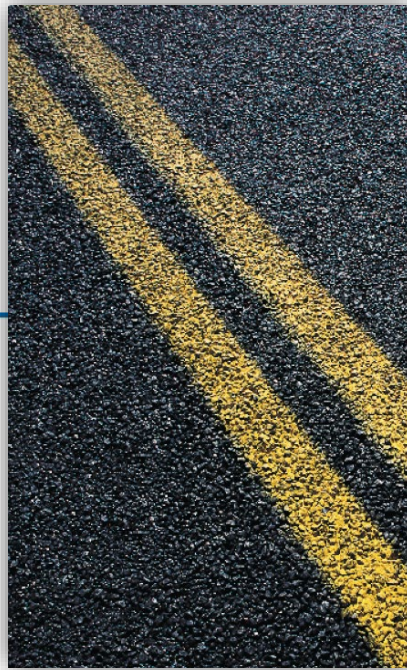


FINAL REPORT

UPDATE OF PAVEMENT MANAGEMENT PROGRAM / SYSTEM (Citywide)

2024-2029



**Submitted to:
City of Gardena, CA
October 21, 2024**



Mr. Kevin Kwak, P.E.
City Engineer
Engineering Department
1717 West 162nd Street
Gardena, CA 90247-3778

Subject: Final Report - Update of the Pavement Management Program / System

Dear Kevin:

As part of the 2024 Update of the Pavement Management Program / System (PMP) for the City of Gardena, *Bucknam Infrastructure Group, Inc. (Bucknam)* is pleased to submit the Final PMP Report for the City's pavement network.

The information contained in this report was used to develop the recommended improvement program for the pavement network. The report covers the following categories:

- **Executive Summary (Section I)**
- **Pavement Management Program/System Development and Reporting (Section II)**
- **Pavement Conditions For Each Segment in the Network (PCI Report – Section III)**
The Pavement Condition Index report shows the present condition of each street in the pavement network. In addition, the report shows the basic geometry of each street segment.
- **Forecast Maintenance / Rehabilitation (FMR) Report (Section IV)**
 - **Recommended Maintenance and Repair Strategies**
A multi-year maintenance and rehabilitation strategy/schedule, based on 2024 inspections, was recommended to generate the Forecast Maintenance / Rehabilitation (FMR) Report.
 - **Projected Projects based on M&R Strategies**
The FMR projects the street maintenance/rehabilitation activities recommended for the next five years, broken down to show maintenance levels for arterial, collector and local streets.

Our thorough analysis of previous and current Gardena PMP strategies enabled our staff to make proactive recommendations to the City's pavement CIP. All comments received from the City have been incorporated in the reports that follow. All of the City's needs that were brought to our attention are included in the report.



It has been a pleasure working with you and the City on updating your Pavement Management Program/System. We look forward to the continued success of this project and future teamwork with City staff.

Sincerely,

Bucknam Infrastructure Group, Inc.

A handwritten signature in black ink, appearing to read "Peter J. Bucknam". The signature is stylized with a large initial "P" and a long horizontal stroke at the end.

Peter J. Bucknam
Project Manager
Infrastructure Management – GIS Services

TABLE OF CONTENTS

Section	Page #
I. <u>Executive Summary</u>	1
A. City's Pavement Network	2
B. Current Citywide Conditions (Arterials and Locals/Collectors)	4
C. Maintenance Strategy Development	6
D. Annual Budget Projections	9
E. Quality Control Efforts	10
F. Findings and Recommendations	11
II. <u>Pavement Management Program/Sys - Capital Improvement Program</u>	13
A. 2024 Pavement Management Scope of Work	13
B. Strategy Assignment Table	14
C. Multi-Year Annual Work Program Projections	16
i. Actual Budget Program (\$48.3 million/5yr)	18
ii. Maintain PCI Program	20
D. Pavement Management Program/System Reports / Next Steps	22
E. Condition Distribution Report	23
F. Calculation of PCI	24
G. Sample Distress Photos – Recommended Treatment	27
III. <u>Citywide Pavement Condition Index (PCI) Reports</u>	43
A. Pavement Condition Index (PCI) Definitions	44
B. Gardena 2024 PCI Map	46
C. Name Order (A to Z)	Spreadsheet
D. PCI Order (0-100)	Spreadsheet
IV. <u>Forecast Maintenance / Rehabilitation Report</u>	47
A. Actual Budget Recommendations, Five Year Plan (2024-2029)	48

<u>Table and Figure Reference</u>	<u>Page #</u>
Figure 1 – Pavement Area (SF) by Street Classification	Sec 1-2
Figure 2 – PCI Distribution – All Streets (by Section mi.)	Sec 1-5
Figure 3 – Sample Pavement Life Cycle	Sec 2-15
Figure 4 – Resulting Network PCI (Actual Budget)	Sec 2-19
Figure 5 – Resulting Network PCI (Maintain Budget)	Sec 2-20
Figure 6 – PCI Calculation Worksheet	Sec 2-24
Figure 7 – Arterial Condition Distribution	Sec 2-25
Figure 8 – Collector Condition Distribution	Sec 2-25
Figure 9 – Local Condition Distribution	Sec 2-26
Figure 10 – Sample Distress Photos – Recommended Treatment	Sec 2-27
Figure 11 – Gardena Pavement Condition Index (PCI) Map	Sec 3-46

Table 1 – Condition Distribution by Centerline Mileage for All Streets	Sec 1-3
Table 2 – Network Findings / Summary	Sec 1-3
Table 3 – Neighboring City PCI’s	Sec 1-4
Table 4 – Five-Year Projection Demonstrating Results of City’s \$48.3 Million/5yr Budget	Sec 1-9
Table 5 – Five-Year Projection Demonstrating Annual Budget to Maintain PCI of 81	Sec 1-9
Table 6 – PCI Condition Ranges	Sec 2-14
Table 7 – Maintenance Strategy Assignments	Sec 2-14
Table 8 – Resulting Conditions Based Upon Actual Budget (FY 2024-2029)	Sec 2-18
Table 9 – Necessary Annual Funding to Maintain PCI at 81	Sec 2-20

Acronym Listing

American Society for Testing and Materials (ASTM)
Army Corps of Engineers (ACOE)
Asphalt Concrete (AC)
Asphalt Rubber Hot Mix (ARHM)
Average Daily Traffic (ADT)
Capital Improvement Program (CIP)
Geographic Information System (GIS)
Government Accounting Standards Board Statement 34 (GASB 34)
Ground Penetrating Radar (GPR)
High Density Mineral Bond (HDMB)
Los Angeles County MTA (METRO)
Maintenance and Repair (M&R)
Pavement Condition Index (PCI)
Pavement Management Program/System (PMP)
Portland Cement Concrete (PCC)

SECTION I

EXECUTIVE SUMMARY

2024 UPDATE OF PAVEMENT MANAGEMENT PROGRAM/SYSTEM

This report reflects the continued commitment and proactive management of the City's Pavement Management Program/System (PMP); the last major update to the City's PMP was performed in 2021. As the City of Gardena continues to show growth in its population, demographics, infrastructure and maintenance needs, the street network is demonstrating similar requirements in regard to capital revenues and capital improvement program management.

Today, the City is currently using the Army Corps of Engineers pavement management program/system, MicroPAVER, to manage the 113 miles within street network. This software is essential to the City in that it assists Public Works staff in identifying what levels of annual funding are needed to maintain and/or improve the pavement conditions across the network. These funds are vital for the annual arterial / collector street capital improvement program projects as well as for cost-effectively managing the local network through proactive cyclical maintenance/rehabilitation and scheduling. Under this project, the City has incorporated the update of its unique Pavement Management – GIS layer that assists the City in spatially analyzing pavement conditions and economic needs for a given pavement segment or the citywide network.

The Gardena PMP has been developed to assist City personnel by providing current conditional data on the network and to identify cost-effective maintenance / rehabilitation strategies to maintain a desirable level of pavement performance on a network scale (i.e., PCI of 80+); this optimizes the expenditure of appropriated fiscal resources. The PMP efforts in 2024 consisted of analyzing the City's previous PMP dataset for quality and usability. City staff also provided key information pertaining to the historical, ongoing and planned maintenance/rehabilitation efforts that have occurred throughout the City since 2021. In doing this, we were tasked to generate an updated Capital Improvement Program report that identified deficiencies and recommendations in the current operating and maintenance efforts put forth by the City.

For the 2024 project, our staff surveyed all routes within the network to assist the City in complying with Los Angeles County MTA (METRO) PMP requirements and analyzed historical maintenance operations. Specifically, the program provides administrators and maintenance personnel with:

- * *The present condition status of the pavement network (arterial, collector, and local streets), as a whole and of any grouping or individual component within the City;*
- * *A ranked list of all streets, or segments of streets, by condition within the network;*
- * *Rehabilitation/maintenance needs of qualifying street segments by year;*
- * *An optimized priority maintenance and rehabilitation program based on cost/benefit analysis and various levels of funding;*
- * *Optimum annual budget levels for pavement maintenance for the current and the following five (5) years;*



- * Prediction of the future performance of the City’s pavement network and each individual street section; and
- * Pavement network and conditional data presented in ArcGIS and is compatible with City’s existing GIS Enterprise

Pavement is a dynamic structure where deterioration is constantly occurring; thus the pavement management program/system needs to be updated on a regular basis to reflect these changes in pavement conditions, pavement maintenance histories, and maintenance strategies based upon budgetary constraints. In our approach to develop the City’s forecasted maintenance recommendations we worked with Gardena staff in identifying unit costs for all maintenance practices used on an annual basis. Currently, based upon the City’s maintenance practices and their associated unit costs, the total replacement value of the pavement network is \$329,711,200. This value clearly indicates that the City’s pavement network is the most valuable and essential asset to Gardena. The City’s use of slurry seal, ARHM Overlay and R&R practices are typically applied at a five year, ten year and 25 year frequency respectively. These frequencies are typical but the City may see increases in deterioration rates due to environmental, load and high average daily traffic (ADT) volumes. For example, high ADT volumes along one of Gardena’s arterial streets will increase deterioration rates for a previously applied AC Overlay compared to a small local street. These deterioration rates are monitored through frequent inspections and functional class deterioration analysis within the City’s PMP database.

This report reflects our findings and recommendations for the PMP and the current state of the City’s pavement network. Furthermore, we have recommended detailed funding and maintenance strategies for the arterial/collector and residential networks for next five (5) years.

A. CITY’S PAVEMENT NETWORK

Within the Gardena PMP there are three (3) major street classifications/ranks; Arterial, Collector and Local. The Arterials consist of approximately 26.8 centerline miles of streets, 5,866,177 SF of pavement that is made up of 143 pavement sections. The Collectors consist of approximately 28.7 centerline miles of streets, 6,083,522 SF of pavement that is made up of 146 pavement sections. The Local network consists of approx. 57.5 centerline miles of streets, 9,614,869 SF of pavement which consists of 380 pavement sections. Combined, the entire network consists of 113.0 centerline miles of streets, 21,564,568 SF and 669 total pavement sections.

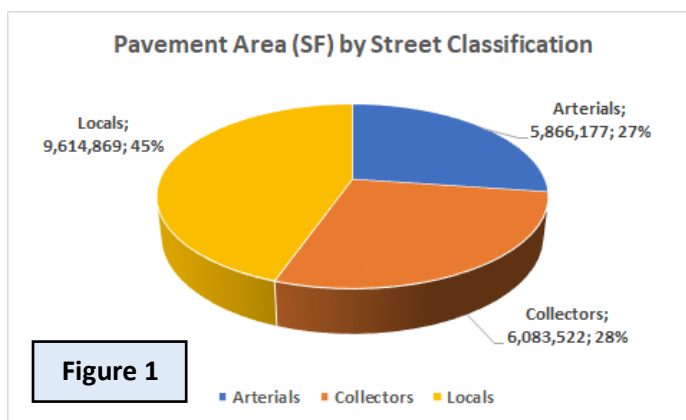


Figure 1

The City’s pavement network is broken down into manageable groups that have similar characteristics, such as pavement rank, surface type and logical segmentation. Pavement segments are identified by their branch and section numbers. Pavement “branches” that have a common usage, such as Western Avenue, defines a “branch” within MicroPAVER. Pavement “sections” are pavement segments within the defined branch that have consistent pavement rankings, construction/maintenance histories

and use. Representative inspection samples are then selected and visually surveyed to locate distress data. This data is used to calculate the pavement sections Pavement Condition Index (PCI) which includes distress type, extent of the distress and its severity.

The PCI is a condition rating that ranges from 100 (a new pavement section or recently overlaid or reconstructed) to 0 for a section that has structurally failed and deteriorated dramatically. Weighted average PCI of a given area/zone = pavement section PCI * its own area divided by the total square footage of the given area/zone. Table 1 summarizes the section conditions found within the City of Gardena pavement network by rank.

The weighted PCI value associated with the Arterial, Collector and Local routes shown through our survey analysis is timely in that it demonstrates that a moderate amount of preventative, slurry seal, and overlay work will be needed over the next several years to sustain the high level of condition (PCI) at a “manageable” level.

Table 1 – Condition Distribution by Centerline Mileage for All Streets

Condition	PCI Range	Arterial	Collector	Local	Total	% of Network
Very Good	86-100	12.2	11.0	19.9	43.1	38.1%
Good	75-85	9.3	7.9	18.0	35.2	31.2%
Fair	60-74	4.1	8.2	11.1	23.4	20.7%
Poor	41-59	0.9	1.2	8.1	10.2	9.0%
Very Poor	0-40	0.3	0.4	0.4	1.1	1.0%
		26.8	28.7	57.5	113.0	

Results shown in Tables 1 & 2 include forecasted PCI’s for the following overlay improvement projects in FY 2024-25:

- Artersia Blvd. (Western to Vermont)
- Redondo Beach Blvd. (Crenshaw to Vermont – multi-yr project)
- Vermont Ave (Rosecrans to 135th St)
- Normandie Ave (Artesia to 177th St), Cassidy St (Normandie to Vermont), Vermont Ave (177th St to 182nd St), Crenshaw Blvd (129th to Rosecrans – multi-yr project)
- 132nd St (Wilton to Western), 135th St (Western to Budlong), Marine Ave (Western to Vermont), 144th St (Van Ness to Gramercy), 145th St (Gramercy to Western), 157th St (Manhattan Pl to End), Arcturus Ave (Manhattan Beach to Redondo Beach Blvd), Marigold Ave (Manhattan Beach to Arcturus), Miller Ave (147th to Marine), Parron Dr (156th to End), Purche Ave (149th to 150th), 166th St (Western to Normandie), St. Andrews (154th Pl to Ruthelen)

Table 2 – Network Findings / Summary

Rank	Mileage	SF	2024 PCI	2,021	2018
Arterials	26.8	5,866,177	82.9	81.2	79.6
Collectors	28.7	6,083,522	81.6	81.6	84.1
Locals	57.5	9,614,869	78.5	81.0	88.4
Citywide	113.0	21,564,568	80.6	81.2	83.6
*2018 W. PCI's are from previous consultant spreadsheet					



B. CURRENT CITYWIDE CONDITIONS (ARTERIALS AND LOCALS/COLLECTORS)

The overall condition of the City’s pavement network is “Good” with a weighted average PCI of 80.6 based on the surface area of each segment. The distribution of the City’s overall pavement network is shown in Section III of this report (Condition Distribution).

For comparison, Bucknam performed 2023-24 pavement management studies for several other Los Angeles County agencies and have included their weighted PCI values (right).

Table 3		Neighboring City PCI's	
Alhambra	76.0	Duarte	77.3
South Gate	55.5	Monterey Park	65.7
Lynwood	71.6	Covina	73.4
South Pasadena	63.8	Commerce	65.5
El Segundo	74.4	Lomita	74.8
Sierra Madre	76.5	Compton	60.8

As shown above, the majority of segments are evenly distributed through Very Good to Fair condition categories. For a network in “preventive” condition status you would typically see a combined Very Good to Fair section percentage at the 65% to 75% range; Gardena’s network currently shows 90% of its sections within these PCI ranges. These findings indicate that the proper management of the network has been performed over the past five years; this is now allowing Public Works managers/staff to proactively establish preventative and rehabilitation schedules that will generate further high-value ROI for the City. To sustain this asset, continued amounts of overlay rehabilitation and slurry seal maintenance needs to be budgeted for and performed across all areas of the pavement network over the next five years.

As shown in Table 1, over 30.7% of the City’s entire network falls within the fair, poor and very poor condition categories based on PCI, highlighting the need for continued funding and implementation of proactive Zone slurry seal & overlay schedule. More overlay rehabilitation activity will increase the City’s overall weighted PCI while reducing deferred maintenance/backlog costs in future fiscal years. At a minimum, strategic Overlay projects applied to appropriate, qualifying segments is necessary to sustain the City’s network in a preventative condition status as described above. A network-wide preventative condition status is typically a network with a weighted average PCI over 74.

Regarding the Local / Collector network, 39% (33.2 miles) of the local pavement network requires slurry seal maintenance activity while 19% (16.3 miles) requires overlay rehabilitation or reconstruction.

With the moderate amount of Local / Collector sections needing M&R the City should proactively appropriate more funding to the street network in order to increase the overall condition of the locals. The Local / Collector network has shown a slight decrease in condition over the past three years however it will continue to be a major contributor to the moderate amount of deferred rehabilitation cost burdens unless appropriate pavement funding is applied.

Local / Collector routes are currently funded through Gas Tax, SB1, Measure M, Prop. C (Transit routes only).



Regarding the Arterial network, With the overall PCI in the 80's, proactive planning and application of scheduled slurry projects needs to be established; this will sustain the asset while freeing up additional funding for deferred reconstruction projects. Arterials are funded through Gas Tax, Measure R, Proposition C (transit routes only) and General Fund.

