

## RESOLUTION NO. PC 4-26

**A RESOLUTION OF THE PLANNING AND ENVIRONMENTAL QUALITY COMMISSION OF THE CITY OF GARDENA, CALIFORNIA, APPROVING A MODIFICATION TO AMEND CONDITIONAL USE PERMIT #5-21, SITE PLAN REVIEW #5-21 AND ENVIRONMENTAL ASSESSMENT #2-26 TO REPLACE A PREVIOUSLY APPROVED POOL AND SPA WITH A COURTYARD AND LANDSCAPING FOR THE 121-UNIT SINGLE ROOM OCCUPANCY HOUSING DEVELOPMENT THAT IS CURRENTLY UNDER CONSTRUCTION IN THE GENERAL INDUSTRIAL (M-1) ZONE AT 13126 S. WESTERN AVENUE AND FINDING THAT THE PROJECT IS CATEGORICALLY EXEMPT FROM THE PROVISIONS OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT PURSUANT TO SECTION 15332 (CLASS 32 – FOR AN IN-FILL DEVELOPMENT PROJECT)**

**13126 S. Western Avenue  
(APN: 6102-006-013)**

**THE PLANNING AND ENVIRONMENTAL QUALITY COMMISSION OF THE CITY OF GARDENA, CALIFORNIA, DOES HEREBY FIND AND RESOLVE AS FOLLOWS:**

### **SECTION 1. RECITALS**

A. On February 13, 2026, Applicant, West Realty Group Inc, represented by Lee Johnson, submitted a modification application to amend conditional use permit (CUP) and Site Plan Review (SPR) to allow the modification to replace the previously approved pool and spa with a courtyard and landscaping for the 121-unit single room occupancy (the “Project”) at 13126 S Western Avenue (the “Subject Property”).

B. The General Plan Land Use designation of the Subject Property is Industrial, and the zoning is General Industrial (M-1).

C. The Subject Property is bounded by northeast corner of Western Avenue and West 132<sup>nd</sup> Street.

D. On April 7, 2026, the Planning and Environmental Quality Commission held a duly noticed public hearing at which time it considered all the material and evidence presented by staff, the applicant, and the public, whether written or oral, and has considered the procedures and the standards required by the Gardena Municipal Code (GMC).

### **SECTION 2. CONDITIONAL USE PERMIT #5-21 FINDINGS**

Amending Conditional Use Permit #5-21 to allow the modification to replace a previously approved pool and spa with a courtyard and landscaping for the 121-unit single room occupancy housing, development that is currently under construction per GMC Section

18.36.030.P.4, is hereby approved based on the following findings and is subject to the conditions attached hereto as Exhibit 1 and as shown on the plans presented to the Planning and Environmental Quality Commission on April 7, 2026, attached hereto as Exhibit 2.

**1. The use applied for at the location set forth in the application is properly one for which a conditional use permit is authorized by this chapter.**

Per GMC Section 18.36.030P.4, SRO developments are required to provide a minimum common area of ten (10) square feet for each unit or 250 square feet whichever is greater. The proposed replacement of the pool and spa with a courtyard and landscaping will not decrease the common area within the development. The project exceeds the 1,210 sf minimum common open space requirements for SRO development, providing a total of 15,757 sf split up between private and common spaces. The proposed modification to replace the pool and spa with a courtyard and landscaping does not change the amount of common open space provided for the site. Therefore, the application's request for amending the conditional use permit is deemed proper.

**2. Such use is necessary or desirable for the development of the community and is compatible with the surrounding uses, is in harmony with the general plan, is not detrimental to the surrounding properties, existing uses, or to uses specifically permitted in the zone in which the proposed use is to be located, and will not be detrimental to the public health, safety, or welfare.**

Permitting the removal of the pool and spa would allow the project to still continue to meet the minimum common area of ten square feet for each unit. The building is set back ten (10) feet from the property line and separated by a landscape buffer that includes various plants and shrubs. In the common outdoor courtyard, there are multiple trees of various sizes, as well as raised planters that help create a greener environment for the residents. The project provides common open space through open decks, outdoor courtyards and fitness room and a multipurpose room. The removal of the pool and spa will not be detrimental to the surrounding properties, existing uses or to uses specifically permitted in the (M-1) zone.

The applicant's proposal for the removal of the pool and spa is consistent with the following General Plan Goals:

- Land Use Plan Goal 1: Preserve and protect existing single-family and low/medium-density residential neighborhoods while promoting the

development of additional high quality housing types in the City.

- Land Use Policy 1.5: Provide adequate residential amenities such as open space, recreation, off-street parking and pedestrian features in multi-family residential development.
- Land Use Policy 1.10: Provide adequate off-street parking, open space and landscaping for both residential and business use in all mixed-use developments.
- Land Use Plan Goal 5: Create opportunity for diversity in housing opportunities through the City.
  - Land Use Policy 5.3: Require adequate amenities, open space, and landscaping for new housing developments.
- Community Design Plan 2: Enhance the aesthetic quality of the residential neighborhoods in the City.
  - Design Plan 2.10: Provide landscape treatments (trees, shrubs, groundcover, and grass areas) within multi-family development projects in order to create a “greener” environment for residents and those viewing from public areas.
  - Incorporate quality residential amenities such as private and communal open spaces into multi-unit development projects in order to improve the quality of the project and to create more attractive and livable spaces for residents to enjoy.

**3. The site for the intended use is adequate in size and shape to accommodate such use and all of the yards, setbacks, walls, fences, landscaping, and other features required in order to adjust such use to those existing or permitted future uses on land in the neighborhood.**

The property has a dimension of 141 feet by 310 feet. The project meets or exceeds all of the minimum development standards of the (M-1) zone, including setbacks, walls, fencing, landscaping, and parking. The project is designed to meet all applicable GMC standards. Therefore, the site is adequate in size and shape.

**4. The site for the proposed use relates to streets and highways properly designed and improved so as to carry the type of quantity of traffic generated or to be generated by the proposed use;**

The Circulation Plan of the Gardena General Plan designates Western Avenue as an arterial roadway and West 132nd Street as a collector roadway. The removal of the pool and space will not add traffic above that of the SRO units themselves.

The primary use of the 121 SRO units is not expected to generate more traffic than existing uses, and therefore, the surrounding streets are properly designed to carry the quantity of traffic generated by the proposed use.

**5. The conditions stated in the decision are deemed necessary to protect the public health, safety, and general welfare.**

The following conditions of approval have been added for Conditional Use Permi #5-21 (Exhibit 1) to ensure that the removal of the pool and spa is compatible with, and not detrimental to the surrounding uses in the vicinity:

- The applicant and/or property owner shall always maintain the landscaping in a health and well-kept manner. Dead or damaged landscape material/vegetation must be replaced immediately per the approved landscape plan.
- The applicant shall provide a clear and comprehensive list of all amenities in the lease agreements for all tenants.
- The irrigation system must be maintained at all times to ensure the viability of the landscaped areas.
- Trees planted must be allowed to their maximum height.
- All outdoor furniture must be in good condition to prevent damage from rain, sun and wind.
- The applicant and/or property owner shall replace any damaged outdoor furniture immediately per the approved plans.

The applicant shall continue to comply with all applicable conditions of approval adopted within City Council Resolution No. 6570 and Planning Commission Resolution No. 16-25.

**SECTION 3. Site Plan Review #5-21 FINDINGS**

The request to amend Site Plan Review #5-21 to allow the modification of the removal of the pool and spa Per GMC 18.36.030P.4. is hereby approved based on the following findings and is subject to the conditions attached hereto as Exhibit A and as shown on the plans presented to the Planning and Environmental Quality Commission on April 7, 2026, attached hereto as Exhibit B.

**1. The physical location, size, massing, setbacks, pedestrian orientation, and placement of proposed structures on the site and the location of proposed uses within the project are consistent with the applicable standards.**

The project involves the removal and replacement of the previously approved pool and spa with a courtyard and landscaping design that complies with the open space requirement per Section GMC 18.36.030.P.4. The open space requirement per Section 18.36.030.P.4 ensures that new development incorporates natural landscaping and recreational areas. The removal of the pool and spa will allow residents to engage in outdoor activities such as ping pong and pool. The project complies with the requirements and development standards of the (M-1) zone.

**2. The development is consistent with the intent and general purpose of the general plan and provisions of this code. The proposed use is consistent with the City's General Plan. The project is consistent with the following General Plan Goals and Policies:**

The proposed use is consistent with the City's General Plan. The project is consistent with the following General Plan Goals and Policies:

- Land Use Plan Goal 1: Preserve and protect existing single-family and low/medium-density residential neighborhoods while promoting the development of additional high quality housing types in the City
  - Land Use Policy 1.5: Provide adequate residential amenities such as open space, recreation, off-street parking and pedestrian features in multi-family residential development.
  - Land Use Policy 1.10: Provide adequate off-street parking, open space and landscaping for both residential and business use in all mixed-use developments.
- Land Use Plan Goal 5: Create opportunity for diversity in housing opportunities through the City.
  - Land Use Policy 5.3: Require adequate amenities, open space, and landscaping for new housing developments.
- Community Design Plan 2: Enhance the aesthetic quality of the residential neighborhoods in the City.
  - Design Plan 2.10: Provide landscape treatments (trees, shrubs, groundcover, and grass areas) within multi-family development projects in order to create a "greener" environment for residents and those viewing from public areas.
  - Incorporate quality residential amenities such as private and communal open spaces into multi-unit development projects in order to improve the quality of the project and to create more attractive and livable spaces for residents to enjoy.

**3. The health and safety services (police and fire) and public infrastructure and sufficient to accommodate the new development.**

The proposed modification will not increase or change the demand for police, fire, or public infrastructure services in the surrounding area, as the properties. Police protection services in the City are provided by the Gardena Police Department (PD). Gardena PD operates out of the Civic Center located at 1718 West 162nd Street, located roughly 2.2 miles south of the project site.

The project site is already within the PD service area, and once operational, the project would continue to be served by the PD. Fire protection and emergency medical response services in the City are provided by the Los Angeles County Fire Department (LACFD). The project site is served by Fire Station No. 158 at 1650 West 162nd Street, located approximately 0.6 miles south of the site. The project site is already within the LACFD service area, and once operational, would continue to be served by LACFD. Therefore, the City's current health and safety services and public infrastructure are sufficient to accommodate the new development.

**4. The project is compatible with the surrounding site and neighborhoods.**

The property is zoned Industrial (M-1) and is bounded by the same zoning district to the north and east, and the General Industrial (M-2) zone to the south and west. Adjacent land uses include other industrial buildings such as manufacturing, warehousing, and professional, office spaces. Therefore, the project is compatible with the surrounding sites and neighborhoods.

**5. The project has been determined to be exempt from the California Environmental Quality Act or the appropriate environmental document has been completed and required findings have been made.**

As shown in the "Environmental Considerations", the project is categorically exempt from the provisions of the California Environmental Quality Act Guidelines pursuant to Section 15332 (Class 32 – in-fill development).

**SECTION 4. CALIFORNIA ENVIRONMENTAL QUALITY ACT (EA #2-26)**

The Project is exempt from the provisions of the California Environmental Quality Act (CEQA), pursuant to the following exemption:

- A. Section 15332 Class 32, In-fill Development Project. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) Guidelines pursuant to Section 15332, In-fill Development Project, the project is consistent with applicable general plan policies, and also consistent with applicable requirements of the City's zoning ordinance. The project is within City limits, on a site less than five acres, and surrounded by urban uses. The site has no value as a habitat for endangered, rare, or threatened species. The project site is able to be served by all required utilities and public services. Therefore, the City does not foresee any adverse impacts to traffic, noise, air quality, or water quality
- B. The proposed project is not subject to any of the exceptions for exemption under Section 15300.2 of the CEQA Guidelines. The location of the project is predominantly urban and not considered a sensitive environment; therefore, the project will not result in any significant impacts that may otherwise occur in a sensitive environmental area. The cumulative impact of this project, and the approval of other projects like it in the vicinity, is not expected to have any significant environmental impact.
- C. This exemption is consistent with the previously approved CUP and SPR.
- D. Staff are hereby directed to file a Notice of Exemption.

#### **SECTION 5. APPEAL.**

The approvals granted in this Resolution by the Commission may be appealed to the City Council within 10 calendar days from the date of adoption. All appeals must be in writing and filed with the City Clerk within this time period with the appropriate fee. Failure to file a timely written appeal will constitute a waiver of any right of appeal. The City Council may also call this matter for review within the same 10-day period.

#### **SECTION 6. RECORD.**

Each and every one of the findings and determinations in this Resolution is based on the competent and substantial evidence, both oral and written, contained in the entire record relating to the Project. All summaries of information in the findings which precede this section are based on the entire record. The absence of any particular fact from any such summary is not an indication that a particular finding is not based in part on that fact.

#### **SECTION 7. CUSTODIAN OF RECORD.**

The Custodian of Record for the proceedings relating to the Project is Greg Tsujiuchi, Community Development Director, City of Gardena, 1700 West 162<sup>nd</sup> Street, Gardena,

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California 90247. Mr. Tsujiuchi's email is gtsujiuchi@cityofgardena.org and his phone number is (310) 217-9530.

**SECTION 8. EFFECTIVE DATE.**

This Resolution shall take effect immediately.

**SECTION 9. CERTIFICATION.**

The Secretary shall certify the passage of this resolution.

**PASSED, APPROVED, AND ADOPTED this 7th day of April 2026.**



RONALD WRIGHT-SCHERR CHAIR  
PLANNING AND ENVIRONMENTAL  
QUALITY COMMISSION

ATTEST:



GREG TSUJIUCHI, SECRETARY  
PLANNING AND ENVIRONMENTAL QUALITY COMMISSION

Exhibits:

- Exhibit 1 – Conditions of Approval
- Exhibit 2 – Project Plan

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### CERTIFICATION

I, Greg Tsujiuchi, Planning and Environmental Quality Commission Secretary of the City of Gardena, do hereby certify that the foregoing Resolution was duly adopted by the Planning and Environmental Quality Commission of the City of Gardena at a regular meeting thereof, held the 7<sup>th</sup> day of April 2026, by the following vote of the Planning and Environmental Quality Commission.

AYES: Wright-Scherr, Sherman, Henderson and Langley  
NOES: None  
ABSENT: Kanhan

Certification by:   
GREG TSUJIUCHI, SECRETARY  
PLANNING AND ENVIRONMENTAL QUALITY COMMISSION

## EXHIBIT 1

### CITY OF GARDENA

#### **CONDITIONS OF APPROVAL FOR SITE PLAN REVIEW #5-21; CONDITIONAL USE PERMIT #5-21; ENVIRONMENTAL ASSESMENT #2-26**

##### **GENERAL CONDITIONS**

- GC 1. The Applicant accepts all conditions of approval set forth in this document and shall sign the acknowledgment, prior to building permit and business license issuance.
- GC 2. The Applicant shall comply with all written policies, resolutions, ordinances, and all applicable laws. The conditions of approval shall supersede all conflicting notations, specifications, and dimensions which may be shown on the project development plans.
- GC 3. The architectural plans shall be in accordance with the plans approved by the Planning and Environmental Quality Commission and modified by these conditions of approval. The final completed project shall be in substantial compliance with the plans upon which the Commission based its decision on April 7, 2026, as modified by such decision. Deviations from the approved plans will require modification to the approved Conditional Use Permit #5-21, Site Plan Review #5-21 plan submittals, including revisions and the final working drawings.
- GC 4. The Applicant shall reimburse the City for all attorneys' and consultants' fees spent in processing the project application, including a review of all documents required by these conditions of approval prior to the issuance of a final building permit.
- GC 5. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any claims, actions or proceedings, damages, costs (including without limitation attorneys' fees), injuries, or liabilities against the City or its agents, officers, or employees arising out of the City's approval of the Notice of Exemption and Conditional Use Permit. The City shall promptly notify the applicant of any claim, action, or proceeding and the City shall cooperate fully in the defense. If the City fails to promptly notify the applicant of any claim, action, or proceeding, or if the City fails to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the City. Although the applicant is the real party in interest in the action, the City may, at its sole discretion, participate in the defense of any action with the attorneys of its own choosing, but such participation shall not relieve the applicant of any obligation under this condition, including the payment of attorneys' fees.
- GC 6. The costs and expenses of any enforcement activities, including, but not limited to attorney's fees, caused by the applicant's violation of any condition imposed

by this approval or any provision of the Gardena Municipal Code (GMC) shall be paid by the applicant.

### **SITE PLAN REVIEW**

SPR1. Site Plan Review #5-21 shall be utilized within a period not to exceed twelve (12) months from the date of approval unless an extension is granted in accordance with Section 18.46.040 of the Gardena Municipal Code. Utilization shall mean the issuance of building permits.

### **CONDITIONAL USE PERMITS**

CUP1. Conditional Use Permit #5-21 shall be utilized within a period not to exceed 12 months from the date of approval unless an extension is granted in accordance with Section 18.46.040 of the Gardena Municipal Code. Utilization shall mean the issuance of a building permit.

CUP2. In the event noise, lighting or traffic nuisances or other public safety issues are brought to the attention of the City, the Community Development Director may impose further conditions or restrictions on the site operations to ensure land use compatibility.

CUP3. The applicant shall provide a clear and comprehensive list of all amenities in the lease agreements for all tenants.

### **PLANNING**

PL1. The applicant and/or property owner shall maintain the landscaping in a healthy and well-kept manner, in perpetuity. Dead or damaged landscape material/vegetation must be replaced immediately in accordance with the approved landscape plan.

PL2. The irrigation system must be maintained at all times to ensure the viability of the landscaped areas.

PL3. Trees planted must be allowed to grow up to their maximum height.

PL4. All outdoor furniture must be in good condition and must be made out of hardy weatherproof materials that protects against harsh varied weather elements such as rain, sunlight, and wind.

PL5. The applicant and/or property owner shall replace any damaged outdoor furniture immediately per the approved plans.

PL6. The BBQ grill shall be placed at a safe distance from combustible materials to prevent fires.

- PL7. Colors and materials as shown on the development plans as presented to the Planning Commission on April 7, 2026, are approved. Deviation from colors and materials shall not be made unless approved by the Community Development Director.
- PL8. The applicant shall comply with all applicable conditions of approval adopted within City Council Resolution No. 6570.
- PL9. The applicant shall comply with all applicable conditions of approval adopted within the Planning and Environmental Quality Commission Resolution No. 16-25.

**BUILDING & SAFETY**

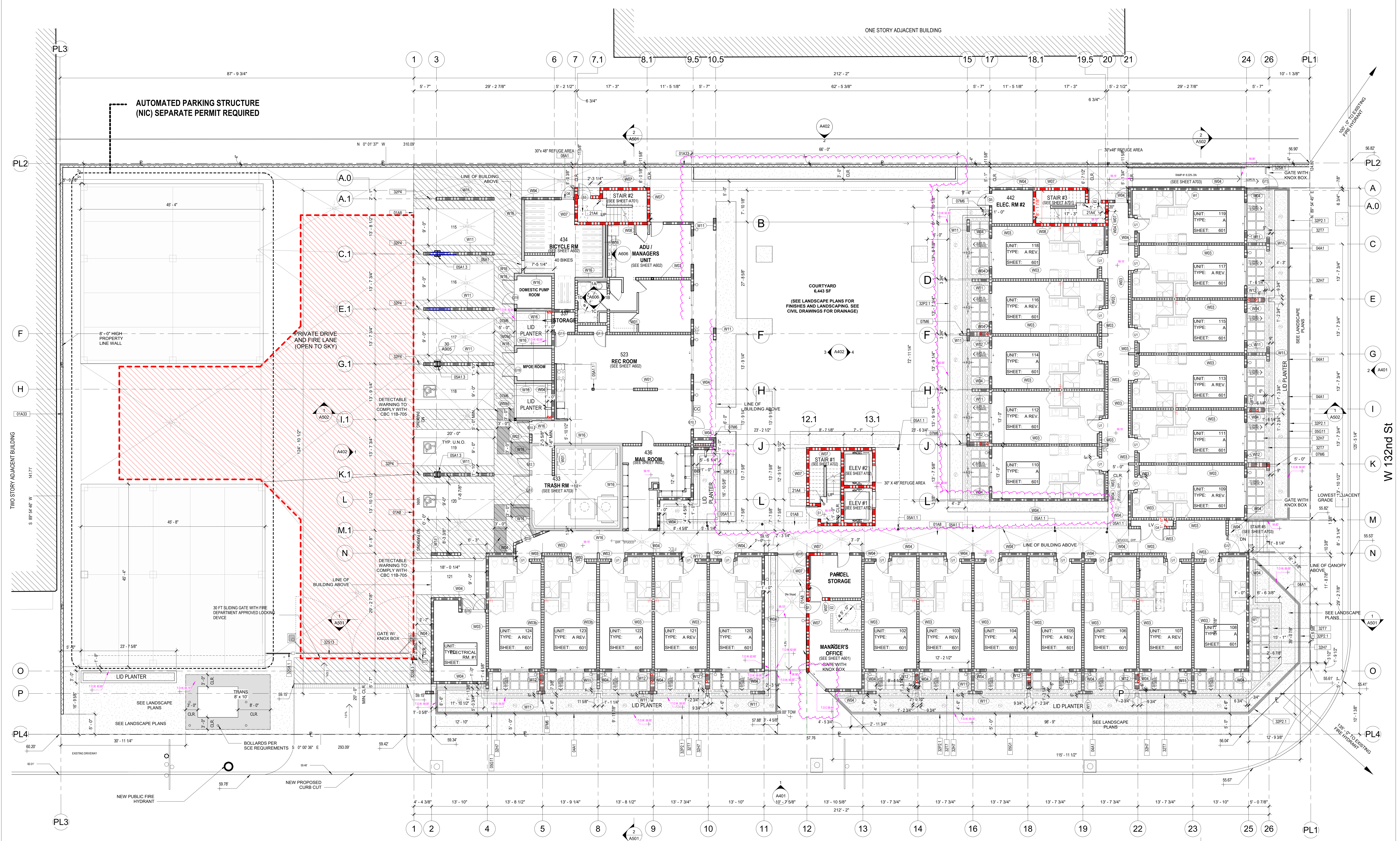
- BS1. The applicant/developer shall comply with all applicable portions of the California Building Standards Code (Title 24, California Code of Regulations) in effect at the time of permit application.
- BS2. The applicant shall comply with all applicable State and Federal Accessibility code.
- BS3. The applicant shall comply with all conditions set forth by other departments and agencies including but not limited to the Los Angeles County Health Department, Los Angeles County Fire Department, Planning, and Public Works.
- BS4. The approval of plans and specifications does not permit the violation of any section of the Building Code, City Ordinances, State and Federal law.
- BS5. The applicant shall submit plans and specifications to the Building Division for review.

Lee Johnson, West Realty Group, Inc., certifies that he has read, understood, and agrees to the project conditions listed herein.

\_\_\_\_\_  
Lee Johnson  
West Realty Group, Inc.

\_\_\_\_\_  
Date





**PROPOSED COURTYARD (NO POOL)**  
**SEE LANDSCAPE PLANS FOR PLANTING AND FURNITURE**  
**SEE CIVIL PLANS FOR SITE DRAINAGE**

**1 GROUND FLOOR PLAN**  
1/8" = 1'-0"

**GENERAL NOTES**  
REFER TO SHEET A101 FOR GRADES AND SITE PLAN NOTES NOT CONTAINED IN THIS DRAWING.  
LANDSCAPE DESIGN REQUIRES: 100% DRAIN IRRIGATION WITHIN 4 FT OF BUILDING PERIMETER FOOTING. SPRAY HEADS NOT ALLOWED IN THIS PROJECT.  
SEAL EXTERNAL CRACKS, JOINTS ETC. WITH CAULKING AND INSTALL PEST PROOF SCREENS WHERE REQUIRED.  
INSTALL REFLECTIVE WARNING SIGNS TO INDICATE CLEAR HEIGHT AT VEHICLE ENTRANCE AND AT LOWER HEIGHT TRANSITIONS PER CBC 110B.3.  
A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.100 THROUGH 110.103 SHALL BE PROVIDED TO THE OCCUPANT.  
**METAL LATH**  
ATTACH LATH TO SUPPORTS AT 6" O.C. INSTALL LATH USING HOT DIP GALVANIZED FASTENERS WITH NEOPRENE WASHERS. INSTALL SCREWS TO ENSURE THAT WASHERS HAVE MAXIMUM CONTACT WITH BUILDING PAPER/MEMBRANE WATERPROOFING. SCREWS SHALL PENETRATE THROUGH EXTERIOR PLYWOOD SHEATHING INTO FRAMING.  
IF STAPLES ARE USED TO ATTACH LATH, ALL PENETRATIONS SHALL BE CAULKED AND SEALED. TYPICAL.  
**FIREPROOFING**  
APPLY 1/4" CEMENTITIOUS FIREPROOFING (LARR #2478 OR APPROVED EQUAL) APPLY IN LOCATIONS NOTED, OTHERWISE PROVIDE INTENSIFICANT COATING.  
PROVIDE FIRE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION. 12.21A(10) INTUMESCENT COATING. TYPE AT ALL STEEL LOCATED WITHIN DWELLING UNITS. PROVIDE 1HR RATING THROUGHOUT.  
EXCEPT FOR COLUMNS ENCLOSED WITHIN EXTERIOR WALL. LARR #2940 OR APPROVED EQUAL.  
SEE STRUCTURAL DWGS FOR RESTRAINED CONSTRUCTION OF STEEL MEMBERS.  
**MAINTENANCE MANUAL**  
AN OPERATIONAL AND MAINTENANCE MANUAL, INCLUDING, AT A MINIMUM, THE ITEMS LISTED IN CAL GREEN SECTION 4.410.1, SHALL BE COMPLETED AND PLACED IN THE BUILDING AT THE TIME OF FINAL INSPECTION COMMISSIONING.  
HVAC, INDOOR LIGHTING AND WATER HEATING ARE NOT WITHIN THE SCOPE OF WORK FOR THIS PHASE OF CONSTRUCTION. COMMISSIONING OF THE HVAC, INDOOR LIGHTING AND WATER HEATING SYSTEMS FOR THE NONRESIDENTIAL SPACES WILL BE REQUIRED AND PERFORMED AT THE INITIAL TENANT IMPROVEMENT PHASE.

**FIRE PROTECTION**  
OPEN AN EGRESS COURT SERVING A BUILDING OR PORTION THEREOF SERVING AN OCCUPANT LOAD OF 10 OR MORE IS LESS THAN 10 FEET IN WIDTH, THE EGRESS COURT WALLS SHALL BE MINIMUM ONE-HOUR FIRE-RATED RATED CONSTRUCTION FOR A DISTANCE OF 10 FEET ABOVE THE FLOOR OF THE COURT. OPENINGS WITHIN SUCH WALLS SHALL BE PROTECTED BY OPENING PROTECTIVES OF NOT LESS THAN 1/2 HOUR BUILDING CODE 1027.2.  
PROVIDE FIRE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION. 12.21A(10) CONTRACTOR SHALL PROVIDE SPRINKLER AT ALL CONCEALED SPACES LARGER THAN 6" PERIMETER, OR SOILLY FILL WITH INSULATION.  
INSTALL CONCEALED FIRE SPRINKLER THROUGHOUT, INT. & EXT.  
PROVIDE PORTABLE FIRE EXTINGUISHER WITH A RATING OF 2A OR 2A:10BC WITHIN 75 FEET OF TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR ALSO DURING CONSTRUCTION.  
PROVIDE PORTABLE FIRE EXTINGUISHER WITH A RATING NOT LESS THAN 10BC FOR KITCHEN, ELECTRICAL ROOM, MECHANICAL ROOM OR PARKING GARAGE AND PROVIDE FIRE EXTINGUISHER AS REQUIRED BY FIRE INSPECTOR.  
PROVIDE R-25 INSULATION AT 2X WALL FRAMING, WHERE IT OCCURS.  
WALL INSULATION SHALL FILL A CONTINUOUSLY TOUCH CAVITY ON ALL 4 SIDES - NO AIR GAPS.  
CEILING/ROOF INSULATION SHALL CONTINUOUSLY TOUCH CAVITY ON ALL 4 SIDES - NO AIR GAPS.  
**MATERIALS**  
ANNUAL SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN THE SOLE BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR METAL PLATES. FINISH PRONE TO CORROSION SHALL BE PROTECTED IN ACCORDANCE WITH SECTION 313 OF THE CITY OF GARDENA PLUMBING CODE.  
MATERIALS DELIVERED TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM RAIN OR OTHER SOURCES OF MOISTURE.  
**OUTDOOR LIGHTING SYSTEMS**  
ALL OUTDOOR LIGHTING SYSTEMS SHALL BE DESIGNED AND INSTALLED TO COMPLY WITH ALL OF THE FOLLOWING: (a) THE MINIMUM REQUIREMENTS IN CALIFORNIA ENERGY CODE FOR LIGHTING ZONES 1-4; (b) BACKLIGHT, UPLIGHT AND GLARE (BUC) RATINGS AS DEFINED IN ENA TM 15-11; (c) ALLOWABLE BULB RATINGS NOT EXCEEDING THOSE SHOWN IN TABLE 5.106; (d) DIMMABLE METALS.  
PROVIDE RUBBER GASKET AT DISMILAR METALS, TYPICAL THROUGHOUT.

**PLUMBING LINES** SHALL BE RAISED ABOVE ROOF AND ISOLATED WITH RUBBER SUPPORTS, TYPICAL.  
**ELECTRICAL NOTES**  
THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC.  
THE MAIN SERVICE PANEL SHALL HAVE A MINIMUM BUSBAR RATING OF 200 AMP.  
PROVIDE ADEQUATE LIGHTING TO ENSURE SAFE ACCESS TO BICYCLE PARKING FACILITIES IN ACCORDANCE WITH SECTION 12.21A.6.  
THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED BY SPACES AT THE FULL RATED AMPERAGE OF THE ELECTRICAL VEHICLE SERVICE EQUIPMENT PLAN DESIGN SHALL BE BASED UPON A CEC 200 (2016) AMP MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.  
THE SERVICE PANEL, ON SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPECIES RESERVED FOR FUTURE BY CHARGING PURPOSES AT IF CAPABLE IN ACCORDANCE WITH THE CITY OF GARDENA ELECTRICAL CODE.  
**WOOD CONSTRUCTION**  
ALL MATERIALS SHALL BE IDENTIFICATION SHOWING THE FIRE PERFORMANCE RATING THEREOF AND IF INTENDED FOR EXTERIOR USE, SHALL BE FURTHER IDENTIFIED TO INDICATE SUITABILITY FOR EXPOSURE TO THE WEATHER. SUCH IDENTIFICATIONS SHALL BE ISSUED BY A GARDENA AGENCY HAVING A SERVICE FOR INSPECTION OF MATERIALS AT THE FACTORY.  
ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.  
AREA OF UNITS IS CALCULATED FROM INSIDE FACE OF WALL EXCEPT AT COMMON WALLS WHERE IT IS CALCULATED FROM THE CENTERLINE.  
**BATHROOM & KITCHEN EXHAUST**  
THE BATHROOM EXHAUST DUCT AND KITCHEN EXHAUST DUCT NEEDS TO BE INSIDE A DESIGNATED 2-HOUR RATED SHUT.

**LEGEND**

---	PROPERTY LINE
---	FIRE RATED WALL - 2 HR
---	EXTERIOR WALL - 1 HR
---	PARTY WALL - 1 HR STC 50
---	PLUMBING WALL
---	2X STUD WALL U.O.
---	AREA DRAIN (REF. CIVIL & PLUMBING DWGS.)
---	2% MAX SLOPE TO DRAIN AT ACCESSIBLE PATH OF TRAVEL
---	PLANTER DRAIN (REF. CIVIL & PLUMBING DWGS.)
---	FIRE EXTINGUISHER CABINET - RECESSED AT RESIDENTIAL FLOORS & SURFACE MOUNTED GARAGES (MAX. 75' FROM ANY PORTION OF TRAVEL) (SEE 6A04)
---	HOSE BILD
---	WALL TYPE SEE SHEET A01
---	2% MAX SLOPE AT ACCESSIBLE PATH OF TRAVEL
---	EXTERIOR WALL MOUNTED LIGHT SOURCE

**KEYNOTE**

NO.	DESCRIPTION
0144	LINE OF FLOOR / STRUCTURE ABOVE
0A13	6" O.C. HIGH CMU PROPERTY WALL (SEE PROPERTY WALL DETAIL SHEET A022)
0A11	C.M.U. WALL (REF. STRUCT. DWG.)
0A11	STEEL COLUMN WITH INTUMESCENT FIREPROOFING PAINT (REF. STRUCT. DWGS.)
0A13	STEEL COLUMN (GA FILE NO. CM 1300; FIRE TEST: BMS 52, TABLE 40, 107-142)
05G1	42" STEEL TUBE GUARDRAIL
05G1	42" HIGH STEEL GUARDRAIL
07M6	DOWNSPOUT NOZZLE. PROVIDE EXTENSION AS NECESSARY. TYP.
08A1	2 SQ. FT. FREE AREA OPENING PER MECH. DWG
32H7	2X2 PAVERS. SEE LANDSCAPE DRAWINGS FOR DETAILS
32P2.1	8" C.M.U. WITH SHOTBLAST FINISH, STACKED BOND WITH 2" CAP BLOCK - TYP. U.O.
32P4	ROLL-ON
32S8.1	6" HIGH METAL FENCE W/ CODA ARCHITECTURAL FENCE PANEL (OPUS5) SEE SHEET A061
32S13	DURA GATE DGT (SEE DETAIL 2A10S AND SHEET A061-62 FOR CUT SHEET)
32T7	GRAVEL ON TOP OF THE SOIL (REF. LANDSCAPE DWGS.)

