIL

Scale: NTS

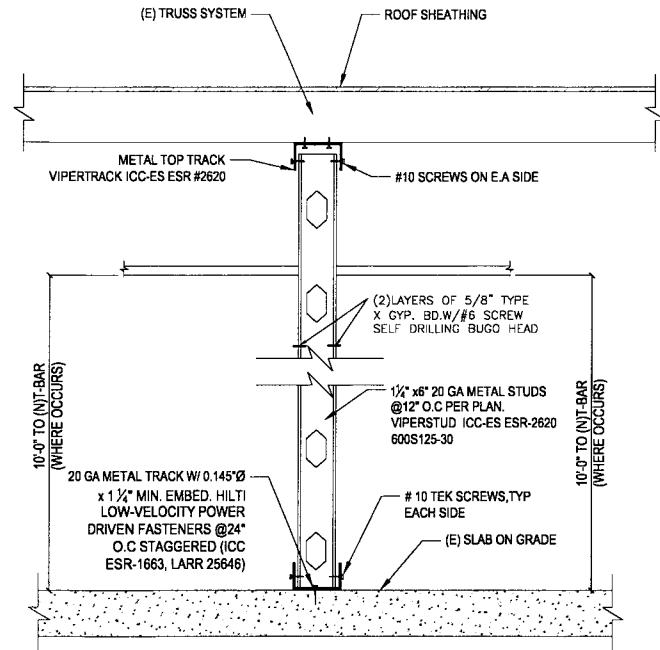
### KEY NOTES

- RR001 TOILET
- RR002 FLUSHMETER
- RR003 36" GRAB BAR
- RR004 42" GRAB BAR
- RR005 TOILET PAPER DISPENSER
- RR006 LAVATORY
- RR007 FAUCET
- RR008 MIRROR
- RR009 URINAL
- RR010 SANITARY NAPKIN DISPOSAL

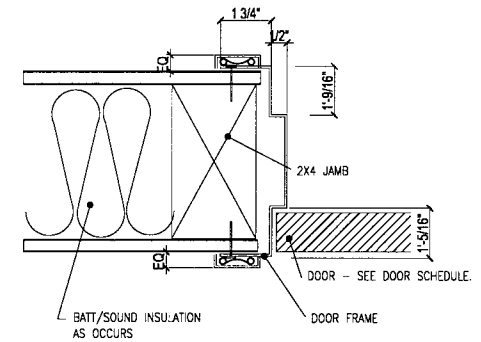


## 4 INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGNS

Scale: NTS



6 PARTITION WALL DETAIL  
Scale: NTS

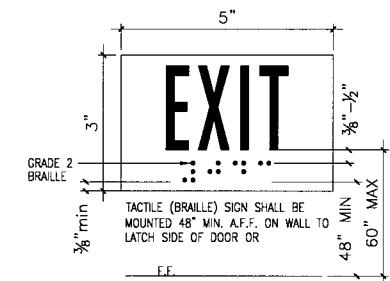


1 DOOR JAMB DETAIL  
Scale: NTS

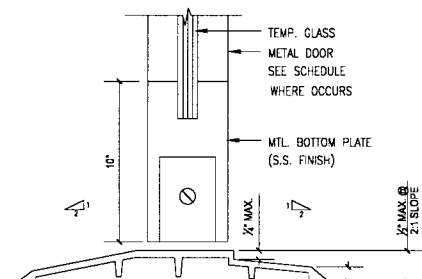
DOOR TO REMAIN  
UNLOCKED WHEN  
THIS SPACE IS  
OCCUPIED.

SIGN TO BE MOUNTED 60\"/>

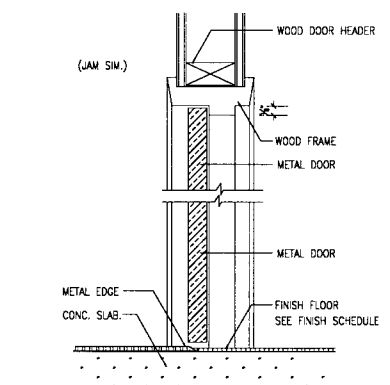
2 DOOR SIGN  
Scale: NTS



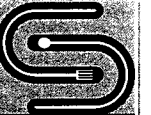
3 TACTILE EXIT SIGN  
Scale: NTS



4 THRESHOLD DETAIL  
Scale: NTS



5 DOOR DETAIL  
Scale: NTS



space  
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no revision date

Project no. 2025-035  
Date: 5/2/2025 8:45:02 PM  
Designed by: MOURAD KIRAKOSIAN  
Drawn by: JASON