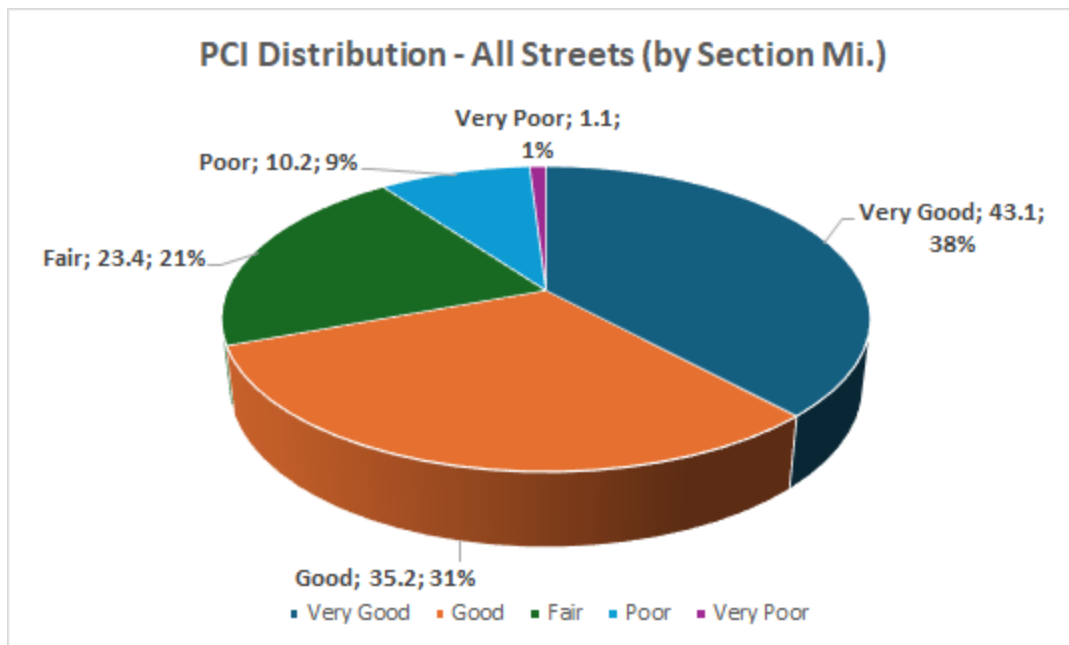
Currently, 52% (14.0 miles) of the Arterial network requires slurry seal maintenance activity while 6% (1.6 miles) requires overlay rehabilitation or full reconstruction.

Through our assessment of the City's annual pavement maintenance/rehabilitation budget allocations (FY 2024-2029) the ample amount of CIP funds will cause the City's citywide weighted PCI to increase over the next five years.

Furthermore, as large overlay and rehabilitation projects are considered for funding, the City should also consider using sub-grade R - Values, structural design, distress severities and extents as parameters for determining whether a pavement section that lies within the Poor to Very Poor condition range should be overlaid or reconstructed.

PCI conditions reflect "surface" conditions; additional sub-surface data such as coring data, R-Values and ground penetrating radar (GPR) will provide City to with a better approach to the maintenance that should be applied.

Figure 2 – PCI Distribution by Centerline Mileage for All Streets



C. MAINTENANCE STRATEGY DEVELOPMENT

Based on the results of the condition survey and input from the City, pavement maintenance/rehabilitation strategies were developed. From the onset, the City and Bucknam staff identified a distribution of City maintenance funds that would be applied to the network over the next five years. This was based upon the desire to prevent the decrease in street conditions and not allow an increase in the maintenance backlog funds over the five-year program.

Through our assessment and discussions with the City we were requested to identify what level of funding would be required to maintain the current PCI as well as identify the level of funding needed to increase the PCI to 85. With this approach, Bucknam has recommended a “minimal level of service” which creates a major dividing line in determining between preventive maintenance and major pavement rehabilitation.

Generally within pavement management programs/systems, a PCI range between 55 to 70 determines the threshold of when preventive or major overlay rehabilitation is activated. Based on the City’s weighted average PCI, condition distribution, maintenance practices, our team has identified a PCI of “65” as the minimum level of service. This means, in most cases, that any pavement section with a PCI greater than 65 will be recommended for preventive maintenance (i.e. slurry seal). This recommendation is indicated in Table 7, Section II.

Bucknam developed two multi-year Capital Improvement Programs for the City based on the pavement records, yearly capital expenditures, available funding and the most recent 2024 inspections. These recommendations and results are shown in Section II of this report.

As shown above in Figure 2, 52% of the City’s streets are in Good to Fair condition. These sections will be targeted for “preventive” maintenance within our Capital Improvement Program (CIP) recommendations. The reasoning in doing this is to extend the life cycles of those “good” pavement sections which accrues capital saving to aggressively rehabilitate those pavement sections that are below the “minimal level of service”.

In order to achieve the most effective and optimum program for the City, certain strategies have been selected and/or analyzed. Below is a listing of the maintenance activities utilized in strategy development. Each activity is representative of the types of work that have been programmed as part of the long-term maintenance requirements of the City’s street network.

General Repairs-Stop Gap (Localized Maintenance*); PCI range – 20 to 95

For this maintenance type, small localized surface treatments are utilized as “holding action” solutions (stop gaps) to delay the need for pavement structural strengthening. They typically include activities such as crack sealing, AC deep patching, AC skin patching, PCC slab replacement, grinding and leveling.

The City of Gardena may consider an equipment such as the Asphalt Zipper to apply proactive localized surface patch repairs (R&R). In doing this, they prevent portions of pavement sections (high severity distress locations) from deteriorating at a continuously fast rate.

Microsurfacing - (Global Maintenance*); PCI range – 60 to 85

Microsurfacing is similar to slurry seal. It consists of the application of a mixture of



water, asphalt emulsion, aggregate (very small crushed rock), and chemical additives to an existing asphalt concrete pavement surface. Polymer is commonly added to the asphalt emulsion to provide better mixture properties. The major difference between slurry seal and microsurfacing is in how they “break” or harden. Slurry relies on evaporation of the water in the asphalt emulsion. The asphalt emulsion used in microsurfacing contains chemical additives which allow it to break without relying on the sun or heat for evaporation to occur. Thus, microsurfacing is an application that hardens quicker than slurry seals and can be used when conditions would not allow slurry seal to be successfully placed. Streets that have a lot of shade and streets that have a lot of traffic are good candidates for microsurfacing (*source - LA County of Public Works*). **Currently not used by the City.**

Slurry Seals (Global Maintenance*); PCI range – 60 to 85

Surface treatments applied to pavements with minimal surface distress to provide new wearing surfaces and extend pavement life. Generally consists of a mixture of conventional or latex-modified emulsified asphalt, well-graded fine aggregate, mineral filler and water placed over an existing AC surface; Slurry seal application life-cycles are averaging 4 to 5 years. Type II Slurry is recommended for Local / Collector streets.

Cape Seals (Global Maintenance*); PCI range – 40 to 65

This is an application of a single layer of asphalt binder to a road surface immediately followed by a single layer of cover aggregate (chips). The single layer chip seal is then followed with a slurry seal application; Conventional cape seal application life-cycles are averaging 6 to 7 years. For sections that have lower PCI's in this range, leveling courses should be considered. City is currently considering this application as an alternative cost-saving tool. **Currently not used by the City.**

Overlays (Major Maintenance*); PCI range – 20 to 65

AC Overlay – Placement of a layer of hot-mixed asphalt concrete over the existing pavement surface (may include pavement fabric). Grinding (milling) is performed prior to the overlay to reduce the total height of asphalt and assure alignment with existing gutter lines. This also includes “dig-outs” and crack sealing prior to the application of an overlay. This treatment provides a new wearing surface and increased structural strength to the pavement section. A conventional overlay should be designed for a ten-year life.

Asphalt Rubber Hot-Mix Overlay - The ASTM definition is: Asphalt-Rubber is a blend of asphalt cement, reclaimed tire rubber and certain additives in which the rubber component is at least 15% by weight of the total blend and has reacted in the hot asphalt cement sufficiently to cause swelling of the rubber particles. Specifically, using crumb rubber modified binders in pavement application benefit local agencies in that cities find:

- Pavement resists cracking by being more flexible;
- Cost savings come from a longer life cycle (from Bucknam’s experience typically 20% longer), decreased maintenance and the use of less material
- Improvement in skid resistance;
- Decreased noise; and
- It provides long-lasting color contrast for marking and striping
- Life cycles are averaging 8 to 12 years

Reconstruction (Major Maintenance*); PCI range – 0 to 20

Removal of the existing pavement section to a prescribed depth followed by the placement of a conventional flexible pavement section using a structural AC Hot Mix or AR Hot Mix or a full depth asphalt. Each classification of road has a typical design cross-section upon anticipation traffic loading. By performing a reconstruction the sections PCI resets at 100 and restarts the life-cycle deterioration of the section.

*Localized, Global and Major maintenance activities are default terms used within the MicroPAVER pavement software. Specific pavement repair applications are placed within each maintenance activity in order to develop multi-year maintenance forecast recommendations.

D. ANNUAL BUDGET PROJECTIONS

The budgeting process was approached with the following in mind; generate two unique work programs for the next five (5) years based upon actual road pavement conditions in order to:

1. Demonstrate how the City’s current “Actual - \$48.3 Million/5yr” budget allocation for pavement maintenance performs against the conditions found through our surveys;
2. Identify the required annual citywide budget to “maintain current PCI” within five years

Based on current and future pavement maintenance needs, two annual work programs have been prepared and summarized below. Table 4 demonstrates how the City’s allocated \$48.3 Million/5yr budget performs against today’s conditions. Table 5 demonstrates the annual budget that is needed to maintain the citywide weighted average PCI of 81 after five years (each scenario addresses arterial, collector and local streets).

Table 4 – Five-Year Projection Demonstrating Results of City’s \$48.3 Million/5yr Budget

Plan Year	PCI	Slurry / Cape	Overlay / Recon	Total \$	Deferred Backlog
2024-25	87.0	\$1,074,100	\$24,967,400	\$26,279,400	\$2,008,500
2025-26	86.8	\$1,098,600	\$1,101,100	\$4,948,000	\$515,600
2026-27	86.5	\$1,066,400	\$207,000	\$5,700,000	\$0
2027-28	85.8	\$1,072,500	\$0	\$5,700,000	\$257,400
2028-29	85.2	\$1,070,600	\$0	\$5,700,000	\$1,157,600
		\$5,382,200	\$26,275,500	\$48,327,400	

Table 5 – Five-Year Projection Demonstrating Annual Budget to Maintain PCI of 81

Plan Year	PCI	Slurry / Cape	Overlay / Recon	Total \$	Deferred Backlog
2024-25	80.3	\$1,074,100	\$2,950,600	\$4,024,700	\$23,143,900
2025-26	80.8	\$1,098,600	\$3,073,200	\$4,171,800	\$22,295,400
2026-27	81.0	\$1,066,400	\$3,036,300	\$4,102,700	\$21,441,700
2027-28	81.0	\$1,072,500	\$2,979,800	\$4,052,300	\$20,658,800
2028-29	80.7	\$1,070,600	\$3,241,500	\$4,312,100	\$19,865,000
		\$5,382,200	\$15,281,400	\$20,663,600	

Our findings above demonstrate the continued ROI that will result if proper annual funding is applied. By applying approximately \$48,327,400 over the next five years, the City will see positive results with overall PCI, reduction in deferred preventative maintenance and overlay rehabilitation.

Additional detail and breakdown of budget projections are demonstrated in Section IV of this report. All work program budgets generated are presented in terms of current 2024 dollars. All repair activities were based on distresses observed at the time of the field survey. These are recommendations and are to be used as “the best case scenario” for improving the City of Gardena street network.



E. QUALITY CONTROL EFFORTS

As indicated in our scope of work, Bucknam performed numerous quality control checks in the field during survey efforts as well as specific site investigations requested by the City.

Minor corrections were made to a handful of sections where we corrected the rank classification within MicroPAVER. Alley sections were added to the MicroPAVER / City PMP network.

Through our internal quality control efforts, we believe we have found all the necessary publicly owned streets that needed to be reported on under this project.

F. FINDINGS AND RECOMMENDATIONS

Arterials

The actual workload requirements identified indicate that the Arterial street network is currently in “Good” condition (PCI = 82.9). At a minimum, to sustain this condition, it is critical that preventive maintenance and overlay rehabilitation activities are funded at the levels identified in Table 5 to maintain the network weighted average PCI value to within the “Good” condition category.

Our arterial findings for conditional data and recommendations for revenue expenditures are shown below:

- The Arterial network has a weighted PCI of 82.9;
- Currently, 6% of the arterial network (approx. 1.6 miles) qualifies for overlay/reconstruction maintenance; 52% (approx. 14.0 miles) qualifies for slurry seal maintenance;
 - With Arterial conditions showing five (5) miles of streets in need of major rehabilitation a continuous and proactive Arterial CIP program needs to be sustained;
- At a minimum, Arterial maintenance projects should focus on achieving and maintaining a PCI of 80+ within the next five years;
 - Develop a proactive fiscal and planned approach to identify arterial overlay projects based on the deterioration modeling within MicroPAVER;
 - Maintain arterial revenues at the levels shown within the Section IV Forecast Maintenance & Rehabilitation (FMR) Report for a minimum of five years to generate the results identified within this report;
- Reassess/re-evaluate the arterial rehabilitation budget programs every two years to improve on CIP forecasts for 2024-25 and beyond to ensure the results shown in Table 4 and 5;
- Perform pavement inspections on the arterial network every three years to build a solid planning model within MicroPAVER to track PCI deterioration;
- Demonstrated budget shown in Table 4 is sufficient to improve the Arterial weighted PCI as it included proactive overlay funding. Furthermore, the citywide deferred maintenance decreases from a level of \$26.2 million to \$1.2 million
 - Unique budget scenarios created in MicroPAVER calculate annual deferred maintenance amounts based on the available/projected budget applied and section SF's that fall within preventative, slurry seal, overlay and reconstruction PCI ranges;

- Bucknam recommends that the City proactively budget overlay rehabilitation projects at the levels shown in Table 4 in order to improve upon the conditions found today as well as minimize the impact of a moderate increase deferred maintenance across the City.

Locals / Collectors

The actual workload requirements identified indicate that the Local / Collector street network is currently in “Good” condition (Local PCI = 78.5; Collector = 81.6). To increase these condition, it is critical that preventive maintenance and overlay activities are funded at the levels identified in Table 4 to increase the weighted average PCI values of these two networks to an optimal level.

Our Local / Collector findings for conditional data and recommendations for revenue expenditures are shown below:

- The Local/Collector networks have weighted PCI’s of 78.5; Collector has a PCI of 81.6;
- Combined, 19% of the Local/Collector network (approx. 16.3 miles) qualifies for overlay/reconstruction maintenance; 39% (approx. 33.2 miles) qualifies for slurry seal maintenance;
 - With Local/Collector conditions showing 15+ miles of streets in need of major rehabilitation a continuous and proactive CIP program needs to be sustained;
- At a minimum, Local/Collector maintenance projects should focus on achieving and maintaining a weighted PCI above a level of 78+ within the next five years;
- Current Local/Collector Forecast Maintenance & Rehabilitation (FMR) recommendations should be followed as shown in Section IV of this report;
- Develop a proactive fiscal and planned approach to identify Local overlay projects based on the deterioration modeling within MicroPAVER;
- Increase Local/Collector revenues at the levels shown within the Section IV Forecasted Maintenance Report for a minimum of five years to generate the results identified within this report;
- Reassess/re-evaluate the Local/Collector rehabilitation budget programs every two years to improve on budget forecasts for 2024-25 and beyond to ensure the results shown in Table 4 or 5;
- Perform pavement inspections on the Local/Collector network every three years to build a solid planning model within MicroPAVER to track PCI deterioration;
- Demonstrated budget shown in Table 4 is sufficient to improve the Local/Collector weighted PCI as it included proactive overlay funding. Furthermore, the citywide deferred maintenance decreases from a level of \$26.2 million to \$1.2 million after five years;

- Unique budget scenarios created in MicroPAVER calculate annual deferred maintenance amounts based on the available/projected budget applied and section SF's that fall within preventative, slurry seal, overlay and reconstruction PCI ranges;
- Bucknam recommends that the City allocate budget for overlay rehabilitations at the levels shown in Table 4 in order to improve upon the conditions found today as well as minimize the impact of a high increase of deferred maintenance across the City.

SECTION II
PAVEMENT MANAGEMENT PROGRAM / SYSTEM
CAPITAL IMPROVEMENT PROGRAM

Bucknam Infrastructure Group, Inc. (Bucknam) performed the following services in accordance with the scope of services that was contracted with the City of Gardena. As a quick overview, the following tasks were performed to complete the work over the past several months:

A. 2024 PAVEMENT MANAGEMENT SCOPE OF WORK

- Task 1:** Project Kickoff-Data Management
- Task 2:** Update of Maintenance Activities
- Task 3:** Pavement Condition Survey (approx. 113 miles)
- Task 4:** Budgetary Analysis and Capital Improvement Reports
- Task 5:** Executive Summary and Final CIP Reports
- Task 6:** Mapping of the Pavement Network

As a part of the 2024 update of the pavement management program/system, a major element of work was to complete a comprehensive assessment of the existing street network and PMP database within the City. This included assessing the City’s existing 2021 MicroPAVER database, Excel datasets, GIS, street naming conventions and work history information. From there, Bucknam worked with the City to confirm public and private street listings which set the foundation for accurate CIP reporting.

Work history information was provided by the City in the form of completed bid documents, institutional knowledge, and previous dataset and Excel documents. This information was entered into the proper pavement segments that match the limits of those projects. From there, CIP pavement recommendations were performed (discussed and demonstrated below) where the pavement maintenance information the City provided (PMP material practices, unit costs, and capital budgets) were used to generate recommendations through the MicroPAVER system.

Table 6 demonstrates PCI ranges defaulted within MicroPAVER. Once a pavement inspection is complete, a PCI is calculated for each pavement section. Each PCI calculated falls within a defined PCI range category (Very Good, Poor, etc.). Furthermore, a weighted PCI was calculated for each functional class within the network (arterials and locals).

The PCI is a condition rating that ranges from 100 (a new pavement section or recently overlaid or reconstructed) to 0 for a section that has structurally failed and deteriorated dramatically. Weighted average PCI of a given area/zone = pavement section PCI multiplied by its own area divided by the total square footage of the given area/zone. This information can also be represented through MicroPAVER to show how much square footage or percentage of area falls within a PCI range category.