**SHEET TITLE**  
GROUND FLOOR PLAN

DATE	ISSUE / REVISION
2023-09-28	PLAN CHECK #1
2023-09-28	2ND FIRE PLAN CHECK
2023-10-18	2ND PLAN CHECK
2023-11-15	3RD PLAN CHECK
2023-12-13	4TH PLAN CHECK
2023-12-13	FINAL ASSUMES & CLARIFICATION
2025-01-24	LOCATION ADJUSTMENT TO EAST PL. WALL AND BOLLARDS
2025-02-12	SET FOR CONSTRUCTION
2025-02-28	UPDATED FOR WATERPROOFING STRUCTURES FOOTPRINT
2025-03-18	SET FOR CONSTRUCTION
2025-12-13	LANDSCAPE UPDATES

**JOB NO.** 2101  
**DATE** 2025-12-13  
**SCALE** 1/8" = 1'-0"  
**SHEET NO.** A201

**PLANTING NOTES**

- DRAWING IS DIAGRAMMATIC. CONTRACTOR TO VERIFY ALL LOCATIONS AND CONDITIONS ON SITE. COUNT ALL PLANT MATERIAL BEFORE BIDDING.
- CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS ON SITE AND LOCATE ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS.
- CONTRACTOR TO REPAIR AT HIS OWN EXPENSE ALL PROPERTY DAMAGE WHICH OCCURS DURING PROJECT INSTALLATION.
- NOTE ADDITIONAL REMARKS ON SPECIFIC PLANTS IN PLANT LIST.
- ALL EXISTING PLANT MATERIAL TO BE REMOVED EXCEPT WHERE NOTED ON PLAN.
- CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR 90 DAYS FROM THE DATE OF ACCEPTANCE BY OWNER. PALM TO BE GUARANTEED FOR THE PERIOD OF 1 YEAR.
- FINISH GRADE TO BE 2" BELOW ALL WALKS, CURBS, AND PAVING.
- ALL PLANTED AREAS SHALL RECEIVE THE FOLLOWING AMENDMENTS PER 1,000 SQ. FT. OF SURFACE AREA. ROTO-TILL AMENDMENTS TO A DEPTH OF 6"
  - \*150 LBS. GRO-POWER
  - \*3 CU YDS NITROGENIZED, MINERALIZED FIR BARK
  - \*ADD 8 LBS OF GRO-POWER CONTROLLED RELEASE 12-6-8 PER CU YD OF MIX.
- PLANT HOLE TO BE TWICE AS WIDE AND DEEP AS THE PLANT ROOT BALL. BACKFILL AND COMPACT TO 80% SOIL OF SITE AND 20% FIR BARK, AS DEFINED IN #8. PROVIDE GRO-POWER PLANT TABLETS AT THE FOLLOWING RATES:
 

5 GAL	6-9
24" box	14-16

PLACE RECOMMENDED TABLETS BETWEEN THE BOTTOM AND THE TOP OF THE ROOT BALL BUT NO HIGHER THAN 1/3 OF THE WAY UP TO THE TOP OF THE ROOT BALL. SPACE TABLETS EQUALLY AROUND THE PERIMETER OF THE ROOT BALL APPROXIMATELY 2" FROM THE ROOT TIPS. PALM TREES ARE NOT TO RECEIVE TABLETS.
- ALL PROPOSED SHRUBS AND GROUND COVER AREAS ARE TO BE TREATED WITH A PRE-EMERGENT WEED KILLER (EPTAM / RONSTAR). APPLY PER MANUFACTURER'S SPECIFICATIONS. A) IMMEDIATELY AFTER PLANTING, B) AT THE BEGINNING OF THE MAINTENANCE PERIOD, AND C) AT THE END OF THE MAINTENANCE PERIOD.
- CONTRACTOR TO INSTALL AND MAINTAIN LANDSCAPE PLANTING IN ACCORDANCE WITH THE GOVERNING AGENCY'S GUIDELINES AND SPECIFICATIONS UNLESS NOTED OTHERWISE IN THESE NOTES OR ON THE PLANS.
- SOIL SAMPLES TAKEN FROM VARIOUS LOCATIONS IN THE PLANTING AREAS WILL BE SENT TO A SOIL LAB FOR PROFESSIONAL ANALYSIS AND RECOMMENDATIONS FOR SOIL IMPROVEMENT. CONTRACTOR TO FOLLOW SOIL TESTING RECOMMENDATIONS.

**TREE LEGEND**

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
○	<i>Arbutus 'Marina'</i>	Marina Strawberry Tree	36"box	2	multi trunk	low 0.3
○	<i>Cycas revoluta</i>	Sago Palm	24"box	3		low 0.3
○	<i>Dracaena draco</i>	Dragon Tree	5' tall	1		low 0.3
○	<i>Lophostemon confertus</i>	Brisbane Box	24"box	2		low 0.3
○	<i>Podocarpus e. 'Monnal'</i>	Blue Ice Yellowwood	24"box	5		low 0.3

LANDSCAPE AREA: 6,436 SF  
IRRIGATION WATER SUPPLY TYPE: POTABLE WATER SUPPLY

REDUCING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES

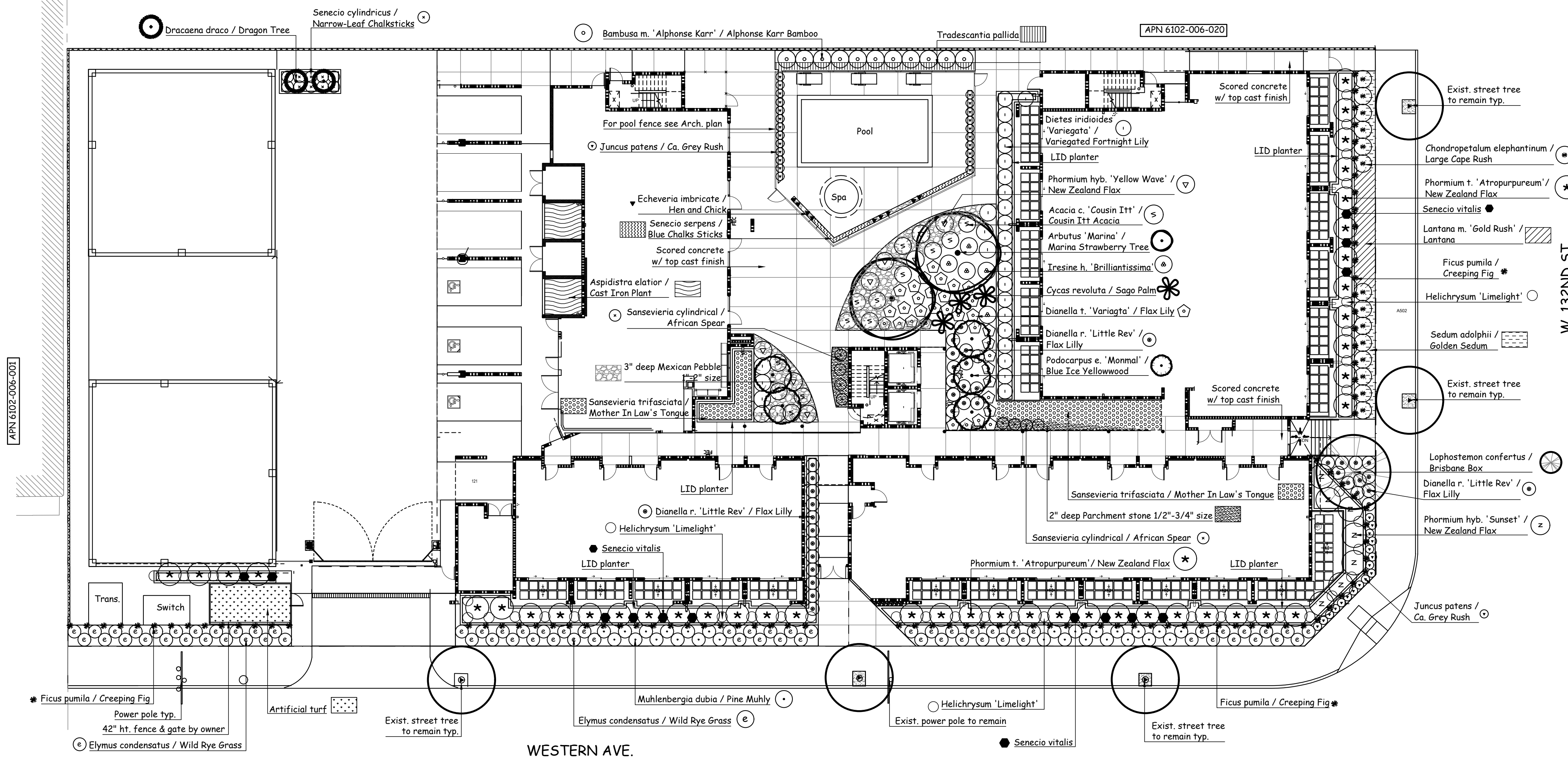
A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED

FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6" OF SOIL, COMPOST AT A RATE OF A MINIMUM OF 4 CUBIC YARDS PER 1,000 SF OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6" INTO SOIL.

**NOTE:**  
All groundcover areas where plants are 3' or greater to have geotextile fabric installed 3" below finished grade w/ 3" shredded bark above to eliminate weed growth.  
Waterproofing and drains in planters by others.  
All trees to be planted with commercial root barriers.  
3" deep shredded Cedar bark to spread between plants.

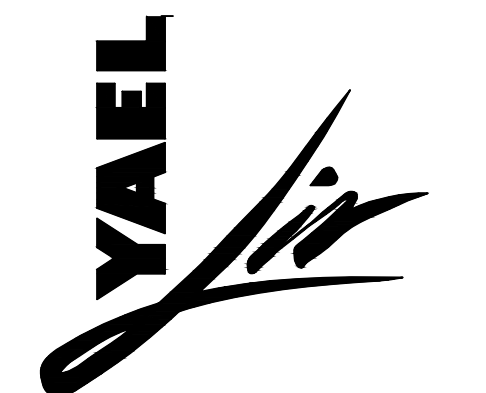
**SHRUBS AND GROUND COVER LEGEND**

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
○	<i>Acacia c. 'Cousin Itt'</i>	Cousin Itt Acacia	5-gal	11		low 0.3
○	<i>Aspidistra elatior</i>	Cast Iron Plant	18" box	11		low 0.3
○	<i>Bambusa m. 'Alphonse Karr'</i>	Alphonse Karr Bamboo	24" box	11		low 0.3
○	<i>Chondropetalum elephantinum</i>	Large Cape Rush	5-gal	14		low 0.3
○	<i>Dianella r. 'Little Rev'</i>	Flax Lilly	5-gal	38		low 0.3
○	<i>Dianella t. 'Variagta'</i>	Flax Lilly	5-gal	34		low 0.3
○	<i>Dietes iridioides 'Variegata'</i>	Variegated Fortnight Lily	5-gal	30		low 0.3
○	<i>Echeveria imbricate</i>	Hen and Chick	5-gal	9		low 0.3
○	<i>Elymus condensatus</i>	Wild Rye Grass	5-gal	70		low 0.3
○	<i>Ficus pumila</i>	Creeping Fig	1-gal	94	train to wall	low 0.3
○	<i>Helichrysum 'Limelight'</i>		5-gal	37		low 0.3
○	<i>Iresine h. 'Brilliantissima'</i>		5-gal	5		low 0.3
○	<i>Juncus patens</i>	Ca. Grey Rush	5-gal	37		low 0.3
○	<i>Lantana m. 'Gold Rush'</i>	Lantana	5-gal	24"oc		low 0.3
○	<i>Muhlenbergia dubia</i>	Pine Muhly	5-gal	26		low 0.3
○	<i>Phormium hyb. 'Yellow Wave'</i>	New Zealand Flax	5-gal	8		low 0.3
○	<i>Phormium hyb. 'Sunset'</i>	New Zealand Flax	15-gal	7		low 0.3
○	<i>Phormium t. 'Atropurpureum'</i>	New Zealand Flax	15-gal	42		low 0.3
○	<i>Sansevieria trifasciata</i>	Mother In Law's Tongue	5-gal	18"oc		low 0.3
○	<i>Senecio adonidifolius</i>		5-gal	18"oc		low 0.3
○	<i>Sansevieria cylindrical</i>	African Spear	5-gal	18		low 0.3
○	<i>Senecio serpens</i>	Blue Chalks Sticks	1-gal	18"oc		low 0.3
○	<i>Senecio vitalis</i>		5-gal	12		low 0.3
○	<i>Tradescantia pallida</i>		5-gal	24"oc		low 0.3



**PREVIOUSLY APPROVED COURTYARD PLAN**

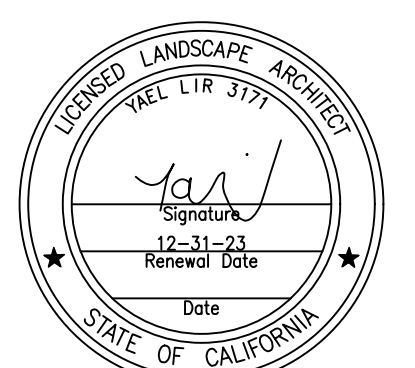
REVISIONS	DATE
1. 2nd/ Plan Check	10.12.22
2. 3rd/ Plan Check	12.08.22
3. 4th/ Plan Check	11.16.23
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1010 Sycamore Ave. Suite 313  
South Pasadena, CA 91030  
Tel 323.258.5222  
Fax 323.258.5333  
yael@yaelir.com

13126 WESTERN AVE.  
GARDENA, CA 90249

**FIRST FLOOR PLANTING PLAN**



DATE: JUNE 28, 2021  
SCALE: 1/16"=1'-0"  
JOB NUMBER: 224221  
DRAWN BY:

**PLANTING NOTES**

- DRAWING IS DIAGRAMMATIC. CONTRACTOR TO VERIFY ALL LOCATIONS AND CONDITIONS ON SITE. COUNT ALL PLANT MATERIAL BEFORE BIDDING.
- CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS ON SITE AND LOCATE ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS.
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- FINISH GRADE TO BE 2" BELOW ALL WALKS, CURBS, AND PAVING.
- ALL PLANTED AREAS SHALL RECEIVE THE FOLLOWING AMENDMENTS PER 1,000 SQ. FT. OF SURFACE AREA. ROTO-TILL AMENDMENTS TO A DEPTH OF 6"
  - \*150 LBS. GRO-POWER
  - \*3 CU YDS NITROGENIZED, MINERALIZED FIR BARK
  - \*ADD 8 LBS OF GRO-POWER CONTROLLED RELEASE 12-8-8 PER CU YD OF MIX.
- PLANT HOLE TO BE TWICE AS WIDE AND DEEP AS THE PLANT ROOT BALL. BACKFILL AND COMPACT TO 80% SOIL OF SITE AND 20% FIR BARK, AS DEFINED IN #8. PROVIDE GRO-POWER PLANT TABLETS AT THE FOLLOWING RATES:
 

5 GAL	6-9
24" box	14-16

PLACE RECOMMENDED TABLETS BETWEEN THE BOTTOM AND THE TOP OF THE ROOT BALL BUT NO HIGHER THAN 1/3 OF THE WAY UP TO THE TOP OF THE ROOT BALL. SPACE TABLETS EQUALLY AROUND THE PERIMETER OF THE ROOT BALL APPROXIMATELY 2" FROM THE ROOT TIPS. PALM TREES ARE NOT TO RECEIVE TABLETS.
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- CONTRACTOR TO INSTALL AND MAINTAIN LANDSCAPE PLANTING IN ACCORDANCE WITH THE GOVERNING AGENCY'S GUIDELINES AND SPECIFICATIONS UNLESS NOTED OTHERWISE IN THESE NOTES OR ON THE PLANS.
- SOIL SAMPLES TAKEN FROM VARIOUS LOCATIONS IN THE PLANTING AREAS WILL BE SENT TO A SOIL LAB FOR PROFESSIONAL ANALYSIS AND RECOMMENDATIONS FOR SOIL IMPROVEMENT. CONTRACTOR TO FOLLOW SOIL TESTING RECOMMENDATIONS.

**TREE LEGEND**

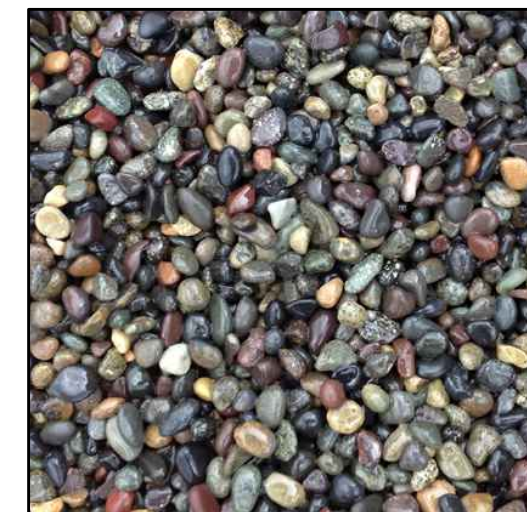
SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
⊙	<i>Geijera parviflora</i>	Australian Willow	36" box	5	4' clear trunk	low 0.3
⊗	<i>Lophostemon confertus</i>	Brisbane Box	24" box	1	4' clear trunk	low 0.3

LANDSCAPE AREA: 4,807 SF  
IRRIGATION WATER SUPPLY TYPE: POTABLE WATER SUPPLY

RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES

A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED

FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6" OF SOIL, COMPOST AT A RATE OF A MINIMUM OF 4 CUBIC YARDS PER 1,000 SF OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6" INTO SOIL.



Mexican Pebble Mix



Angular Pea Gravel Natural Color



Natural Color D.G.



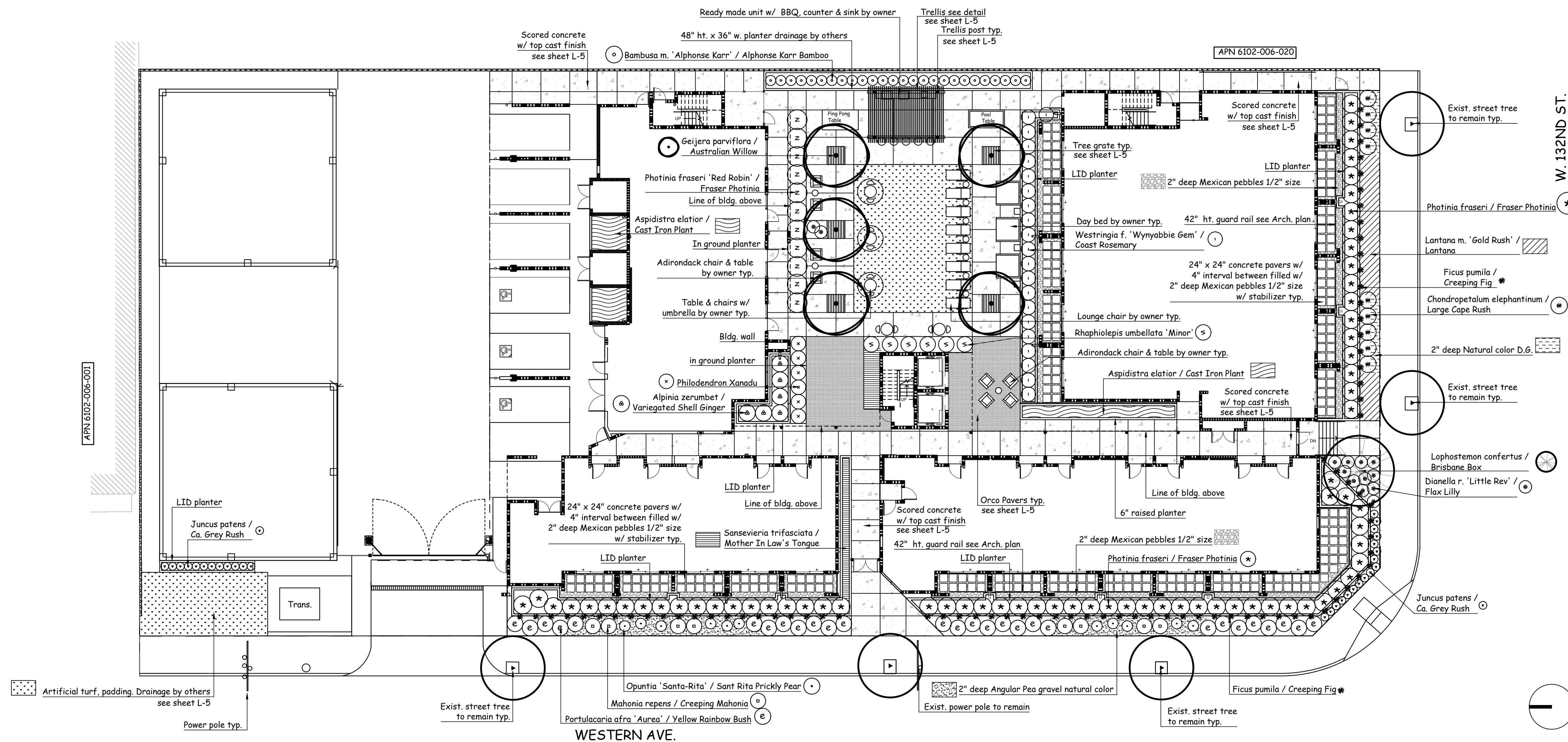
Stabilizer

NOTE:  
All groundcover areas where plants are 3" or greater to have geotextile fabric installed 3" below finished grade w/ 3" shredded bark above to eliminate weed growth.  
Waterproofing and drains in planters by others.  
All trees to be planted with commercial root barriers.  
3" deep shredded Cedar bark to spread between plants.

**SHRUBS AND GROUND COVER LEGEND**

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
⊙	<i>Alpinia zerumbet</i>	Variiegated Shell Ginger	5-gal	6		low 0.3
⊗	<i>Aspidistra elatior</i>	Cast Iron Plant	5-gal	18" oc		low 0.3
⊙	<i>Bambusa m. 'Alphonse Karr'</i>	Alphonse Karr Bamboo	15-gal	26		low 0.3
⊗	<i>Chondropetalum elephantinum</i>	Large Cape Rush	5-gal	9		low 0.3
⊙	<i>Dianella r. 'Little Rev'</i>	Flax Lilly	5-gal	13		low 0.3
⊗	<i>Ficus pumila</i>	Creeping Fig	1-gal	79	train to wall	low 0.3
⊙	<i>Juncus patens</i>	Ca. Grey Rush	5-gal	29		low 0.3
⊗	<i>Lantana m. 'Gold Rush'</i>	Lantana	5-gal	24" oc		low 0.3
⊙	<i>Mahonia repens</i>	Creeping Mahonia	5-gal	8		low 0.3
⊗	<i>Opuntia 'Santa-Rita'</i>	Santa Rita Prickly Pear	5-gal	11		low 0.3
⊙	<i>Philodendron Xanadu</i>		5-gal	6		low 0.3
⊗	<i>Photinia fraseri</i>	Fraser Photinia	15-gal	69		low 0.3
⊙	<i>Photinia fraseri 'Red Robin'</i>	Fraser Photinia	15-gal	11		low 0.3
⊗	<i>Portulacaria afra 'Aurea'</i>	Yellow Rainbow Bush	5-gal	28		low 0.3
⊙	<i>Rhaphiolepis umbellata 'Minor'</i>		5-gal	6		low 0.3
⊗	<i>Sansevieria trifasciata</i>	Mother In Law's Tongue	5-gal	18" oc		low 0.3
⊙	<i>Westringia f. 'Wynabbie Gem'</i>	Coast Rosemary	5-gal	21		low 0.3

# REVISED COURTYARD LANDSCAPE PLAN (NO POOL)



REVISIONS	DATE
1. 2nd/ Plan Check	10.12.22
2. 3rd/ Plan Check	12.08.22
3. 4th/ Plan Check	11.16.23
4.	4.07.25
5.	9.05.25
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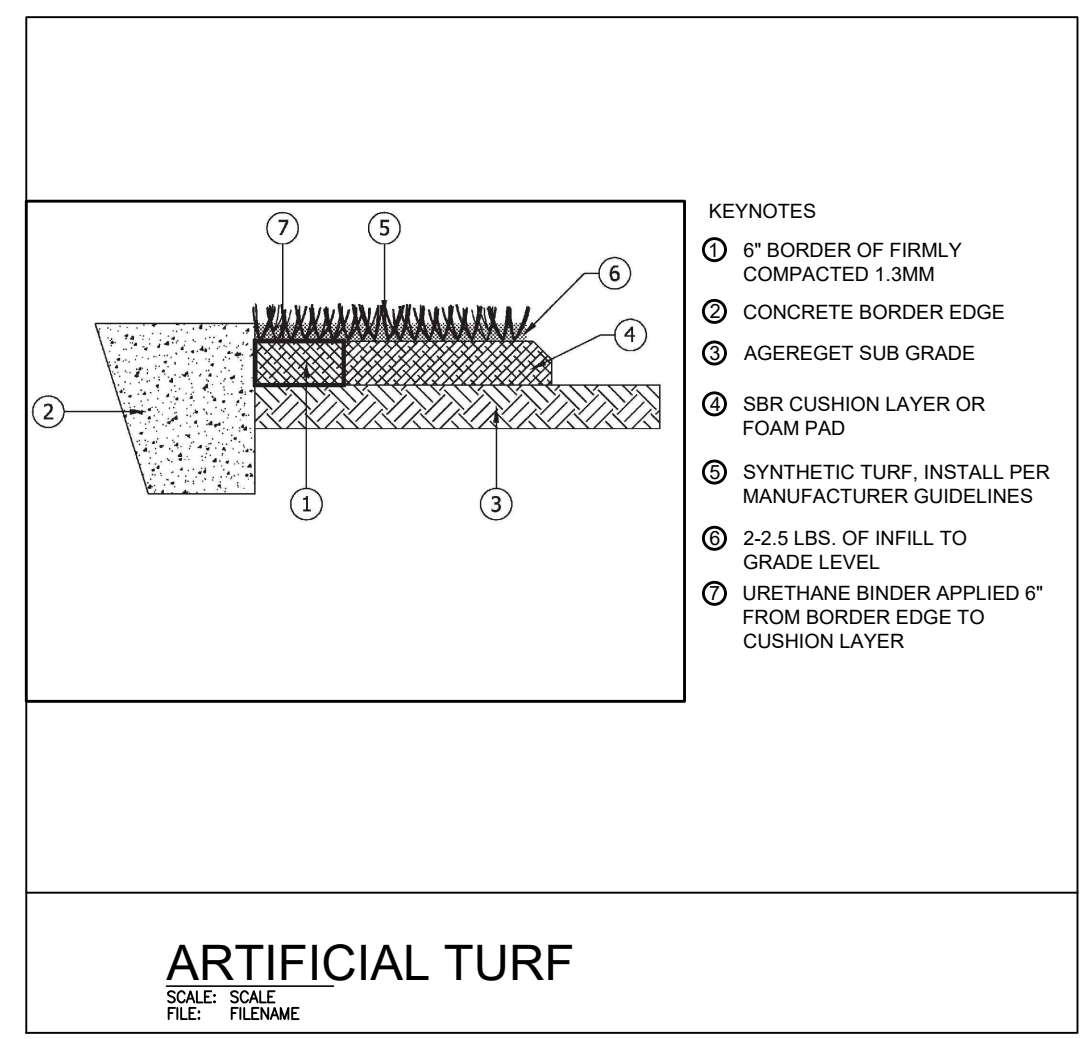
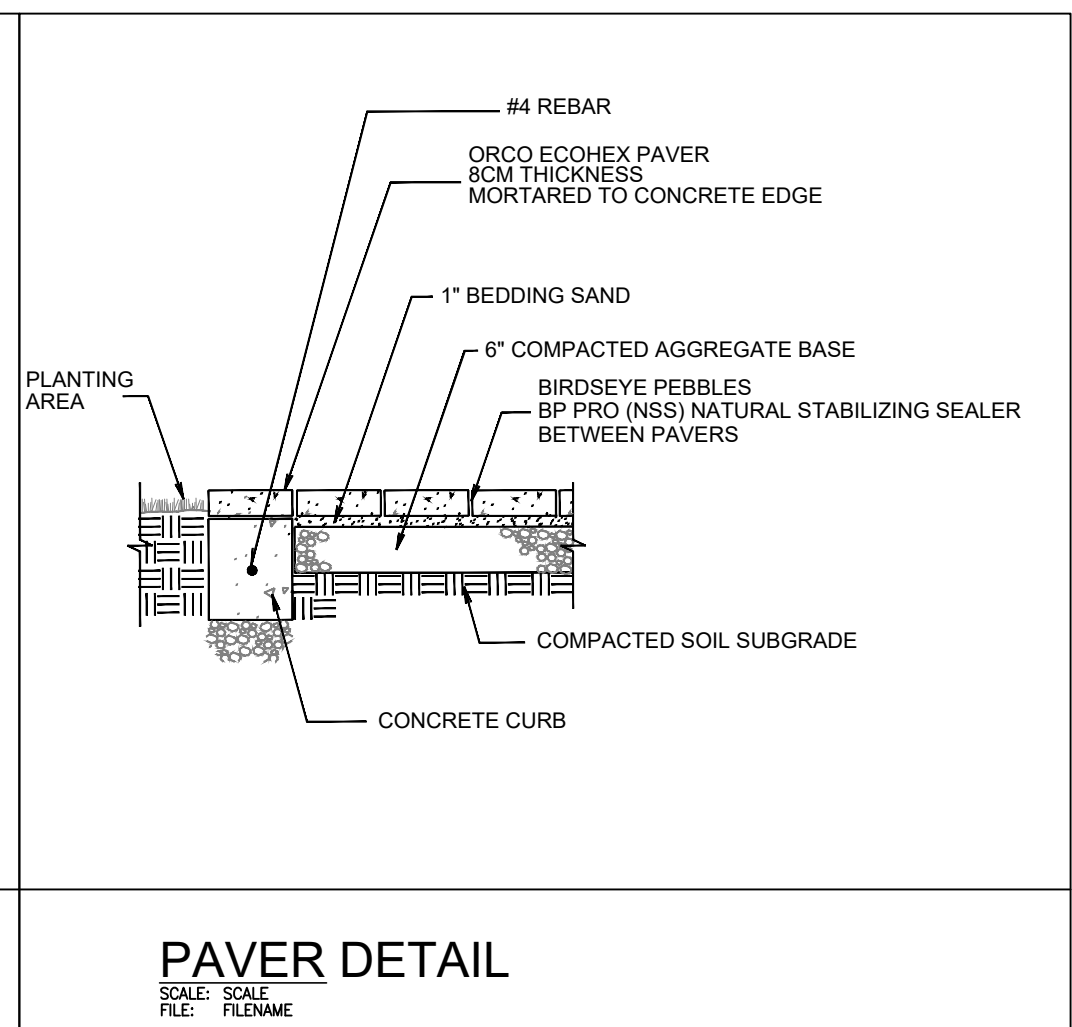
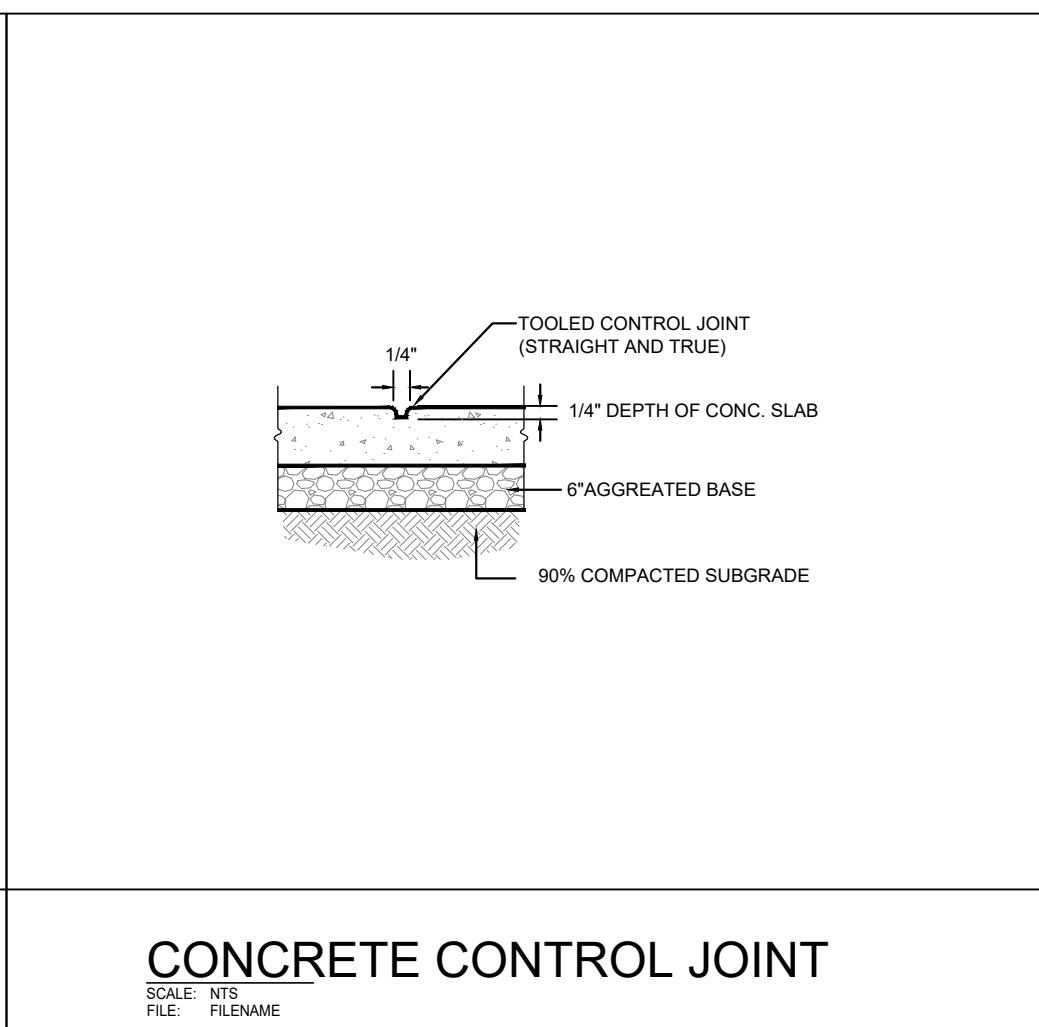
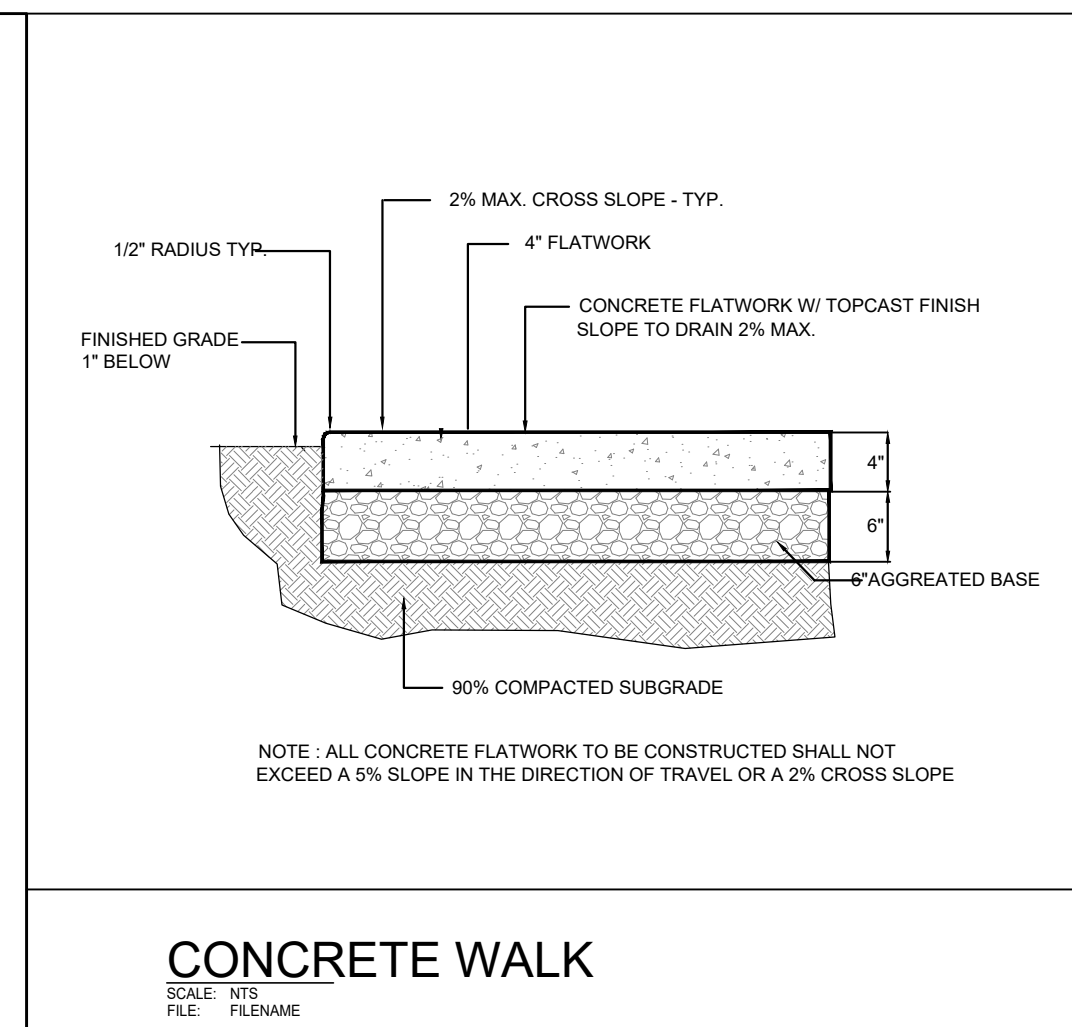
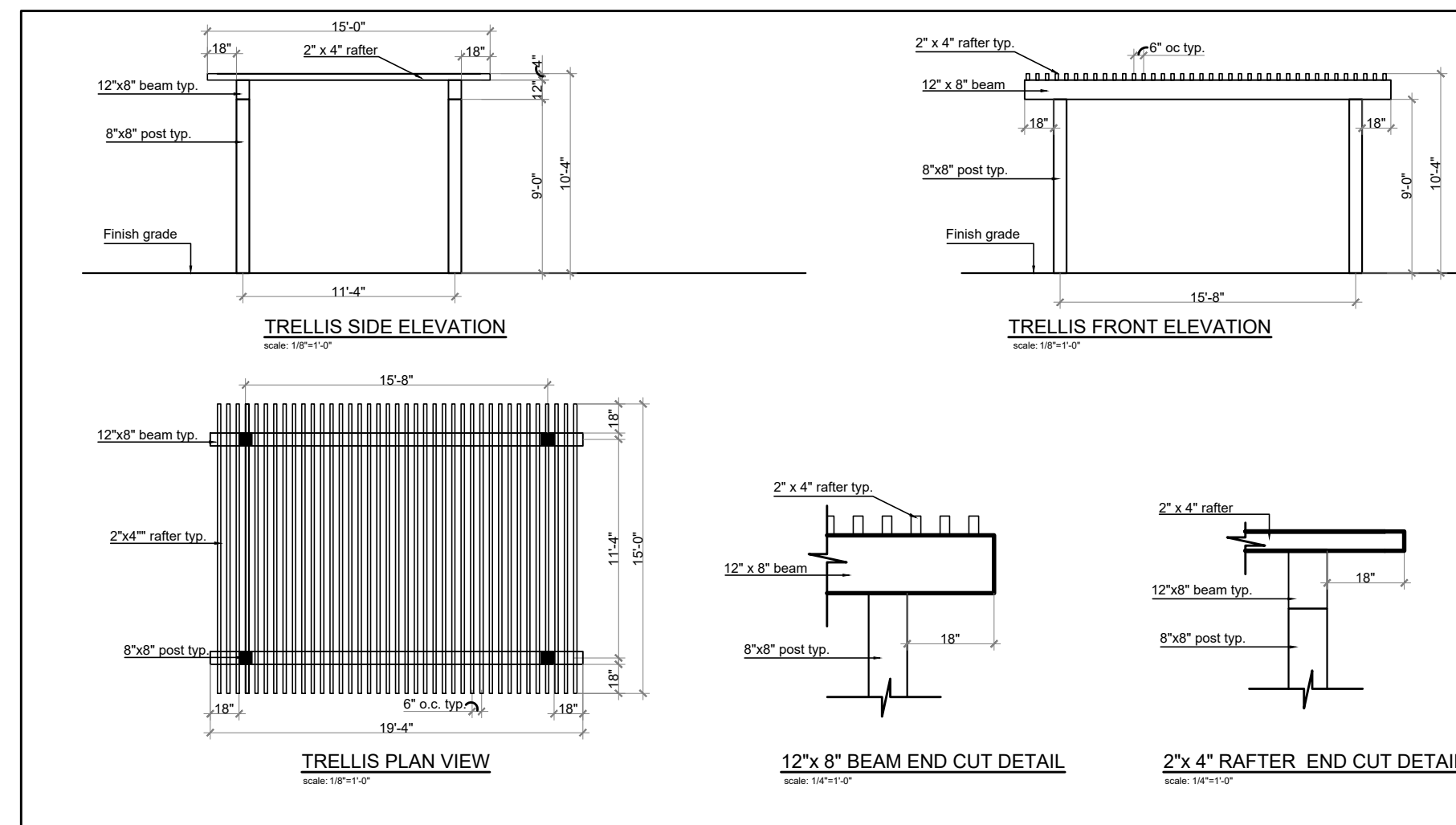
ASLA  
Yael Lir Landscape Architects  
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yael@yaellir.com