-DETAILS

sheet

A-2.1

## **EXHIBIT A**

### **CITY OF GARDENA**

#### **CONDITIONS OF APPROVAL FOR CONDITIONAL USE PERMIT #6-25**

##### **GENERAL CONDITIONS**

- GC 1. The Applicant accepts all conditions of approval set forth in this document and shall sign the acknowledgment, prior to building permit and business license issuance.
- GC 2. The Applicant shall comply with all written policies, resolutions, ordinances, and all applicable laws. The conditions of approval shall supersede all conflicting notations, specifications, and dimensions which may be shown on the project development plans.
- GC 3. The architectural plans shall be in accordance with the plans approved by the Planning and Environmental Quality Commission and modified by these conditions of approval. The final completed project shall be in substantial compliance with the plans upon which the Commission based its decision on December 02, 2025, as modified by such decision. Deviations from the approved plans will require modification to the approved Conditional Use Permit #6-25.
- GC 4. The Applicant shall reimburse the City for all attorneys' and consultants' fees spent in processing the project application, including a review of all documents required by these conditions of approval prior to the issuance of a final building permit.
- GC 5. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any claims, actions or proceedings, damages, costs (including without limitation attorneys' fees), injuries, or liabilities against the City or its agents, officers, or employees arising out of the City's approval of the Notice of Exemption and Conditional Use Permit. The City shall promptly notify the applicant of any claim, action, or proceeding and the City shall cooperate fully in the defense. If the City fails to promptly notify the applicant of any claim, action, or proceeding, or if the City fails to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the City. Although the applicant is the real party in interest in the action, the City may, at its sole discretion, participate in the defense of any action with the attorneys of its own choosing, but such participation shall not relieve the applicant of any obligation under this condition, including the payment of attorneys' fees.
- GC 6. The costs and expenses of any enforcement activities, including, but not limited to attorney's fees, caused by the applicant's violation of any condition imposed



by this approval or any provision of the Gardena Municipal Code (GMC) shall be paid by the applicant.

### **CONDITIONAL USE PERMIT**

CUP1. Conditional Use Permit #6-25 shall be utilized within a period not to exceed twelve (12) months from the date of approval unless an extension is granted in accordance with Section 18.46.018 of the GMC. Utilization shall mean the issuance of a business license.

### **PLANNING**

- PL1. The parking lot shall remain open at all times during operating hours.
- PL2. The applicant shall comply with all provisions outlined in the City's Noise Ordinance as specified in GMC Chapter 8.36.
- PL3. The applicant shall ensure that any proposed signage shall meet the necessary requirements put forth by Chapter 18.58 of the GMC.
- PL4. In the event noise, lighting, parking, or traffic nuisances or other public safety issues are brought to the attention of the City, the Community Development Director may impose further conditions or restrictions on the site operations to ensure land use compatibility.
- PL5. The applicant shall restripe the parking lot/spaces in accordance with the size and dimension specifications in GMC Section 18.40.050. Locations shall be in accordance with the approved site plan.
- PL6. No outdoor storage shall be permitted.
- PL7. The applicant shall be required to notify the City of any changes to the use of the facility.
- PL8. A CCTV surveillance system shall be installed prior to the issuance of a business license and building permit final approval. The CCTV surveillance system shall view and record all areas within the interior and exterior areas of the warehouse. The CCTV surveillance system shall meet the following minimum requirements:
  - a. 720p (1280x720) minimum recording resolution is required. An increase in resolution of 1080p (1920x1080) or better is encouraged.
  - b. Minimum H.264 video compression. H.265 is also acceptable.
  - c. Real-time recording at 30 fps per camera at 720p resolution.
  - d. Use caution when purchasing systems and ensure that each camera will be recording at full resolution and frame rate at the minimum spec, whether it is 720p, 1080p, or better. Recording devices often have limitations and will sometimes be advertised as supporting 720p or 1080p; however, the advertising does not explain that the higher resolution is only for limited channels and when maxed out will provide reduced resolution.

- e. Minimum 30-day storage retention and archival for each camera (all video) at 720p resolution, 30fps (full frame rate and resolution).
  - f. Design your camera system to ensure that the privacy of your patrons and/or employees is not infringed, and do not view or record areas where your patron(s) and/or employees would have an expectation of privacy. Typically, this is easily resolved by the placement of the camera and is not an issue. However, where this could present a problem as the need for both coverage and privacy exists in the same area, camera technology exists that allows for the best of both worlds. Called "video masking," "window blanking," and by other names, it allows the area within a larger view to be masked so that private areas cannot be seen, however surrounding areas are still viewable.
  - g. The recording device must contain a USB port for Police Department personnel to easily access the system and download video.
  - h. Video shall be exportable in an open file format.
- PL9. The business owner shall provide the Police Department with access to the CCTV system footage and information as deemed necessary for any investigation(s).
- PL10. The business owner shall ensure that the warehouse is monitored by a State-licensed security service from 8 AM to 6 PM daily.
- PL11. The business owner shall ensure that the warehouse is equipped with an alarm system that is properly maintained and registered with the Police Department.

## **BUILDING**

- BS1. The project shall comply with all applicable portions of the City adopted version of the California Building Code (Title 24, California Code of Regulations), in effect at the time of permit application.
- BS2. The applicant shall comply with all applicable State and Federal Accessibility code.
- BS3. The applicant shall comply with all conditions set forth by other departments and agencies including but not limited to the Los Angeles County Health Department, Los Angeles County Fire Department, Planning, and Public Works.
- BS4. The approval of plans and specifications does not permit the violation of any section of the Building Code, City Ordinances, State and Federal law.
- BS5. The applicant shall submit plans and specifications to the Building Division for review.

Ferrari Express Inc, representative, certifies that he/she/it has read, understood, and agrees to the Project Conditions listed herein.

Ferrari Express Inc, Representative

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By

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Date