Table 6 - PCI Condition Ranges

PCI Range	Condition
86-100	Very Good
75-85	Good (2024 Gardena = 80.6)
60-74	Fair
41-59	Poor
0-40	Very Poor

These condition ranges are defined by the Army Corps of Engineers and demonstrated within the MicroPAVER software. The summary of all roads condition data and their representative PCI's can be seen in the Pavement Condition Report in Section III.

B. STRATEGY ASSIGNMENT TABLE

The City was requested to provide a pavement maintenance list that demonstrated what pavement applications were currently being used and to provide their associated unit costs; from there a Maintenance Strategy Table was defined within the system that provided recommended actions to the specific repair needs of a street or a grouping of streets.

Table 7 – Maintenance Strategy Assignments

All Streets		
PCI Range	Description	Unit Cost
20-100	Preventative, Stop Gap, Patching	Varies by Activity
Varies by Activity		
60-85	Type II Slurry (Locals)	\$0.40/SF
60-85	Type II Slurry (Arterials)	\$0.60/SF
Minimal Level of Service (65)		
40-65	Cape Seal (Locals)	\$0.95/SF
20-60	AC Overlay (Local)	\$2.55/SF
20-60	Grind / Overlay (Local)	\$2.85/SF
20-60	Grind/ARHM Overlay (Arterial)	\$4.05/SF
0-20	AC Remove & Replace (Locals)	\$6.10/SF
0-20	AC Remove & Replace (Arterials)	\$9.50/SF
0-20	PCC Reconstruction	\$18.00/SF
<i>30% Contingency included within All Unit Costs</i>		

The Strategy Assignments List, shown in Table 7, was developed to identify the most critical segments in each of the work programs (Arterial, Collector and Local).

Segment priorities were established by determining the range of PCI's requiring first attention based on the relative value of each segment's PCI, thus maximizing the annual maintenance



budget. Also, distress quantity, area extent, type and severity were critical elements in the decision process for recommending maintenance. The assignment table is used as a guide within MicroPAVER to recommend maintenance, however, further assessment by City staff and/or outside parties can override maintenance recommendations. This can be done by reviewing and assessing distress extents and their weighted percentages.

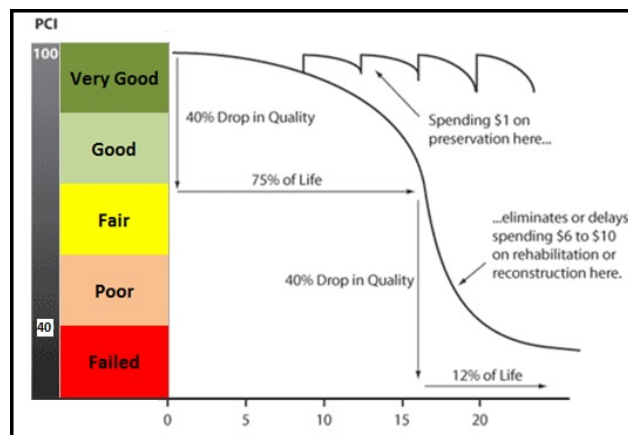
Once the strategy assignments were set within the system, budgets and work assignments were generated for each work program on an annual basis. Using pavement deterioration curves for each type of pavement surface and class of road, both current year and future years work requirements for each pavement segment within the City were determined. In forecasting the maintenance requirements in future years, the current PCI value is reduced annually for each pavement segment based on the MicroPAVER deterioration curves within the City's database.

Likewise, maintenance activities performed in a given year increase the PCI value as they are applied to the segment. The overall program is dynamic in that each strategy consists of a cyclic series of actions that simulates the pavement anticipated life cycle.

Strategy Assignment Notes

1. Unit costs from the City's most recent construction bids were used from surrounding LA County local agencies;
2. 30% contingency costs were applied to pavement material costs; additional soft costs that were not included were:
 - a. Right-of-way improvements
 - b. Curb & gutter improvements
 - c. ADA ramp improvement
 - d. Utility improvement
 - e. Tree removals
3. Bucknam applied a 4% inflation rate on the annual budget within forecasted maintenance projections (Section IV)

Figure 3 – Sample Pavement Life Cycle



C. MULTI-YEAR ANNUAL WORK PROGRAM PROJECTIONS

The goal of these projections is to assist City policy makers in utilizing the recommendations of the MicroPAVER system. By using the City of Gardena’s current budgets and maintenance practices the system will develop “section unique” improvements and strategies. Qualifying segments will be tied to a specific fiscal year. As shown in the following pages, we have assessed the budgets that have been projected to meet the maintenance and rehabilitations needed to maximize the City’s return on investment. The budget forecasting goal for the City network focused on:

- ❖ Establishing a proactive multi-year Maintenance & Rehabilitation Program;
- ❖ Developing a preventive maintenance program; and
- ❖ Selecting the most cost-effective repairs based on City strategies

ACTUAL BUDGET – The Actual budget was generated for the City to demonstrate how the \$48.3 Million/5yr budget allocation performs against the current citywide conditions.

MAINTAIN PCI BUDGET – The Maintain PCI budget was generated for the City to demonstrate what level of annual funding is required to sustain the overall weighted PCI of 81 for the next five years.

****All multi-year budget projections include a 4% inflation rate for the term of the budget forecast.***

**ARTERIAL / COLLECTOR - LOCAL
BUDGET PROJECTIONS**



ACTUAL BUDGET PROGRAM (FIVE YEAR MODEL)

The first key step in developing a proactive PMP is to model the City’s existing conditions against a projected and/or available budgets. In doing this, PCI performance, deferred maintenance and pavement application uses are able to benchmarked and demonstrated in a positive or negative result. With the City striving to show proactive maintenance across all City pavements and neighborhoods, a budget program was generated to show the greatest return on investment through the application of slurry seal, cape seal, grind & overlay and alternative overlay maintenance. Bucknam utilized the City’s \$48.3 million/5yr budget to establish a benchmark scenario for pavement funding; the City reviewed current 2024 “benchmark” unit costs from surrounding local agencies to develop this five-year scenario. The City’s projected / schedule Arterial projects such as Artesia Blvd., Redondo Beach Blvd., Vermont Ave., Normandie Ave, Cassidy St., 132nd St, etc. have been programmed within our annual modeling.

The “Actual Budget” program incorporates pavement sections that have a functional class of Arterial (A, C) and Local (E).

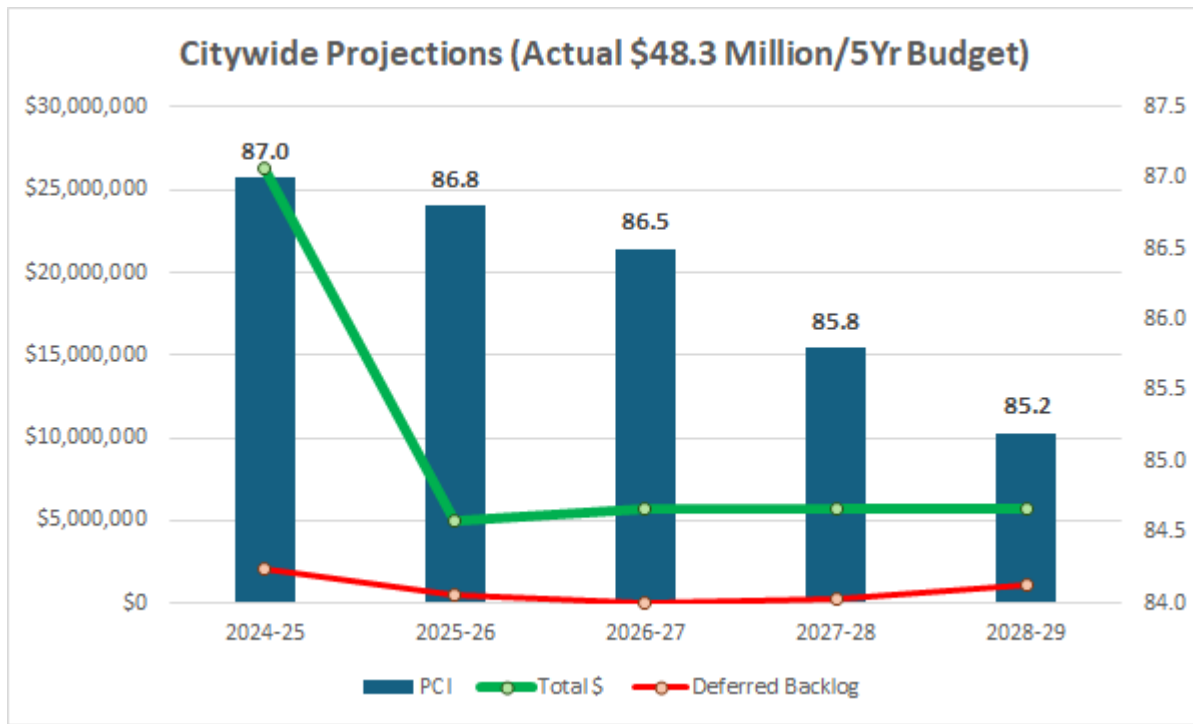
Table 8 – Resulting Conditions Based Upon Actual Budget (FY 2024-2029)

Plan Year	PCI	Slurry / Cape	Overlay / Recon	Total \$	Deferred Backlog
2024-25	87.0	\$1,074,100	\$24,967,400	\$26,279,400	\$2,008,500
2025-26	86.8	\$1,098,600	\$1,101,100	\$4,948,000	\$515,600
2026-27	86.5	\$1,066,400	\$207,000	\$5,700,000	\$0
2027-28	85.8	\$1,072,500	\$0	\$5,700,000	\$257,400
2028-29	85.2	\$1,070,600	\$0	\$5,700,000	\$1,157,600
		\$5,382,200	\$26,275,500	\$48,327,400	

Referring to Table 8, it is noted that the weighted PCI increases annually through the five-year projection (80.6 to 85.2). If the City utilizes an average appropriated five-year budget of \$48,327,400/yr for slurry, overlay, and reconstruction projects as shown above, the overall conditions will “increase by 6%” and the City will see a substantial 95% decrease in the amount of deferred maintenance. The annual deferred maintenance total decreases from \$26.2 million to \$1.2 million at the end of the five-years. These results should be monitored as the City’s performs major rehabilitation over the next several years.

Due to the fact that the all networks have a PCI weighted average close to 80, it may appear that annual funding levels should be evenly distributed. However, the Local/Collector combined square footage is three times larger than the Arterials. We recommend that annual funding levels be appropriated at 70% Locals/Collectors and 30% Arterials over the next five years. This will continue to generate a balanced PCI for all networks by FY 2029.

Figure 4 – Resulting Network PCI (Actual Budget)



The resulting “sustaining of the weighted PCI within the high 80’s” shown above demonstrates how applying ample/appropriate capital funds to specific areas of the network allows the City’s pavement conditions to improve at a rate that is conducive to a successful PMP. Additionally, even with an ample budget, the City should continue to assess and consider the implementation of localized maintenance (i.e. Cape Seal, High Density Mineral Bond (HDMB) applications, deep patching, leveling courses, crack sealing, etc.) prior to any major slurry seal and/or overlay maintenance. By performing stop gap measures to individual pavement sections the overall performance of the sections condition will improve over time and sustain itself longer than if no preventive maintenance was performed.

MAINTAIN BUDGET PROGRAM (FIVE YEAR MODEL)

Utilizing the City’s previous Actual Budget PMP scenario as a benchmark, our goal under this model is to maintain the current 2024 weighted PCI of 80.6 through a five-year program. This model will demonstrate the necessary funding needed each fiscal year to achieve this goal.

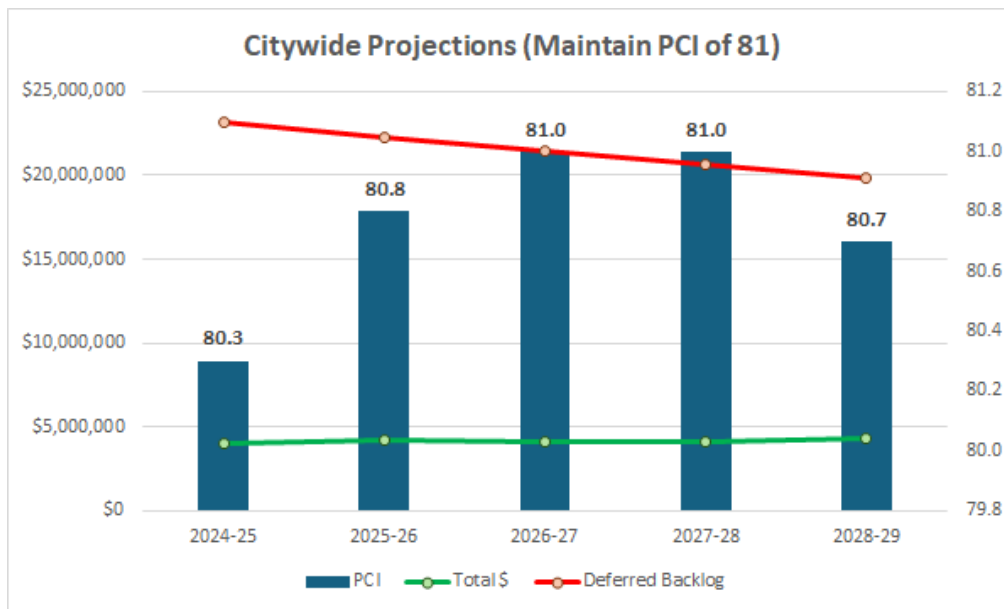
The “Maintain” program incorporates pavement sections that have a functional class of Arterial (A, C) and Local (E).

Table 9 – Necessary Annual Funding to Maintain PCI at 81

Plan Year	PCI	Slurry / Cape	Overlay / Recon	Total \$	Deferred Backlog
2024-25	80.3	\$1,074,100	\$2,950,600	\$4,024,700	\$23,143,900
2025-26	80.8	\$1,098,600	\$3,073,200	\$4,171,800	\$22,295,400
2026-27	81.0	\$1,066,400	\$3,036,300	\$4,102,700	\$21,441,700
2027-28	81.0	\$1,072,500	\$2,979,800	\$4,052,300	\$20,658,800
2028-29	80.7	\$1,070,600	\$3,241,500	\$4,312,100	\$19,865,000
		\$5,382,200	\$15,281,400	\$20,663,600	

Referring to Table 9, it is noted that the weighted PCI maintains itself through the five-year projection (80.6 to 80.7). Furthermore, the annual deferred maintenance total decreases from \$26.2 million to \$19.9 million at the end of the five-years (24% decrease); moderately lower than the previous budget scenario. If the City utilizes an average annual budget of \$4,132,700/yr for slurry, overlay, and reconstruction maintenance as shown above, the City will be able to “hold” the current conditions and will continue to see a manageable amount of deferred maintenance by FY 2028-29.

Figure 5 – Resulting Network PCI (Maintain Budget)



Once the City has performed the recommended pavement rehabilitation projects for FY 2024 through 2026; the City should consider establishing a Local cape seal/slurry maintenance “neighborhood” strategy for several reasons. First, preventive maintenance applications applied five plus (5+) years after rehabilitation, like those mentioned above, will help to sustain high levels of condition while reducing annual expenditures. Secondly, with a citywide maintenance neighborhood methodology established, four beneficial impacts occur:

- 1) Planned / Maintenance areas are addressed through a multi-yr maintenance cycle which creates a dedicated project schedule for City staff and constituent inquiries;
- 2) Deferred overlay maintenance can be addressed in a more effective manner due to accrued savings of revenues (reduced construction logistical costs, volume-based costs, etc.)
- 3) A preventive maintenance strategy is more cost-effective in a long-term PMP rather than implementing a maintenance approach that addresses only the “worst-first” streets.
- 4) All maintenance alternatives are available due to the increased funding and focused maintenance per year.

The Local maintenance model that has been developed under the “Maintain” budget can be used as a benchmark to monitor the City’s annual budget allocations as the network continues to mature and age; the proper amount of funding for overlay maintenance needs to be the City’s highest priority.

Again, it is recommended that the City continue to monitor the deterioration rates for the applications of Grind & Overlay, Cape Seal and Type II slurry seal to ensure the City is generating the greatest return-on-investment and extend life-cycles; this should be done through frequent inspections and deterioration studies.

It is key to point out that if the City continues to fund the PMP at these levels for the next seven+ years, future years of PMP management (i.e. 2027/28 through 2032/33) will only require minimal rehabilitation funding. The majority of the work will only require strategic and proactive preventative maintenance. The long-term PCI goal for the City should be to focus on “achieving a weighted PCI of 84” and sustain it at that level (+/- 1 PCI point) over the next fifteen years.

DEFERRED MAINTENANCE

Delaying repairs on streets where pavement conditions indicate a need creates deferred maintenance. Deferred maintenance includes pavement maintenance, rehabilitation and reconstruction projects that are needed across the entire network, but cannot be performed due to the lack of available funding. These delayed projects are then pushed to the next budget cycle incurring higher unit costs/SF. The actual repairs that are being deferred are often referred to as a “backlog”.

As maintenance is deferred, the opportunity to apply life extending preventive pavement applications is lost and the ultimate cost of rehabilitation multiples.

D. PAVEMENT MANAGEMENT PROGRAM / SYSTEM REPORTS

In addition to the annual budget scenario, this report contains a comprehensive and complementary assemblage of pavement management reports ranging from summary reports to annual maintenance and rehabilitation schedules (Forecast Maintenance & Rehabilitation (FMR) Report, Section IV). Collectively, as well as individually, the reports represent reasonable projections of pavement maintenance needs and performance based on visual condition assessments, unit cost estimates, and pavement deterioration models. These recommendations are for planning purposes only; City staff make all final decisions are project locations.

It is important to note that pavement segment dimensions and surface area recorded during 1999-2021, and 2024 inspections, along with the action and repair costs, as presented within the reports are accurate within tolerable limits. This is noteworthy due to the "implied" accuracy of reporting length and width to the nearest foot, surface area to the nearest square foot, and action and repair unit costs and project estimates to the nearest penny and dollar, respectively.

NEXT STEPS

As with any infrastructure management software program, time investments need to be made by key Public Works staff to maintain the integrity of the data as well as the accuracy. Bucknam can perform training sessions in the use of the MicroPAVER tools and demonstrate how to generate standard common-sense reports to assist City staff in developing yearly budgets, project level analysis, and CIP projections. This will be key to future management of the pavement program and reporting. City personnel need to maintain their commitment to the preventive maintenance system, while working toward reducing the City's present backlog of rehabilitation projects.