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**FIRST FLOOR PLANTING PLAN**



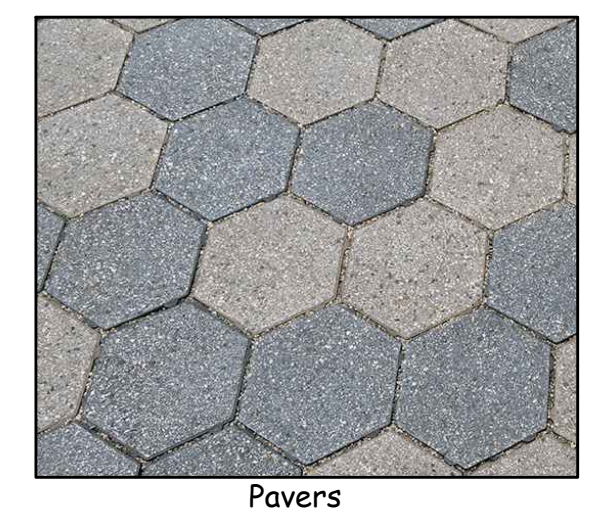
DATE: JUNE 28, 2021  
SCALE: 1/16"=1'-0"  
JOB NUMBER: 224221  
DRAWN BY:



**ORCO pavingstone**

Description	Size	Color	Remarks
EcoHex	9" Hex	Charcoal & Natural Gray randomly arranged	w/ birdseye gravel between

Orco.com  
Mike Millard  
tel: 949.241.6669



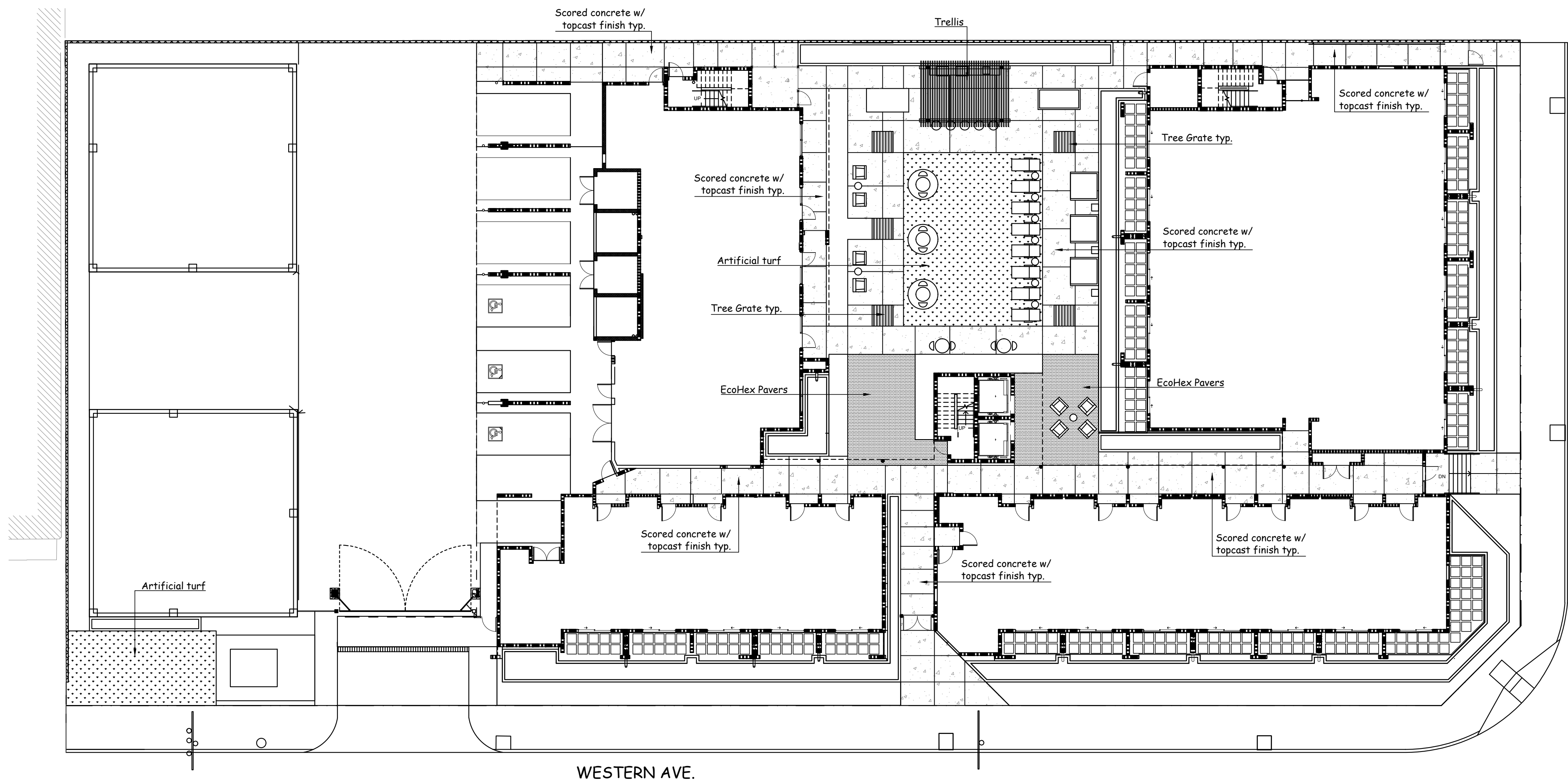
**TREE GRATE**

NAME	Model	Remark
Metropolitan	8706-1a	w/ Light opening

www.neenahfoundry.com  
tel: 800.558.5075



**REVISED  
COURTYARD  
LANDSCAPE PLAN  
(NO POOL)**

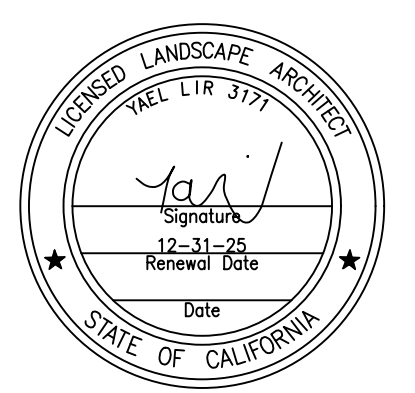


REVISIONS	DATE
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**Yael**  
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CONSTRUCTION PLAN



DATE: JUNE 28, 2021  
SCALE: 1/16" = 1'-0"  
JOB NUMBER: 224221  
DRAWN BY:



Ping Pong Table



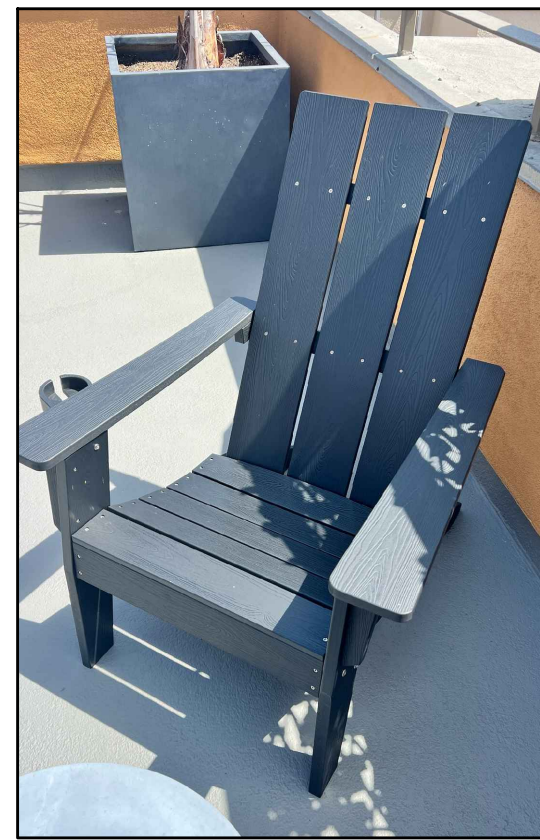
Pool Table



Trash



Umbrella



Adirondack chair



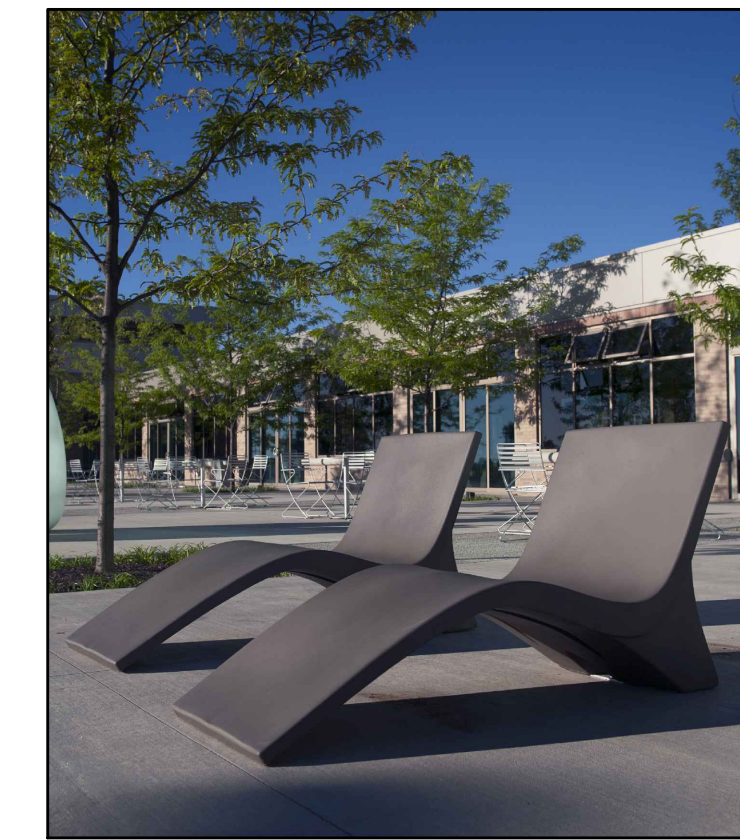
Day Bed



Chairs

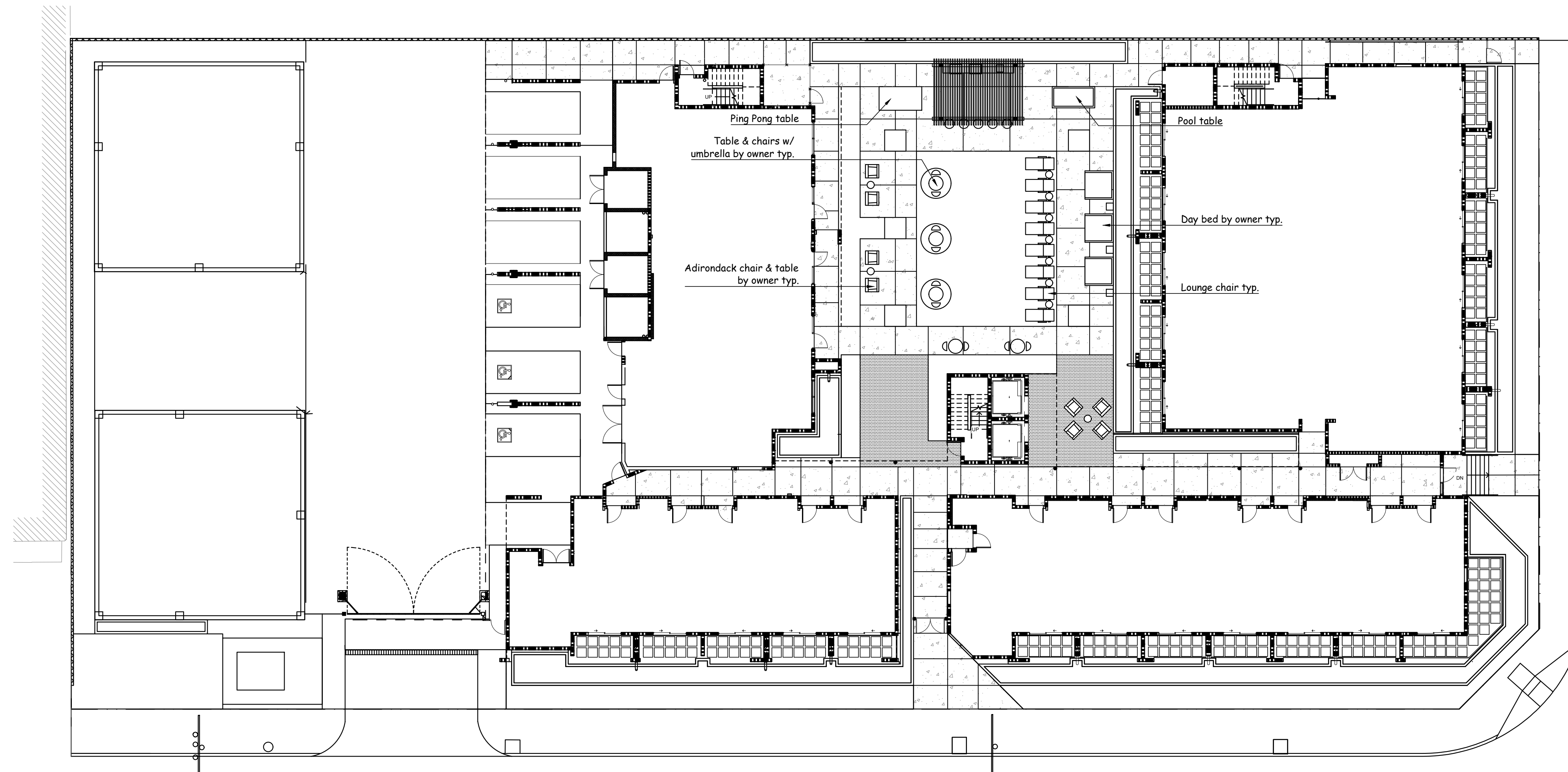


Table



Lounge chair

**REVISED  
COURTYARD  
LANDSCAPE  
PLAN  
(NO POOL)**



REVISIONS	DATE
1. 2nd/ Plan Check	10.12.22
2. 3rd/ Plan Check	12.08.22
3. 4th/ Plan Check	11.16.23
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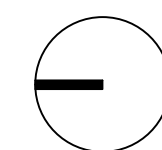
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FURNITURE PICTURES



DATE: JUNE 28, 2021  
SCALE: 1/16" = 1'-0"  
JOB NUMBER: 224221  
DRAWN BY:



**IRRIGATION NOTES**

- THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHEREVER POSSIBLE.
- SET ALL VALVES AND QUICK COUPLERS NEXT TO WALKS OR PAVED SURFACES.
- ALL SPRINKLER HEADS ARE TO HAVE TRIPLE SWING JOINTS (EXCEPT WHERE NOTED ON PLANS).
- PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. NO SUBSTITUTIONS OF SMALLER PIPE SIZES SHALL BE PERMITTED, BUT SUBSTITUTIONS OF LARGER SIZES MAY BE APPROVED. ALL DAMAGED AND REJECTED PIPE SHALL BE REMOVED FROM THE SITE AT THE TIME OF THE SAID REJECTION.
- FINAL LOCATION OF THE AUTOMATIC CONTROLLER SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND OWNER.
- 120VAC ELECTRICAL POWER SOURCE AT CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS.
- BEFORE COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL OBTAIN AN UNDERGROUND SERVICE ALERT I.D. NUMBER BY CALLING 1-800-422-4133. TWO (2) WORKING DAYS SHALL BE ALLOWED AFTER THE I.D. NUMBER IS OBTAINED AND BEFORE THE EXCAVATION WORK IS STARTED SO THAT UTILITY OWNERS CAN BE NOTIFIED.
- ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE WITH MINIMAL OVER SPRAY ONTO WALKS, STREETS, ETC.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH THE GRADE DIFFERENCES, LOCATION OF WALLS, AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERALS UNDER ROADWAYS AND PAVING, ETC.
- THE SPRINKLER SYSTEM DESIGN IS BASED ON A MINIMUM OPERATING PRESSURE OF 80 P.S.I. AND A MAXIMUM FLOW DEMAND OF 25 G.P.M. THE CONTRACTOR SHALL VERIFY WATER PRESSURES PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE ARCHITECT.
- DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT THERE ARE UNKNOWN OBSTRUCTIONS OR GRADE DIFFERENCES IN THE AREA. DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. IN THE EVENT THAT THIS NOTIFICATION IS NOT GIVEN, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY NECESSARY REVISIONS.
- ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- THE INTENT OF THE CONTRACTOR IS TO PROVIDE 100% COVERAGE TO ALL PLANTING AREAS. AS PART OF THE SCOPE OF WORK, PROVIDE ANY ADDITIONAL HEADS, SPECIAL NOZZLES, OR PATTERNS TO ACHIEVE PROPER COVERAGE WITH A MINIMUM OF OVER SPRAY AT NO ADDITIONAL COST TO THE OWNER.
- INSTALLATION FOR THE CONTROL WIRES SHALL FOLLOW MAINLINE ROUTING.
- PROVIDE SLEEVES AS SHOWN ON DRAWING OR AS NEEDED. USE SIZE DIAMETER MIN. SCH. 80 P.V.C. MIN. DEPTH TO TOP OF LINE.
- LOCATE VALVE CHART IN CONTROLLER - REDUCE AND ENCASE IN PLASTIC (AS BUILT).
- GUARANTEE: THE INSTALLED SPRINKLER SYSTEM SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE OF THE WORK. SHOULD ANY TROUBLE DEVELOP WITHIN THE TIME SPECIFIED DUE TO INFERIOR OR FAULTY MATERIAL OR WORKMANSHIP, THE TROUBLE SHALL BE CORRECTED BY THE CONTRACTOR WITHOUT EXPENSE TO THE OWNER.
- REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION REGARDING THIS SECTION OF WORK.

**BENCHMARK**

BM ID: RY7945  
RDBM TAG IN SOUTH CURB 2FT E/O BCR AT SE CORNER 132ND ST & NORMANDIE AVE.

ELEV = 87.63 (NAVD 88)(2013 ADJ.)

**BASIS OF BEARINGS**

THE BEARING N 89°54'45"E OF THE NORTHERLY RIGHT -OF-WAY (TRANSFERRED TO CENTERLINE) OF 132ND ST (FORMERLY GRAND AVE.) AS SHOWN ON THE PANAMA ACRES TRACT, AS RECORDED IN BOOK 15, PAGES 138 AND 139 OF MAPS, IN THE OFFICE OF THE LOS ANGELES COUNTY RECORDER, WAS TAKEN AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

ALL IRRIGATION IS SUB-SURFACE DRIP SYSTEM

IRRIGATION LEGEND				
DESCRIPTION	SYM.	P.S.I.	RAD.	G.P.M.
'RAINBIRD' RWS-B-C-1402		10	-	.50
'RAINBIRD' RWS-S-B-C-1401		10	-	.25
'SUPERIOR' BRASS CONTROL VALVES, #950				
'NIBCO' GATE VALVE T-113				
'CHRISTY' CONCRETE VALVE BOX				
'RAINBIRD' QUICK COUPLER 44 LRC 1"				
'SUPERIOR' 3100 series MASTER VALVE				
'HUNTER' FLOW SENSOR FCT-150 FLOW				
'WILKINS' REGULATOR MODEL 500				
'WILKINS' BACKFLOW PREVENTER 375				
'HUNTER' ACC2				
'HUNTER' SOLAR SYNC WIRELESS				
SLEEVE SCH. 40 P.V.C.				
PRESSURE LINE SCH. 40 P.V.C.				
NON-PRESSURE LINE SCH. 40 P.V.C.				
IRRIGATION METER				
POINT OF CONNECTION				
<b>NETAFIM LEGEND</b>				
'NETAFIM' LVCZ10075-LF		CONTROL VALVE, TECHFILTER & PRESSURE REGULATOR.		
'NETAFIM' LINE FLUSH VALVE				
'NETAFIM' TECHLINE CV TILCV4-18025				
NON-PRESSURE 1" SCH. 40 PVC HEADER				

SIZE NO. GPM	LANDSCAPE AREA: 4,807 SF
H-HYDROZONE	IRRIGATION WATER SUPPLY TYPE: POTABLE WATER SUPPLY

"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS"

PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICE.

A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS OR A LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT

"I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE"

7/14/2022

A DIAGRAM OF THE IRRIGATION PLAN SHOWING THE HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSE

AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

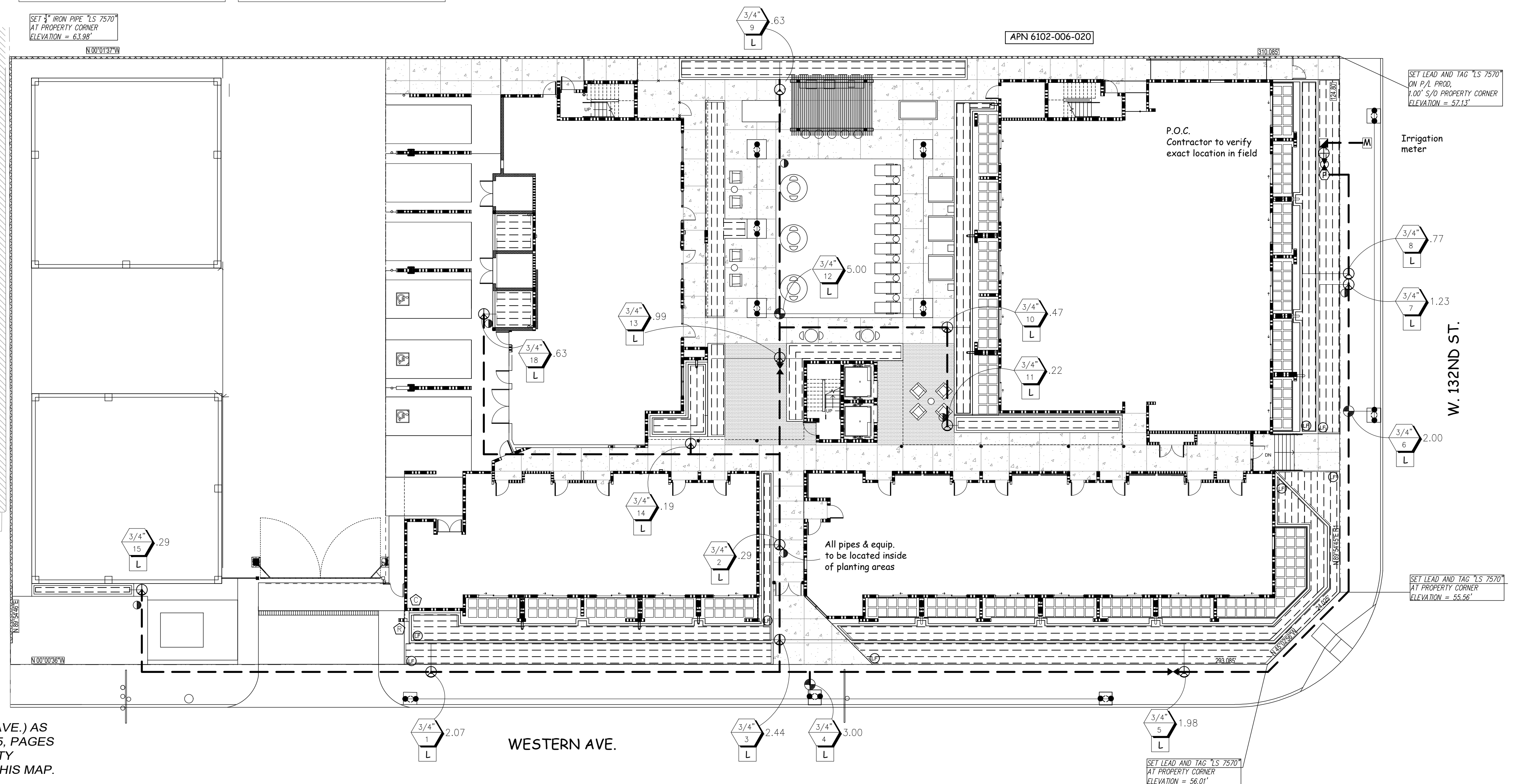
CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR

WATER EFFICIENT LANDSCAPE WORKSHEET							
HYDROZONE / PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/E)	LANDSCAPE AREA	ETAF X AREA	ESTIMATED TOTAL WATER USE
1 / WATER USE PLANT	0.3	DRIP	0.81	0.37	700	259	8045
2 / WATER USE PLANT	0.3	DRIP	0.81	0.37	68	25.16	782
3 / WATER USE PLANT	0.3	DRIP	0.81	0.37	825	305.25	9482
4 / WATER USE PLANT	0.3	DRIP	0.81	0.37	30	11.1	345
5 / WATER USE PLANT	0.3	DRIP	0.81	0.37	670	247.9	7700
6 / WATER USE PLANT	0.3	DRIP	0.81	0.37	20	7.4	230
7 / WATER USE PLANT	0.3	DRIP	0.81	0.37	418	154.66	4804
8 / WATER USE PLANT	0.3	DRIP	0.81	0.37	261	96.57	3000
9 / WATER USE PLANT	0.3	DRIP	0.81	0.37	325	120.25	3735
10 / WATER USE PLANT	0.3	DRIP	0.81	0.37	241	89.17	2770
11 / WATER USE PLANT	0.3	DRIP	0.81	0.37	114	42.18	1310
12 / WATER USE PLANT	0.3	DRIP	0.81	0.37	40	14.8	460
13 / WATER USE PLANT	0.3	DRIP	0.81	0.37	511	189.07	5873
14 / WATER USE PLANT	0.3	DRIP	0.81	0.37	98	36.26	1126
15 / WATER USE PLANT	0.3	DRIP	0.81	0.37	50	18.5	575
16 / WATER USE PLANT	0.3	DRIP	0.81	0.37	154	56.98	1770
17 / WATER USE PLANT	0.3	DRIP	0.81	0.37	70	25.9	805
18 / WATER USE PLANT	0.3	DRIP	0.81	0.37	212	78.44	2437
<b>SUM</b>					4807	1778.59	
<b>TOTAL WATER USE (ETWU)</b>							55247
<b>MAXIMUM APPLIED WATER ALLOWANCE (MAWA)</b>							82123

<b>ETAF CALCULATION</b>	
ETAF X AREA	1778.59
TOTAL AREA	4807
AVERAGE ETAF	0.37

# REVISED COURTYARD LANDSCAPE PLAN (NO POOL)



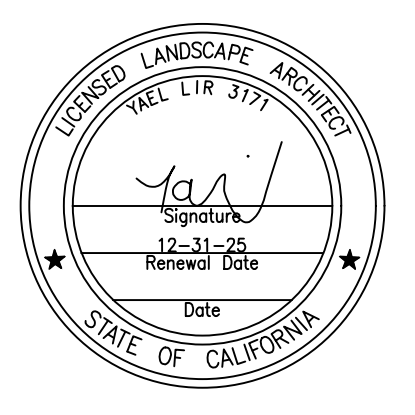
REVISIONS	DATE
1. 2nd/ Plan Check	10.12.22
2. 3rd/ Plan Check	12.08.22
3. 4th/ Plan Check	11.16.23
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5.	9.05.25
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7.	
8.	
9.	