In order to ensure that report outputs are accurate and credible, it is essential that the integrity of all data files be maintained. This will require performing all necessary updates when changes are made to scheduling scenarios, unit cost information, historical data, etc. In addition, the entire pavement network will have to be re-inventoried at regular intervals. This typically includes surveying arterial and collectors every two years and locals every three. One recommendation the City may consider to keep the program "managed" is:

- Survey all arterials and collectors every three years; and
- Survey all locals every three years

This will not only allow work to be scheduled based on the most current condition data available, but will provide City personnel with a means to monitor actual rates of pavement deterioration so appropriate modifications can be made to the system curves. To be compliant with the METRO requirements, the City must generate a triennial Pavement Management report indicating condition ratings, inspection dates and forecasted maintenance/rehabilitation recommendations.

Bucknam will be supporting the City with staff level support to assist in the continuous updates with the MicroPAVER system. This will include work history updates, generating reports from the system, unit cost updates, and future inspections.



E. CONDITION DISTRIBUTION REPORT

This report depicts the distribution of the pavement condition throughout the street network by area.

The condition scheme ranges from “Very Good” to “Very Poor”; with a “Very Good” condition corresponding to a pavement at the beginning of its life cycle, and a “Very Poor” condition representing a badly deteriorated pavement with virtually no remaining life.

The table below shows the general description for each pavement condition:

Condition Description – PCI Range - Description

Condition Description	PCI Range	Description
Very Good	86-100	Minor to low distress, no significant distress; Low severity distresses with expectation of utility patches in good condition or slight hairline cracks; minor weathering found
Good	75-85	Slight to moderately weathered, low to moderate distress severities, utility patching commonly found; moderate distress extents
Fair	60-74	Severely weathered or moderate levels of distress, generally limited to utility patching and climate related distress
Poor	41-59	Moderate to high distresses including load related types such as alligator cracking, greater distress extents
Very Poor	0-40	Severely distresses, large quantities of distortion or alligator cracking; Failure of the pavement, distress has surpassed tolerable rehabilitation limits

2024 City of Gardena weighted average PCI is 80.6 (Good).

F. CALCULATION OF PCI

In order to calculate a Pavement Condition Index (PCI) value within MicroPAVER, specific street section data needs to be inputted into MicroPAVER to define the survey limits, asphalt types, pavement age and metrics. Pavement “sections” are pavement segments within the defined branch that have consistent pavement street classifications, construction/maintenance histories and use. Representative inspection samples are then selected and visually surveyed to locate distress data. This data is used to calculate the pavement sections Pavement Condition Index (PCI) which includes distress type, extent of the distress and its severity.

The PCI is a condition rating that ranges from 100 (pavement section that is in perfect condition) to 0 for a section that has structurally failed and deteriorated dramatically. The PCI is calculated from three major data entries from our inspectors:

1. Distress Type (one of 20 AC or 19 PCC types); these include alligator cracking, bleeding, block cracking, corrugations, depressions, long/trans cracking, patch/utility cut, potholes, rutting, weathering, raveling, etc.
2. Distress Quantity (the square footage, length or count of a specific distress)
3. Distress Severity (the level of severity determined for each distress found; low, medium or high)

Figure 6 – PCI Calculation Worksheet

Summary data at time of inspection

Branch Use: ROADWAY Section Surface Type: AC Section True Area: 22,605.00 SqFt
 Section Length: 685 Ft Section Width: 33 Ft

Inspection Date: 4/1/2005 **Calculate Conditions**

Sample Unit: 1 **Edit Sample Units**

Sample Unit size: 22605.00 SqFt No distresses found during inspection. Remaining Samples Have No Distress

Distress Type

01 ALLIGATOR CR 06 DEPRESSION 11 PATCH/UT CUT 16 SHOIVING
 02 BLEEDING 07 EDGE CR 12 POLISHED AG 17 SLIPPAGE CR
 03 BLOCK CR 08 JT REF CR 13 POTHOLE 18 SWELL
 04 BUMPS/SAGS 09 LANE SH DROP 14 RR CROSSING 19 WEATH/RAVEL
 05 CORRUGATION 10 L_T CR 15 RUTTING

Distress Severity Low Medium High N/A

Distress Quantity 2825.98 SqFt

Distress	Description	Severity	Quantity	Units
1	ALLIGATOR	L	2,825.98	SqFt
1	ALLIGATOR	M	115	SqFt
1	ALLIGATOR	H	25	SqFt
3	BLOCK	L	12,432.9	SqFt
3	BLOCK	M	1,016.99	SqFt

Buttons: Add Distress, Delete Distress, Replace Distress, Previous Sample Unit, Next Sample Unit, Smp Images (0), Insp Images (0), Close

Figure 7 – Arterial Condition Distribution

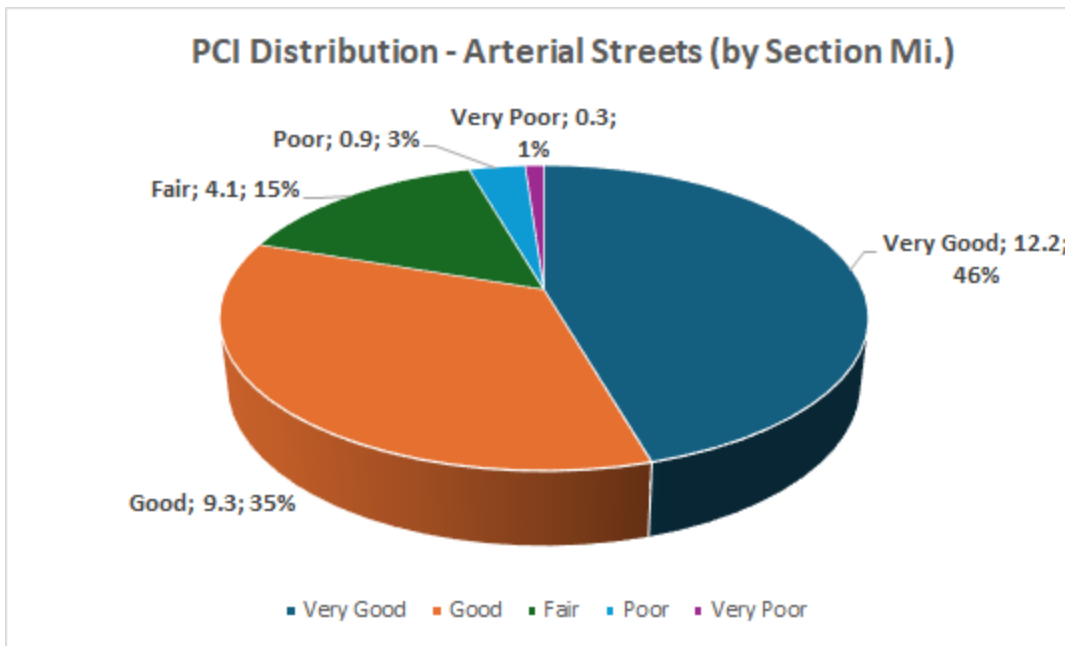


Figure 8 – Collector Condition Distribution

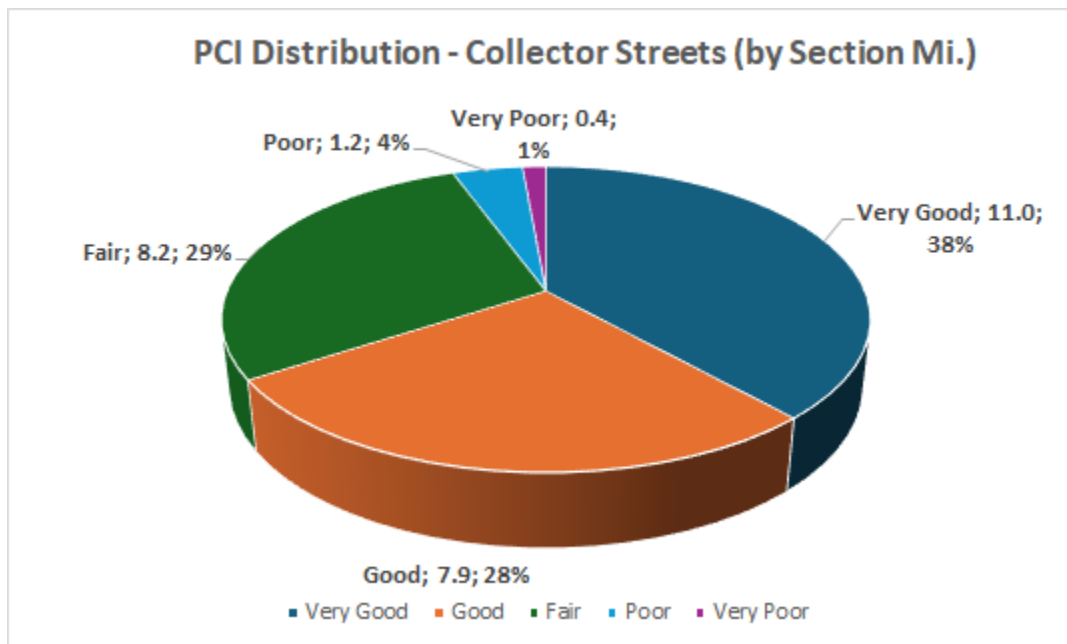
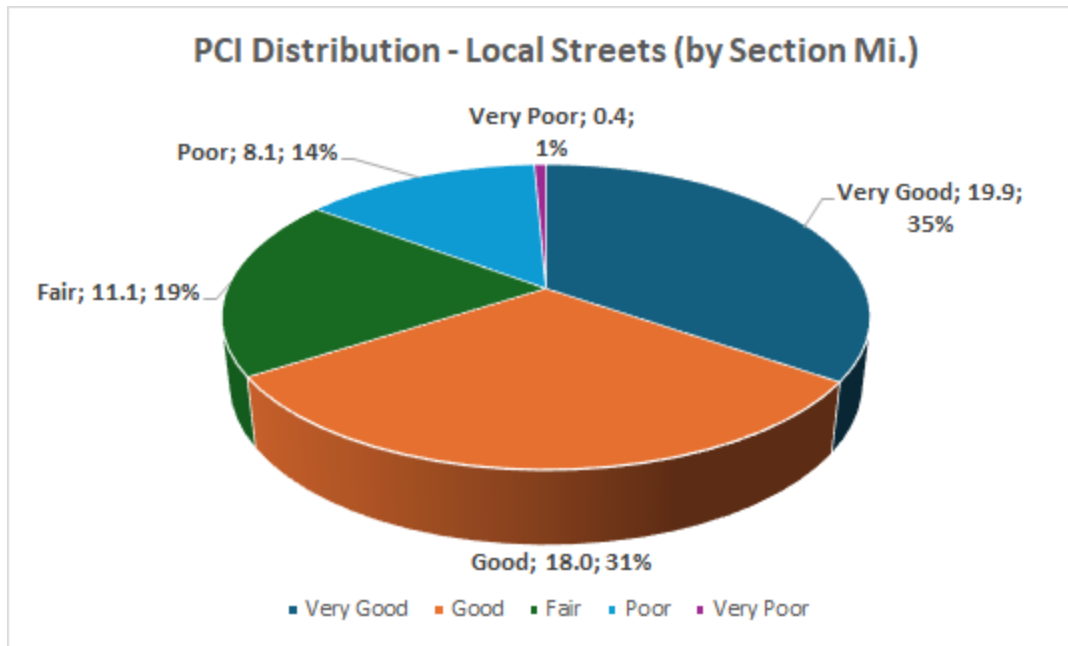


Figure 9 – Local Condition Distribution



G. SAMPLE DISTRESS PHOTOS – RECOMMENDED TREATMENT (FIGURE 10)

Bucknam Infrastructure Group



1. Alligator Cracking



Cracks that form a chicken wire or alligator scale like pattern.

Low Severity: Thin parallel longitudinal cracks that may come together at certain points, but full alligator pattern is not present yet.

Medium Severity: Further development of cracks into alligator pattern. Cracks are starting to spall.

High Severity: Alligator pattern is heavily developed, and cracks are spalled to the point where individual pieces may become separated.

Typical Recommendation: Low severity, R&R – Patching, crack sealing; high severity R&R-overlay

2. Bleeding



Bleeding occurs when incorrectly mixed asphalt is applied and in hot weather the asphalt or tar rises to the surface.

Severity is determined by the amount of asphalt/tar present.

Typical Recommendation: Low severity, apply coarse sand; high severity, grind or heat planer excess, resurfacing may be necessary



3. Block Cracking



Longitudinal and transverse cracks that intersect to form smaller than 10x10 ft blocks. Creates uniform blocks with straight edges.

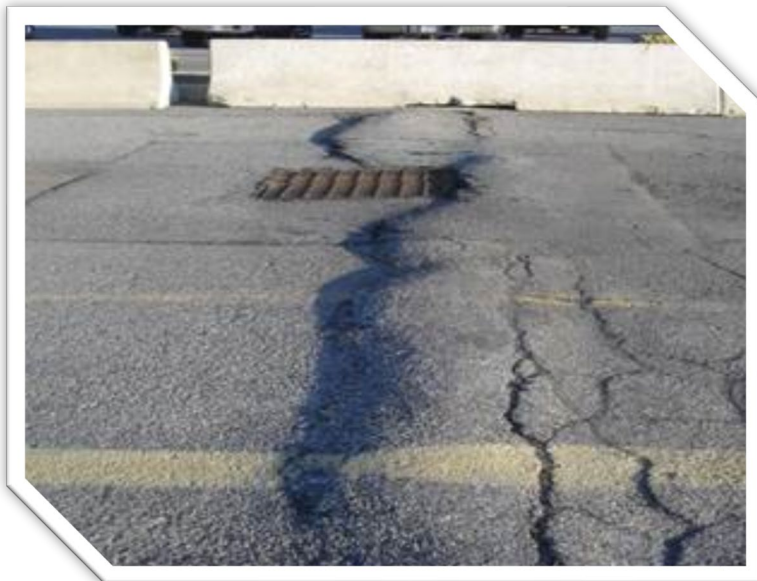
Low Severity: Cracking is less than 3/8 inches.

Medium Severity: Cracking between 3/8 and 3 inches.

High Severity: Cracking is over 3 inches.

Typical Recommendation: Low severity, crack sealing; high severity, R&R-overlay

4. Bumps and Sags



Small, localized, and linear upward or downward displacements of pavement, which can be caused by a variety of factors.

Severity is determined by the extent to which ride quality is diminished.

Typical Recommendation: R&R - Patching

5. Corrugation



Closely spaced Bumps and or Sags that form a washboard effect in the pavement.

Severity is determined by the extent to which ride quality is diminished.

Typical Recommendation: Low severity, R&R – Patching; high severity, R&R-overlay

6. Depression



Localized area of pavement with a lower elevation than the surrounding pavement.

Low Severity: depth of ½ to 1 inch.

Medium Severity: depth of 1 to 2 Inches.

High Severity: depth greater than 2 inches.

Typical Recommendation: R&R - Patching

7. Edge Cracking



Cracks that are parallel to the edge of the pavement that may cause a break up of pavement.

Low Severity: Low or Medium cracking with no breakup.

Medium Severity: Medium cracking with some breakup.

High Severity: Considerable breakup of pavement.

Typical Recommendation: R&R - Patching

8. Joint Reflective Cracking



Cracking that is reflected through AC pavement when it is overlaid on top of PCC pavement.

Low Severity: Cracking is less than 3/8 inches.

Medium Severity: Cracking between 3/8 and 3 inches.

High Severity: Cracking is over 3 inches.

Typical Recommendation: R&R - Overlay

9. Lane / Shoulder Drop-off



Elevation change between pavement and shoulder.

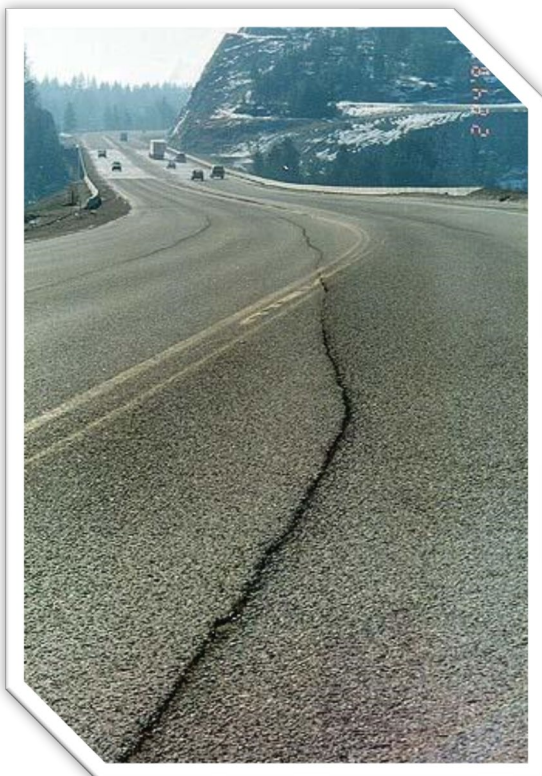
Low Severity: Difference in elevation is between 1 and 2 inches.

Medium Severity: Difference in elevation is between 2 and 4 inches.

High Severity: Difference in elevation is over 4 inches.

Typical Recommendation: R&R – Patching or edge grinding

10. Linear & Transverse Cracking



Cracks that are generally either parallel or perpendicular to traffic.

Low Severity: Cracking is less than 3/8 inches.

Medium Severity: Cracking is between 3/8 and 3 inches.

High Severity: Cracking is over 3 inches.

Typical Recommendation: Low severity, crack sealing; high severity, R&R - Overlay

11. Patching



Area of pavement that has been replaced.

Severity is determined by the quality of the patch and the extent to which ride quality is diminished.

Typical Recommendation: R&R – structural / non-structural overlay

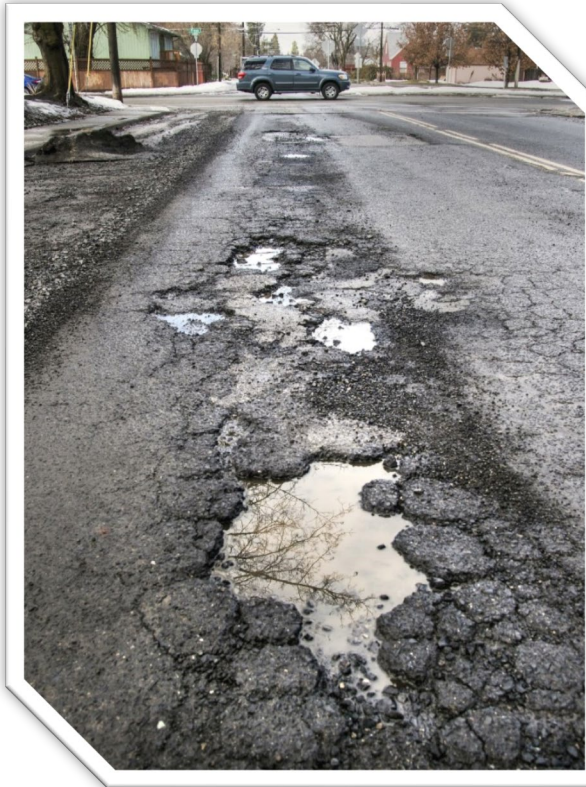
12. Polished Aggregate



Distress where traffic smooths the pavement surface so friction is diminished and cars can slide.

There are no Severity Levels for this distress.

13. Pothole



Severity Measured using the following Matrix.

Maximum Depth Of Pothole (in.) (mm)	Average Diameter (in.) (mm)		
	4 to 8 in. (100 to 200 mm)	8 to 18 in. (200 to 460 mm)	18 to 30 in. (460 to 760 mm)
1/2 to ≤ 1 in. (13 to 25 mm)	L	L	M
> 1 to ≤ 2 in. (25 to 50 mm)	L	M	H
> 2 in. (50 mm)	M	M	H

Typical Recommendation: low severity Pothole fill or R&R – Patching, high severity should be R&R-Overlay

14. RR Crossing



Pavement distresses caused by railroad crossings.

Severity is determined by the extent to which ride quality is diminished.

Typical Recommendation: R&R - Patching

15. Rutting



Linear depressions along wheel paths caused by traffic.

Low Severity: Depth is $\frac{1}{4}$ to $\frac{1}{2}$ inches.

Medium Severity: Depth is $\frac{1}{2}$ to 1 inch.

High Severity: is greater than 1 inch.

Typical Recommendation:
Pavement with deeper ruts should be leveled and overlaid

16. Shoving



Displacement of pavement creating a “wave” over a more solid surface.

Severity is determined by the extent to which ride quality is diminished.

Typical Recommendation: R&R - Patching

17. Slippage Cracking



Half-moon shaped cracks where wheels cause pavement to slide.

Low Severity: Average crack width is less than 3/8 inch.

Medium Severity: Crack width is between 3/8 and 3/2 inches.

High Severity: Crack width is greater than 3/2 inches.

Typical Recommendation: R&R - Patching

18. Swell



Upward Bulges creating “wave-like” patterns.

Severity is determined by the extent to which ride quality is diminished.

Typical Recommendation: Low severity, R&R – Patching; high severity, R&R-overlay

19. Weathering



The wearing away of the asphalt binder.

Low Severity: Aggregate is starting to be exposed.

Medium Severity: Aggregate is exposed up to ¼ of its width.

High Severity: Aggregate is exposed to greater than ¼ of its width.

Typical Recommendation: naturally occurring, slurry seal

20. Raveling



The further weathering of asphalt so that coarse aggregate is separating out of pavement.

Medium Severity: Considerable loss of aggregate.

High Severity: Almost complete removal of coarse aggregate.

Typical Recommendation: Low severity, R&R – Patching; high severity, R&R-overlay

PORTLAND CEMENT CONCRETE (PCC)

1. Blowup



Buckling at cracks or joints where there is not enough room for slab expansion.

Severity is determined by the extent to which ride quality is diminished.

2. Corner Break



Crack close to corner of slab that creates a corner piece.

Low Severity: Crack is less than ½ inches wide.

Medium Severity: Crack is between ½ and 2 inches wide.

High Severity: Crack is wider than 2 inches.

3. Divided Slab



Slab that is broken up into four or more pieces by cracks.

Severity is determined by the following matrix.

Severity Of Majority Of Cracks	Number Of Pieces In Cracked Slab		
	4 to 5	6 to 8	More than 8
L	L	L	M
M	L	M	H
H	M	H	H

4. Durability Cracking



Pattern of cracks parallel to joints caused by freeze-thaw expansion of large aggregate.

Low Severity: Durability cracking covers less than 15 percent of slab.

Medium Severity: Durability cracking covers more than 15 percent of the slab.

High Severity: Durability cracking covers more than 15 percent of slab and most pieces have come out.

5. Faulting



Elevation Difference between slabs.

Low Severity: Elevation difference is between 1/8 and 3/8 inch.

Medium Severity: Elevation is between 3/8 and 3/4 inch.

High Severity: Elevation is greater than 3/4 inch.

6. Joint Seal Damage



Damage to sealant between joints that allows soil, rock, or water infiltration.

Low Severity: Joint sealant has only minor damage.

Medium Severity: Joint sealant is in fair condition. Water can infiltrate and vegetation may be present.

High Severity: Joint sealant is in poor condition. It may be missing and rocks may be present.

7. Lane / Shoulder Drop-Off



The Elevation difference between pavement and shoulder.

Low Severity: Elevation difference is between 1 and 2 inches.

Medium Severity: Elevation difference is between 2 and 4 inches.

High Severity: Elevation difference is greater than 4 inches.

8. Linear Cracking



Cracks that divide slab into two or three pieces.

Low Severity: Crack is less than ½ inch wide.

Medium Severity: Crack is between ½ and 2 inches wide.

High Severity: Crack is wider than 2 inches.

9. Large Patch



Patch that is larger than 5.5 sq ft.

Low Severity: Patch has little or no deterioration.

Medium Severity: Patch is moderately deteriorated.

High Severity: Patch is badly deteriorated.

10. Small Patch



Patch that is smaller than 5.5 sq ft.

Low Severity: Patch has little or no deterioration.

Medium Severity: Patch is moderately deteriorated.

High Severity: Patch is badly deteriorated.

11. Polished Aggregate



Distress where traffic smooths the pavement surface so friction is diminished and cars can slide.

There are no Severity Levels for this distress.

12. Popouts



Small piece of pavement that breaks loose from surface.

There are no Severity Levels for this distress, however popouts must cover 3 per sq. meter of the slab.

13. Pumping



Ejection of material from slab foundation through joints or cracks along with water.

There are no Severity Levels for this distress.

14. Punchout



Localized area of a slab that is broken into many pieces.

Severity is determined by the following matrix.

Severity of Majority of Cracks	Number of Pieces		
	2 to 3	4 to 5	> 5
L	L	L	M
M	L	M	H
H	M	H	H

SECTION III
CITYWIDE
PAVEMENT CONDITION INDEX (PCI) REPORT

- A. 2024 Gardena PCI Map
- B. Name Order (A to Z)
- C. PCI Order (0-100)

A. PAVEMENT CONDITION INDEX (PCI) DEFINITIONS

Listed alphabetically by street name or PCI, this report provides the City with a listing of pertinent inventory and pavement condition data for each inventory unit within the City's pavement network. The Pavement Condition Index (PCI) Report notes the names, limits, classification, dimension, surface type, and lane configuration of each inventory unit.

Detailed descriptions of the information appearing on this report are presented below:

BRANCH NAME - The name of each inventory unit appears in this column. Generally, the inventory unit name is taken directly from a street sign; however, where no street signs are posted, the name appearing on the network map is noted instead.

A sample set of street name suffix abbreviation definitions is presented below:

AVE - Avenue	CT - Court	CIR - Circle
DR - Drive	LN - Lane	RD - Road
ST - Street	WY - Way	EB - East Bound
NB - North Bound	SB - South Bound	WB - West Bound
TER - Terrace	PL - Place	

FROM - A description of the beginning limit of each inventory unit appears in this column. If the beginning limit exists between intersections, then the beginning limit description may be an address, post mile marker, or a distance from a known point of reference (e.g., "500' N/MAIN ST").

TO - A description of the ending limit of each inventory unit appears in this column. Like BEGIN limit, the END limit description may consist of a street name, an address, or a distance from a known point of reference. In the case of cul-de-sacs, or dead-ends, the END limit consists of an address, or a directional reference, such as "NORTH END," when no address is available.

STREET CLASSIFICATION - The codes for three street classifications are represented below. Basically, units are classified according to the LA County MPAH and City classifications.

<u>CODE</u>	<u>DESCRIPTION</u>
A	Primary Arterial
C	Collector / Secondary
E	Local

SURFACE TYPE - A code was assigned to each inventory unit to describe surface type.

<u>CODE</u>	<u>DESCRIPTION</u>
AC	Asphalt Concrete
AAC	Asphalt Overlay over AC
APC	Asphalt Overlay over PCC
PCC	Concrete



LENGTH - The length of the section within each branch.

UNITS - The unit of measurement for the section length, typically linear feet (LF).

AREA - The area of each section within a branch.

UNITS - The unit of measurement for the section area, typically square feet (SF).

PCI - Pavement Condition Indices were calculated for inventory units based on severity and extent of distress manifestations observed within the inventory unit. Ranging between 0 and 100, a PCI of "100" corresponds to a pavement at the beginning of its life cycle, while a PCI of "0" corresponds to a badly deteriorated pavement which is at or near the end of its life cycle.

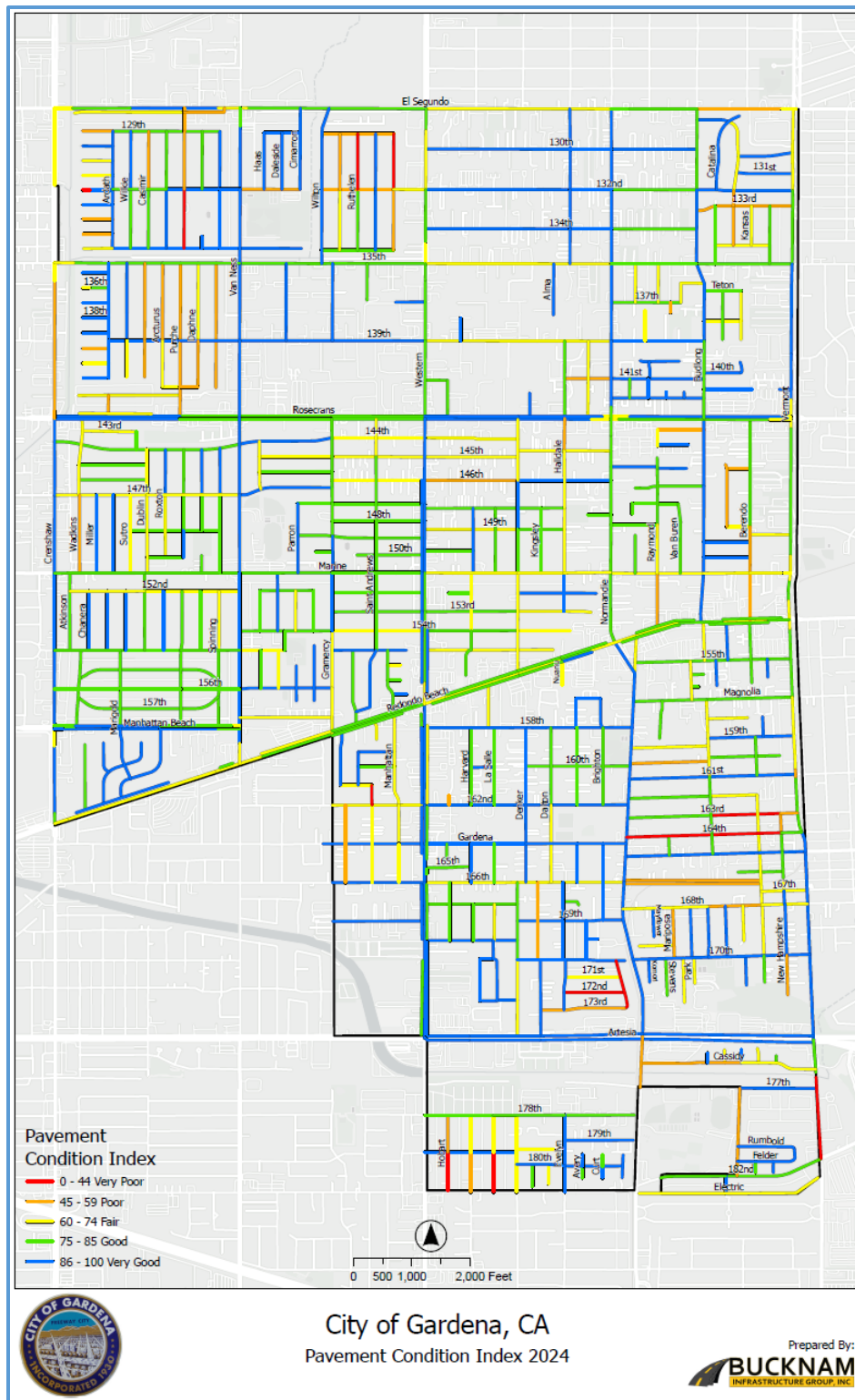
PCI CLIMATE, LOAD AND OTHER – reflects “Section Extrapolated Distress”; these values are shown within the Sample Distresses tab within the PCI window. Distresses are aggregated based on the type and severity level. For random samples, distress quantities are adjusted to reflect the extrapolated value based on the sections total area. Extrapolated distress deducts are classified as resulting from Climate, Load and Other distresses. The Distress Classification portion of the tab shows the “percent” of extrapolated distress deduct belonging to Climate, Load and Other (these %’s are shown within the PCI reports herein). These values are beneficial in that they support the decision whether recommend slurry seal, overlay or reconstruction project for street sections.

Asphalt Distresses	Cause Classification	PCC Distresses	Cause Classification
Alligator cracking	Load	Blow up	Climate
Bleeding	Other	Corner break	Load
Block cracking	Climate	Divided Slab	Load
Bumps/Sags	Other	Durability cracking	Climate
Corrugation	Other	Faulting	Other
Depression	Other	Joint Seal cracking	Climate
Edge cracking	Load	Lane Shoulder Drop-off	Climate
Joint Reflection cracking	Climate	Linear cracking	Load
Lane Shoulder Drop-off	Climate	Small Patching	Other
L&T cracking	Climate	Large Patching	Other
Patch/Utility cut	Other	Polished Agg	Load
Polished Agg	Other	Popouts	Other
Pothole	Climate	Pumping	Other
RR Crossing	Other	Punchout	Load
Rutting	Load	RR Crossing	Other
Shoving	Other	Scaling/crazing	Other
Slippage cracking	Other	Shrinkage cracking	Other
Swell	Other	Corner Spall	Other
Raveling	Other	Joint Spall	Other
Weathering	Climate		

INSPECTION DATE – Represents the most recent inspection date performed on a given sections. PCI shown is historical in value and may not indicate what “today’s” PCI is due to variance in time. Pavement deterioration calculations can be performed on a section(s) to demonstrate a deteriorated PCI based upon a new current date.



Figure 11 – Gardena Pavement Condition Index (PCI) Map



City of Gardena, CA
Pavement Condition Index (PCI) Report - All Streets

Sorted by Rank, Name Order (A-Z)