ASLA  
Yael Lir Landscape Architects  
1010 Sycamore Ave. Suite 313  
South Pasadena, CA 91030  
Tel 323.258.5222  
Fax 323.258.5333  
yael@yaelir.com

13126 WESTERN AVE.  
GARDENA, CA 90249

**FIRST FLOOR IRRIGATION PLAN**



DATE: JUNE 28, 2021  
SCALE: 1/16"=1'-0"  
JOB NUMBER: 224221  
DRAWN BY:

**LANDSCAPE FORMS LIGHT LEGEND**

SYM.	NAME	COLOR TEMP	FINISH
▼	Outline Bollard Light	2,700K	Bronze Metallic

Tel: 800.521.2546

**FX LUMINAIRE LIGHT LEGEND**

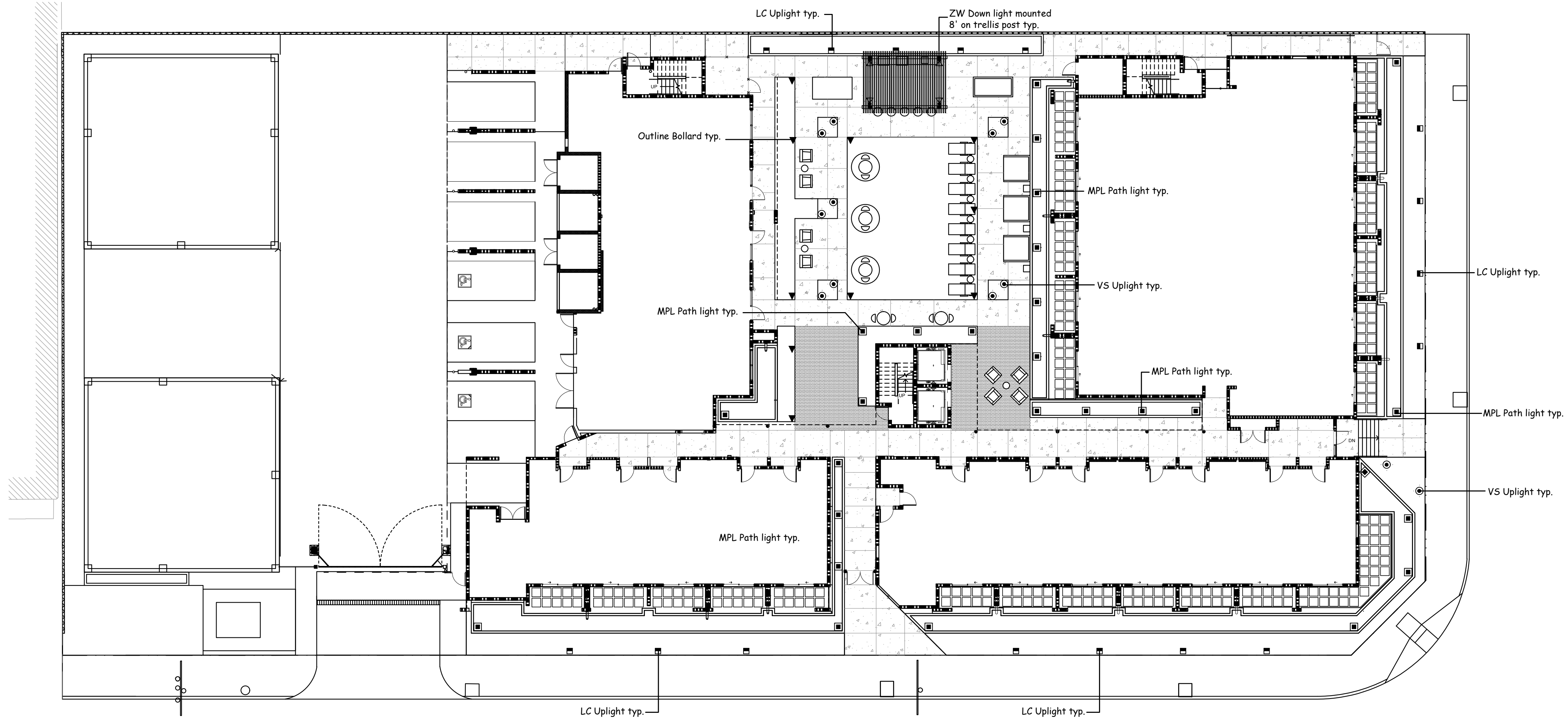
SYM.	NAME	LED #	WATTS	FINISH	REMARKS
⊙	VS Up Light	3	4.2	Camo Bronze	w/ brow cover
■	LC Up Light	9	11.2	Camo Bronze	
■	MPL Path Light	3	4.2	Camo Bronze	
▽	ZW Down Light	8	6	Camo Bronze	mounted 8' from ground on post

Tel: 714.782.9248  
DAVID OSBORN

Transformers/Timer by FX Luminaire:  
T-1 LX-300-SS

**LIGHTING NOTES**

Landscape lighting system to be powered, and shut off by timer.  
Use 12-2 wire on 12V system.  
Fixtures shall be placed subsequent to planting.  
Lamping shall be done upon completion of plant material installation approved by the Landscape Architect.



**REVISED COURTYARD LANDSCAPE PLAN (NO POOL)**

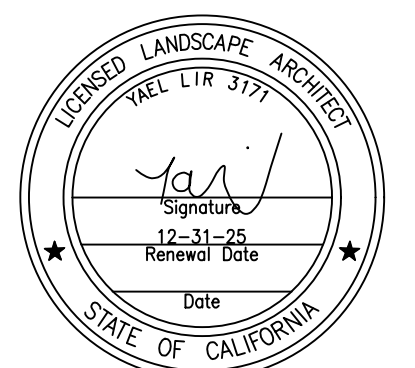
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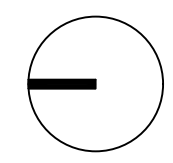
ASLA  
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Tel 323.258.5222  
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yael@yaellir.com

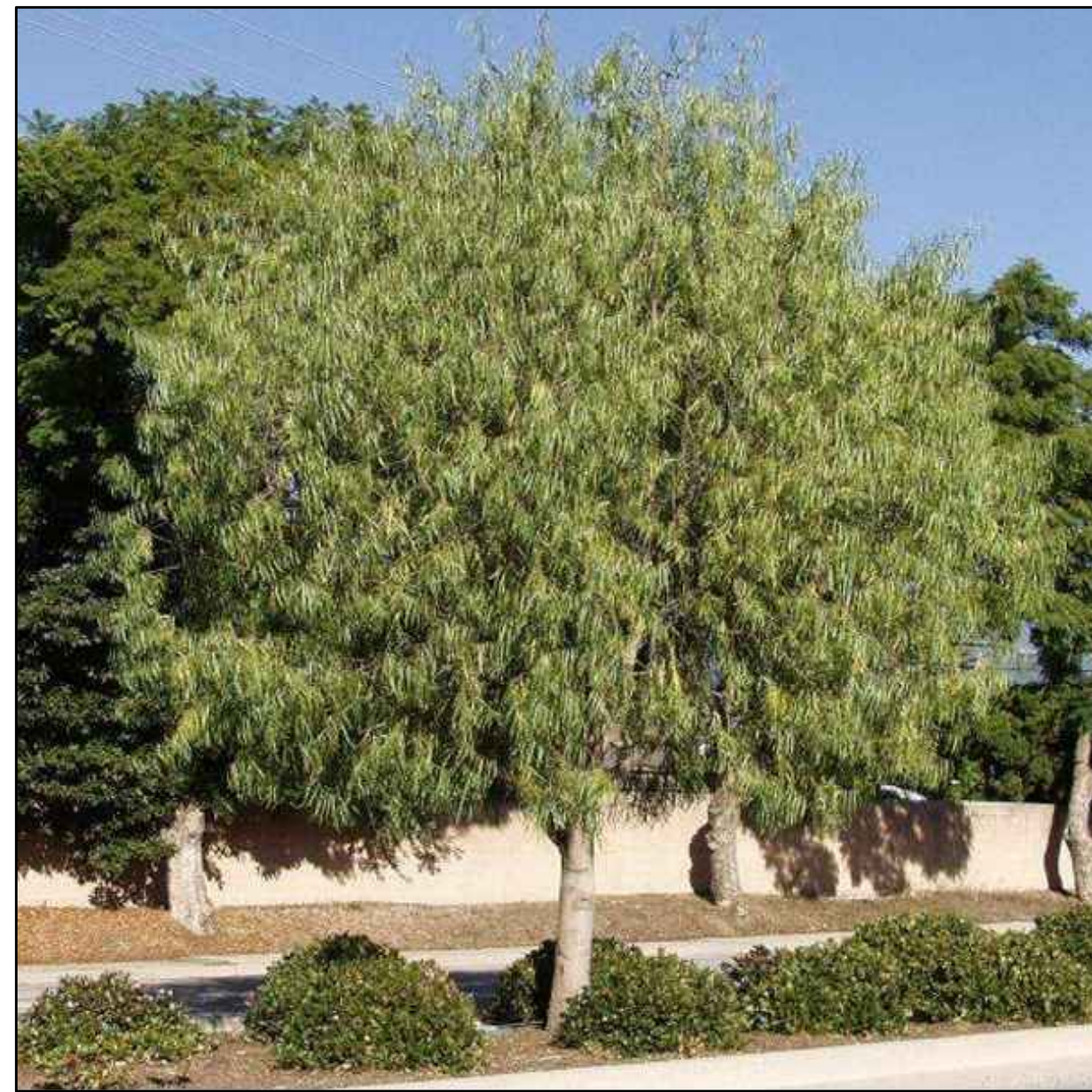
13126 WESTERN AVE.  
GARDENA, CA 90249

**FIRST FLOOR  
LIGHTING PLAN**

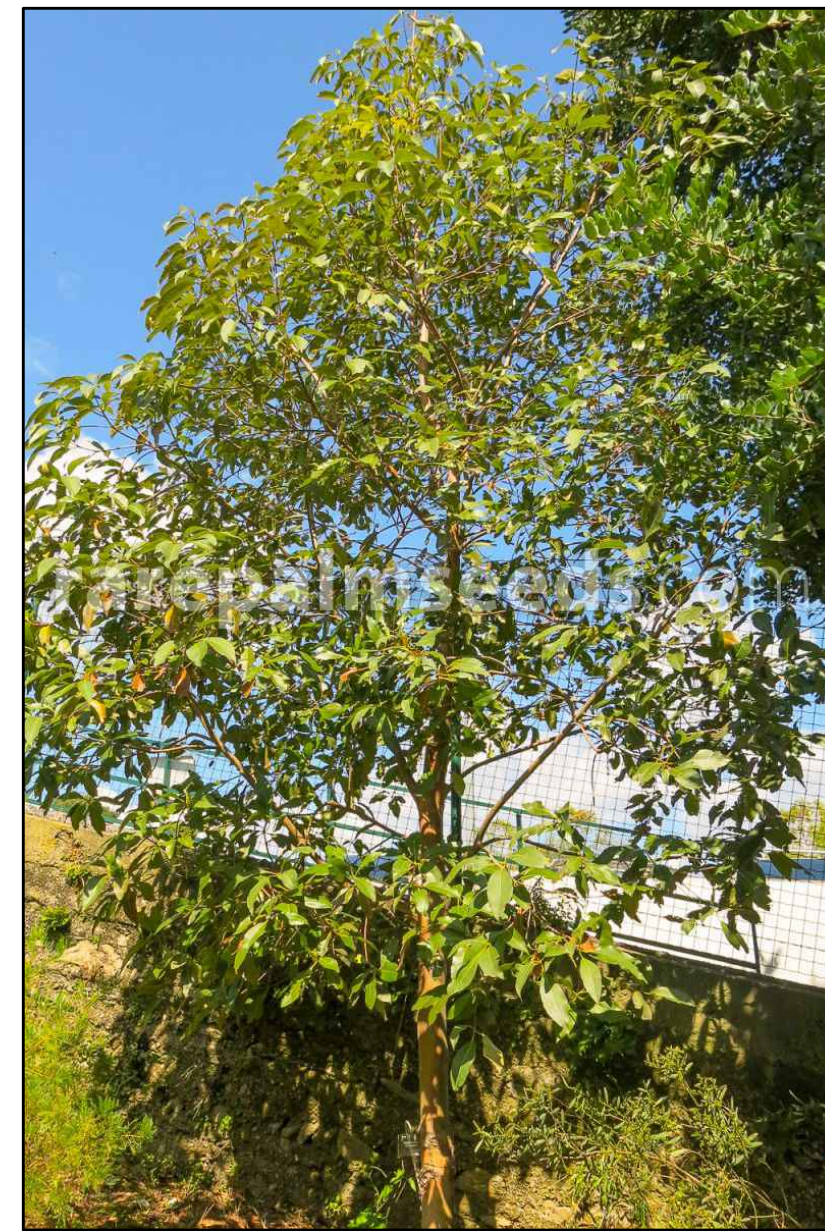


DATE: JUNE 28, 2021  
SCALE: 1/16"=1'-0"  
JOB NUMBER: 224221  
DRAWN BY:





*Geijera parviflora* / Australian Willow



*Lophostemon confertus* / Brisbane Box



*Bambusa m. 'Alphonse Karr'* / Alphonse Karr Bamboo



*Alpinia zerumbet* / Variegated Shell Ginger



*Dianella r. 'Little Rev'* / Flax Lilly



*Opuntia 'Santa-Rita'* / Sant Rita Prickly Pear



*Philodendron Xanadu*



*Photinia fraseri 'Red Robin'* / Fraser Photinia



*Chondropetalum tectorum* / Cape Rush



*Portulacaria afra 'Aurea'* / Yellow Rainbow Bush



*Sansevieria trifasciata* / Mother In Law's Tongue



*Aspidistra elatior* / Cast Iron Plant



*Rhapsiolepis umbellata 'Minor'*



*Westringia f. 'Wynabbie Gem'* / Coast Rosemary



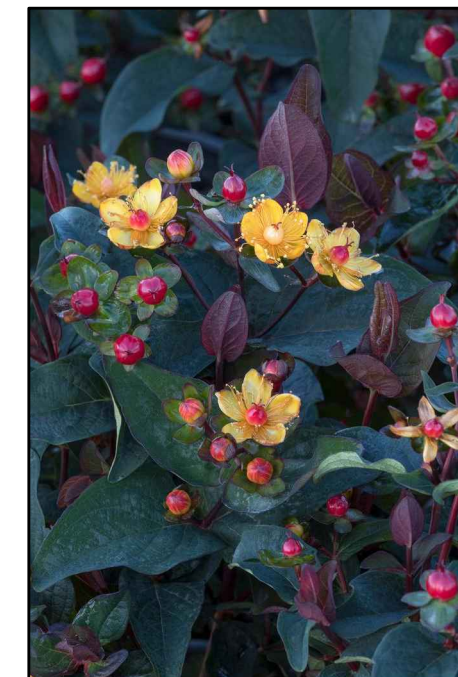
*Photinia fraseri* / Fraser Photinia



*Euphorbia tirucalli* 'Sticks on Fire' / Red Pencil Tree



*Senecio vitalis*



*Hypericum x inodorum* 'Kolpinot' / Floral Berry



*Juncus patens* / Ca. Grey Rush



*Ficus pumila* / Creeping Fig



*Senecio mandraliscae*



*Mahonia repens* / Creeping Mahonia

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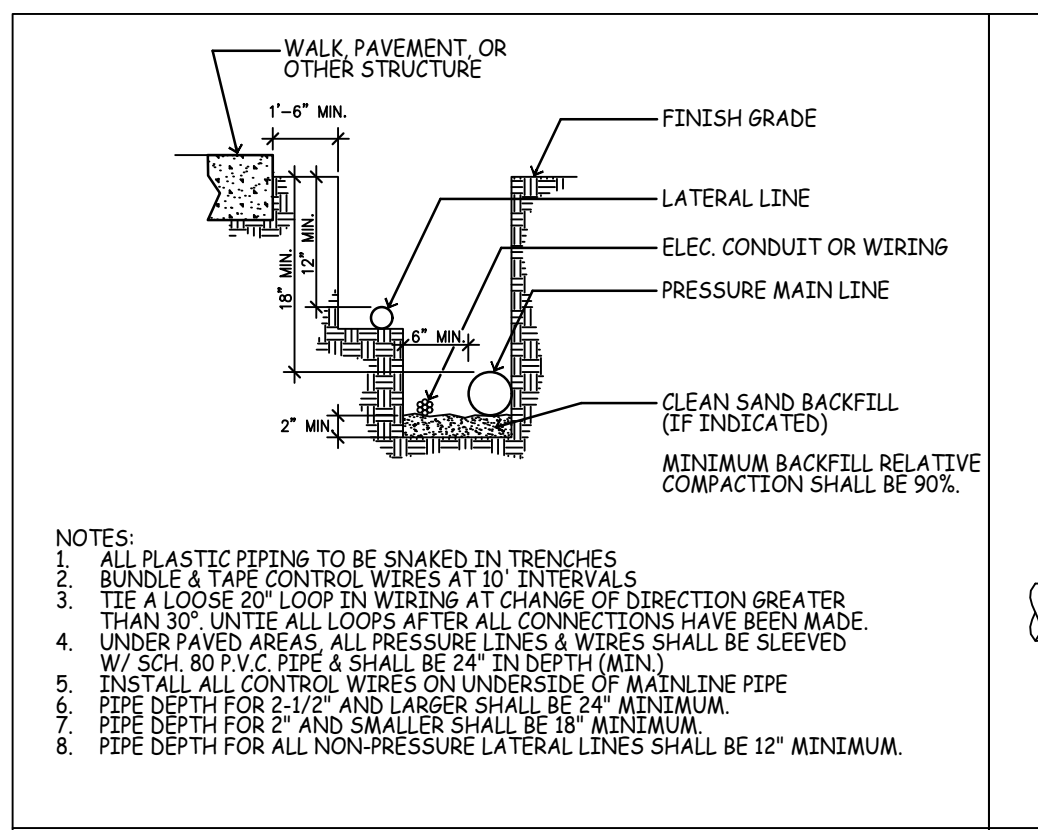
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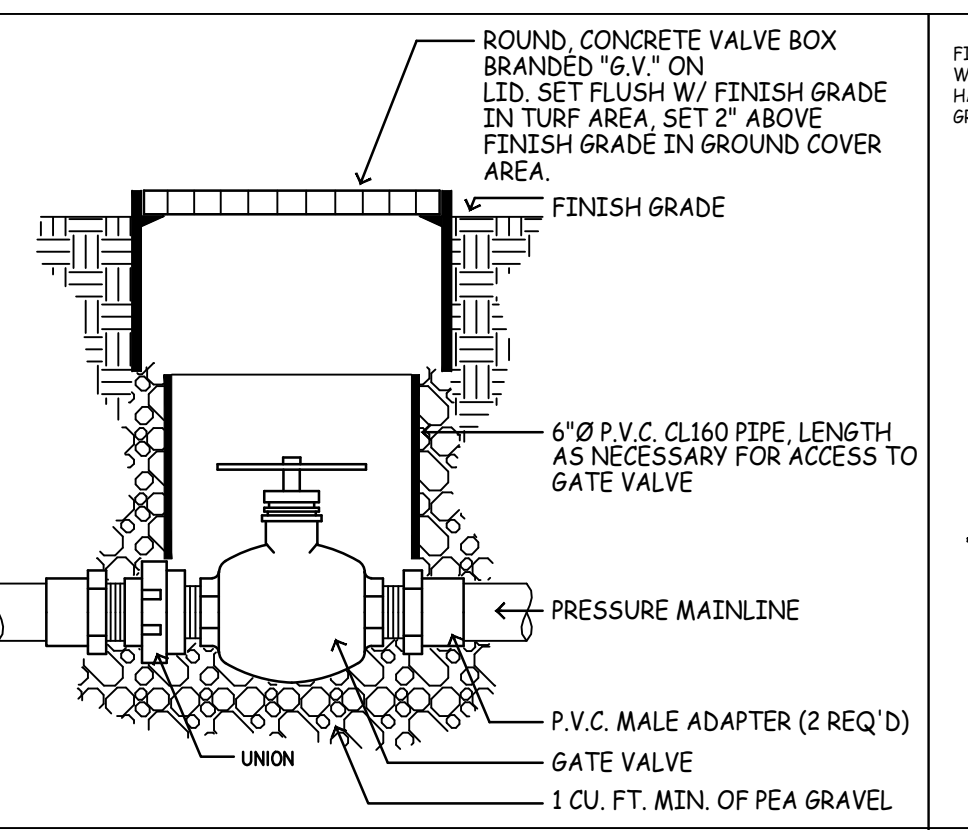
PLANT PHOTOS



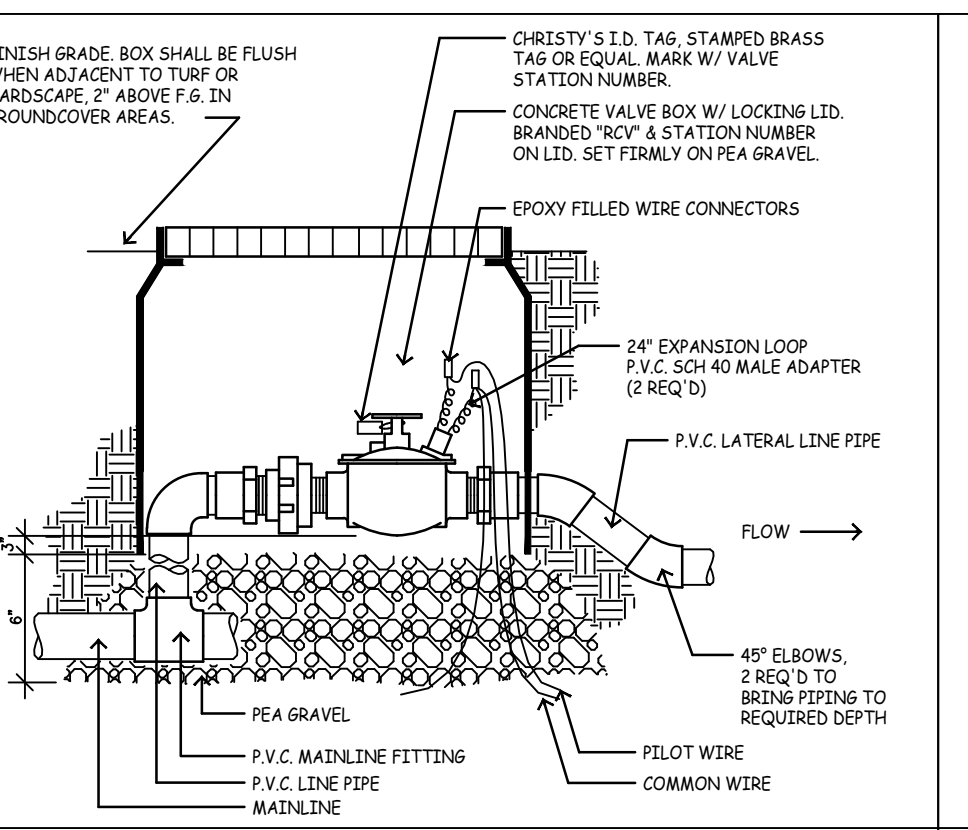
DATE: JUNE 28, 2021  
 SCALE: 1/16"=1'-0"  
 JOB NUMBER: 224221  
 DRAWN BY:



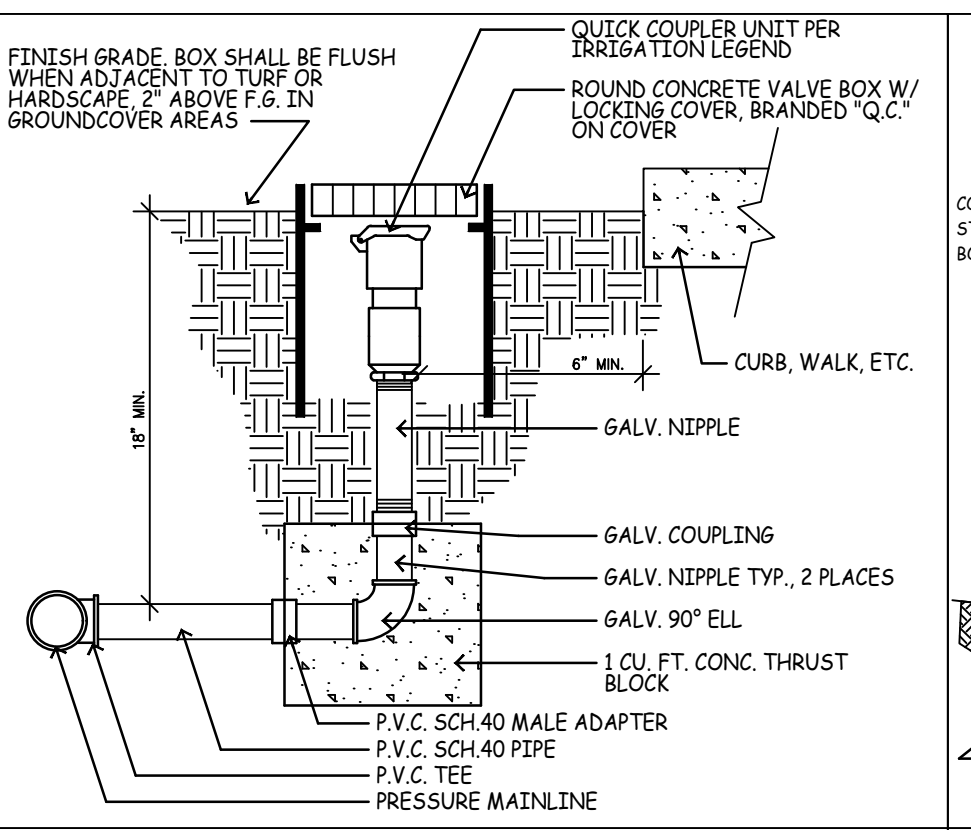
**TRENCHING DETAIL**  
SCALE: N.T.S.  
FILE: D\_LR002



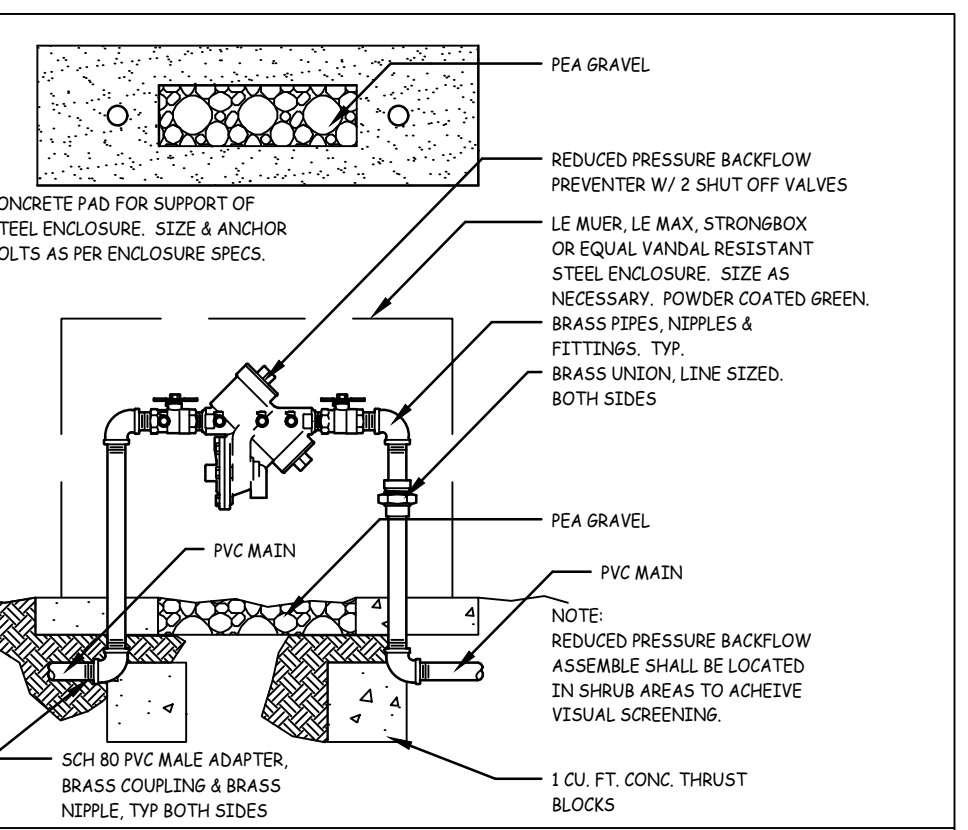
**GATE VALVE**  
SCALE: N.T.S.  
FILE: D\_LR003



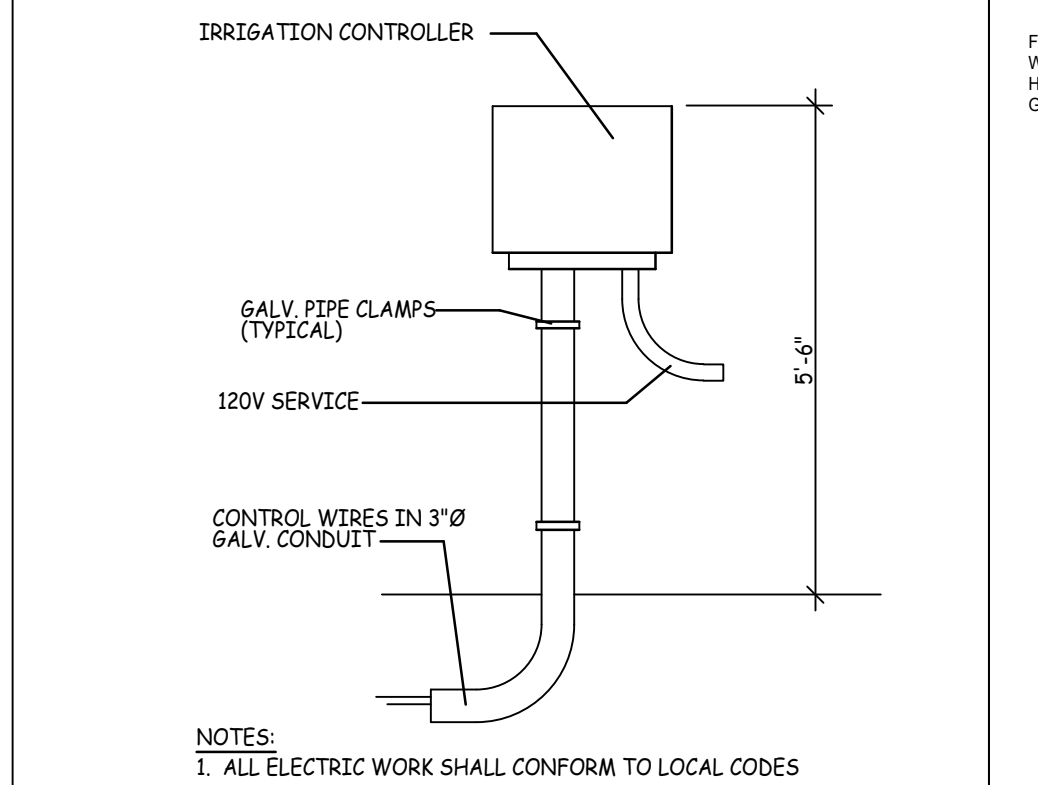
**CONTROL VALVE**  
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FILE: D\_LR004



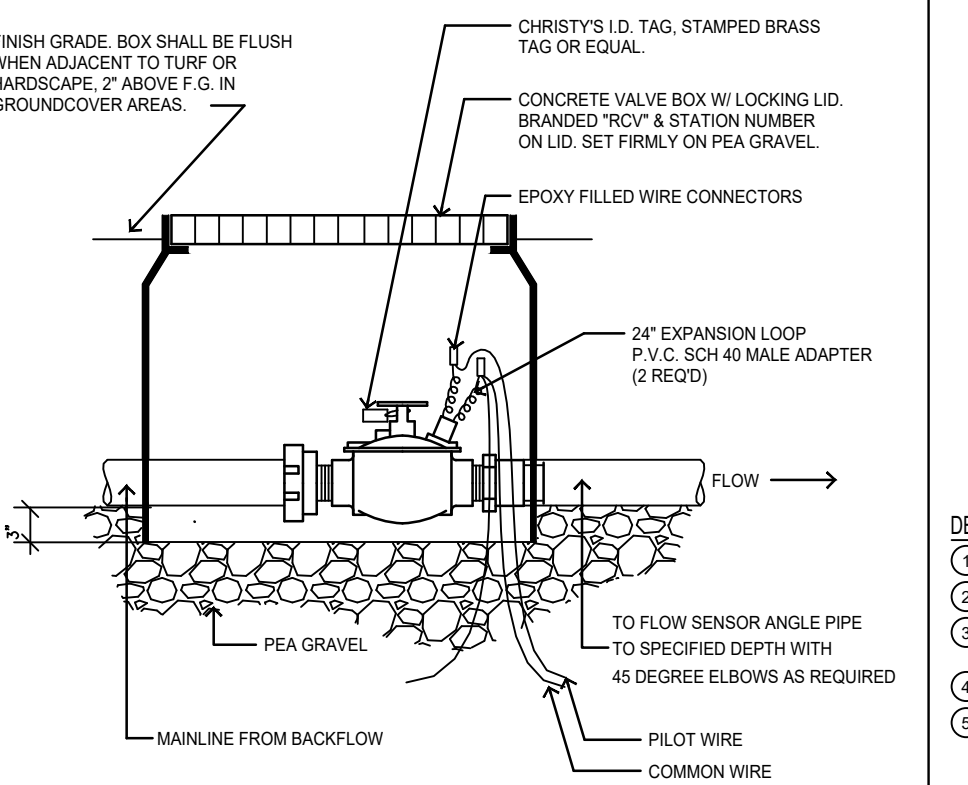
**QUICK COUPLER**  
SCALE: N.T.S.  
FILE: D\_LR005



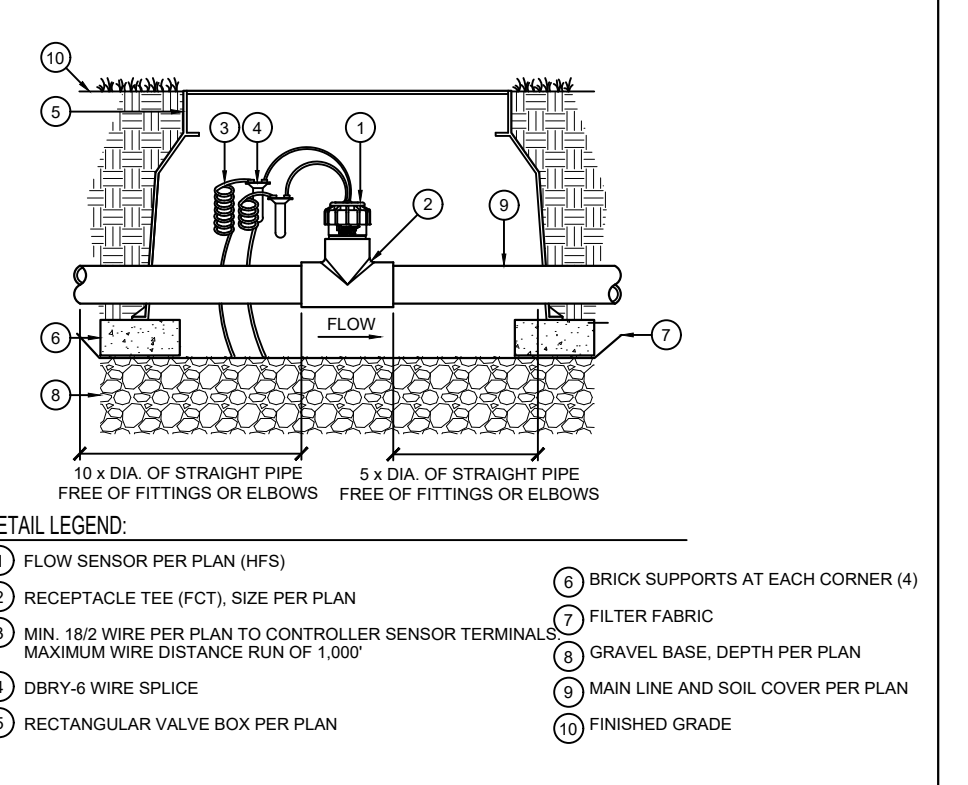
**BACKFLOW PREVENTER**  
SCALE: N.T.S.  
FILE: D\_LR006



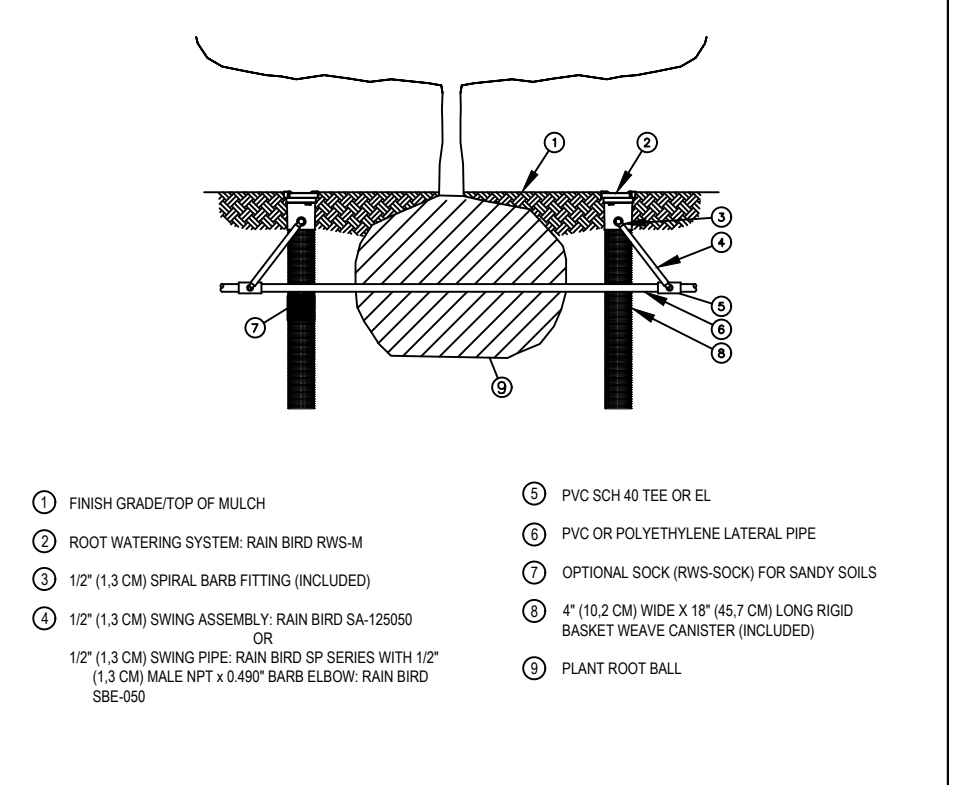
**IRRIGATION CONTROLLER**  
SCALE: N.T.S.  
FILE: D\_LR008



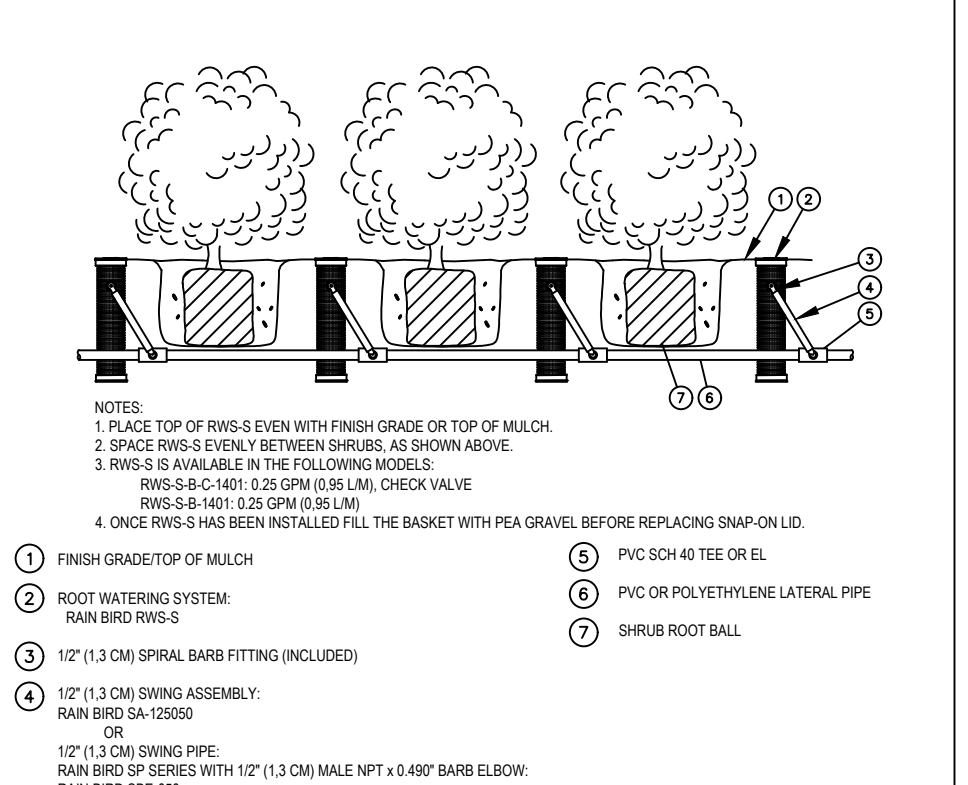
**MASTER VALVE**  
SCALE: N.T.S.  
FILE: D\_LR004



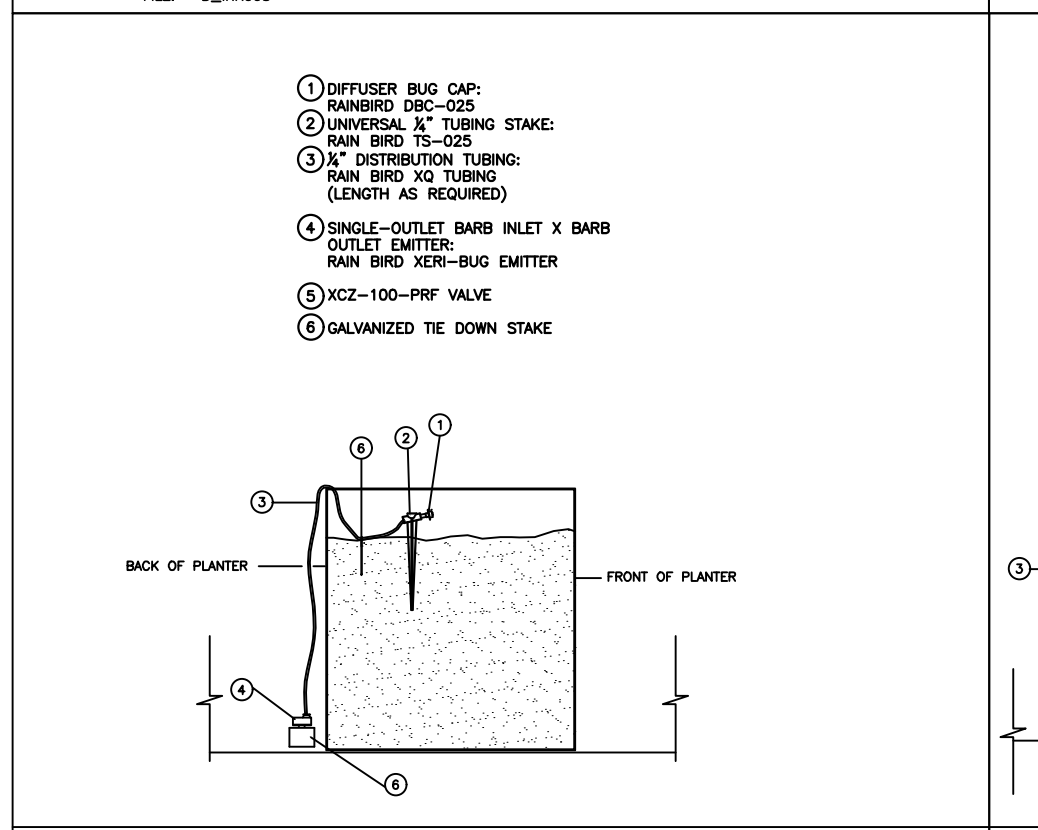
**FLOW SENSOR**  
SCALE: N.T.S.  
FILE: FILENAME



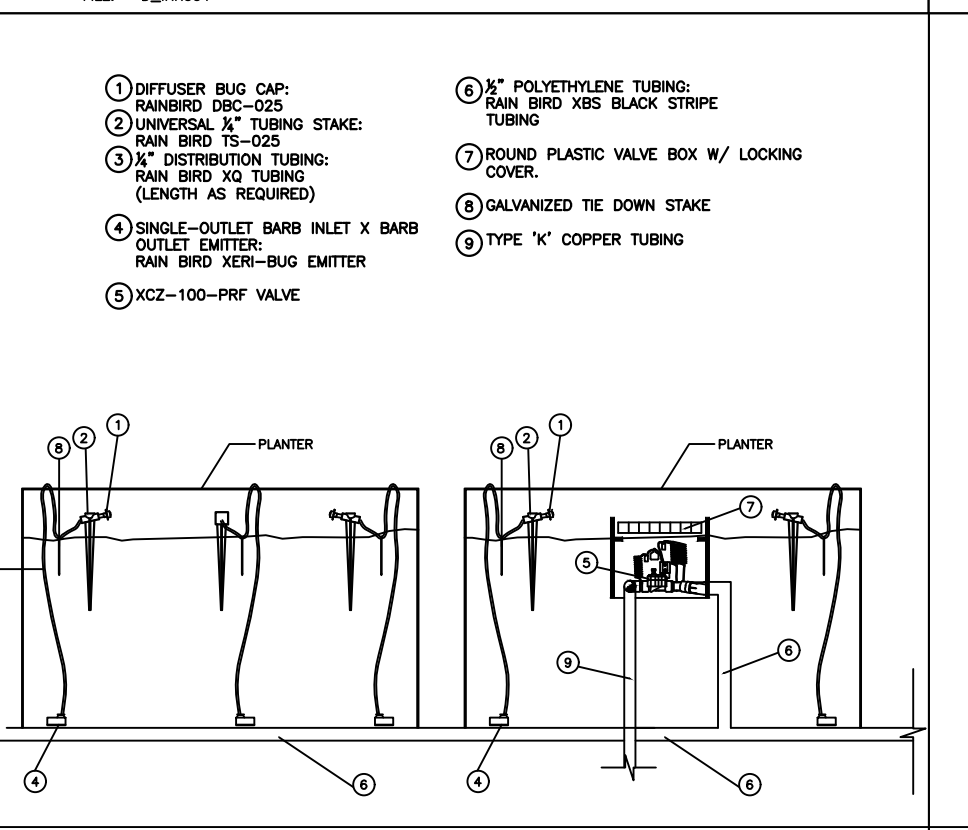
**TREE ROOT WATER SYSTEM**  
SCALE: N.T.S.  
FILE: FILENAME



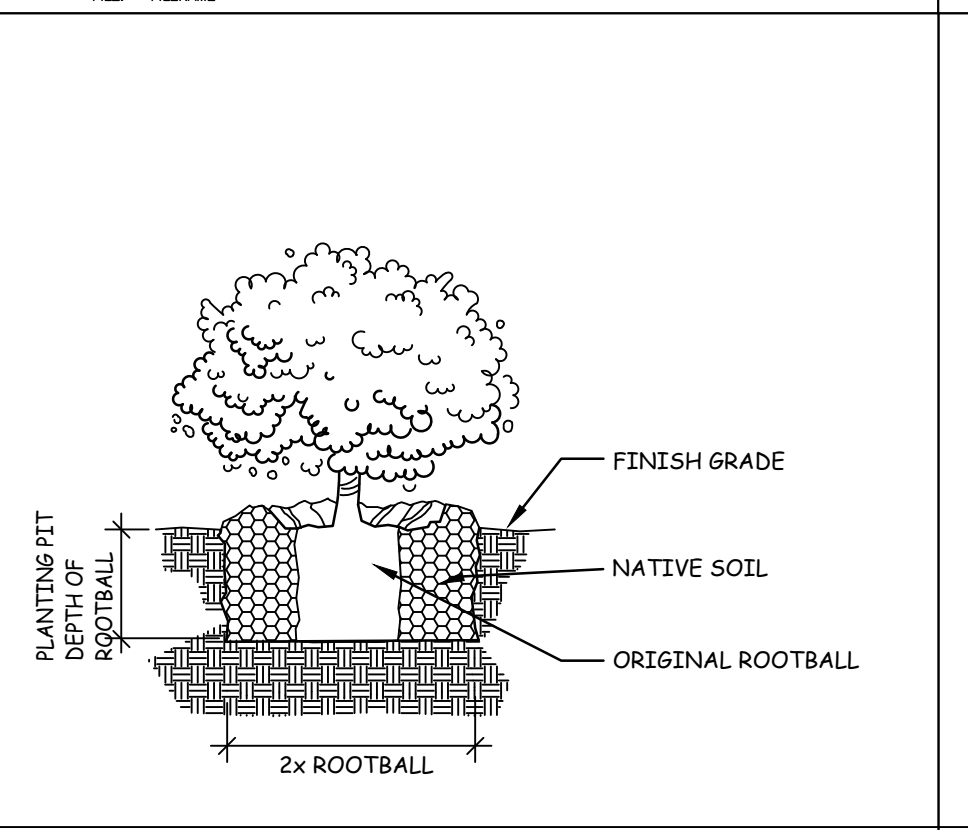
**SHRUB ROOT WATER SYSTEM**  
SCALE: N.T.S.  
FILE: FILENAME



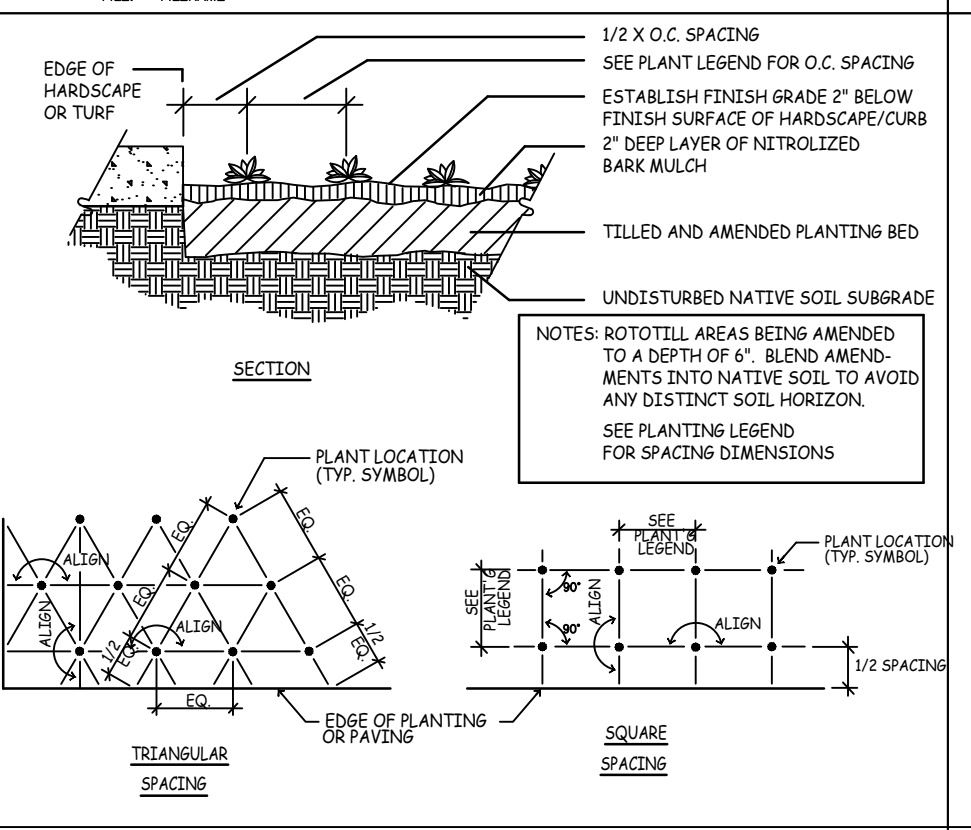
**WALL MOUNT CONTROLLER**  
SCALE: N.T.S.  
FILE: D\_LR008



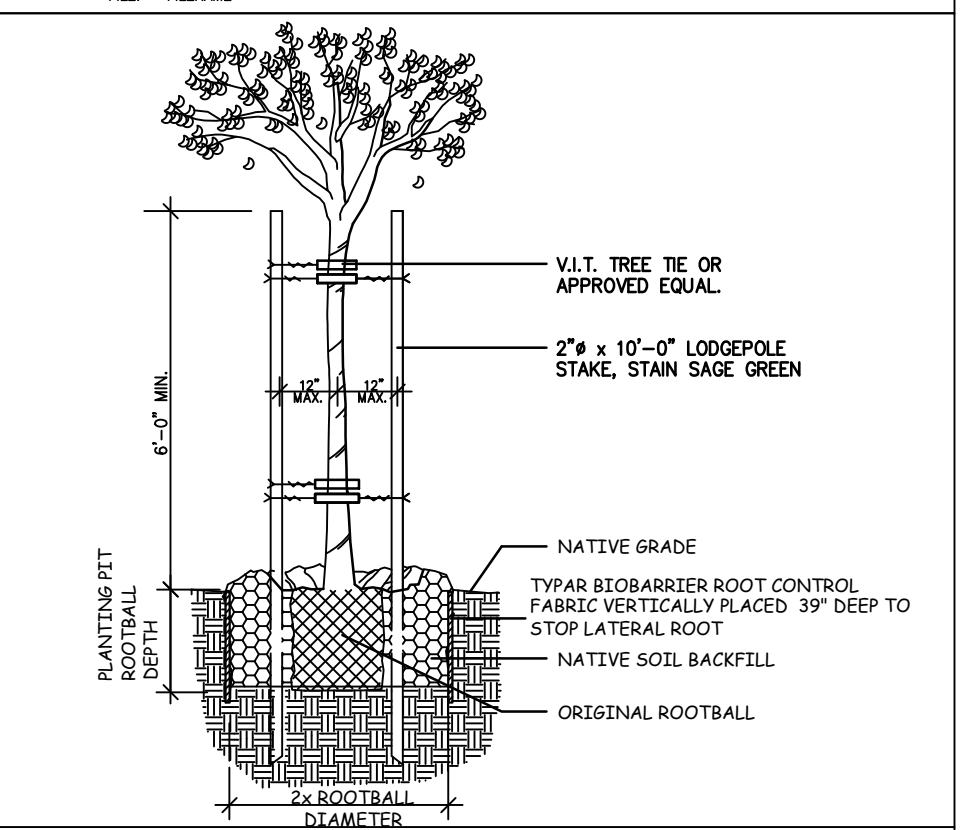
**ROOF PLANTER IRRIGATION**  
SCALE: N.T.S.  
FILE: FILENAME



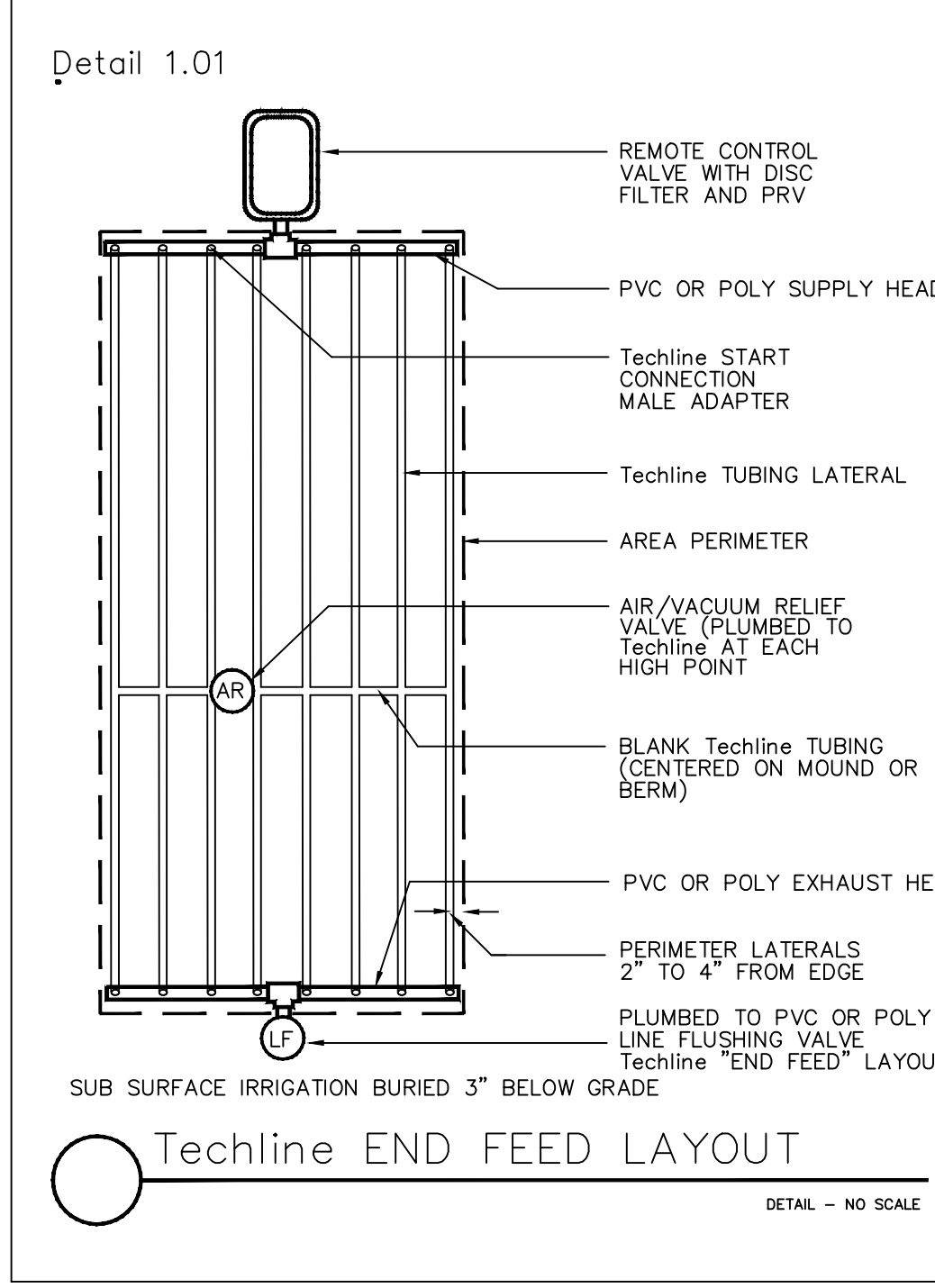
**SHRUB PLANTING**  
SCALE: N.T.S.  
FILE: D\_PD001



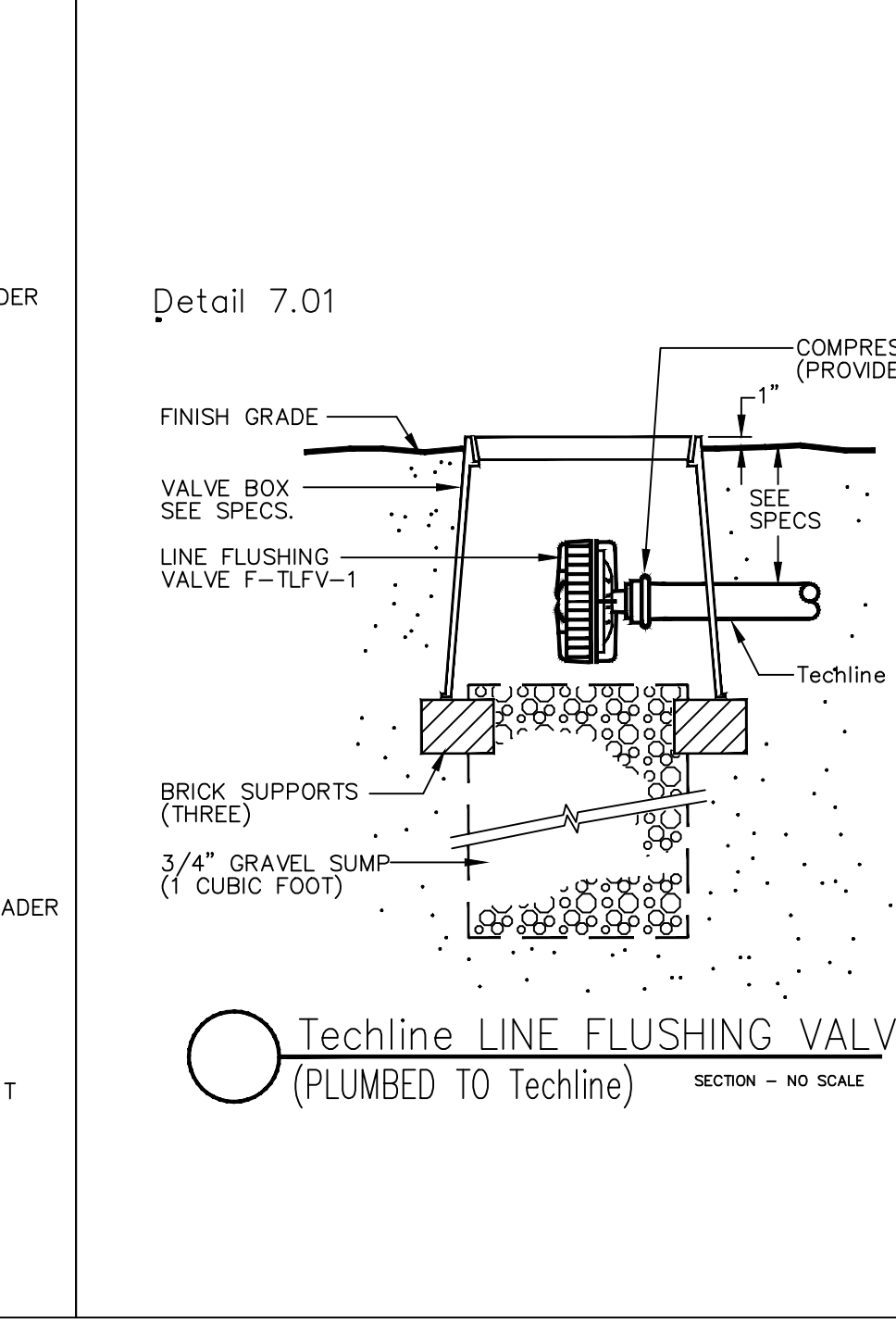
**GROUNDCOVER PLANTING**  
SCALE: N.T.S.  
FILE: D\_PD002



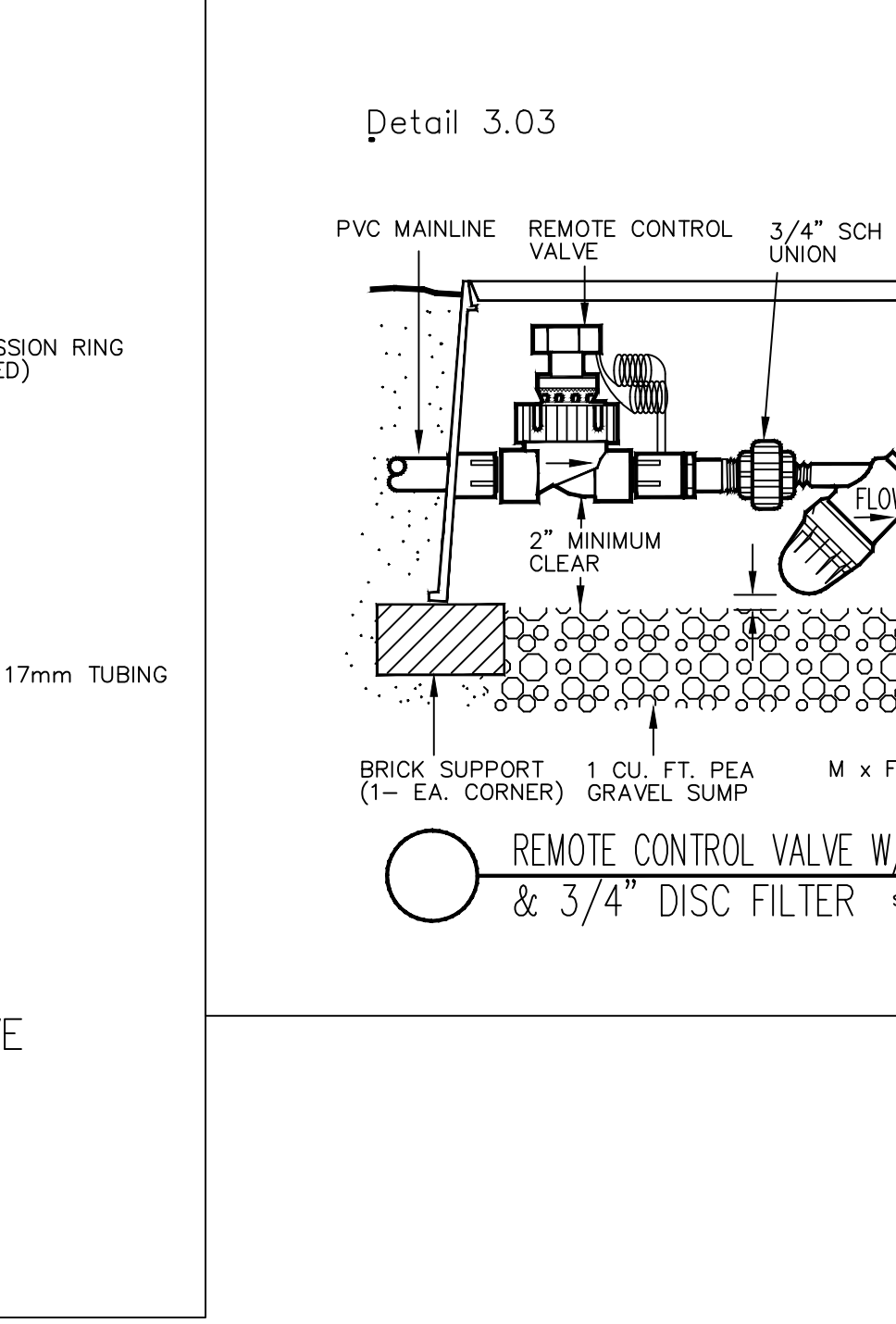
**TREE PLANTING & STAKING**  
SCALE: N.T.S.  
FILE: PLA\_003



**Detail 1.01**  
SUB SURFACE IRRIGATION BURIED 3\"/>



**Detail 7.01**  
Techline LINE FLUSHING VALVE (PLUMBED TO Techline) SECTION - NO SCALE



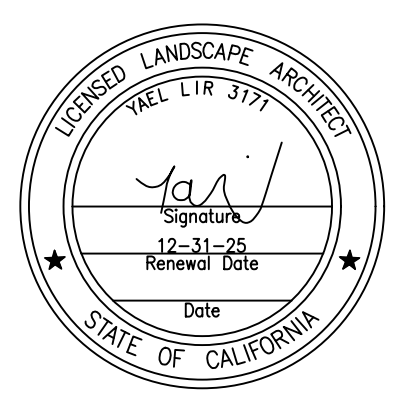
**Detail 3.03**  
REMOTE CONTROL VALVE W/ 3/4\"/>

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**Yael**  
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13126 WESTERN AVE.  
GARDENA, CA 90249

**DETAIL SHEET**



DATE: JUNE 28, 2021  
SCALE: 1/16"=1'-0"  
JOB NUMBER: 224221  
DRAWN BY:

# 13126 WESTERN AVE CIVIL PLANS

121 UNIT SINGLE ROOM OCCUPANCY (350 SF), 4 STORIES FREE STANDING 6 TIER, 114 CAR  
AUTOMATED PARKING STRUCTURE



VICINITY MAP  
NOT TO SCALE

**PREVIOUSLY APPROVED CIVIL COVER SHEET (NO CHANGE)**

## GENERAL

- ALL NEW CONSTRUCTION SHALL COMPLY WITH THE CONTRACT DOCUMENTS AND LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE, "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION", AND CITY OF GARDENA LOCAL ORDINANCES AS APPLICABLE.
- THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY, AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS.
- GRADING SHALL BE DONE UNDER THE SUPERVISION OF A SOIL ENGINEER IN CONFORMANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATION REPORT BY HAMILTON & ASSOCIATES DATED AUGUST 31, 2021. THIS REPORT IS A PART OF THESE PLANS.
- ALL DRAWINGS ARE CONSIDERED TO BE A PART OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REVIEW AND COORDINATION OF ALL DRAWINGS AND SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES THAT OCCUR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION SO THAT A CLARIFICATION CAN BE ISSUED. ANY WORK PERFORMED IN CONFLICT WITH THE CONTRACT DOCUMENTS OR ANY CODE REQUIREMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT THEIR OWN EXPENSE AND AT NO EXPENSE TO THE OWNER OR ARCHITECT.
- THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE GIVEN, CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR WORK.
- THE EXISTENCE, LOCATION AND CHARACTERISTICS OF UNDERGROUND UTILITY INFORMATION SHOWN ON THESE PLANS HAVE BEEN OBTAINED FROM A REVIEW OF AVAILABLE RECORD DATA. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID UTILITY INFORMATION. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.
- IF AT ANY TIME DURING GRADING OPERATIONS, ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, GRADING IN THAT AREA WILL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED.
- THE PROPOSED GRADE IS THE FINAL GRADE AND NOT THE ROUGH GRADE. THE CONTRACTOR SHALL SUBTRACT THE THICKNESS OF THE PAVED SECTION AND/OR LANDSCAPE TOPSOIL SECTION TO ARRIVE AT THE ROUGH GRADE ELEVATION.
- STRAIGHT GRADE SHALL BE MAINTAINED BETWEEN CONTOUR LINES AND SPOT ELEVATIONS UNLESS OTHERWISE SHOWN ON THE PLANS.
- ALL DEBRIS AND FOREIGN MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT APPROVED DISPOSAL SITES. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FOR THE TRANSPORTATION OF MATERIAL TO AND FROM THE SITE.
- ALL FILL SOILS OR SOILS DISTURBED OR OVEREXCAVATED DURING CONSTRUCTION SHALL BE COMPACTED PER THE REQUIREMENTS OF THE SOILS REPORT BUT NOT LESS THAN 90% MAXIMUM DENSITY AS DETERMINED BY A.S.T.M. SOIL COMPACTION TEST D-1557.
- THE CONTRACTOR SHALL OBTAIN AN O.S.H.A. PERMIT FROM THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE CONSTRUCTION OF TRENCHES OR EXCAVATIONS WHICH ARE FIVE FEET OR DEEPER.
- DIMENSIONS TO PIPELINES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
- ALL WATER LINES SHALL BE INSTALLED WITH 36" MINIMUM COVER FROM TOP OF PIPE TO FINISHED GRADE, UNLESS OTHERWISE NOTED.
- THRUST BLOCKS SHALL BE INSTALLED AT WATERLINE HORIZONTAL AND VERTICAL BENDS, TEES, CAPPED ENDS AND REDUCERS ACCORDING TO THE DETAILS PROVIDED ON THESE PLANS.
- CONSTRUCTION STAKING FOR IMPROVEMENTS SHOWN ON THESE PLANS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR. CONSTRUCTION STAKING SURVEYOR SHALL BE RESPONSIBLE FOR COORDINATION OF THESE PLANS WITH SOURCE DRAWINGS PREPARED BY ARCHITECT, LANDSCAPE ARCHITECT, STRUCTURAL ENGINEER, MEP CONSULTANT AND ANY OTHER DISCIPLINE PRIOR TO START OF STAKING AND CONSTRUCTION. ANY DISCREPANCIES THAT OCCUR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION SO THAT A CLARIFICATION CAN BE ISSUED.
- THE CONTRACTOR SHALL REPLACE ALL EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION TO MATCH EXISTING, INCLUDING PERMANENT TRENCH RESURFACING.
- CONTRACTOR TO CONTACT UNDERGROUND SERVICE ALERT (800-227-2600) PRIOR TO EXCAVATION.
- ALL DIMENSIONS ARE IN FEET OR DECIMALS THEREOF.
- ALL CURB DIMENSIONS AND RADI ARE TO PAVEMENT FACE OF CURB.
- CONTRACTOR TO BE AWARE OF ALL OVERHEAD LINES AT ALL TIMES, SO AS NOT TO DISTURB THEM.
- WATER SHALL BE PROVIDED ONSITE AND USED TO CONTROL DUST DURING CONSTRUCTION OPERATIONS.
- CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS FROM THE CITY OF GARDENA FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- STORM DRAINAGE SYSTEMS SHOWN ON THESE PLANS HAVE BEEN DESIGNED FOR THE FINAL SITE CONDITION AT COMPLETION OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE OF THE SITE, DURING INTERIM CONDITIONS OF CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, INCLUDING NPDES, FROM THE APPROPRIATE JURISDICTIONAL AGENCIES FOR DISCHARGE OF GROUNDWATER THAT MAY BE NECESSARY TO ACCOMPLISH EXCAVATIONS SHOWN ON THESE PLANS.
- ALL PROPERTY CORNERS SHALL BE CLEARLY DELINEATED IN THE FIELD PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION/GRADING.
- ALL WORK UNDER THIS GRADING PERMIT SHALL BE LIMITED TO WORK WITHIN THE PROPERTY LINES. ALL WORK WITHIN THE ROAD RIGHT-OF-WAY WILL REQUIRE SEPARATE PLANS AND AN ENCROACHMENT PERMIT.
- THE CONTRACTOR SHALL NOTIFY BUILDING AND SAFETY AT LEAST 24 HOURS IN ADVANCE TO REQUEST FINISHED LOT GRADE AND DRAINAGE INSPECTION. THIS INSPECTION MUST BE APPROVED PRIOR TO BUILDING PERMIT FINAL INSPECTION.
- MAXIMUM CUT AND FILL SLOPE = 2:1.
- NO FILL SHALL BE PLACED ON EXISTING GROUND UNTIL THE GROUND HAS BEEN CLEARED OF WEEDS, DEBRIS, TOPSOIL AND OTHER DELETERIOUS MATERIAL. FILLS SHOULD BE PLACED IN THIN LIFTS (8-INCH MAX OR AS RECOMMENDED IN SOILS REPORT), COMPACTED AND TESTED AS GRADING PROCESS UNTIL FINAL GRADES ARE ATTAINED.
- DRAINAGE ACROSS THE PROPERTY LINE SHALL NOT EXCEED THAT WHICH EXISTED PRIOR TO GRADING. EXCESS OR CONCENTRATED DRAINAGE SHALL BE CONTAINED ON SITE OR DIRECTED TO AN APPROVED DRAINAGE FACILITY.
- DURING ROUGH GRADING OPERATIONS AND PRIOR TO CONSTRUCTION OF PERMANENT DRAINAGE STRUCTURES, TEMPORARY DRAINAGE CONTROL (BEST MANAGEMENT PRACTICES, BMP'S) SHALL BE PROVIDED TO PREVENT PONDING WATER AND DAMAGE TO ADJACENT PROPERTIES.
- DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS.
- A REGISTERED CIVIL ENGINEER SHALL PREPARE FINAL COMPACTION REPORT/GRADING REPORT AND IT SHALL BE SUBMITTED FOR REVIEW AND APPROVAL. THE REPORT SHALL ALSO PROVIDE BUILDING FOUNDATION DESIGN PARAMETERS INCLUDING ALLOWABLE SOIL PRESSURES, EXPANSION INDEX AND REMEDIAL MEASURES IF EX-20, WATER SOLUBLE SULFATE CONTENT, CORROSIVELY AND REMEDIAL MEASURES IF NECESSARY.
- THE COMPACTION REPORT SHALL INCLUDE THE SPECIAL INSPECTION VERIFICATIONS LISTED IN TABLE 1704.7 OF THE CALIFORNIA BUILDING CODE.
- A REGISTERED CIVIL ENGINEER SHALL SUBMIT TO BUILDING AND SAFETY WRITTEN CERTIFICATION OF COMPLETION OF GRADING IN ACCORDANCE WITH THE APPROVED GRADING PLAN PRIOR TO REQUESTING INSPECTION AND ISSUANCE OF THE BUILDING PERMIT. CERTIFICATION SHALL INCLUDE LINE GRADE, SURFACE DRAINAGE, ELEVATION, AND LOCATION OF PERMITTED GRADING ON THE LOT.

## LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF GARDENA, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:  
LOT 30 OF BLOCK 6 OF PANAMA ACRES, IN THE CITY OF GARDENA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 15, PAGE(S) 138 AND 139 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY, CALIFORNIA.

EXCEPTING THEREFROM THAT PORTION OF SAID LOT 30, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWESTERLY CORNER OF SAID LOT;  
THENCE NORTHERLY ALONG THE WESTERLY LINE OF SAID LOT, A DISTANCE OF 17.00 FEET;  
THENCE SOUTHEASTERLY IN A DIRECT LINE 24.03 FEET TO A POINT IN THE SOUTHERLY LINE OF SAID LOT DISTANT EASTERLY THEREON 17.00 FEET FROM TO THE POINT OF BEGINNING;  
THENCE WESTERLY ALONG SAID SOUTHERLY LINE 17.00 FEET TO SAID TO THE POINT OF BEGINNING.

ALSO EXCEPTING THEREFROM ALL OIL, OIL RIGHTS, NATURAL GAS RIGHTS, MINERAL RIGHTS, ALL OTHER HYDROCARBON SUBSTANCES BY WHATSOEVER NAME KNOWN, AND ALL WATER, CLAIMS OR RIGHTS TO WATER, TOGETHER WITH APPURTENANT RIGHTS THERETO, WITHOUT HOWEVER, ANY RIGHT TO ENTER UPON THE SURFACE OF SAID LAND FOR ANY PORTION OF THE SUBSURFACE LYING ABOVE A DEPTH OF 500 FEET, AS EXCEPTED OR RESERVED IN DEEDS OF RECORD.

APN: 6102-006-013

AREA: 1.006 ACRES

## BASIS OF BEARING

THE BEARING N 89°54'45"E OF THE NORTHERLY RIGHT-OF-WAY (TRANSFERRED TO CENTERLINE) OF 132ND ST (FORMERLY GRAND AVE) AS SHOWN ON THE PANAMA ACRES TRACT, AS RECORDED IN BOOK 15, PAGES 138 AND 139 OF MAPS, IN THE OFFICE OF THE LOS ANGELES COUNTY RECORDER, WAS TAKEN AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

## BENCHMARK

BM ID: RY7945  
ROBM TAG IN SOUTH CURB 2FT E/O BCR AT SE CORNER 132ND ST & NORMANDIE AVE.  
ELEV = 87.63 (NAVD 88)(2013 ADJ.)

## EASEMENT

NO EASEMENTS WERE FOUND PER THE TITLE REPORT

## PLANNING ZONE

PLANNING ZONE: INDUSTRIAL ZONE - M1

## PROPERTY TO BE DEMOLISHED

LOT 30 OF BLOCK 6 OF PANAMA ACRES, IN THE CITY OF GARDENA PER LA COUNTY MB 15 PAGES 138 AND 139 OF MAPS.

## ESTIMATED EARTHWORK QUANTITIES

CUT:	830 CUBIC YARDS
FILL:	0 CUBIC YARDS
NET (CUT/FILL):	830 CUBIC YARDS (EXPORT)
REMOVAL AND RECOMPACTION:	2173 CUBIC YARDS

## EARTHWORK CALCULATION NOTES:

- THE ESTIMATED QUANTITIES PROVIDED ABOVE ARE TO BE USED FOR JURISDICTIONAL PLAN CHECKING AND PERMITTING PURPOSES ONLY.
- ESTIMATED EARTHWORK ABOVE IS BASED ON DESIGN FINISH GRADES TO EXISTING GRADES AND/OR CONTOURS AS PROVIDED ON THE BASE SURVEY. THE ESTIMATED EARTHWORK DOES NOT ACCOUNT FOR THE THICKNESS OF PAVEMENTS, FOUNDATIONS AND SLABS ON GRADE, FOOTINGS, CLEARING AND GRUBBING, OVER EXCAVATION AND RECOMPACTION, AND CONSTRUCTION MEANS AND METHODS.
- THE ESTIMATED EARTHWORK QUANTITIES DO NOT INCLUDE SHRINKAGE AND/OR EXPANSION FACTORS DUE TO COMPACTION OR OVER EXCAVATION QUANTITIES.
- THE CONTRACTOR SHALL CALCULATE HIS OWN EARTHWORK QUANTITIES NECESSARY FOR HIS BID AND WORK.
- ESTIMATED EARTHWORK QUANTITIES ABOVE ASSUME THAT ALL ONSITE MATERIALS ARE SUITABLE FOR BACKFILLING. HOWEVER, ACTUAL EXISTING ONSITE MATERIALS AND IMPORTED MATERIALS MUST FIRST BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO INSTALLATION, REMOVAL OR REPLACEMENT.
- REMOVAL AND RECOMPACTION NUMBERS WERE CALCULATED BASED AT 3FT DEPTH FROM FOOTINGS AND BUILDING PAD PER GEOTECH REPORT BY HAMILTON AND ASSOCIATES DATED AUGUST 31, 2021.

## SHEET INDEX

C000	TITLE SHEET
C100	DEMOLITION AND EROSION CONTROL PLAN
C210	PRECISE GRADING PLAN
C300	DRAINAGE AND LID PLAN
C400	UTILITY PLAN
ST100	STREET IMPROVEMENT PLAN
ST101	DETAILS

## UTILITY PURVEYORS

SOUTHERN CALIFORNIA GAS 800.427.2200
GOLDEN STATE WATER COMPANY 800.999.4033
SOUTHERN CALIFORNIA EDISON 800.655.4555
DEPARTMENT OF PUBLIC WORKS SANITATION/SEWER CITY OF GARDENA 310.217.9568

## PRIVATE/UTILITY EASEMENT NOTE:

\*AS CIVIL ENGINEER/LAND SURVEYOR OF THIS PROJECT, I HAVE IDENTIFIED THE LOCATION OF ALL EASEMENTS WHICH ARE DEPICTED ON THESE PLANS. I HAVE REVIEWED THE PROPOSED EASEMENT DOCUMENTS AND VERIFIED THE PROPOSED CONSTRUCTION DOES NOT CONFLICT OR INTERFERE WITH THE INTENDED EASEMENT USE.\*

CIVIL ENGINEER/LAND SURVEYOR (STAMP AND SIGNATURE) \_\_\_\_\_ DATE \_\_\_\_\_

## GEOTECHNICAL ENGINEER STATEMENT:

THIS PLAN HAS BEEN REVIEWED AND CONFIRMED TO RECOMMENDATIONS OF GEOTECHNICAL INVESTIGATION REPORT DATED AUGUST 31, 2021.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_ STAMP \_\_\_\_\_

## CITY ENGINEER STATEMENT:

ACCEPTANCE AS TO THE CONFORMANCE WITH APPLICABLE CITY STANDARDS AND PRACTICES.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_ STAMP \_\_\_\_\_

## GENERAL

--- CIVIL LIMITS OF WORK

## ANNOTATION

100.00 XX	SURFACE ELEVATION/UTILITY ELEVATION
(100.00)XX	EXISTING SURFACE ELEVATION/UTILITY ELEVATION
XX	CONSTRUCTION NOTE
2.0%	FLOW (DIRECTION AND GRADE)
2:1	SLOPE (DIRECTION AND RUN/RISE)
FF=100.00	PAD/FINISHED FLOOR ELEVATION

## SITE

---	CURB/BACK OF CURB/GUTTER
---	RETAINING WALL/SITE WALL
---	PROPERTY LINE/RIGHT OF WAY
---	CENTER LINE
---	FENCE
---	TO BE DEMOLISHED

## EROSION CONTROL

---	PROPERTY LINE
---	SANDBAGS
---	SILT FENCE PER CAGSA GUIDELINES
---	EXISTING DRAINAGE DIRECTION OF FLOW

## STREET TREE



STREET TREE

## GRADING

100	PROPOSED CONTOUR
102	EXISTING CONTOUR
FL	FLOW LINE
GB	GRADE BREAK LINE
R	RIDGE LINE
---	SAWCUT

## UTILITY

SS	SANITARY SEWER
W	WATER
DW	DOMESTIC WATER
FW	FIRE WATER
SD	STORM DRAIN
G	GAS
E	ELECTRIC
T	TELEPHONE
---	POINT OF CONNECTION
---	COORDINATION POINT
---	CAP OR PLUG
---	UTILITY MANHOLE
---	STORM DRAIN INLET
---	AREA DRAIN/PLANTER DRAIN
---	TRENCH DRAIN
---	FIRE HYDRANT
---	BACKFLOW ASSEMBLY
---	UTILITY METER VAULT

## ABBREVIATIONS

AC	ASPHALTIC CONCRETE
BCR	BEGIN CURVE RETURN
BW	BACK OF WALK
BLDG	BUILDING
BM	BENCH MARK
SOS	BOTTOM OF STAIRS
BMP	BEST MANAGEMENT PRACTICES
CB	CATCH BASIN
CI	CAST IRON
CL	CENTER LINE
CMU	CONCRETE MASONRY UNIT
CO	CLEANOUT
CONC	PORTLAND CEMENT CONCRETE
CF	CURB FACE
DW	DOMESTIC WATER
(E)	EAST
ECR	END CURVE RETURN
EG	EDGE OF GUTTER
EL OR ELEV	ELEVATION
ELEC	ELECTRIC, ELECTRICAL
EX. OR EXIST.	EXISTING
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR
FG	FINISHED GRADE (LANDSCAPE)
FS	FINISHED SURFACE (HARDSCAPE)
FH	FIRE HYDRANT
FL	FLOW LINE
FT	FOOT OR FEET
FU	FIXTURE UNITS
FW	FIRE WATER
GPM	GALLONS PER MINUTE
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE
HP	HIGH POINT
INV.	INVERT
LP	LOW POINT
MAX	MAXIMUM

MIN	MINIMUM
MH	MANHOLE
(N)	NORTH
NTS	NOT TO SCALE
PA	PLANTER AREA
POC	POINT OF CONNECTION
PV	POST INDICATOR VALVE
PCC	POINT OF COMPOUND CURVE
PRC	POINT OF REVERSE CURVE
PRV	PRESSURE REDUCING VALVE
PVC	POLYVINYL CHLORIDE
R	RADIUS
RCIP	RECTANGULAR CAST IRON PIPE
RD	ROOF DRAIN
RW	RIGHT-OF-WAY
(N)	NORTH
S=	SLOPE EQUALS
SD	STORM DRAIN
SDMH	SANITARY SEWER MANHOLE
SS	SANITARY SEWER
STD	STANDARD
SDMH	STORM DRAIN MANHOLE
TC	TOP OF CURB
TEL	TELEPHONE
TG	TOP OF GRATE
TOS	TOP OF STAIRS
TW	TOP OF WALL
TS	TRAFFIC SIGNAL
TSB	TRAFFIC SIGNAL BOX
TYP	TYPICAL
TV	TELEVISION
VF	VERIFY IN FIELD
VLT	VAULT
VCP	VITRIFIED CLAY PIPE
(W)	WEST
W	WATER
WM	WATER METER
WV	WATER VALVE

## PROJECT DIRECTORY

**OWNER:**  
13126 S. WESTERN AVE, LLC  
LEE JOHNSON  
11901 SANTA MONICA BLVD, SUITE 350  
LOS ANGELES CA, 90025  
TEL: 310.892.2244

**ARCHITECT:**  
DE ARCHITECTS, AIA  
DON E. EMPACKERIS  
1535 6TH STREET, SUITE 101  
SANTA MONICA, CA 90401  
TEL: 310.451.7917

**CIVIL ENGINEER:**  
LABE FUNK + ASSOCIATES  
FRANK LAROCCA  
319 MAIN STREET  
EL SEGUNDO, CA 90245  
TEL: 213.239.9700

**GEOTECHNICAL ENGINEER:**  
HAMILTON + ASSOCIATES  
DAVID HAMILTON  
1641 BORDER AVENUE,  
TORRANCE, CA 90501  
TEL: 310.618.2190

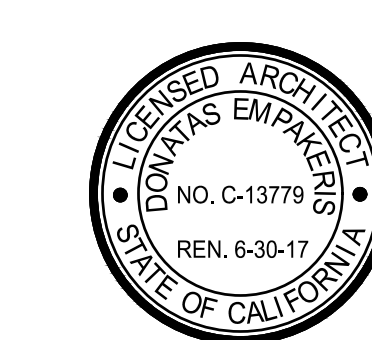
**SURVEYOR:**  
VOORHEIS & VOORHEIS, INC  
17049 SUNBURST ST  
NORTHRIDGE, CA 91326  
TEL: 818.993.5611

# DEA

DE Architects AIA

1535 6th Street Suite 101  
Santa Monica, CA 90401  
tel: 310.451.7917  
fax: 310.451.7916  
www.DEArchitects.net

## STAMP



NOT FOR CONSTRUCTION UNTIL  
SIGNED BY THE ARCHITECT



319 Main St  
El Segundo, CA 90245  
T: 213.239.9700  
F: 213.239.9699  
www.labbefunk.com  
LFA Job no: 22054



CITY ENGINEER

## STAMP

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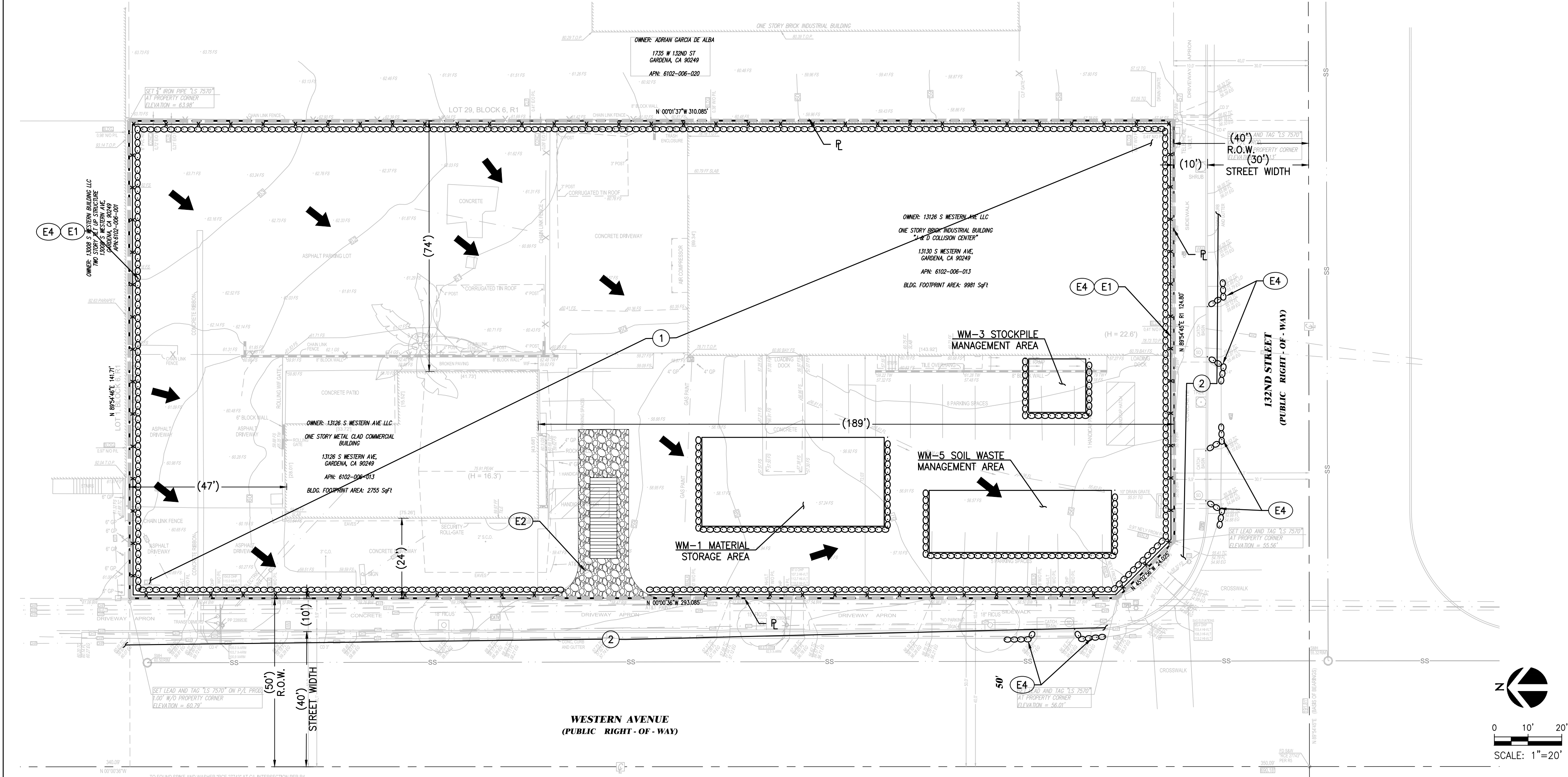
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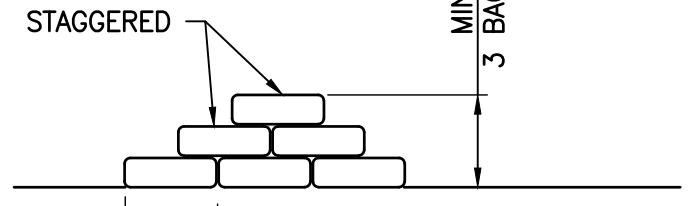
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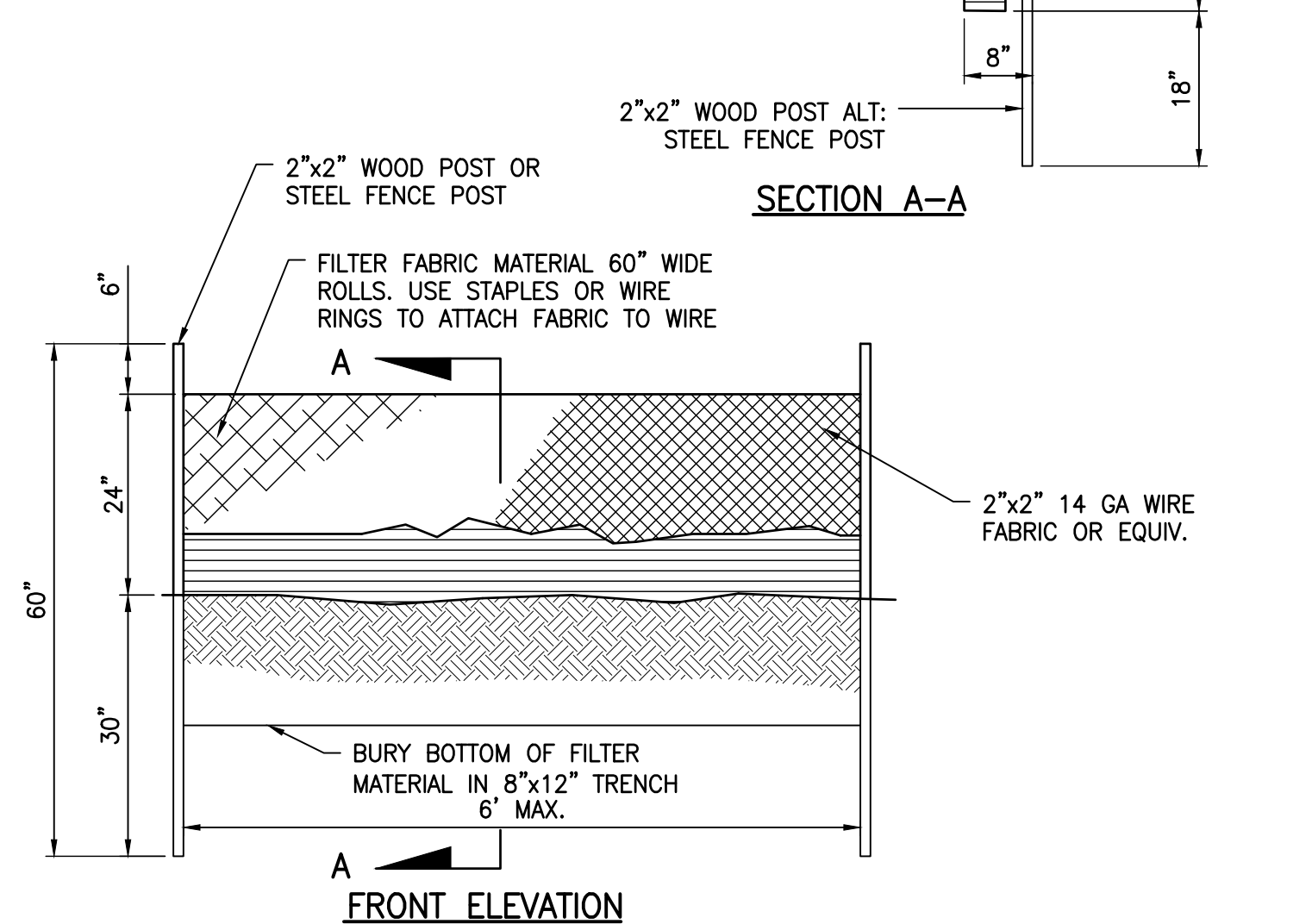
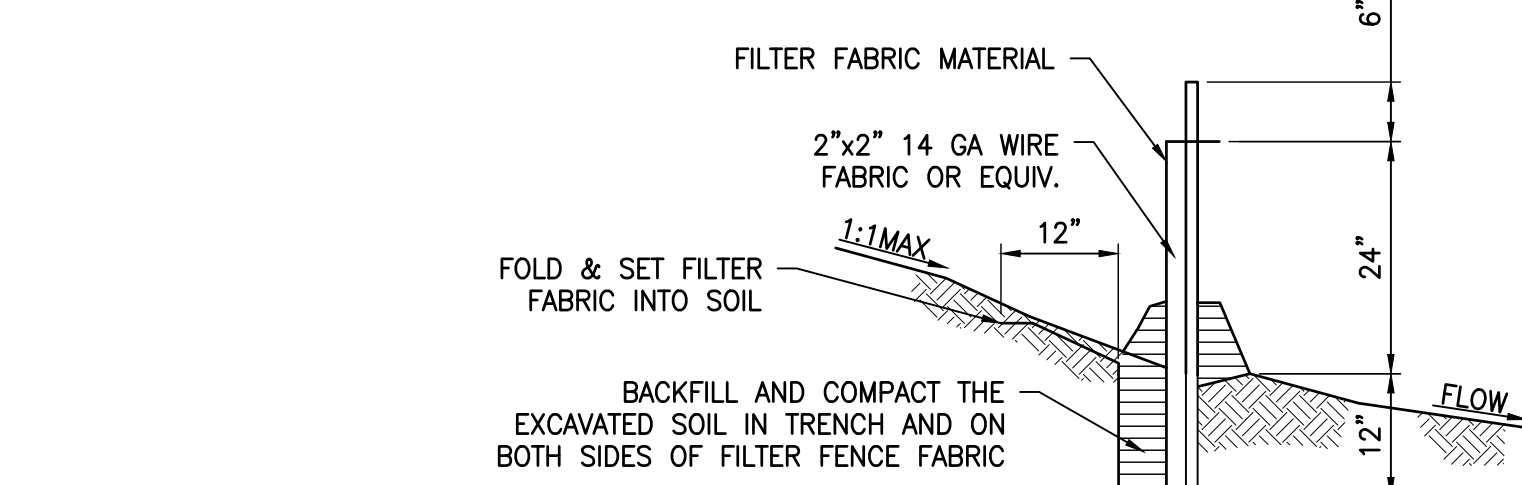


# PREVIOUSLY APPROVED DEMOLITION AND EROSION CONTROL (NO CHANGE)

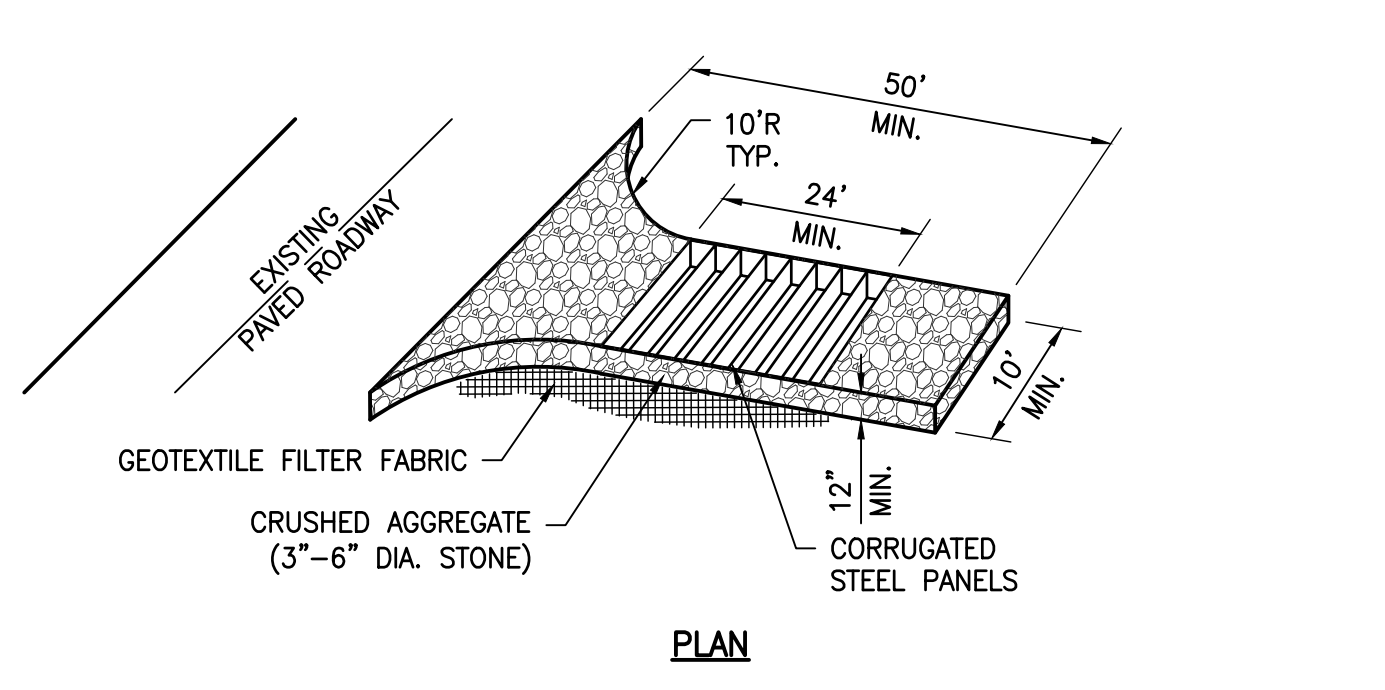
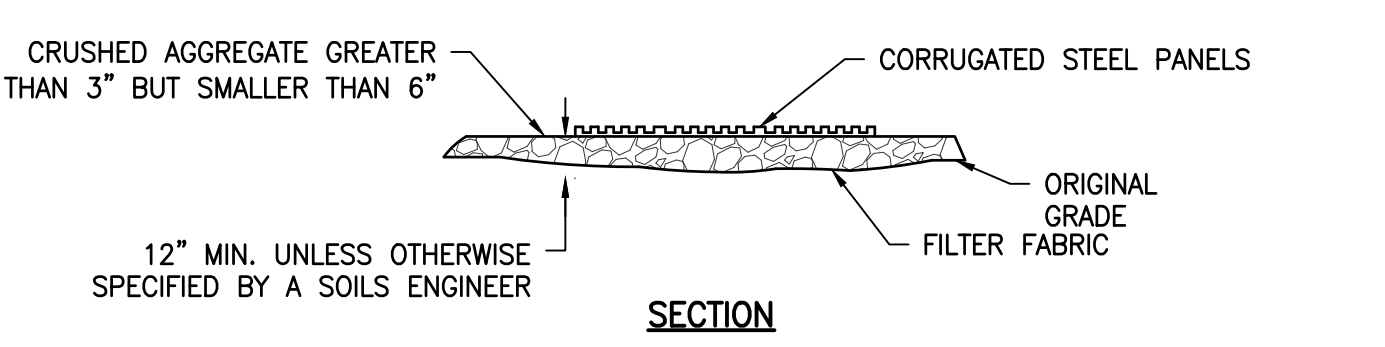
- NOTES:**
- BAG MATERIAL: BAGS SHOULD BE WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MINIMUM UNIT WEIGHT OF 4 OUNCES/YD<sup>2</sup>, MILLEN BURST STRENGTH EXCEEDING 300 LB/IN<sup>2</sup> IN CONFORMANCE WITH THE REQUIREMENTS IN ASTM DESIGNATION D3786, AND ULTRAVIOLET STABILITY EXCEEDING 70% IN CONFORMANCE WITH THE REQUIREMENTS IN ASTM DESIGNATION D4555.
  - BAG SIZE: EACH GRAVEL-FILLED BAG SHOULD HAVE A LENGTH OF 18 IN., WIDTH OF 12 IN., THICKNESS OF 3 IN., AND MASS OF APPROXIMATELY 33 LBS. BAG DIMENSIONS ARE NOMINAL, AND MAY VARY BASED ON LOCALLY AVAILABLE MATERIALS.
  - FILL MATERIAL: FILL MATERIAL SHALL BE 0.5 TO 1.0 INCH CRUSHED ROCK, CLEAN AND FREE OF CLAY, ORGANIC MATTER, AND OTHER DELETERIOUS MATERIAL, OR OTHER SUITABLE OPEN-GRADED, NON-COHESIVE, POROUS GRAVEL.
  - TURN THE ENDS OF GRAVEL BAG BARRIER UP SLOPE TO PREVENT RUNOFF FROM GOING AROUND BARRIER.
  - USE PYRAMID APPROACH WHEN STACKING BAGS.