BranchID	Sec ID	Name	From	To	Surface Type	Rank	Lanes	Zone	L	W	Area	PCI	PCI Pct Climate	PCI Pct Load	PCI Pct Other	Insp. Date	Work Type	Work Date
Arterials																		
ARTESI	1920	ARTESIA BLVD	WESTERN	MARUKAI	AAC	A	3	~	625	33	24,798	100	0	0	0	8/26/24	Overlay - AC Structural	8/26/24
ARTESI	1922	ARTESIA BLVD	MARUKAI	DALTON	AAC	A	3	~	1,025	33	40,798	100	0	0	0	8/26/24	Overlay - AC Structural	8/26/24
ARTESI	1925	ARTESIA BLVD	DALTON	NORMANDIE	AAC	A	3	~	1,445	34	74,235	100	0	0	0	8/26/24	Overlay - AC Structural	8/26/24
ARTESI	1930	ARTESIA BLVD	NORMANDIE	VERMONT	AAC	A	4	~	2,385	61	148,525	100	0	0	0	8/26/24	Overlay - AC Structural	8/26/24
ARTESI	1935	ARTESIA BLVD	VERMONT	NORMANDIE	AAC	A	4	~	2,385	56	146,995	100	0	0	0	8/26/24	Overlay - AC Structural	8/26/24
ARTESI	1938	ARTESIA BLVD	NORMANDIE	DALTON	AAC	A	3	~	1,445	42	69,195	100	0	0	0	8/26/24	Overlay - AC Structural	8/26/24
ARTESI	1940	ARTESIA BLVD	DALTON	MARUKAI	AAC	A	3	~	1,025	34	43,010	100	0	0	0	8/26/24	Overlay - AC Structural	8/26/24
ARTESI	1945	ARTESIA BLVD	MARUKAI	WESTERN	AAC	A	3	~	625	34	28,495	100	0	0	0	8/26/24	Overlay - AC Structural	8/26/24
CRENSH	2540	CRENSHAW BLVD (NB ONLY)	REDONDO BEACH BLVD	END PCC (120' N/ REDONDO BEACH BLVD	PCC	A	3	~	180	32	8,725	75	29	27	44	8/5/24	New Construction - Initial	1/1/80
CRENSH	2542	CRENSHAW BLVD (NB ONLY)	BEGIN AC 120' N/ REDONDO BEACH BLVD	END AC 260' S/ MANHATTAN BEACH BLVD	AAC	A	3	~	1,161	37	42,957	87	53	18	29	8/5/24	Overlay - AC Structural	6/1/19
CRENSH	2544	CRENSHAW BLVD (NB ONLY)	BEGIN PCC 260' S/ MANHATTAN BEACH	N/S MANHATTAN BEACH BLVD	PCC	A	3	~	370	30	14,225	68	27	34	39	8/5/24	New Construction - Initial	1/1/80
CRENSH	2545	CRENSHAW BLVD (NB ONLY)	N/S MANHATTAN BEACH BLVD	154TH ST	AAC	A	3	~	1,258	38	47,804	91	91	9	0	8/5/24	Overlay - AC Structural	6/1/19
CRENSH	2550	CRENSHAW BLVD (NB ONLY)	154TH ST	MARINE	AAC	A	3	~	1,326	38	50,388	91	89	11	0	8/5/24	Overlay - AC Structural	6/1/19
CRENSH	2555	CRENSHAW BLVD (NB ONLY)	MARINE	147TH ST	AAC	A	3	~	1,330	38	50,540	91	97	0	3	6/7/24	Overlay - AC Structural	6/1/19
CRENSH	2560	CRENSHAW BLVD (NB ONLY)	147TH ST	ROSECRANS	AAC	A	3	~	1,285	36	42,255	92	100	0	0	6/7/24	Overlay - AC Structural	6/1/19
CRENSH	2565	CRENSHAW BLVD (NB ONLY)	ROSECRANS	END PCC 90' N/ ROSECRANS	PCC	A	3	~	136	30	5,225	55	19	79	2	8/5/24	New Construction - Initial	1/1/80
CRENSH	2570	CRENSHAW BLVD (NB ONLY)	BEGIN AC 90' N/ ROSECRANS	END AC 265' S/ 135TH ST	AC	A	3	~	2,230	36	79,760	46	15	78	7	8/5/24	New Construction - Initial	1/1/80
CRENSH	2575	CRENSHAW BLVD (NB ONLY)	BEGIN PCC 265' S/ 135TH ST	135TH ST	PCC	A	3	~	265	36	10,545	62	21	64	15	8/5/24	New Construction - Initial	1/1/80
CRENSH	2580	CRENSHAW BLVD (NB ONLY)	LACFC EASEMENT (13127 CRENSHAW)	END AC 265' S/ EL SEGUNDO BLVD	AC	A	3	~	998	30	36,125	66	21	57	22	7/31/24	New Construction - Initial	1/1/80
CRENSH	2585	CRENSHAW BLVD (NB ONLY)	BEGIN PCC 265' S/ EL SEGUNDO BLVD	EL SEGUNDO BLVD	PCC	A	3	~	310	48	14,880	67	26	27	47	7/31/24	New Construction - Initial	1/1/80
ELSEGU	2819	EL SEGUNDO BLVD (EB ONLY)	CRENSHAW	END PCC 210' E/ CRENSHAW	APC	A	3	~	255	35	8,925	74	54	23	23	7/31/24	New Construction - Initial	1/1/80
ELSEGU	2820	EL SEGUNDO BLVD (EB ONLY)	END PCC 210' E/ CRENSHAW	WILKIE AVE	APC	A	3	~	830	36	29,880	85	75	21	4	7/31/24	Cold Mill and Overlay	6/1/08
ELSEGU	2822	EL SEGUNDO BLVD (EB ONLY)	WILKIE AVE	PCC 290' W/ VAN NESS AVE	APC	A	3	~	1,240	36	44,640	87	99	1	0	7/31/24	Cold Mill and Overlay	6/1/08
ELSEGU	2824	EL SEGUNDO BLVD (EB ONLY)	BEGIN PCC (290' W/ VAN NESS AVE)	END PCC (70' E/ VAN NESS AVE)	PCC	A	3	~	415	36	14,940	74	52	27	21	8/5/24	New Construction - Initial	1/1/80
ELSEGU	2825	EL SEGUNDO BLVD (EB ONLY)	END PCC (70' E/ VAN NESS AVE)	WESTERN	APC	A	3	~	2,492	36	89,712	75	44	49	7	7/31/24	Cold Mill and Overlay	6/1/08
ELSEGU	2830	EL SEGUNDO BLVD (EB ONLY)	WESTERN	NORMANDIE	APC	A	3	~	2,560	36	92,160	71	30	59	11	8/5/24	Cold Mill and Overlay	6/1/08
ELSEGU	2840	EL SEGUNDO BLVD (EB ONLY)	NORMANDIE	END PCC (235' E/ NORMANDIE)	PCC	A	3	~	315	36	11,340	76	24	41	35	8/5/24	New Construction - Initial	1/1/80
ELSEGU	2845	EL SEGUNDO BLVD (EB ONLY)	END PCC (235' E/ NORMANDIE)	BUDLONG	APC	A	3	~	955	36	34,380	77	42	57	1	8/5/24	Cold Mill and Overlay	6/1/08
ELSEGU	2848	EL SEGUNDO BLVD (EB ONLY)	BUDLONG	BEGIN PCC (120' W/ VERMONT)	PCC	A	3	~	1,215	36	43,740	54	25	75	0	8/5/24	Cold Mill and Overlay	6/1/08
ELSEGU	2850	EL SEGUNDO BLVD (EB ONLY)	PCC 120' W/ VERMONT	VERMONT	PCC	A	3	~	117	36	4,212	72	95	0	5	8/5/24	New Construction - Initial	1/1/80
NORMAN	3630	NORMANDIE AVE	177 TH ST	ARTESIA BLVD	AC	A	4	~	865	50	43,250	55	46	49	5	8/5/24	Cold Mill and Overlay - 2 Inches	10/1/13
NORMAN	3640	NORMANDIE AVE	REDONDO BEACH BLVD	155 TH ST	AC	A	2	~	480	55	26,400	61	16	64	20	8/12/24	New Construction - Initial	1/1/80
NORMAN	3650	NORMANDIE AVE	ARTESIA BLVD	166 TH ST	AC	A	4	~	2,682	57	152,874	91	30	12	58	5/24/24	Overlay - AC Structural	6/1/20
NORMAN	3660	NORMANDIE AVE	166 TH ST	REDONDO BEACH BLVD	AAC	A	4	~	4,353	54	235,062	94	58	0	42	5/24/24	Overlay - AC Structural	6/1/20
NORMAN	3670	NORMANDIE AVE	REDONDO BEACH BLVD	MARINE	AC	A	4	~	1,191	53	63,123	80	68	3	29	7/31/24	Cold Mill and Overlay - 2 Inches	9/3/14
NORMAN	3680	NORMANDIE AVE	MARINE	ROSECRANS	AC	A	4	~	3,316	56	185,696	79	69	1	30	7/31/24	Cold Mill and Overlay - 2 Inches	10/1/14
NORMAN	3685	NORMANDIE AVE	170' N/ ROSECRANS	270' S/ ROSECRANS	PCC	A	4	~	430	55	20,540	79	48	21	31	7/31/24	New Construction - Initial	1/1/80
NORMAN	3690	NORMANDIE AVE	ROSECRANS	139 TH ST	AC	A	4	~	1,320	55	72,600	86	79	0	21	7/31/24	Cold Mill and Overlay - 2 Inches	11/1/14
NORMAN	3700	NORMANDIE AVE	139 TH ST	135 TH ST	AC	A	4	~	1,320	55	72,600	88	69	24	7	7/31/24	Cold Mill and Overlay - 2 Inches	10/1/14
NORMAN	3710	NORMANDIE AVE	135 TH ST	EL SEGUNDO BLVD	AC	A	4	~	2,644	55	145,420	88	70	5	25	7/31/24	Cold Mill and Overlay - 2 Inches	10/1/14
REDOND	3925	REDONDO BEACH BLVD	CRENSHAW	END PCC (160' E/ CRENSHAW)	PCC	A	5	~	162	75	9,475	72	38	32	30	8/12/24	New Construction - Initial	1/1/80
REDOND	3930	REDONDO BEACH BLVD	BEGIN AC (160' E/ CRENSHAW)	END AC (325' W/ VAN NESS)	AC	A	5	~	2,265	76	178,160	74	32	50	18	8/12/24	Cold Mill and Overlay - 2 Inches	2/4/14
REDOND	3932	REDONDO BEACH BLVD	BEGIN PCC (325' W/ VAN NESS)	VAN NESS	PCC	A	4	~	355	76	17,270	69	29	58	13	8/12/24	New Construction - Initial	1/1/80
REDOND	3933	REDONDO BEACH BLVD	65' W/ VAN NESS	280' W/ VAN NESS	PCC	A	1	~	215	6	1,290	76	27	45	28	8/12/24	New Construction - Initial	1/1/80
REDOND	3934	REDONDO BEACH BLVD	VAN NESS	END PCC (325' E/ VAN NESS)	PCC	A	5	~	325	76	17,490	68	25	52	23	8/12/24	New Construction - Initial	1/1/80
REDOND	3939	REDONDO BEACH BLVD	GRAMERCY PL	285' E/ VAN NESS	PCC	A	1	~	1,085	6	6,510	73	21	32	47	8/12/24	New Construction - Initial	1/1/80
REDOND	3940	REDONDO BEACH BLVD	BEGIN AC (325' E/ VAN NESS)	GRAMERCY PL	AC	A	4	~	1,080	70	83,740	77	69	11	20	8/12/24	Cold Mill and Overlay - 2 Inches	2/4/14
REDOND	3941	REDONDO BEACH BLVD	75' W/ WESTERN AVE	GRAMERCY PL	PCC	A	1	~	1,287	6	7,722	85	43	33	24	8/12/24	New Construction - Initial	1/1/80
REDOND	3942	REDONDO BEACH BLVD	GRAMERCY PL	BEGIN PCC (310' W/ WESTERN AVE)	AC	A	4	~	1,048	68	77,029	82	91	9	0	8/12/24	Cold Mill and Overlay - 2 Inches	2/4/14
REDOND	3943	REDONDO BEACH BLVD	GRAMERCY PL	310' W/ WESTERN	PCC	A	1	~	1,055	6	6,330	83	40	52	8	8/12/24	New Construction - Initial	1/1/80
REDOND	3944	REDONDO BEACH BLVD	BEGIN PCC 310' W/ WESTERN AVE)	WESTERN AVE	PCC	A	4	~	310	70	15,121	76	25	36	39	8/12/24	New Construction - Initial	1/1/80
REDOND	3945	REDONDO BEACH BLVD	WESTERN AVE	END PCC (300' E/ WESTERN AVE)	PCC	A	4	~	300	74	14,060	70	12	53	35	8/12/24	New Construction - Initial	1/1/80
REDOND	3948	REDONDO BEACH BLVD	DENKER	300' E/ WESTERN AVE	PCC	A	1	~	1,099	6	6,594	83	42	46	12	8/12/24	New Construction - Initial	6/7/21
REDOND	3949	REDONDO BEACH BLVD	70' E/ WESTERN AVE	DENKER	PCC	A	1	~	1,330	6	7,980	84	45	27	28	8/12/24	New Construction - Initial	1/1/80
REDOND	3950	REDONDO BEACH BLVD	BEGIN AC (300' E/ WESTERN AVE)	DENKER	AC	A	4	~	1,090	68	83,770	68	94	6	0	8/12/24	Cold Mill and Overlay - 2 Inches	2/4/14
REDOND	3951	REDONDO BEACH BLVD	NIUANU	DENKER	PCC	A	1	~	665	6	3,990	82	38	51	11	8/12/24	New Construction - Initial	1/1/80
REDOND	3952	REDONDO BEACH BLVD	DENKER	NIUANU	AC	A	4	~	660	68	45,395	68	80	20	0	8/12/24	Cold Mill and Overlay - 2 Inches	2/4/14
REDOND	3953	REDONDO BEACH BLVD	DENKER	NIUANU	PCC	A	1	~	660	6	3,960	85	51	49	0	8/12/24	New Construction - Initial	1/1/80
REDOND	3954	REDONDO BEACH BLVD	NIUANU	BEGIN PCC (325' W/ NORMANDIE AVE)	AC	A	4	~	448	68	39,426	75	87	13	0	8/12/24	Cold Mill and Overlay - 2 Inches	2/4/14
REDOND	395401	REDONDO BEACH BLVD	80' W/ NORMANDIE	NIUANU DR	PCC	A	1	~	675	6	4,050	81	39	60	1	8/12/24	New Construction - Initial	1/1/80
REDOND	395402	REDONDO BEACH BLVD	NIUANU	325' W/ NORMANDIE	PCC	A	1	~	445	6	2,670	89	47	23	30	8/12/24	New Construction - Initial	1/1/80
REDOND	3955	REDONDO BEACH BLVD	BEGIN PCC (350' W/ NORMANDIE AVE)	END PCC (310' E/ NORMANDIE AVE)	PCC	A	6	~	695	75	37,005	74	37	19	44	8/12/24	New Construction - Initial	1/1/80
REDOND	3956	REDONDO BEACH BLVD	BEGIN AC (310' E/ NORMANDIE AVE)	END AC (310' W/ BUDLONG AVE)	AC	A	4	~	635	70	64,428	74	50	50	0	8/12/24	Cold Mill and Overlay - 2 Inches	2/4/14
REDOND	395601	REDONDO BEACH BLVD	85' W/ BUDLONG	310' E/ NORMANDIE	PCC	A	1	~	860	6	5,160	81	65	17	18	8/12/24	New Construction - Initial	1/1/80
REDOND																		

City of Gardena, CA
Pavement Condition Index (PCI) Report - All Streets

Sorted by Rank, Name Order (A-Z)