**1 GRAVEL BAG BARRIER**  
C100 N.T.S.



- NOTES:**
- SILT FENCE SHOULD BE USED IN COMBINATION WITH EROSION CONTROLS UP-SLOPE IN ORDER TO PROVIDE THE MOST EFFECTIVE SEDIMENT CONTROL.
  - TURN THE ENDS OF THE FILTER FENCE UPHILL TO PREVENT STORMWATER FROM FLOWING AROUND THE FENCE.
  - LEAVE AN UNDISTURBED OR STABILIZED AREA IMMEDIATELY DOWN SLOPE FROM THE FENCE WHERE FEASIBLE.
  - SILT FENCES SHOULD REMAIN IN PLACE UNTIL THE DISTURBED AREA DRAINING TO THE SILT FENCE IS PERMANENTLY STABILIZED, AFTER WHICH, THE SILT FENCE FABRIC AND POSTS SHOULD BE REMOVED AND PROPERLY DISPOSED.
  - J-HOOKS, WHICH HAVE ENDS TURNING UP THE SLOPE TO BREAK UP LONG RUNS OF FENCE AND PROVIDE MULTIPLE STORAGE AREAS THAT WORK LIKE MINI-RETENTION AREAS, MAY BE USED TO INCREASE THE EFFECTIVENESS OF SILT FENCE.
  - WHEN STANDARD STRENGTH FILTER FABRIC IS USED A WIRE MESH SUPPORT FENCE SHALL BE FASTENED TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY-DUTY WIRE STAPLES AT LEAST 1 FT. LONG, THE WIRES OR HOG RINGS. THE WIRE MESH SHALL EXTEND INTO THE TRENCH A MINIMUM OF 4"(N.).
  - STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE AND 40%(N.) OF THE FABRIC SHALL EXTEND INTO THE TRENCH TO SECURE THE BACKFILL. WHEN EXTRA-STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED AND THE FILTER FABRIC STAPLED OR WIRED DIRECTLY TO THE POSTS.
  - FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL THEN CUT TO THE LENGTH OF THE BARRIER. WHEN JOINTS ARE NECESSARY FILTER FABRIC SHALL BE SPICED TOGETHER ONLY TO A SUPPORT POST WITH A MINIMUM 6"(N.) OVERLAP AND BOTH SECURELY FASTENED TO THE POST.
  - THE TRENCH SHALL BE BACKFILLED WITH COMPACTED NATIVE MATERIAL.
  - 85% OR MORE OF A SOIL BY WEIGHT PASSES THROUGH THE OPENINGS IN A NO. 200 SIEVE (U.S. STANDARD) FILTER FABRIC SHALL NOT BE USED.
  - FILTER FABRIC MATERIAL SHALL CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS TO PROVIDE A MINIMUM OF 6 MONTHS OF EXPECTED USABLE CONSTRUCTION LIFE AT A TEMPERATURE RANGE OF 0 DEGREES FAHRENHEIT TO 120 DEGREES FAHRENHEIT.

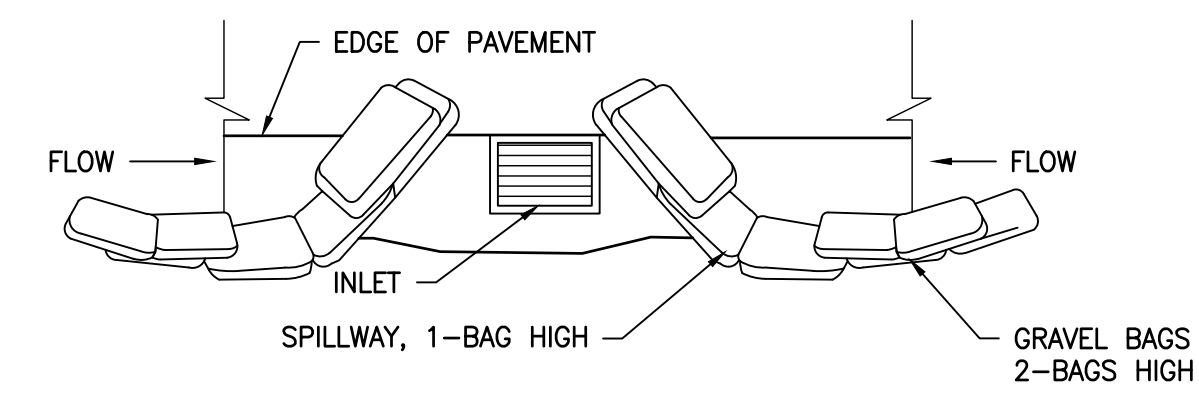


- NOTES:**
- THE CONSTRUCTION ENTRANCE ROADWAYS SHALL BE STABILIZED SO AS TO PREVENT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC ROADS. DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS INTO THE STORM DRAIN SYSTEM.
  - STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE OR FROM A PUBLIC RIGHT OF WAY, STREET, ALLEY, AND SIDEWALK OR PARKING AREA.
  - IF A WASH RACK IS INCLUDED, A SEDIMENT TRAP OF SOME KIND MUST ALSO BE PROVIDED TO COLLECT WASH WATER RUNOFF.
  - ALL VEHICLES ACCESSING THE CONSTRUCTION SITE SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE.

**STREET MAINTENANCE NOTES**

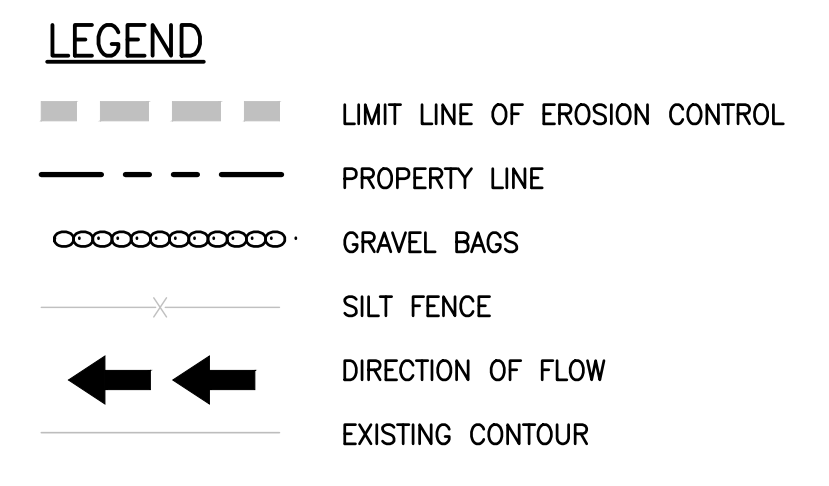
- REMOVE ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS IMMEDIATELY.
- SWEEP PAVED AREAS THAT RECEIVE CONSTRUCTION TRAFFIC WHENEVER SEDIMENT BECOMES VISIBLE.
- PAVEMENT WASHING WITH WATER IS PROHIBITED IF IT RESULTS IN A DISCHARGE TO THE STORM DRAIN SYSTEM.

**2 STABILIZED CONSTRUCTION ENTRANCE**  
C100 N.T.S.



- NOTES:**
- INTENDED FOR SHORT-TERM USE.
  - USE TO INHIBIT NON-STORM WATER FLOW.
  - ALLOW FOR PROPER MAINTENANCE AND CLEANUP.
  - BAGS MUST BE REMOVED AFTER ADJACENT OPERATION IS COMPLETED.
  - NOT APPLICABLE IN AREAS WITH HIGH SILTS AND CLAYS WITHOUT FILTER FABRIC.
  - PROTECTION CAN BE EFFECTIVE EVEN IF IT IS NOT IMMEDIATELY ADJACENT TO THE INLET PROVIDED THAT THE INLET IS PROTECTED FROM POTENTIAL SOURCES OF POLLUTION.

**4 CATCH BASIN INLET PROTECTION DETAIL**  
C100 N.T.S.



**EROSION CONTROL NOTES**

- PLACE SANDBAGS TRIPLE ROW PER DETAIL 1, HEREON.
- STABILIZED CONSTRUCTION ENTRANCE PER DETAIL 2, HEREON.
- SILT FENCE PER DETAIL 3, HEREON.
- PLACE CATCH BASIN INLET PROTECTION PER DETAIL 4, HEREON.

**DEMOLITION NOTES**

- REMOVE & DEMOLISH**
- SEE GENERAL DEMOLITION NOTES HEREON
  - WORK WITHIN THE STREET RIGHT OF WAY TO BE PERFORMED UNDER SEPARATE PERMIT.

**GENERAL DEMOLITION NOTES**

- CONTRACTOR TO CLEAR PROJECT SITE AREA WITHIN THE CONFINES OF THE DEMOLITION LIMIT LINE. THE CONTRACTOR SHALL DEMOLISH AND REMOVE FROM THE SITE ALL EXISTING UTILITIES, STRUCTURES, PLANTERS, TREES, AND ALL OTHER SITE FEATURES, UNLESS OTHERWISE NOTED ON THE PLAN.
- REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS AND SHALL PAY ALL FEES NECESSARY FOR ENCROACHMENT, GRADING, DEMOLITION AND DISPOSAL OF SAID MATERIALS AS REQUIRED BY PRIVATE, LOCAL AND STATE JURISDICTIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF THE DEMOLITION WORK.
- THE CONTRACTOR SHALL VERIFY AND LOCATE ALL EXISTING ABOVE AND UNDERGROUND UTILITIES. LOCATIONS SHOWN ON THE PLAN ARE APPROXIMATE AND ARE SHOWN FOR GENERAL INFORMATION ONLY.
- DAMAGE TO ANY EXISTING UTILITIES AND SERVICES TO REMAIN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
- EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT DEBRIS AND UNSUITABLE MATERIALS FROM ENTERING STORM DRAINS, SANITARY SEWERS AND STREETS.
- DUST CONTROL SHALL BE IMPLEMENTED DURING DEMOLITION.
- DEMOLITION IS LIMITED TO WITHIN DEMOLITION LIMIT LINE UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND QUANTITY OF EXISTING SURFACE STRUCTURES AND SHALL BE SOLELY RESPONSIBLE FOR ANY UNIDENTIFIED UTILITIES, IMPROVEMENTS, TREES, ETC. TO BE DEMOLISHED AND REMOVED WITHIN THE DEMOLITION LIMIT LINE, INCLUDING APPURTENANT FOUNDATIONS OR SUPPORTS.
- DEMOLITION CALLOUTS IN THIS SECTION ARE REPRESENTATIVE OF WHAT IS TO BE DONE, NOT AN ITEMIZED ACCOUNTING FOR EACH PIPE, CATCH BASIN, MANHOLE, VAULT, ETC. THAT IS TO BE DEMOLISHED, REMOVED AND DISPOSED OF.

**BMP NOTES**

- THE FOLLOWING BMPs AS OUTLINED IN, BUT NOT LIMITED TO, THE BEST MANAGEMENT PRACTICE HANDBOOK, CALIFORNIA STORMWATER QUALITY TASK FORCE, SACRAMENTO, CALIFORNIA, JULY 2012, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY CITY INSPECTORS):
- EROSION CONTROL**
- EC1-SCHEDULING
  - EC2-PRESERVATION OF EXISTING VEGETATION
  - EC3-HYDRAULIC MULCH
  - EC4-HYDROSEEDING
  - EC5-SOIL BINDERS
  - EC6-STRAW MULCH
  - EC7-GEOTEXTILES AND MATS
  - EC8-WOOD MULCHING
  - EC9-EARTH DIKES AND DRAINAGE SWALES
  - EC10-VELOCITY DISSIPATION DEVICES
  - EC11-SLOPE DRAINS
  - EC12-STREAMBANK STABILIZATION
  - EC13-RESERVED
  - EC14-COMPOST BLANKET
  - EC15-SOIL PREPARATION/ROUGHENING
  - EC16-NON-VEGETATIVE STABILIZATION
- TEMPORARY SEDIMENT CONTROL**
- SE1-SILT FENCE
  - SE2-SEDIMENT BASIN
  - SE3-SEDIMENT TRAP
  - SE4-CHECK DAM
  - SE5-FIBER ROLLS
  - SE6-GRAVEL BAG BERM
  - SE7-STREET SWEEPING AND VACUUMING
  - SE8-SANDBAG BARRIER
  - SE9-STRAW BALE BARRIER
  - SE10-STORM DRAIN INLET PROTECTION
  - SE11-ACTIVE TREATMENT SYSTEMS
  - SE12-MANUFACTURED LINEAR SEDIMENT CONTROLS
  - SE13-COMPOST SOCKS AND BERMS
  - SE14-BIOFILTER BAGS
- EQUIPMENT TRACKING CONTROL**
- TC1-STABILIZED CONSTRUCTION ENTRANCE/EXIT
  - TC2-STABILIZED CONSTRUCTION ROADWAY
  - TC3-ENTRANCE/OUTLET TIRE WASH
- WIND EROSION CONTROL**
- WE1-WIND EROSION CONTROL
- NON-STORMWATER MANAGEMENT**
- NS1-WATER CONSERVATION PRACTICES
  - NS2-DEWATERING OPERATIONS
  - NS3-PAVING AND GRINDING OPERATIONS
  - NS4-TEMPORARY STREAM CROSSING
  - NS5-CLEAR WATER DIVERSION
  - NS6-LIQUID CONNECTION/DISCHARGE
  - NS7-PORTABLE WATER/IRRIGATION
  - NS8-VEHICLE AND EQUIPMENT CLEANING
  - NS9-VEHICLE AND EQUIPMENT FUELING
  - NS10-VEHICLE AND EQUIPMENT MAINTENANCE
  - NS11-PILE DRIVING OPERATIONS
  - NS12-CONCRETE CURING
  - NS13-CONCRETE FINISHING
  - NS14-MATERIAL OVER WATER
  - NS15-DEMOLITION ADJACENT TO WATER
  - NS16-TEMPORARY BATCH PLANTS
- WASTE MANAGEMENT & MATERIALS POLLUTION CONTROL**
- WM1-MATERIAL DELIVERY AND STORAGE
  - WM2-MATERIAL USE
  - WM3-STOCKPILE MANAGEMENT
  - WM4-SPILL PREVENTION AND CONTROL
  - WM5-SOLID WASTE MANAGEMENT
  - WM6-HAZARDOUS WASTE MANAGEMENT
  - WM7-CONTAMINATED LIQUID WASTE MANAGEMENT
  - WM8-CONCRETE WASTE MANAGEMENT
  - WM9-SANITARY/SEPTIC WASTE MANAGEMENT
  - WM10-LIQUID WASTE MANAGEMENT

**EROSION CONTROL NOTES**

- TEMPORARY EROSION CONTROL DEVICES SHOWN ON THE GRADING PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED AS AND WHEN THE INSPECTOR SO DIRECTS AS THE WORK PROGRESSES TO MEET "AS GRADED" CONDITIONS.
- ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER AS DIRECTED BY THE INSPECTOR.
- WHEN THE INSPECTOR SO DIRECTS, A 12-INCH BERM SHALL BE MAINTAINED ALONG THE TOP OF THE SLOPE OF THOSE FILLS ON WHICH GRADING IS NOT IN PROGRESS.
- STORM AND SEWER DRAIN TRENCHES THAT ARE CUT THROUGH BASIN DIKES OR BASIN INLET DIKES SHALL BE PLUGGED WITH SANDBAGS.
- EXCEPT WHEN THE INSPECTOR DIRECTS OTHERWISE, ALL DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS FORECAST, AND SHALL BE MAINTAINED DURING THE RAINY SEASON (OCTOBER 15 TO APRIL 15).
- SANDBAGS SHALL BE STOCKPILED ON SITE, READY TO BE PLACED IN POSITION WHEN RAIN IS FORECAST, OR WHEN THE INSPECTOR SO DIRECTS.
- SANDBAGS OR SILT FENCE ARE ALLOWABLE FOR PERIMETER CONTROL. BOTH ARE NOT REQUIRED.
- A LEGALLY RESPONSIBLE PERSON SHALL BE ALERTED BY THE PERMITTEE OR THE CONTRACTOR TO PERFORM EMERGENCY WORK DURING RAINSTORMS. THE PARTY TO BE CONTACTED IS:  
NAME: LEE JOHNSON  
PHONE NUMBER: (310) 892-2244

**LEGAL DESCRIPTION**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF GARDENA, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:  
LOT 30 OF BLOCK 6 OF PANAMA ACRES, IN THE CITY OF GARDENA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 15, PAGE(S) 138 AND 139 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY, CALIFORNIA.  
EXCEPTING THEREFROM THAT PORTION OF SAID LOT 30, DESCRIBED AS FOLLOWS:  
BEGINNING AT THE SOUTHWESTERLY CORNER OF SAID LOT;  
THENCE NORTHERLY ALONG THE WESTERLY LINE OF SAID LOT, A DISTANCE OF 17.00 FEET;  
THENCE SOUTHEASTERLY IN A DIRECT LINE 24.03 FEET TO A POINT IN THE SOUTHERLY LINE OF SAID LOT DISTANT EASTERLY THEREON 17.00 FEET FROM THE POINT OF BEGINNING;  
THENCE WESTERLY ALONG SAID SOUTHERLY LINE 17.00 FEET TO SAID TO THE POINT OF BEGINNING.  
ALSO EXCEPTING THEREFROM ALL OIL, OIL RIGHTS, NATURAL GAS RIGHTS, MINERAL RIGHTS, ALL OTHER HYDROCARBON SUBSTANCES BY WHATEVER NAME KNOWN, AND ALL WATER, CLAIMS OR RIGHTS TO WATER, TOGETHER WITH APPURTENANT RIGHTS THEREON, WITHOUT HOWEVER, ANY RIGHT TO ENTER UPON THE SURFACE OF SAID LAND FOR ANY PORTION OF THE SUBSURFACE LYING ABOVE A DEPTH OF 500 FEET, AS EXCEPTED OR RESERVED IN DEEDS OF RECORD.  
APN: 6102-006-013  
AREA: 1.006 ACRES  
**BASIS OF BEARING:**  
THE BEARING N 89°54'45"E OF THE NORTHERLY RIGHT-OF-WAY (TRANSFERRED TO CENTERLINE) OF 132ND ST (FORMERLY GRAND AVE.) AS SHOWN ON THE PANAMA ACRES TRACT, AS RECORDED IN BOOK 15, PAGES 138 AND 139 OF MAPS, IN THE OFFICE OF THE LOS ANGELES COUNTY RECORDER, WAS TAKEN AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.  
**BENCHMARK:**  
BM ID: RY7945  
ROBM TAG IN SOUTH CURB 2FT E/O BCR AT SE CORNER 132ND ST & NORMANDIE AVE.  
ELEV = 87.63 (NAVD 88)(2013 ADJ.)  
**EASEMENT:**  
NO EASEMENTS WERE FOUND PER THE TITLE REPORT  
**PLANNING ZONE:**  
PLANNING ZONE: INDUSTRIAL ZONE - M1  
**PROPERTY TO BE DEMOLISHED:**  
LOT 30 OF BLOCK 6 OF PANAMA ACRES, IN THE CITY OF GARDENA PER LA COUNTY MB 15 PAGES138 AND 139 OF MAPS.

**DUST CONTROL NOTES**

- DUST SHALL BE CONTROLLED BY WATERING AND/OR APPLYING A DUST PALLIATIVE. THE DUST PALLIATIVE SHALL BE APPLIED IN THE AMOUNT AT THE LOCATIONS AS DIRECTED BY THE ENGINEER.
- WATER FOR DUST CONTROL SHALL BE APPLIED BY MEANS OF PRESSURE TYPE DISTRIBUTORS OR PIPE LINES EQUIPPED WITH A SPRAY SYSTEM OR HOSES WITH NOZZLES THAT WILL INSURE A UNIFORM APPLICATION OF WATER.
- UNLESS WATER IS APPLIED BY MEANS OF PIPE LINES, AT LEAST ONE MOBILE UNIT WITH A MINIMUM CAPACITY OF 100 GALLONS SHALL BE AVAILABLE FOR APPLYING WATER.
- ALL SOIL MATERIALS OR DEBRIS TRUCKED FROM THE SITE SHALL BE COVERED AND SPRINKLED PRIOR TO ENTERING PUBLIC STREETS.
- PROVIDE FOR WET SUPPRESSION OR CHEMICAL STABILIZING OF EXPOSED SOILS.
- PROVIDE FOR RAPID CLEAN-UP OF SEDIMENTS DEPOSITED ON THE PAVED ROADS.
- LIMIT THE AMOUNT OF AREAS DISTURBED BY CLEARING & EARTH MOVING OPERATIONS BY SCHEDULING THESE ACTIVITIES IN PHASES.

**NPDES NOTES:**

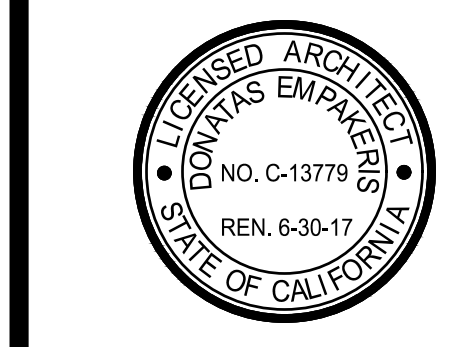
- CONSTRUCTION SITE BEST MANAGEMENT PRACTICES (BMPs) FOR THE MANAGEMENT OF STORM WATER AND NONSTORMWATER DISCHARGES SHALL BE DOCUMENTED ON THE GRADING PLAN. ARRANGEMENTS SHALL BE MADE BY THE DEVELOPER TO RETAIN THE SWPPP AND/OR THE EROSION/SEDIMENT CONTROL PLAN ON THE JOBSITE THROUGHOUT THE TIME OF CONSTRUCTION. THE IMPLEMENTATION AND MAINTENANCE OF SITE BMPs IS REQUIRED TO MINIMIZE GROSS EROSION AND SEDIMENTATION. ARRANGEMENTS SHALL BE MADE BY THE DEVELOPER TO MAINTAIN THOSE BMPs THROUGHOUT THE TIME OF CONSTRUCTION.
- EROSION CONTROL BMPs SHALL BE IMPLEMENTED AND MAINTAINED TO MINIMIZE THE ENTRANCEMENT OF SOIL IN RUNOFF FROM DISTURBED SOIL AREAS ON CONSTRUCTION SITES.
- SEDIMENT CONTROL BMPs SHALL BE IMPLEMENTED AND MAINTAINED TO MINIMIZE THE TRANSPORT OF SOIL FROM THE CONSTRUCTION SITE.
- GRADING SHALL BE PHASED TO LIMIT THE AMOUNT OF DISTURBED AREAS EXPOSED TO THE EXTENT FEASIBLE.
- AREAS THAT ARE CLEARED AND GRADED SHALL BE LIMITED TO ONLY THE PORTION OF THE SITE THAT IS NECESSARY FOR CONSTRUCTION. THE CONSTRUCTION SITE SHALL BE MANAGED TO MINIMIZE THE EXPOSURE TIME OF DISTURBED SOIL AREAS THROUGH PHASING AND SCHEDULING OF GRADING AND THE USE OF TEMPORARY AND PERMANENT SOIL STABILIZATION.
- ONCE DISTURBED, SLOPES (TEMPORARY OR PERMANENT) SHALL BE STABILIZED IF THEY WILL NOT BE WORKED WITHIN 14 DAYS. ALL SLOPES SHALL BE STABILIZED PRIOR TO A PREDICTED STORM EVENT. CONSTRUCTION SITES SHALL BE REVEGETATED AS EARLY AS FEASIBLE AFTER SOIL DISTURBANCE.
- STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO ELIMINATE OR REDUCE SEDIMENT RUNOFF FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RAINFALL, VEHICLE TRACKING, OR WIND.
- CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT A STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OTHER THAN STORMWATER (NON-STORMWATER DISCHARGES) ARE PROHIBITED, EXCEPT AS AUTHORIZED BY AN INDIVIDUAL NPDES PERMIT. THE STATE'S GENERAL PERMIT CONSTRUCTION ACTIVITY. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, SOLVENTS, DETERGENTS, GLUES, LIME, PESTICIDES, HERBICIDES FERTILIZERS, WOOD PRESERVATIVES, AND ASBESTOS; TILES, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADATOR OR BATTERY FLUIDS; CONCRETE AND RELATED CUTTING OR CURING RESIDUES; FLOATABLE WASTES; WASTES FROM ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGRASSING; WASTES FROM STREET CLEANING; AND SUPER-CHLORINATED POTABLE WATER FROM LINE FLUSHING AND TESTING. DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT THE CONSTRUCTION SITE AND MUST NOT BE DISCHARGED TO RECEIVING WATERS OR THE LOCAL STORM DRAIN SYSTEM.
- APPROPRIATE BMPs FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED TO ELIMINATE OR REDUCE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJACENT PROPERTIES BY WIND OR RUNOFF.
- ALL CONSTRUCTION CONTACTORS AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BMPs AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
- DISCHARGING CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING GROUNDWATER THAT HAS INFILTRATED INTO THE CONSTRUCTION SITE IS PROHIBITED. DISCHARGING OF CONTAMINATED SOILS VIA SURFACE EROSION IS ALSO PROHIBITED. DISCHARGING NON-CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING ACTIVITIES MAY REQUIRE A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE REGIONAL WATER QUALITY CONTROL BOARD.
- BMPs SHALL BE MAINTAINED AT ALL TIMES. IN ADDITION, BMPs SHALL BE INSPECTED PRIOR TO PREDICTED STORM EVENTS AND FOLLOWING STORM EVENTS.
- AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED OF IN TRASH OR RECYCLE BINS.

**UTILITY SURVEYORS**

- SOUTHERN CALIFORNIA GAS 800.427.2200
- GOLDEN STATE WATER COMPANY 800.999.4033
- SOUTHERN CALIFORNIA EDISON 800.655.4555
- DEPARTMENT OF PUBLIC WORKS SANITATION/SEWER CITY OF GARDENA 310.217.9568

**ITEMS FOR REMOVAL**

- CONCRETE: 15000 SF
  - ASPHALT PAVEMENT: 25000 SF
- NOTE: QUANTITIES SHOWN ABOVE ARE AN ESTIMATE REFLECTIVE OF THE EXISTING CONDITION SHOWN HEREON. EXISTING UTILITIES AND OTHER APPURTENANCES NOT NOTED ON THIS PLAN MAY EXIST AND THE REMOVAL OF THESE ITEMS MAY BE REQUIRED. CONTRACTOR SHALL NOTIFY ENGINEER OF RECORD OR OWNER REPRESENTATIVE FOR CONFIRMATION OF REMOVALS NOT NOTED ON THIS PLAN.



NOT FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT



319 Main St  
E. Sepeduro, CA 90245  
T: 213.239.9700  
F: 213.239.9699  
www.lfabunk.com  
LFA Job no: 22054



CITY ENGINEER

CITY ENGINEER STATEMENT:  
I, THE ENGINEER, STATE AND PRACTICES  
ACCEPT AS TO CONFORMANCE WITH APPLICABLE CITY STANDARDS

DATE  
SIGNATURE

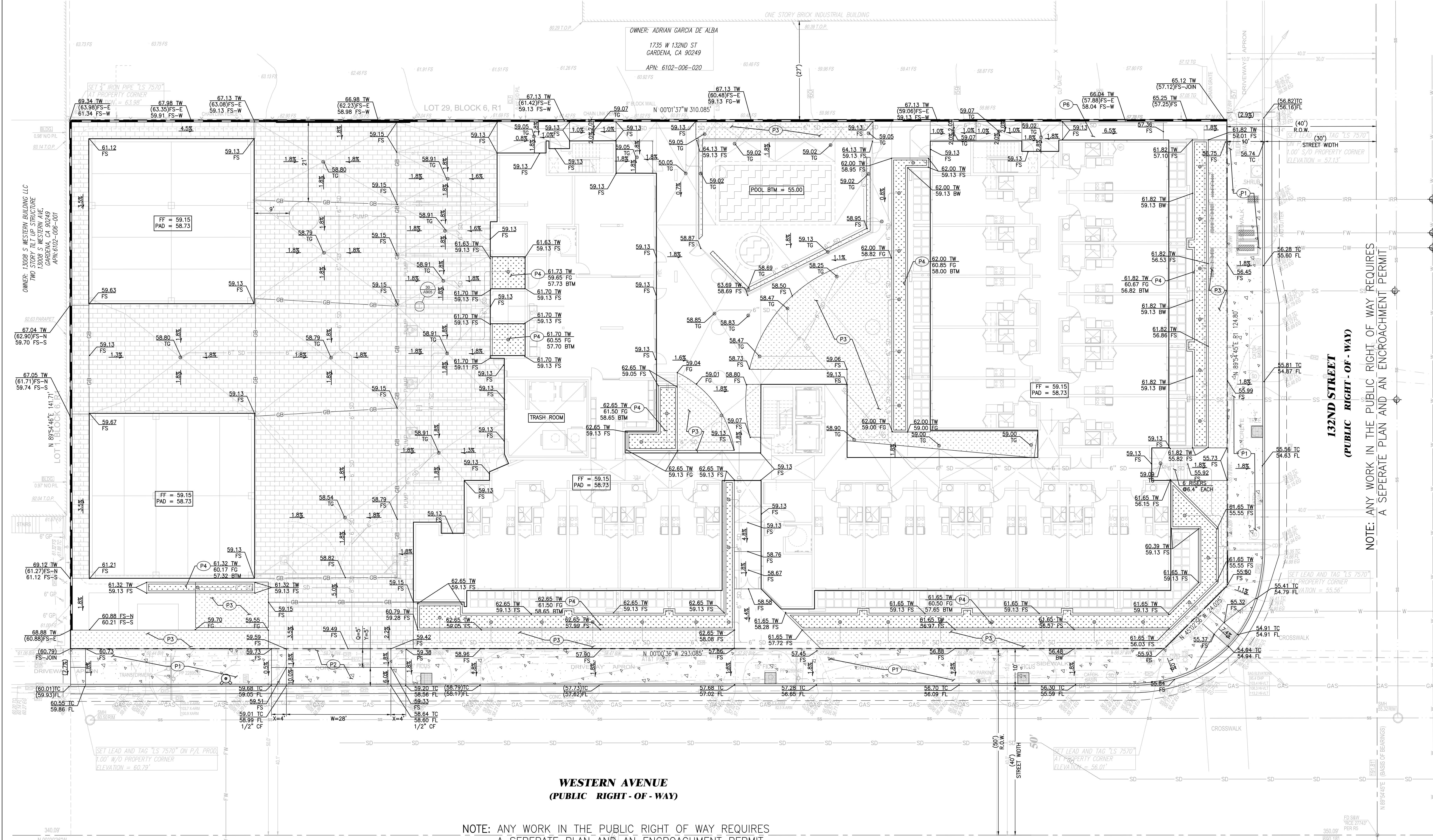
13126 WESTERN AVE  
13126 Western Ave  
New Construction: 121 Unit SRO (350sf),  
4 stories with free standing 6 tier 114 car  
automated parking structure

SHEET TITLE  
**DEMOLITION & EROSION CONTROL PLAN**

DATE	ISSUE / REVISION
2022-07-29	PLAN CHECK
2022-08-01	PLAN CHECK

DATE  
1/18/23

SHEET NO.  
**C100**



**LEGEND**

SITE	BUILDING OUTLINE
---	PROPERTY LINE/LIMIT OF GRADING
○	AREA DRAIN
---	EXISTING CONTOUR LINES
---	PROPOSED CONTOUR LINES
---	GRADE BREAK
---	LID PLANTER BOX
---	LANDSCAPING BY OTHERS
---	POOL/SPA
---	PERMEABLE PAVING REFER TO LANDSCAPE PLANS
---	RETAINING/ SITE WALL PER STRUCTURAL PLANS
---	TREE WELL REFER TO SHEET ST101 FOR DETAILS

- CONSTRUCTION NOTES**
- (P1) CONSTRUCT CONCRETE WALKWAY PER CITY STANDARD DETAIL ST-58.
  - (P2) CONSTRUCT DRIVEWAY PER CITY STANDARD DETAIL ST1.
  - (P3) LANDSCAPING PER LANDSCAPE PLANS.
  - (P4) PERMAVOD PLANTER BOXES SEE SHEET C300.
  - (P5) VEHICULAR CONCRETE PER DETAIL 2, HERON.
  - (P6) CONCRETE WALKWAY PER DETAIL 1, HERON.
  - (P7) RETAINING/SITE WALL, REFER TO STRUCTURAL PLANS FOR DETAILS.

**NOTES**

ROUGH GRADE ASSUMES PAD IS 9" BELOW FINISHED FLOOR (5" SLAB + 4" BASE). SEE ARCHITECTURAL PLANS AND STRUCTURAL PLANS FOR FINAL ELEVATIONS AND FOUNDATION DETAILS.

CONTRACTOR TO REFER TO GEOTECHNICAL REPORT FOR REMOVAL AND RECOMPACTION RECOMMENDATIONS.

**RETAINING WALL PER SEPARATE BUILDING PERMIT**

**FOR WORK OUTSIDE THE PROPERTY LINE A SEPARATE WORK ENCROACHMENT PERMIT IS REQUIRED.**

**LEGAL DESCRIPTION**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF GARDENA, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOT 30 OF BLOCK 6 OF PANAMA ACRES, IN THE CITY OF GARDENA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 15, PAGE(S) 138 AND 139 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY, CALIFORNIA.

EXCEPTING THEREFROM THAT PORTION OF SAID LOT 30, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWESTERLY CORNER OF SAID LOT; THENCE NORTHERLY ALONG THE WESTERLY LINE OF SAID LOT, A DISTANCE OF 17.00 FEET;

THENCE SOUTHEASTERLY IN A DIRECT LINE 24.03 FEET TO A POINT IN THE SOUTHERLY LINE OF SAID LOT DISTANT EASTERLY THEREFROM 17.00 FEET FROM TO THE POINT OF BEGINNING;

THENCE WESTERLY ALONG SAID SOUTHERLY LINE 17.00 FEET TO SAID TO THE POINT OF BEGINNING.

ALSO EXCEPTING THEREFROM ALL OIL, OIL RIGHTS, NATURAL GAS RIGHTS, MINERAL RIGHTS, ALL OTHER HYDROCARBON SUBSTANCES BY WHATEVER NAME KNOWN, AND ALL WATER, CLAIMS OR RIGHTS TO WATER, TOGETHER WITH APPURTENANT RIGHTS THERE TO, WITHOUT HOWEVER, ANY RIGHT TO ENTER UPON THE SURFACE OF SAID LAND FOR ANY PORTION OF THE SUBSURFACE LYING ABOVE A DEPTH OF 500 FEET, AS EXCEPTED OR RESERVED IN DEEDS OF RECORD.