ROSECR	3970	ROSECRANS AVE	CRENSHAW	APC	A	3	~	1,782	31	57,789	90	27	44	29	6/14/24	Cold Mill and Overlay - 2 Inches	10/1/14	
ROSECR	3975	ROSECRANS AVE	PURCHE	APC	A	3	~	850	31	31,350	83	89	11	0	6/14/24	Cold Mill and Overlay - 2 Inches	10/1/14	
ROSECR	3980	ROSECRANS AVE	VAN NESS	GRAMERCY	AC	A	3	~	1,320	31	45,375	84	65	6	29	6/14/24	Cold Mill and Overlay - 2 Inches	10/1/14
ROSECR	3985	ROSECRANS AVE	WESTERN	GRAMERCY	AC	A	3	~	1,320	31	45,240	84	54	17	29	6/14/24	Cold Mill and Overlay - 2 Inches	10/1/14
ROSECR	3990	ROSECRANS AVE	WESTERN	DENKER	AC	A	3	~	1,295	31	45,615	87	46	44	10	6/14/24	Cold Mill and Overlay - 2 Inches	10/1/14
ROSECR	3995	ROSECRANS AVE	DENKER	PCC 225' W/ NORMANDIE	AC	A	3	~	1,054	31	37,310	91	100	0	0	6/14/24	Cold Mill and Overlay - 2 Inches	10/1/14
ROSECR	3998	ROSECRANS AVE	PCC 225' W/ NORMANDIE	NORMANDIE	PCC	A	3	~	240	31	10,190	74	52	9	39	6/14/24	New Construction - Initial	1/1/80
ROSECR	3999	ROSECRANS AVE	NORMANDIE	END PCC 80' E/ NORMANDIE	PCC	A	3	~	110	31	3,725	73	48	0	52	6/14/24	New Construction - Initial	1/1/80
ROSECR	4000	ROSECRANS AVE	END PCC 80' E/ NORMANDIE	BUDLONG	AC	A	3	~	1,205	30	38,910	81	38	47	15	6/14/24	Cold Mill and Overlay - 2 Inches	2/4/15
ROSECR	4005	ROSECRANS AVE	BUDLONG	PCC 260' W/ VERMONT	AC	A	3	~	950	30	32,140	85	38	62	0	6/14/24	Cold Mill and Overlay - 2 Inches	2/4/15
ROSECR	4006	ROSECRANS AVE	VERMONT	VERMONT	PCC	A	3	~	265	42	11,420	72	44	21	35	6/14/24	New Construction - Initial	1/1/80
ROSECR	4630	ROSECRANS AVE	VERMONT	END PCC W/ VERMONT	PCC	A	3	~	78	34	2,867	68	42	26	32	6/14/24	New Construction - Initial	1/1/80
ROSECR	4635	ROSECRANS AVE	END PCC	BUDLONG	AC	A	3	~	1,140	31	40,672	89	46	45	9	6/14/24	New Construction - Initial	1/1/80
ROSECR	4640	ROSECRANS AVE	BUDLONG	PCC 245' E/ NORMANDIE	AC	A	3	~	1,046	31	37,160	93	79	0	21	6/14/24	New Construction - Initial	1/1/80
ROSECR	4642	ROSECRANS AVE	PCC 245' E/ NORMANDIE	NORMANDIE	PCC	A	3	~	243	33	10,065	69	45	6	49	6/14/24	New Construction - Initial	1/1/80
ROSECR	4644	ROSECRANS AVE	NORMANDIE	PCC 85' W/ NORMANDIE	PCC	A	3	~	87	31	2,860	68	9	0	91	6/14/24	New Construction - Initial	1/1/80
ROSECR	4645	ROSECRANS AVE	END PCC 85' W/ NORMANDIE	DENKER	AC	A	3	~	1,207	31	45,340	86	80	17	3	6/14/24	New Construction - Initial	1/1/80
ROSECR	4650	ROSECRANS AVE	DENKER	WESTERN	AC	A	3	~	1,286	31	47,777	87	43	16	41	6/14/24	New Construction - Initial	1/1/80
ROSECR	4655	ROSECRANS AVE	WESTERN	GRAMERCY	AC	A	3	~	1,320	31	42,837	77	29	0	71	6/14/24	New Construction - Initial	1/1/80
ROSECR	4660	ROSECRANS AVE	GRAMERCY	VAN NESS	AC	A	3	~	1,320	31	49,440	78	28	40	32	6/14/24	New Construction - Initial	1/1/80
ROSECR	4665	ROSECRANS AVE	VAN NESS	PURCHE	AC	A	3	~	850	31	30,615	81	34	14	52	6/14/24	New Construction - Initial	1/1/80
ROSECR	4670	ROSECRANS AVE	PURCHE	CRENSHAW	AC	A	3	~	1,735	31	55,830	93	40	53	7	6/14/24	New Construction - Initial	1/1/80
VERMON	4330	VERMONT AVE (SB ONLY)	EL SEGUNDO BLVD	132ND ST	AC	A	3	~	1,399	42	62,955	73	72	28	0	8/5/24	Cold Mill and Overlay - 2 Inches	10/1/11
VERMON	4335	VERMONT AVE (SB ONLY)	132ND ST	135TH ST	AC	A	3	~	1,262	41	51,742	79	71	29	0	8/5/24	New Construction - Initial	1/1/80
VERMON	4340	VERMONT AVE (SB ONLY)	135TH ST	CARNELIAN PL	AAC	A	3	~	1,560	42	68,860	100	0	0	0	8/21/24	Overlay - AC Structural	8/21/24
VERMON	4345	VERMONT AVE (SB ONLY)	AAC	END AC (285' N/ ROSECRANS AVE)	AC	A	3	~	760	42	32,272	100	0	0	0	8/21/24	Overlay - AC Structural	8/21/24
VERMON	4350	VERMONT AVE (SB ONLY)	BEGIN PCC (285' N/ ROSECRANS AVE)	END PCC (130' S/ ROSECRANS AVE)	PCC	A	3	~	510	50	30,465	75	29	43	28	8/5/24	New Construction - Initial	1/1/80
VERMON	4355	VERMONT AVE (SB ONLY)	BEGIN AC (130' S/ ROSECRANS AVE)	END AC (260' N/ MARINE AVE)	AC	A	3	~	2,180	41	91,418	80	100	0	0	8/5/24	Cold Mill and Overlay - 2 Inches	10/1/14
VERMON	4360	VERMONT AVE (SB ONLY)	BEGIN PCC (260' N/ MARINE AVE)	END PCC (90' S/ MARINE AVE)	PCC	A	3	~	400	40	16,000	70	20	52	28	8/5/24	New Construction - Initial	1/1/80
VERMON	4365	VERMONT AVE (SB ONLY)	BEGIN AC (90' S/ MARINE AVE)	END AC (285' N/ REDONDO BEACH BLVD)	AC	A	3	~	307	33	10,131	77	78	22	0	8/5/24	Cold Mill and Overlay - 2 Inches	10/1/14
VERMON	4370	VERMONT AVE (SB ONLY)	BEGIN PCC 285' N/ REDONDO BEACH BLVD	END PCC 110' S/ REDONDO BEACH BLVD	PCC	A	3	~	475	46	28,021	71	33	43	24	8/6/24	New Construction - Initial	1/1/80
VERMON	4375	VERMONT AVE (SB ONLY)	BEGIN AC 110' S/ REDONDO BEACH BLVD	MAGNOLIA	AC	A	3	~	1,175	48	55,145	78	43	56	1	8/6/24	Cold Mill and Overlay - 2 Inches	10/1/14
VERMON	4380	VERMONT AVE (SB ONLY)	MAGNOLIA	END AC (70' N/ 161ST ST)	AC	A	3	~	1,236	48	59,835	73	30	69	1	8/6/24	Cold Mill and Overlay - 2 Inches	10/1/14
VERMON	4385	VERMONT AVE (SB ONLY)	BEGIN PCC (25' S/ 161ST ST)	END PCC (25' S/ 161ST ST)	PCC	A	3	~	132	40	7,020	45	2	81	17	8/6/24	New Construction - Initial	1/1/80
VERMON	4390	VERMONT AVE (SB ONLY)	161ST ST	164TH ST	AC	A	3	~	930	41	39,668	83	58	25	17	5/24/24	Cold Mill and Overlay - 2 Inches	10/1/14
VERMON	4395	VERMONT AVE (SB ONLY)	164TH ST	GARDENA BLVD	AC	A	2	~	360	33	11,175	95	100	0	0	8/6/24	New Construction - Initial	1/1/80
VERMON	4400	VERMONT AVE (SB ONLY)	GARDENA BLVD	168TH ST	AAC	A	2	~	895	30	26,850	100	0	0	0	8/6/24	Overlay - AC Structural	11/21/23
VERMON	4405	VERMONT AVE (SB ONLY)	168TH ST	170TH ST	AAC	A	2	~	868	30	26,040	99	100	0	0	8/6/24	Overlay - AC Structural	11/21/23
VERMON	4410	VERMONT AVE (SB ONLY)	170TH ST	ARTESIA	AAC	A	2	~	1,385	33	52,155	99	100	0	0	8/6/24	Overlay - AC Structural	11/21/23
VERMON	4420	VERMONT AVE (SB ONLY)	ARTESIA BLVD	N/S WATER CHANNEL (S/ CASSIDY ST)	AC	A	2	~	485	30	15,945	83	100	0	0	8/6/24	New Construction - Initial	1/1/80
VERMON	4430	VERMONT AVE (SB ONLY)	S/S WATER CHANNEL (S/ CASSIDY ST)	182ND ST	AC	A	2	~	1,464	40	56,250	36	29	62	9	8/6/24	Cold Mill and Overlay - 2 Inches	5/3/10
WESTER	4459	WESTERN AVE	EL SEGUNDO	END PCC	PCC	A	4	~	335	37	17,070	78	30	24	46	8/6/24	New Construction - Initial	1/1/80
WESTER	4460	WESTERN AVE	BEGIN AC (335' S/ EL SEGUNDO)	132 ND ST	AC	A	4	~	1,018	76	85,025	73	70	25	5	8/6/24	Cold Mill and Overlay - 2 Inches	10/21/09
WESTER	4465	WESTERN AVE	132 ND ST	END AC	AC	A	4	~	925	76	78,725	77	68	32	0	8/6/24	Cold Mill and Overlay - 2 Inches	10/21/09
WESTER	4468	WESTERN AVE	BEGIN PCC	135 TH ST	PCC	A	4	~	305	32	19,828	60	16	59	25	8/19/24	New Construction - Initial	1/1/80
WESTER	4469	WESTERN AVE	135 TH ST	END PCC	PCC	A	4	~	290	40	17,880	78	33	26	41	8/6/24	New Construction - Initial	1/1/80
WESTER	4470	WESTERN AVE	END PCC	139 TH ST	AC	A	4	~	1,035	75	84,280	79	73	25	0	8/6/24	Cold Mill and Overlay - 2 Inches	10/21/09
WESTER	4480	WESTERN AVE	139 TH ST	ROSECRANS	AC	A	4	~	1,287	72	92,185	77	37	46	17	8/6/24	Cold Mill and Overlay - 2 Inches	10/21/09
WESTER	4489	WESTERN AVE	146 TH ST	147 TH ST	PCC	A	1	~	415	6	2,490	87	39	56	5	8/6/24	New Construction - Initial	1/1/80
WESTER	4490	WESTERN AVE	ROSECRANS	147 TH ST	AC	A	4	~	1,450	70	101,500	86	59	39	2	8/6/24	Cold Mill and Overlay - 2 Inches	10/21/09
WESTER	4494	WESTERN AVE	MARINE	147 TH ST	PCC	A	1	~	1,185	6	7,110	89	38	62	0	8/6/24	New Construction - Initial	1/1/80
WESTER	4495	WESTERN AVE	MARINE	147 TH ST	AC	A	4	~	1,185	70	82,950	88	74	22	4	8/6/24	Cold Mill and Overlay - 2 Inches	10/21/09
WESTER	4499	WESTERN AVE	MARINE	153 RD ST	PCC	A	1	~	665	6	3,990	88	73	27	0	8/6/24	New Construction - Initial	1/1/80
WESTER	4500	WESTERN AVE	MARINE	153 RD ST	AC	A	4	~	665	70	46,550	75	33	39	28	8/6/24	Cold Mill and Overlay - 2 Inches	10/21/09
WESTER	4501	WESTERN AVE	153 RD ST	310' N/ REDONDO BEACH BLVD	PCC	A	1	~	1,216	6	7,296	87	30	69	1	8/6/24	New Construction - Initial	1/1/80
WESTER	4502	WESTERN AVE	153 RD ST	END AC (310' N/ REDONDO BEACH BLVD)	AC	A	4	~	1,216	70	85,120	76	41	26	33	8/6/24	Cold Mill and Overlay - 2 Inches	10/21/09
WESTER	4503	WESTERN AVE	100' N/ REDONDO BEACH BLVD	154 TH ST	PCC	A	1	~	1,110	6	6,660	91	87	12	1	8/13/24	New Construction - Initial	1/1/80
WESTER	4510	WESTERN AVE	BEGIN PCC (310' N/ REDONDO BEACH BLVD)	REDONDO BEACH BLVD	PCC	A	4	~	315	80	18,395	66	18	55	27	8/6/24	New Construction - Initial	1/1/80
WESTER	4519	WESTERN AVE	115' S/ REDONDO BEACH BLVD	158 TH ST	PCC	A	1	~	240	6	1,440	81	68	32	0	8/6/24	New Construction - Initial	1/1/80
WESTER	4520	WESTERN AVE	REDONDO BEACH BLVD	END PCC (158 TH ST)	PCC	A	4	~	317	40	17,510	86	52	6	42	8/6/24	New Construction - Initial	1/1/80
WESTER	4529	WESTERN AVE	158 TH ST	162 ND ST	PCC	A	1	~	1,290	6	7,740	86	35	64	1	8/6/24	New Construction - Initial	1/1/80
WESTER	4530	WESTERN AVE	BEGIN AC (158 TH ST)	162 ND ST	AC	A	4	~	1,368	65	95,573	99	100	0	0	8/6/24	Cold Mill and Overlay - 2 Inches	10/1/14
WESTER	4531	WESTERN AVE	162 ND ST	158 TH ST	PCC	A	1	~	1,340	6	8,040	74	22	72	6	8/13/24	New Construction - Initial	1/1/80
WESTER	4532	WESTERN AVE	162 ND ST	GARDENA BLVD	AC	A	4	~	660	64	42,240	99	100	0	0	8/6/24	Cold Mill and Overlay - 2 Inches	10/1/14
WESTER	453201	WESTERN AVE	162 ND ST	140' S/ GARDENA BLVD	PCC	A	1	~	798	6	4,788	87	32	47	21	8/6/24	New Construction - Initial	1/1/80
WESTER	453202	WESTERN AVE	240' S/ GARDENA BLVD	162 ND ST	PCC	A	1	~	898	6	5,388	75	35	54	11	8/13/24	New Construction - Initial	6/7/21
WESTER	4534	WESTERN AVE	GARDENA BLVD	166 TH ST	AC	A	4	~	665	60	39,900	95	100	0	0	8/6/24	Cold Mill and Overlay - 2 Inches	10/1/14
WESTER	453402	WESTERN AVE	85' S/ 165 TH PL	165 TH PL	PCC	A	1	~	85	6	510	79	33	67	0	8/13/24	New Construction - Initial	1/1/80
WESTER	4538	WESTERN AVE	166 TH ST	169 TH PL	PCC	A	1	~	935	6	5,610	90	47	53	0	8/6/24	New Construction - Initial	1/1/80
WESTER	4539	WESTERN AVE	320' S/ 169 TH PL	ARTESIA BLVD	PCC	A	1	~	1,275	6	7,650	83	28	68	4	8/6/24	New Construction - Initial	1/1/80
WESTER	4540	WESTERN AVE	166 TH ST	ARTESIA	AC	A	4	~	2,515	64	160,960	98	100	0	0	5/24/24	Cold Mill and Overlay	1/28/15
WESTER	4541	WESTERN AVE	ARTESIA BLVD	169 TH PL	PCC	A	1	~	1,595	6	9,570	88	37	63	0	8/6/24	New Construction - Initial	1/1/80
WESTER	4542	WESTERN AVE	169 TH PL	166 TH ST	PCC	A	1	~	940	6	5,640	75	30	53	17	8/13/24	New Construction - Initial	1/1/80

City of Gardena, CA
Pavement Condition Index (PCI) Report - All Streets

Sorted by Rank, Name Order (A-Z)