APN: 6102-006-013

OWNER: GARCIA DE ALBA, 1735 W 132ND ST., GARDENA CA 90249

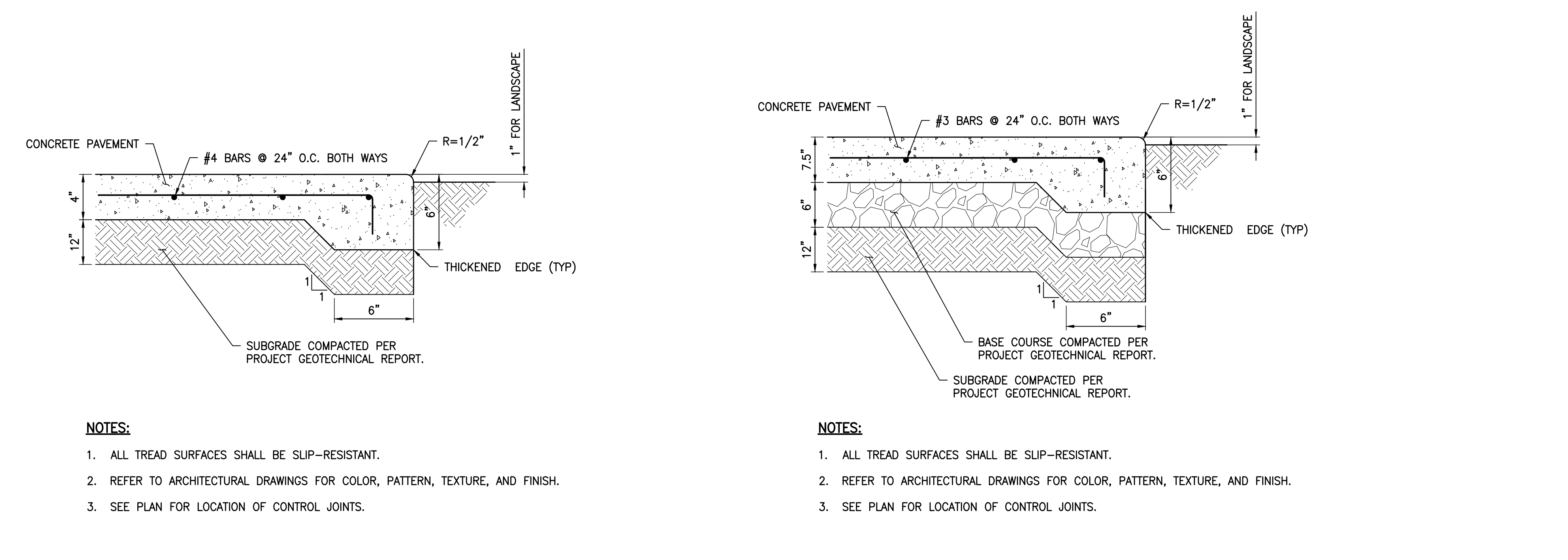
**BASIS OF BEARING:**

THE BEARING N 89°54'45"E OF THE NORTHERLY RIGHT-OF-WAY (TRANSFERRED TO CENTERLINE) OF 132ND ST (FORMERLY GRAND AVE.) AS SHOWN ON THE PANAMA ACRES TRACT, AS RECORDED IN BOOK 15, PAGES 138 AND 139 OF MAPS, IN THE OFFICE OF THE LOS ANGELES COUNTY RECORDER, WAS TAKEN AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

**BENCHMARK:**

BM ID: RY7945  
RDBM TAG IN SOUTH CURB 2FT E/O BOR AT SE CORNER 132ND ST & NORMANDIE AVE.  
ELEV = 87.63 (NAVD 88)(2013 ADJ.)

**PREVIOUSLY APPROVED CIVIL PLAN**



**UTILITY PURVEYORS**

SOUTHERN CALIFORNIA GAS  
800.427.2200

GOLDEN STATE WATER COMPANY  
800.999.4033

SOUTHERN CALIFORNIA EDISON  
800.655.4555

DEPARTMENT OF PUBLIC WORKS SANITATION/SEWER CITY OF GARDENA  
310.217.9568

**GEOTECHNICAL ENGINEER STATEMENT:**

THIS PLAN HAS BEEN REVIEWED AND CONFIRMED TO RECOMMENDATIONS OF GEOTECHNICAL INVESTIGATION REPORT DATED JANUARY 9, 2017.

**ESTIMATED EARTHWORK QUANTITIES**

CUT:	830 CUBIC YARDS
FILL:	0 CUBIC YARDS
NET (CUT):	830 CUBIC YARDS (EXPORT)
REMOVAL AND RECOMPACTION:	2173 CUBIC YARDS

**EARTHWORK CALCULATION NOTES:**

- THE ESTIMATED QUANTITIES PROVIDED ABOVE ARE TO BE USED FOR JURISDICTIONAL PLAN CHECKING AND PERMITTING PURPOSES ONLY.
- ESTIMATED EARTHWORK ABOVE IS BASED ON DESIGN FINISH GRADES TO EXISTING GRADES AND/OR CONTOURS AS PROVIDED ON THE BASE SURVEY. THE ESTIMATED EARTHWORK DOES NOT ACCOUNT FOR THE THICKNESS OF PAVEMENTS, FOUNDATIONS AND SLABS ON GRADE, FOOTINGS, CLEARING AND GRUBBING, OVER EXCAVATION AND RECOMPACTION, AND CONSTRUCTION MEANS AND METHODS.
- THE ESTIMATED EARTHWORK QUANTITIES DO NOT INCLUDE SHRINKAGE AND/OR EXPANSION FACTORS DUE TO COMPACTION OR OVER EXCAVATION QUANTITIES.
- THE CONTRACTOR SHALL CALCULATE HIS OWN EARTHWORK QUANTITIES NECESSARY FOR HIS BID AND WORK.
- ESTIMATED EARTHWORK QUANTITIES ABOVE ASSUME THAT ALL ONSITE MATERIALS ARE SUITABLE FOR BACKFILLING. HOWEVER, ACTUAL EXISTING ONSITE MATERIALS AND IMPORTED MATERIALS MUST FIRST BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO INSTALLATION, REMOVAL, OR REPLACEMENT.
- REMOVAL AND RECOMPACTION NUMBERS WERE CALCULATED BASED AT 3FT DEPTH FROM FOOTINGS AND BUILDING PAD PER GEOTECH REPORT BY HAMILTON AND ASSOCIATES DATED AUGUST 31, 2021.

**DEA**  
DE Architects AIA

1535 6th Street Suite 101  
Santa Monica, CA 90401  
tel: 310.451.7917  
fax: 310.451.7918  
www.DEAarchitects.net

STAMP

REGISTERED ARCHITECT  
NO. C-13776  
REN. 6-30-17  
STATE OF CALIFORNIA

NOT FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT

**LFA**  
Landscape Architects  
Landscape Architects  
Landscape Architects

319 Main St  
El Segundo, CA 90245  
t: 213.239.9700  
f: 213.239.9699  
www.lfbblf.com  
LFA Job no: 22054

REGISTERED LANDSCAPE ARCHITECT  
NO. C-13776  
REN. 6-30-17  
STATE OF CALIFORNIA

SOB DATE 01/18/2023

CITY ENGINEER

CITY ENGINEER STATEMENT:  
ACCEPTANCE AS TO CONFORMANCE WITH APPLICABLE CITY STANDARDS AND PRACTICES

DATE

STAMP

SIGNATURE

13126 WESTERN AVE  
13126 Western Ave  
New Construction: 121 Unit SRO (350sf),  
4 stories with free standing 6 tier 114 car  
automated parking structure

SHEET TITLE

PRECISE GRADING PLAN

DATE	ISSUE / REVISION
2022-01-18	PLAN CHECKED
2022-01-18	PLAN CHECKED

THE ABOVE DRAWINGS, SPECIFICATIONS AND NOTES ARE THE PROPERTY OF DE ARCHITECTS, AIA. NO PART THEREOF SHALL BE COPIED OR USED IN ANY OTHER WORK, OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED WITHOUT THE WRITTEN CONSENT OF DE ARCHITECTS, AIA. DE ARCHITECTS, AIA, DOES NOT WARRANT, REPRESENT OR GUARANTEE THE ACCURACY, COMPLETENESS AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN INTENT. THEY CONVEY OR FOR PROBLEMS WHICH ARISE FROM CHANGES, OMISSIONS, INADEQUACIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLOWED.

JOB NO.

DATE

1/18/23

SHEET NO.

**C210**

1 CONCRETE WALKWAY PAVEMENT  
N.T.S.

2 VEHICULAR CONCRETE PAVEMENT  
N.T.S.

SIGNATURE

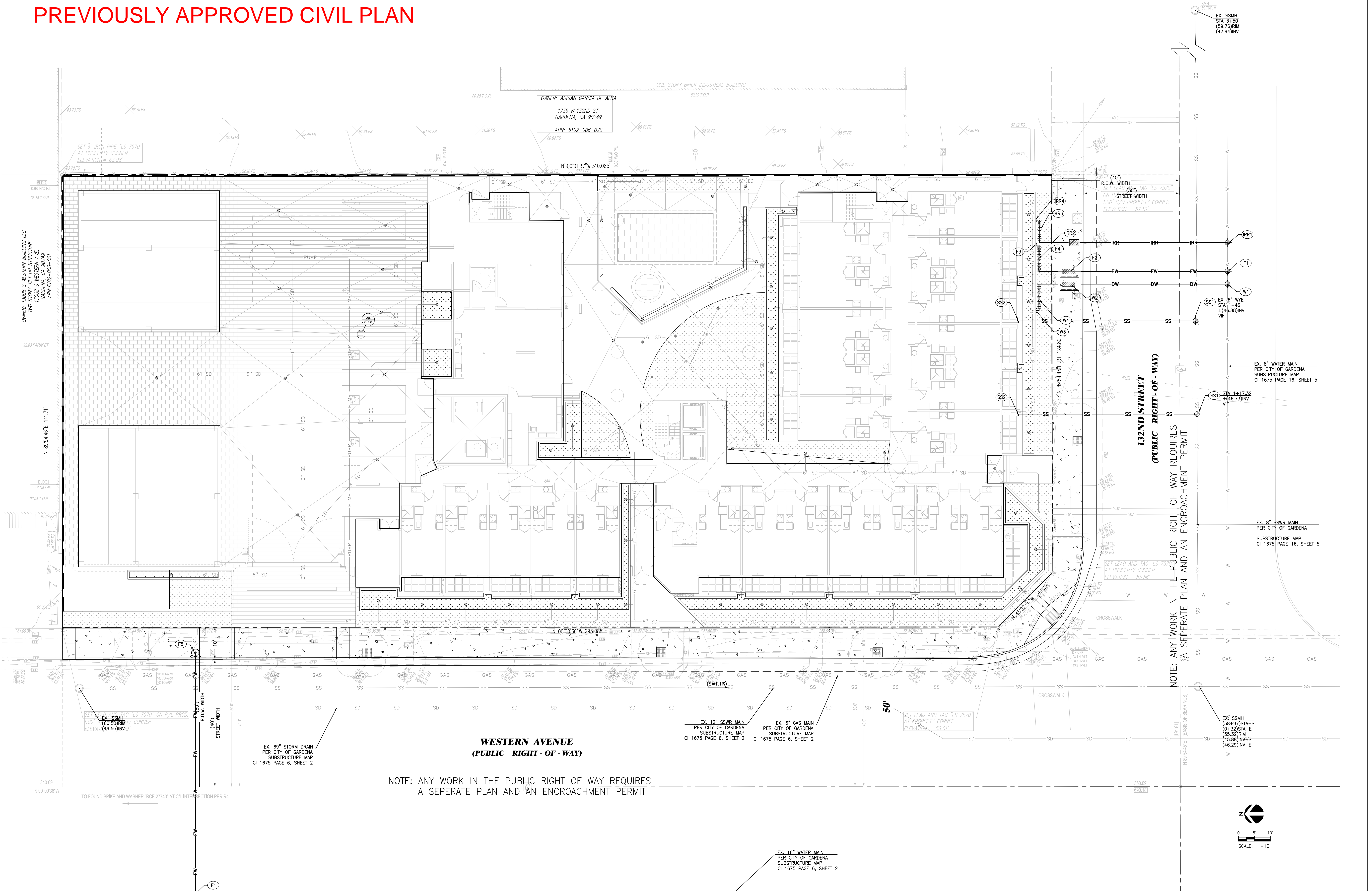
DATE

STAMP

DEA: IF THIS SHEET IS NOT 36" x 48", IT IS A REDUCED PRINT



# PREVIOUSLY APPROVED CIVIL PLAN



## WESTERN AVENUE (PUBLIC RIGHT-OF-WAY)

NOTE: ANY WORK IN THE PUBLIC RIGHT OF WAY REQUIRES A SEPERATE PLAN AND AN ENCROACHMENT PERMIT

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**LEGEND**

SITE	
[Symbol]	BUILDING OUTLINE
[Symbol]	PROPERTY LINE/LIMIT OF GRADING
[Symbol]	AREA DRAIN
[Symbol]	EXISTING CONTOUR LINES
[Symbol]	GRADE BREAK
[Symbol]	LID PLANTER BOX
[Symbol]	LANDSCAPING BY OTHERS
[Symbol]	POOL/SPA
[Symbol]	PERMEABLE PAVING REFER TO LANDSCAPE PLANS
[Symbol]	RETAINING/ SITE WALL PER STRUCTURAL PLANS
[Symbol]	TREE WELL REFER TO SHEET C701 FOR DETAILS

**CONSTRUCTION NOTES**

**SANITARY SEWER**

(SS1) INSTALL HOUSE CONNECTION PER APWA STANDARD PLAN 222-1, TYPE A, 2% SLOPE MINIMUM (TYPICAL), SIZING PER PLUMBING PLANS. CONTRACTOR TO LOCATE AND CONNECT TO EXISTING SEWER WYE IF AVAILABLE.

(SS2) POINT OF CONNECTION 5 FEET FROM BUILDING FACE. SEE PLUMBING DRAWINGS FOR CONTINUATION.

**DOMESTIC WATER**

(W1) CONNECT TO EXISTING WATER MAIN.

(W2) INSTALL DOMESTIC WATER METER. CONTRACTOR TO COORDINATE WATER SERVICE CONNECTION WITH GOLDEN STATE WATER COMPANY.

(W3) SIZING PER PLUMBING PLANS. POINT OF CONNECTION TO BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.

(W4) BACKFLOW PREVENTION ASSEMBLY PER GOLDEN STATE WATER COMPANY PLAN P-35.

**IRRIGATION WATER**

(IRR1) CONNECT TO EXISTING WATER MAIN.

(IRR2) INSTALL IRRIGATION WATER METER. CONTRACTOR TO COORDINATE SERVICE CONNECTION WITH LOCAL PROVIDER PRIOR TO INSTALLATION.

(IRR3) INSTALL PRESSURE BACKFLOW PREVENTOR.

(IRR4) POINT OF CONNECTION 5' FROM BUILDING FACE. SEE LANDSCAPE DRAWINGS FOR CONTINUATION, DETAIL AND SPECIFICATION.

**FIRE WATER**

(F1) CONNECT TO EXISTING WATER MAIN.

(F2) CONTRACTOR TO ORDER 6" FIRE WATER SERVICE FROM GOLDEN STATE WATER COMPANY AND CONNECT TO EXISTING WATER MAIN. SIZE PER FIRE SPRINKLER DESIGN PLANS.

(F3) POINT OF CONNECTION TO BUILDING. SEE FIRE SPRINKLER PLANS FOR CONTINUATION.

(F4) 6" BACKFLOW PREVENTION ASSEMBLY PER GOLDEN STATE WATER COMPANY PLAN P-35. SIZE PER FIRE SPRINKLER DESIGN PLANS.

(F5) INSTALL FIRE HYDRANT.

**LEGAL DESCRIPTION**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF GARDENA, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOT 30 OF BLOCK 6 OF PANAMA ACRES, IN THE CITY OF GARDENA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 15, PAGE(S) 138 AND 139 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY, CALIFORNIA.

EXCEPTING THEREFROM THAT PORTION OF SAID LOT 30, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWESTERLY CORNER OF SAID LOT;

THENCE NORTHERLY ALONG THE WESTERLY LINE OF SAID LOT, A DISTANCE OF 17.00 FEET;

THENCE SOUTHEASTERLY IN A DIRECT LINE 24.03 FEET TO A POINT IN THE SOUTHERLY LINE OF SAID LOT DISTANT EASTERLY THEREON 17.00 FEET FROM THE POINT OF BEGINNING;

THENCE WESTERLY ALONG SAID SOUTHERLY LINE 17.00 FEET TO SAID TO THE POINT OF BEGINNING.

ALSO EXCEPTING THEREFROM ALL OIL, OIL RIGHTS, NATURAL GAS RIGHTS, MINERAL RIGHTS, ALL OTHER HYDROCARBON SUBSTANCES BY WHATSOEVER NAME KNOWN, AND ALL WATER, CLAIMS OR RIGHTS TO WATER, TOGETHER WITH APPURTENANT RIGHTS THERE TO, WITHOUT HOWEVER, ANY RIGHT TO ENTER UPON THE SURFACE OF SAID LAND FOR ANY PORTION OF THE SUBSURFACE LYING ABOVE A DEPTH OF 500 FEET, AS EXCEPTED OR RESERVED IN DEEDS OF RECORD.

APN: 6102-006-013  
OWNER: GARCIA DE ALBA, 1735 W 132ND ST., GARDENA CA 90249

**BASIS OF BEARING:**

THE BEARING N 89°54'45"E OF THE NORTHERLY RIGHT-OF-WAY (TRANSFERRED TO CENTERLINE) OF 132ND ST (FORMERLY GRAND AVE.) AS SHOWN ON THE PANAMA ACRES TRACT AS RECORDED IN BOOK 15, PAGES 138 AND 139 OF MAPS, IN THE OFFICE OF THE LOS ANGELES COUNTY RECORDER, WAS TAKEN AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

**BENCHMARK:**

BM ID: RY7945  
RDBM TAG IN SOUTH CURB 2FT E/O BCR AT SE CORNER 132ND ST & NORMANDIE AVE.  
ELEV = 87.63 (NAVD 88)(2013 ADJ.)

**EASEMENTS:**

NO EASEMENTS WERE FOUND PER THE TITLE REPORT

**UTILITY PURVEYORS**

SOUTHERN CALIFORNIA GAS	800.427.2200
GOLDEN STATE WATER COMPANY	800.399.4033
SOUTHERN CALIFORNIA EDISON	800.855.4555
DEPARTMENT OF PUBLIC WORKS SANITATION/SEWER CITY OF GARDENA	310.217.8568

**DEA**  
DE Architects AIA

1535 6th Street Suite 101  
Santa Monica, CA 90401  
tel: 310.451.7917  
fax: 310.451.7918  
www.DEArchitects.net

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**LFA**  
LFB Associates  
319 Main St  
El Segundo, CA 90245  
tel: 213.239.9700  
tel: 310.329.9699  
www.lfb Associates.com  
LFA Job no: 22054

**CITY ENGINEER**

CITY ENGINEER STATEMENT:  
ACCEPTANCE AS TO CONFORMANCE WITH APPLICABLE CITY STANDARDS AND PRACTICES

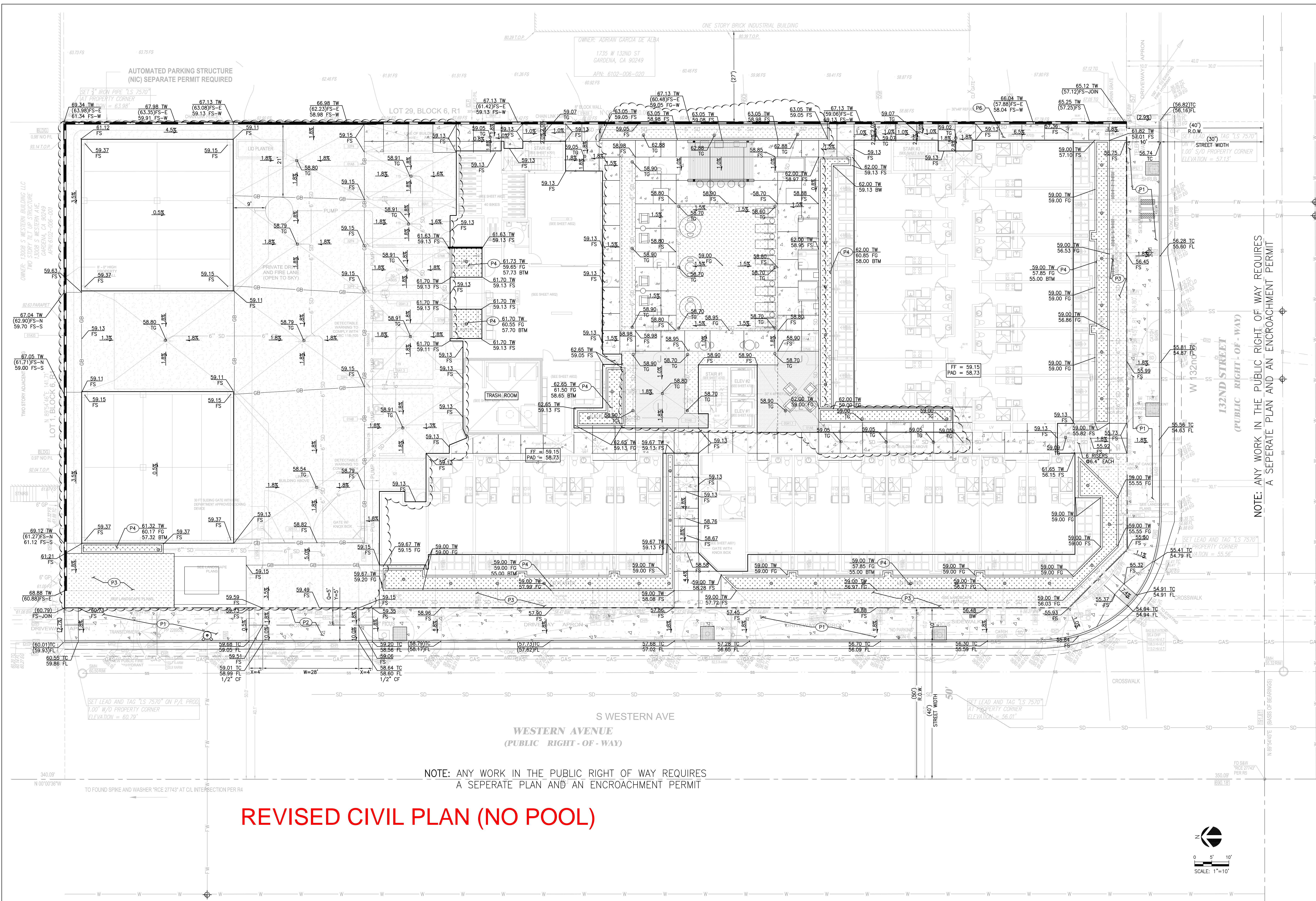
13126 WESTERN AVE  
13126 Western Ave  
New Construction: 121 Unit SRO (350sf),  
4 stories with free standing 6 tier 114 car  
automated parking structure

SHEET TITLE  
UTILITY PLAN

DATE	ISSUE / REVISION
2022/01/18	ISSUE FOR PERMIT
2022/01/18	PLAN CHECK
2022/01/18	PLAN CHECK

DATE: 1/18/23

SHEET NO. **C400**



**LEGEND**

SITE	DESCRIPTION
---	BUILDING OUTLINE
---	PROPERTY LINE/LIMIT OF GRADING
---	AREA DRAIN
---	EXISTING CONTOUR LINES
---	PROPOSED CONTOUR LINES
---	GRADE BREAK
---	LID PLANTER BOX
---	LANDSCAPING BY OTHERS
---	POOL/SPA
---	PERMEABLE ASPHALT
---	RETAINING/SITE WALL PER STRUCTURAL PLANS
---	TREE WELL REFER TO SHEET ST101 FOR DETAILS

- CONSTRUCTION NOTES**
- CONSTRUCT CONCRETE WALKWAY PER CITY STANDARD DETAIL 5F-56.
  - CONSTRUCT DRIVEWAY PER CITY STANDARD DETAIL 5T1.
  - LANDSCAPING PER LANDSCAPE PLANS.
  - PERMAVOID PLANTER BOXES SEE SHEET C300.
  - VEHICULAR CONCRETE PER DETAIL 2, HERON.
  - CONCRETE WALKWAY PER DETAIL 1, HERON.
  - RETAINING/SITE WALL, REFER TO STRUCTURAL PLANS FOR DETAILS.

**NOTES**

ROUGH GRADE ASSUMES PAD IS 9" BELOW FINISHED FLOOR (5" SLAB + 4" BASE). SEE ARCHITECTURAL PLANS AND STRUCTURAL PLANS FOR FINAL ELEVATIONS AND FOUNDATION DETAILS.

CONTRACTOR TO REFER TO GEOTECHNICAL REPORT AND RECOMPACTION RECOMMENDATIONS.

**RETAINING WALL PER SEPARATE BUILDING PERMIT**

**FOR WORK OUTSIDE THE PROPERTY LINE A SEPARATE WORK ENCROACHMENT PERMIT IS REQUIRED**

**LEGAL DESCRIPTION**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF GARDENA, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

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THENCE SOUTHEASTERLY IN A DIRECT LINE 24.03 FEET TO A POINT IN THE SOUTHERLY LINE OF SAID LOT DISTANT EASTERLY THEREON 17.00 FEET FROM TO THE POINT OF BEGINNING;

THENCE WESTERLY ALONG SAID SOUTHERLY LINE 17.00 FEET TO SAID TO THE POINT OF BEGINNING.

ALSO EXCEPTING THEREFROM ALL OIL, OIL RIGHTS, NATURAL GAS RIGHTS, MINERAL RIGHTS, ALL OTHER HYDROCARBON SUBSTANCES BY WHATSOEVER NAME KNOWN, AND ALL WATER, CLAIMS OR RIGHTS TO WATER, TOGETHER WITH APPURTENANT RIGHTS THERE TO, WITHOUT HOWEVER, ANY RIGHT TO ENTER UPON THE SURFACE OF SAID LAND FOR ANY PORTION OF THE SUBSURFACE LYING ABOVE A DEPTH OF 500 FEET, AS EXCEPTED OR RESERVED IN DEEDS OF RECORD.

APN: 6102-006-013

OWNER, GARCIA DE ALBA, 1735 W 132ND ST., GARDENA CA 90249

**BASIS OF BEARING:**

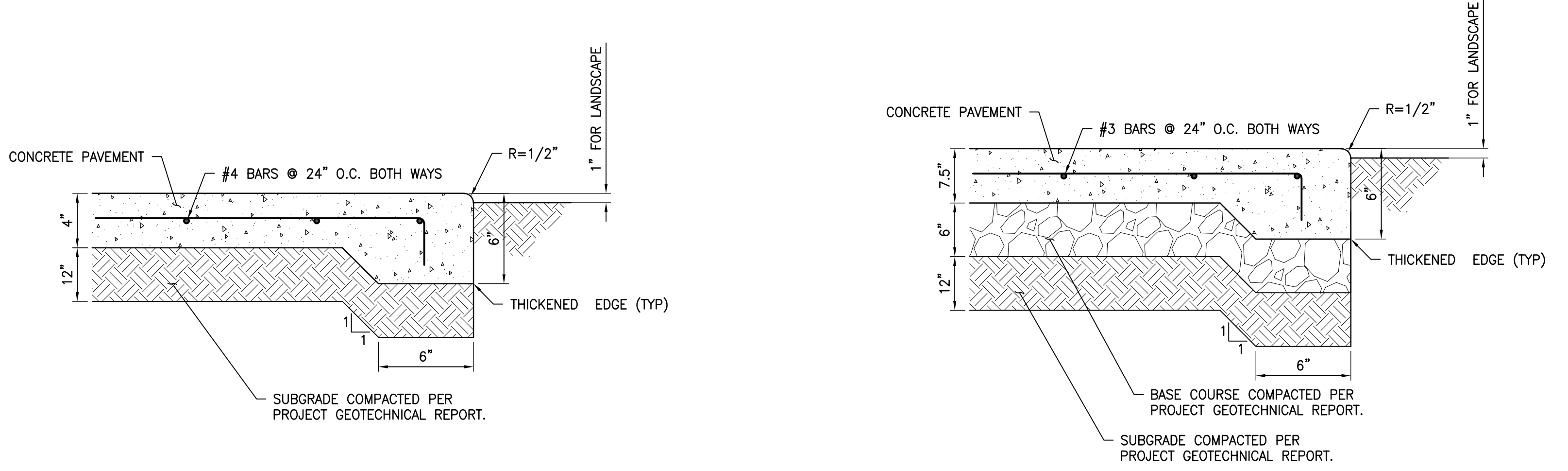
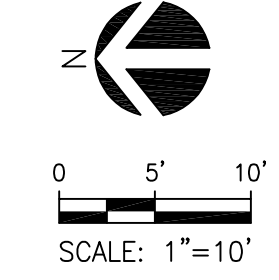
THE BEARING N 89°54'45"E OF THE NORTHERLY RIGHT-OF-WAY (TRANSFERRED TO CENTERLINE) OF 132ND ST (FORMERLY GRAND AVE.) AS SHOWN ON THE PANAMA ACRES TRACT, AS RECORDED IN BOOK 15, PAGES 138 AND 139 OF MAPS, IN THE OFFICE OF THE LOS ANGELES COUNTY RECORDER, WAS TAKEN AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

**BENCHMARK:**

BM ID: RY7945  
RDBM TAG IN SOUTH CURB 2FT E/O BOR AT SE CORNER 132ND ST & NORMANDIE AVE.  
ELEV = 87.63 (NAVD 88)(2013 ADJ.)

## REVISED CIVIL PLAN (NO POOL)

NOTE: ANY WORK IN THE PUBLIC RIGHT OF WAY REQUIRES A SEPARATE PLAN AND AN ENCROACHMENT PERMIT



**UTILITY PURVEYORS**

SOUTHERN CALIFORNIA GAS  
800.427.2200

GOLDEN STATE WATER COMPANY  
800.999.4033

SOUTHERN CALIFORNIA EDISON  
800.655.4555

DEPARTMENT OF PUBLIC WORKS SANITATION/SEWER CITY OF GARDENA  
310.217.9568

**GEOTECHNICAL ENGINEER STATEMENT:**

THIS PLAN HAS BEEN REVIEWED AND CONFIRMED TO RECOMMENDATIONS OF GEOTECHNICAL INVESTIGATION REPORT DATED JANUARY 9, 2017.

**ESTIMATED EARTHWORK QUANTITIES**

CUT:	830 CUBIC YARDS
FILL:	0 CUBIC YARDS
NET (CUT):	830 CUBIC YARDS (EXPORT)
REMOVAL AND RECOMPACTION:	2173 CUBIC YARDS

- EARTHWORK CALCULATION NOTES:**
- THE ESTIMATED QUANTITIES PROVIDED ABOVE ARE TO BE USED FOR JURISDICTIONAL PLAN CHECKING AND PERMITTING PURPOSES ONLY.
  - ESTIMATED EARTHWORK ABOVE IS BASED ON DESIGN FINISH GRADES TO EXISTING GRADES AND/OR CONTOURS AS PROVIDED ON THE BASE SURVEY. THE ESTIMATED EARTHWORK DOES NOT ACCOUNT FOR THE THICKNESS OF PAVEMENTS, FOUNDATIONS AND SLABS ON GRADE, FOOTINGS, CLEARING AND GRUBBING, OVER EXCAVATION AND RECOMPACTION, AND CONSTRUCTION MEANS AND METHODS.
  - THE ESTIMATED EARTHWORK QUANTITIES DO NOT INCLUDE SHRINKAGE AND/OR EXPANSION FACTORS DUE TO COMPACTION OR OVER EXCAVATION QUANTITIES.
  - THE CONTRACTOR SHALL CALCULATE HIS OWN EARTHWORK QUANTITIES NECESSARY FOR HIS BID AND WORK.
  - ESTIMATED EARTHWORK QUANTITIES ABOVE ASSUME THAT ALL ONSITE MATERIALS ARE SUITABLE FOR BACKFILLING; HOWEVER, ACTUAL EXISTING ONSITE MATERIALS AND IMPORTED MATERIALS MUST FIRST BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO INSTALLATION, REMOVAL, OR REPLACEMENT.
  - REMOVAL AND RECOMPACTION NUMBERS WERE CALCULATED BASED AT 3FT DEPTH FROM FOOTINGS AND BUILDING PAD PER GEOTECH REPORT BY HAMILTON AND ASSOCIATES DATED AUGUST 31, 2021.

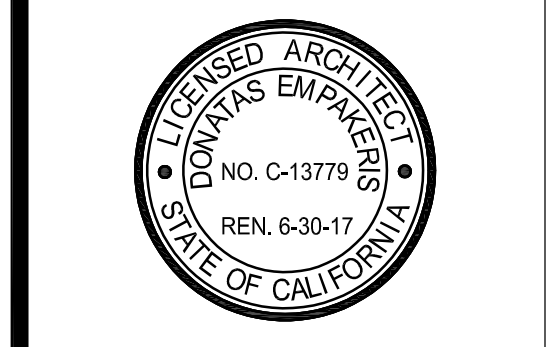
- NOTES:**
- ALL TREAD SURFACES SHALL BE SLIP-RESISTANT.
  - REFER TO ARCHITECTURAL DRAWINGS FOR COLOR, PATTERN, TEXTURE, AND FINISH.
  - SEE PLAN FOR LOCATION OF CONTROL JOINTS.

- NOTES:**
- ALL TREAD SURFACES SHALL BE SLIP-RESISTANT.
  - REFER TO ARCHITECTURAL DRAWINGS FOR COLOR, PATTERN, TEXTURE, AND FINISH.
  - SEE PLAN FOR LOCATION OF CONTROL JOINTS.

**1 CONCRETE WALKWAY PAVEMENT**  
N.T.S.

**2 VEHICULAR CONCRETE PAVEMENT**  
N.T.S.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_ STAMP \_\_\_\_\_



**CITY ENGINEER STATEMENT:**

ACCEPTANCE AS TO CONFORMANCE WITH APPLICABLE CITY STANDARDS AND PRACTICES

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

**13126 WESTERN AVE**  
13126 Western Ave  
New Construction: 121 Unit SRO (350sf),  
4 stories with free standing 6 tier 114 car  
automated parking structure

**PRECISE GRADING PLAN**

DATE	ISSUE / REVISION
2022/09	PLAN CHECK
2022/09	PLAN CHECK
2022/09	LANDSCAPE REVISIONS

THE ABOVE DRAWINGS, SPECIFICATIONS AND CONDITIONS ARE THE PROPERTY OF DE ARCHITECTS AIA. NO PART THEREOF SHALL BE COPIED OR USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF DE ARCHITECTS AIA. DE ARCHITECTS AIA, CDM, INC. AND LFA ASSOCIATES ARE NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON AND THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY AGENCIES AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE USER'S SOURCE. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY AGENCIES AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE USER'S SOURCE. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY AGENCIES AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE USER'S SOURCE.

DATE 11/3/25

SHEET NO. **C210**