Collectors										26.8		5,866,177							
132 ST	150	132 nd ST	ARDATH AV	ARCTURUS	AAC	C	2	Area 1	735	32	23,520	85	48	0	52	6/7/24	Overlay - AC Structural	6/1/20	
132 ST	152	132 nd ST	ARCTURUS	SPINNING	AAC	C	2	Area 1	730	32	23,610	92	100	0	0	6/7/24	Overlay - AC Structural	6/1/20	
132 ST	154	132 nd ST	SPINNING	VAN NESS	AAC	C	2	Area 1	240	32	7,200	96	100	0	0	6/7/24	Overlay - AC Structural	6/1/20	
132 ST	160	132 nd ST	VAN NESS	CIMARRON	AC	C	2	Area 1	800	32	25,600	46	23	76	1	6/7/24	Cold Mill and Overlay	12/15/05	
132 ST	170	132 nd ST	WILTON	MANHATTAN	AC	C	2	Area 1	978	32	31,296	50	28	64	8	6/13/24	New Construction - Initial	1/1/80	
132 ST	175	132 nd ST	MANHATTAN	WESTERN	AC	C	2	Area 1	392	32	12,544	61	28	72	0	6/13/24	New Construction - Initial	1/1/80	
132 ST	180	132 nd ST	WESTERN	HALLDALE	AC	C	2	Area 2	1,982	56	110,992	93	66	34	0	6/13/24	New Construction - Initial	1/1/80	
132 ST	185	132 nd ST	HALLDALE	NORMANDIE	AC	C	2	Area 2	521	56	29,176	95	100	0	0	6/13/24	New Construction - Initial	1/1/80	
132 ST	190	132 nd ST	NORMANDIE	BUDLONG	AC	C	2	Area 2	1,120	56	62,720	76	50	48	2	6/13/24	Surface Treatment - Slurry Seal	7/15/18	
135 ST	300	135 th ST	CRENSHAW	WATER CHANNEL	PCC	C	4	Area 1	145	58	7,295	72	27	11	62	7/31/24	New Construction - Initial	1/1/80	
135 ST	302	135 th ST	WATER CHANNEL	ARCTURUS	AC	C	4	Area 1	1,240	56	67,940	80	81	18	1	7/31/24	Cold Mill and Overlay	10/21/09	
135 ST	305	135 th ST	ARCTURUS	VAN NESS	AC	C	4	Area 1	1,095	56	61,320	82	77	23	0	7/31/24	Cold Mill and Overlay	10/21/09	
135 ST	310	135 th ST	VAN NESS	WESTERN	AC	C	4	Area 1	2,615	56	146,440	82	45	51	4	7/31/24	Cold Mill and Overlay	10/21/09	
135 ST	320	135 th ST	WESTERN	NORMANDIE	AC	C	4	Area 2	2,650	56	148,400	74	31	25	44	7/31/24	Cold Mill and Overlay	10/21/09	
135 ST	330	135 th ST	NORMANDIE	BUDLONG	AC	C	4	Area 2	1,210	60	72,600	76	33	29	38	7/31/24	Cold Mill and Overlay	10/21/09	
135 ST	335	135 th ST	BUDLONG	VERMONT	AC	C	4	Area 2	1,330	60	79,800	83	50	15	35	7/31/24	Cold Mill and Overlay	10/21/09	
139 ST	420	139 th ST	ARDATH AV	PURCHE	AAC	C	2	Area 1	1,002	32	32,064	100	0	0	0	6/7/24	Overlay - AC Structural	3/21/24	
139 ST	425	139 th ST	PURCHE	VAN NESS	AC	C	2	Area 1	814	32	26,048	100	0	0	0	6/7/24	Overlay - AC Structural	3/21/24	
139 ST	430	139 th ST	VAN NESS	WESTERN	AAC	C	2	Area 1	2,470	46	113,620	95	74	0	26	5/31/24	Overlay - AC Structural	7/9/22	
139 ST	440	139 th ST	WESTERN	NORMANDIE	AC	C	2	Area 2	2,532	36	91,152	72	24	68	8	5/31/24	New Construction - Initial	1/1/80	
139 ST	450	139 th ST	NORMANDIE	BUDLONG	AC	C	2	Area 2	1,266	36	45,576	92	57	30	13	5/31/24	New Construction - Initial	1/1/80	
141 PL	500	141 st PL	NORMANDIE	BUDLONG	AC	C	2	Area 2	1,220	32	39,040	96	87	0	13	5/31/24	Overlay - AC Thin	7/15/18	
141 ST	550	141st ST	BUDLONG	END	AAC	C	2	Area 2	648	33	22,775	94	100	0	0	5/31/24	Overlay - AC Structural	8/10/21	
141 ST	560	141st ST	END	VERMONT	AC	C	2	Area 2	174	33	6,414	96	100	0	0	8/5/24	Cold Mill and Overlay	1/11/11	
144 ST	620	144 th ST	WESTERN	DENKER	AC	C	2	Area 3	1,220	25	30,500	69	45	42	13	7/29/24	Cold Mill and Overlay - 2 Inches	2/1/12	
145 ST	670	145 th ST	GRAMERCY	WESTERN	AC	C	2	Area 4	1,195	26	31,070	68	53	43	4	7/24/24	New Construction - Initial	1/1/80	
145 ST	680	145 th ST	WESTERN	DENKER	AC	C	2	Area 3	1,220	24	29,280	68	72	9	19	7/29/24	Cold Mill and Overlay - 2 Inches	2/4/12	
145 ST	690	145 th ST	DENKER	NORMANDIE	AC	C	2	Area 3	1,220	30	36,600	64	49	51	0	7/29/24	Cold Mill and Overlay	10/1/11	
146 ST	740	146 th ST	GRAMERCY	WESTERN	AC	C	2	Area 4	1,195	26	31,070	74	84	16	0	7/24/24	Cold Mill and Overlay	10/1/11	
146 ST	750	146 th ST	WESTERN	DENKER	AC	C	2	Area 3	1,220	36	43,920	59	31	62	7	7/29/24	New Construction - Initial	1/1/80	
146 ST	760	146 th ST	DENKER	NORMANDIE	AAC	C	2	Area 3	1,220	30	36,600	91	100	0	0	7/29/24	Overlay - AC Structural	8/10/21	
147 ST	780	147 th ST	CRENSHAW	DUBLIN	AC	C	2	Area 4	1,275	41	52,275	68	35	65	0	7/24/24	Surface Treatment - Slurry Seal	6/1/20	
147 ST	785	147 th ST	DUBLIN	VAN NESS	AC	C	2	Area 4	1,290	41	52,890	70	38	62	0	7/24/24	Surface Treatment - Slurry Seal	6/1/20	
147 ST	800	147 th ST	WESTERN	DENKER	AC	C	2	Area 3	1,220	30	36,600	85	71	29	0	7/29/24	Cold Mill and Overlay	10/1/11	
147 ST	810	147 th ST	DENKER	HALLDALE	AC	C	2	Area 3	597	26	15,522	84	77	23	0	7/29/24	Surface Treatment - Slurry Seal	7/15/18	
149 ST	880	149 th ST	WESTERN	DENKER	AC	C	2	Area 3	1,220	24	29,280	74	88	12	0	7/29/24	Cold Mill and Overlay	10/1/11	
150 ST	960	150 th ST	WESTERN	HARVARD BLVD	AC	C	2	Area 3	597	24	14,328	82	100	0	0	7/29/24	Surface Treatment - Slurry Seal	7/15/18	
155 ST	1170	155 th ST	NORMANDIE	VERMONT	AC	C	2	Area 5	2,116	33	69,828	77	76	0	24	6/21/24	Cold Mill and Overlay - 2 Inches	10/1/11	
156 ST	1210	156 th ST	VAN NESS	GRAMERCY	AC	C	2	Area 4	1,195	32	38,240	91	43	0	57	6/20/24	New Construction - Initial	1/1/80	
157 ST	1240	157 th ST	VAN NESS	GRAMERCY	AC	C	2	Area 4	1,195	32	38,240	65	35	65	0	6/20/24	Cold Mill and Overlay	8/4/09	
158 ST	1270	158 th ST	WESTERN	DENKER	AC	C	2	Area 5	1,390	37	51,430	87	31	19	50	6/7/24	Cold Mill and Overlay - 2 Inches	1/28/15	
158 ST	1275	158 th ST	DENKER	NORMANDIE	AC	C	2	Area 5	1,485	37	54,945	92	65	35	0	6/7/24	Cold Mill and Overlay - 2 Inches	1/28/15	
161 ST	1380	161 st ST	NORMANDIE	BUDLONG	AC	C	2	Area 5	1,105	35	38,675	96	100	0	0	5/24/24	New Construction - Initial	1/1/80	
161 ST	1400	161 st ST	BUDLONG	VERMONT	AAC	C	2	Area 5	1,171	36	42,156	95	85	0	15	5/24/24	Overlay - AC Thin	7/15/18	
162 ST	1420	162 nd ST	CITY LIMIT, GRAMERCY	WESTERN AV	AC	C	2	Area 5	1,266	60	75,960	60	36	41	23	7/24/24	Cold Mill and Overlay	6/17/09	
162 ST	1430	162 nd ST	WESTERN	DENKER	APC	C	2	Area 5	1,325	60	79,500	100	0	0	0	6/28/24	Overlay - AC Structural	3/21/24	
162 ST	1440	162 nd ST	DENKER (AC)	NORMANDIE	APC	C	2	Area 5	1,325	60	79,500	100	0	0	0	6/28/24	Overlay - AC Structural	3/21/24	
164ST	1490	164 th ST	NORMANDIE	NEW HAMPSHIRE	PCC	C	2	Area 5	2,140	42	89,880	29	14	83	3	8/13/24	New Construction - Initial	1/1/80	
164ST	1492	164 th ST	NEW HAMPSHIRE	VERMONT	AC	C	2	Area 5	300	42	13,030	82	100	0	0	6/21/24	New Construction - Initial	1/1/80	
165 PL	1500	165 th PL	HARVARD	WESTERN	AC	C	2	Area 5	600	36	21,600	78	87	0	13	6/28/24	Cold Mill and Overlay	10/1/11	
166 TH	1540	166 th ST	GRAMERCY	WESTERN	APC	C	2	Area 5	1,295	40	51,800	93	36	0	64	5/31/24	Overlay - AC Thin	7/15/18	
166 TH	1550	166 th ST	WESTERN (CONCRETE)	NORMANDIE	PCC	C	2	Area 5	2,740	50	137,000	69	43	36	21	8/13/24	New Construction - Initial	1/1/80	
168 ST	1590	168 th ST	NORMANDIE	RAYMOND AVE	AC	C	2	Area 6	1,193	32	38,176	61	51	48	1	5/24/24	Cold Mill and Overlay	10/1/11	
168 ST	1594	168 th ST	RAYMOND AVE	BERENDO	AC	C	2	Area 6	750	34	25,500	58	46	53	1	5/24/24	Cold Mill and Overlay	10/1/11	
168 ST	1596	168 th ST	BERENDO	VERMONT	AC	C	2	Area 6	620	34	21,080	69	47	41	12	5/24/24	Cold Mill and Overlay	10/1/11	
170 ST	1670	170 th ST	NORMANDIE	RAYMOND AVE	AAC	C	2	Area 6	1,045	34	35,530	99	100	0	0	5/24/24	Overlay - AC Structural	3/21/23	
170 ST	1675	170 th ST	RAYMOND AVE	NEW HAMPSHIRE	AAC	C	2	Area 6	1,090	34	37,060	99	100	0	0	5/24/24	Overlay - AC Structural	3/21/23	
170 ST	1678	170 th ST	NEW HAMPSHIRE	VERMONT	AC	C	2	Area 6	315	36	11,340	99	100	0	0	5/24/24	Overlay - AC Structural	3/21/23	
178 ST	1740	178 th ST	WESTERN	LA SALLE	AC	C	2	Area 6	940	27	25,380	81	92	0	8	6/27/24	Cold Mill and Overlay	2/4/13	
178 ST	1742	178 th ST	LA SALLE	EVELYN	AC	C	2	Area 6	1,015	36	36,495	81	82	11	7	6/27/24	Cold Mill and Overlay	2/4/13	
178 ST	1745	178 th ST	WESTERN	NORMANDIE	AC	C	2	Area 6	1,018	36	36,648	76	47	46	7	6/27/24	Cold Mill and Overlay	2/4/13	
182 ST	1790	182 nd ST	CITY LIMITS (1328 W 182ND ST)	BUDLONG	AC	C	2	Area 6	935	56	55,220	76	92	8	0	6/27/24	Cold Mill and Overlay - 2 Inches	10/1/11	
182 ST	1795	182 nd ST	BUDLONG	VERMONT	AC	C	2	Area 6	1,372	56	77,610	81	70	14	16	6/27/24	Cold Mill and Overlay - 2 Inches	10/1/11	
BEREND	2070	BERENDO AVE	162 ND ST	GARDENA	AC	C	2	Area 5	921	32	29,472	69	50	50	0	5/24/24	Cold Mill and Overlay	6/17/09	
BEREND	2080	BERENDO AVE	GARDENA	168 TH ST	AC	C	2	Area 5	890	38	33,820	69	40	60	0	5/24/24	Cold Mill and Overlay	2/4/09	
BEREND	2090	BERENDO AVE	168 TH ST	170 TH ST	AC	C	2	Area 6	832	34	28,288	71	43	48	9	5/24/24	Cold Mill and Overlay	6/17/09	
BEREND	2095	BERENDO AVE	170 TH ST	END	AC	C	2	Area 6	465	34	15,810	76	45	43	12	5/24/24	Surface Treatment - Slurry Seal	3/21/24	
BUDLA	2210	BUDLONG AVE	EL SEGUNDO	132 ND ST	AAC	C	2	Area 2	1,355	32	43,360	82	34	64	2	6/13/24	Overlay - AC Structural	7/21/23	
BUDLA	2215	BUDLONG AVE	132 ND ST	132 ND ST	AC	C	2	Area 2	1,236	32	39,552	91	70	30	0	6/13/24	Overlay - AC Structural	7/21/23	
BUDLA	2218	BUDLONG AVE	135 TH ST	139 TH ST	AAC	C	2	Area 2	1,301	32	41,882	100	100	0	0	6/13/24	Overlay - AC Structural	7/21/23	

City of Gardena, CA
Pavement Condition Index (PCI) Report - All Streets

Sorted by Rank, Name Order (A-Z)

BUDLA	2220	BUDLONG AVE	139 TH ST	ROSECRANS	AAC	C	2	Area 2	1,285	32	40,770	85	49	51	0	6/13/24	Overlay - AC Structural	7/21/23
BUDLA	2230	BUDLONG AVE	146 TH ST	ROSECRANS	AAC	C	2	Area 3	1,180	32	37,760	97	20	0	80	6/13/24	Overlay - AC Structural	7/21/23
BUDLA	2240	BUDLONG AVE	146 TH ST	MARINE AVE	AAC	C	2	Area 3	1,330	34	45,220	100	100	0	0	6/13/24	Overlay - AC Structural	7/21/23
BUDLA	2250	BUDLONG AVE	MARINE	REDONDO BEACH BLVD	MARINE	C	2	Area 3	800	32	25,600	96	13	0	87	6/13/24	Overlay - AC Structural	7/21/23
BUDLA	2260	BUDLONG AVE	REDONDO BEACH BLVD	155 TH ST	AC	C	2	Area 5	572	36	20,592	65	20	70	10	6/21/24	Cold Mill and Overlay	3/4/09
BUDLA	2280	BUDLONG AVE	MAGNOLIA AV	161 ST ST	AC	C	2	Area 5	1,290	35	45,150	73	55	40	5	5/24/24	Cold Mill and Overlay	3/4/09
BUDLA	2285	BUDLONG AVE	161 ST ST	164 TH ST	AC	C	2	Area 5	945	36	34,020	83	69	29	2	6/21/24	Cold Mill and Overlay	3/4/09
BUDLA	2286	BUDLONG AVE	164 TH ST	GARDENA BLVD	AC	C	2	Area 5	268	40	10,720	77	83	17	0	6/21/24	Cold Mill and Overlay	3/4/09
DENKER	2740	DENKER AVE	ROSECRANS	146 TH ST	AC	C	2	Area 3	1,028	24	25,472	71	55	45	0	7/29/24	Cold Mill and Overlay - 2 Inches	10/1/11
DENKER	2742	DENKER AVE	146 TH ST	149 TH ST	AC	C	2	Area 3	836	26	21,986	86	83	17	0	7/29/24	Cold Mill and Overlay - 2 Inches	10/1/11
DENKER	2744	DENKER AVE	149 TH ST	MARINE	AC	C	2	Area 3	725	26	18,850	85	81	19	0	7/29/24	Cold Mill and Overlay - 2 Inches	10/1/11
DENKER	2750	DENKER AVE	MARINE	REDONDO BEACH BLVD	AC	C	2	Area 3	1,593	34	54,162	70	49	51	0	7/29/24	Cold Mill and Overlay	10/1/11
DENKER	2760	DENKER AVE	158 TH ST	162 ND ST	AC	C	2	Area 5	1,245	34	42,330	90	68	21	11	6/28/24	Cold Mill and Overlay	10/1/11
DENKER	2770	DENKER AVE	162 ND ST	166 TH ST	AC	C	2	Area 5	1,195	34	40,630	91	32	0	68	6/28/24	Cold Mill and Overlay	10/1/11
DENKER	2780	DENKER AVE	166 TH ST	170 TH ST	AC	C	2	Area 6	1,298	34	44,132	81	43	0	57	6/27/24	Surface Treatment - Slurry Seal	3/21/24
DENKER	2785	DENKER AVE	170 TH ST	ARTESIA	AC	C	2	Area 6	1,275	34	43,350	73	22	64	14	6/27/24	Cold Mill and Overlay	10/1/11
GARDEN	2900	GARDENA BLVD	NORMANDIE	BERENDO AV	APC	C	2	Area 5	1,915	56	107,240	93	70	30	0	5/24/24	Cold Mill and Overlay	1/28/15
GARDEN	2910	GARDENA BLVD	BERENDO AV	VERMONT AV	AC	C	2	Area 5	655	50	32,750	97	100	0	0	5/24/24	Cold Mill and Overlay	1/28/15
GARDEN	2920	GARDENA BLVD	WESTERN	GRAMERCY	APC	C	2	Area 5	1,246	42	52,332	94	100	0	0	6/28/24	Cold Mill and Overlay	1/28/15
GARDEN	2930	GARDENA BLVD	WESTERN	DENKER	AAC	C	2	Area 5	1,400	36	51,900	100	0	0	0	6/28/24	Overlay - AC Structural	3/21/24
GARDEN	2932	GARDENA BLVD	DENKER	NORMANDIE	AAC	C	2	Area 5	1,394	36	50,184	100	0	0	0	6/28/24	Overlay - AC Structural	3/21/24
GRAMER	2970	GRAMERCY PL	ROSECRANS	147 TH ST	AC	C	2	Area 4	1,415	30	41,330	79	60	40	0	7/24/24	Cold Mill and Overlay	10/1/11
GRAMER	2972	GRAMERCY PL	147 TH ST	149 TH ST	AC	C	2	Area 4	560	34	19,040	83	100	0	0	7/24/24	Cold Mill and Overlay	10/1/11
GRAMER	2974	GRAMERCY PL	149 TH ST	MARINE	AC	C	2	Area 4	600	32	19,200	88	84	16	0	7/24/24	Cold Mill and Overlay	10/1/11
GRAMER	2980	GRAMERCY PL	MARINE	154 TH ST	AC	C	2	Area 4	970	34	32,980	94	69	31	0	7/24/24	Surface Treatment - Slurry Seal	3/21/24
GRAMER	2982	GRAMERCY PL	154 TH ST	156 TH ST	AC	C	2	Area 4	975	34	33,150	70	49	47	4	7/24/24	Cold Mill and Overlay	4/23/08
GRAMER	2985	GRAMERCY PL	156 TH ST	REDONDO BEACH BLVD	AC	C	2	Area 4	735	33	24,255	69	69	31	0	7/24/24	Cold Mill and Overlay	4/23/08
HALLDA	3050	HALLDALE AVE	ROSECRANS	139 TH ST	AAC	C	2	Area 2	1,230	28	34,160	83	20	80	0	7/30/24	Overlay - AC Thin	7/15/18
HALLDA	3060	HALLDALE AVE	ROSECRANS	145 TH ST	AC	C	2	Area 3	526	32	16,832	46	33	57	10	7/29/24	Surface Treatment - Slurry Seal	7/15/18
HALLDA	3062	HALLDALE AVE	145 TH ST	147 TH ST	AC	C	2	Area 3	970	26	28,782	62	31	69	0	7/29/24	Surface Treatment - Slurry Seal	7/15/18
HALLDA	3064	HALLDALE AVE	147 TH ST	MARINE	AC	C	2	Area 3	1,080	26	28,330	67	40	60	0	7/29/24	Surface Treatment - Slurry Seal	7/15/18
HARV B	3110	HARVARD BLVD	147TH ST	MARINE	AC	C	2	Area 3	996	31	30,876	87	78	22	0	7/29/24	Cold Mill and Overlay	2/4/12
LASALL	3290	LA SALLE AVE	147 TH ST	MARINE	AC	C	2	Area 3	996	26	25,896	83	84	16	0	7/29/24	Surface Treatment - Slurry Seal	7/15/18
LASALL	3300	LA SALLE AVE	REDONDO BEACH BLVD	158 TH ST	AC	C	2	Area 5	697	33	23,001	73	89	11	0	6/28/24	Cold Mill and Overlay	2/4/12
MAGNOL	3360	MAGNOLIA AVE	NORMANDIE	BUDLONG	AC	C	2	Area 5	946	32	30,272	80	34	48	18	6/21/24	New Construction - Initial	1/1/80
MAGNOL	3370	MAGNOLIA AVE	BUDLONG	VERMONT	AC	C	2	Area 5	1,246	33	41,118	76	42	58	0	6/21/24	New Construction - Initial	1/1/80
MANHAT	3380	MANHATAN BEACH BLVD	CRENSHAW	END PCC (85' E/ CRENSHAW)	PCC	C	2	Area 4	125	30	4,955	87	89	0	11	7/18/24	New Construction - Initial	1/1/80
MANHAT	3381	MANHATAN BEACH BLVD	BEGIN AC (85' E/ CRENSHAW)	ARCTURUS	AC	C	2	Area 4	1,385	28	44,320	90	55	45	0	7/18/24	Cold Mill and Overlay	10/1/14
MANHAT	3382	MANHATAN BEACH BLVD	ARCTURUS	END AC (270' E/ VAN NESS)	AC	C	2	Area 4	825	28	27,690	91	100	0	0	7/18/24	Cold Mill and Overlay	10/1/14
MANHAT	3383	MANHATAN BEACH BLVD	BEGIN PCC (270' W/ VAN NESS)	VAN NESS	PCC	C	2	Area 4	272	36	9,975	85	31	16	53	7/18/24	New Construction - Initial	1/1/80
MANHAT	3384	MANHATAN BEACH BLVD	VAN NESS	END PCC (95' W/ VAN NESS)	PCC	C	2	Area 4	95	28	3,040	74	59	0	41	7/18/24	New Construction - Initial	1/1/80
MANHAT	3385	MANHATAN BEACH BLVD	BEGIN AC (95' W/ VAN NESS)	ARCTURUS	AC	C	2	Area 4	1,005	28	29,835	83	34	66	0	7/18/24	Cold Mill and Overlay	10/1/14
MANHAT	3386	MANHATAN BEACH BLVD	ARCTURUS	END AC (260' E/ CRENSHAW)	AC	C	2	Area 4	1,205	28	36,358	90	58	42	0	7/18/24	Cold Mill and Overlay	10/1/14
MANHAT	3387	MANHATAN BEACH BLVD	BEGIN PCC (260' E/ CRENSHAW)	CRENSHAW	PCC	C	2	Area 4	300	32	11,585	82	34	31	35	7/18/24	New Construction - Initial	1/1/80
MARINE	3450	MARINE AVE	CRENSHAW	CASIMIR	APC	C	4	Area 4	1,245	52	65,720	76	63	0	37	8/13/24	Cold Mill and Overlay	2/4/13
MARINE	3455	MARINE AVE	CASIMIR	VAN NESS	APC	C	4	Area 4	1,315	52	72,180	77	57	1	42	8/13/24	Cold Mill and Overlay	2/4/13
MARINE	3460	MARINE AVE	VAN NESS	GRAMERCY	APC	C	4	Area 4	1,288	52	67,620	79	89	11	0	8/13/24	Cold Mill and Overlay	2/4/13
MARINE	3465	MARINE AVE	GRAMERCY	WESTERN	APC	C	4	Area 4	1,282	52	66,664	81	70	0	30	8/13/24	Cold Mill and Overlay	2/4/13
MARINE	3470	MARINE AVE	WESTERN	DENKER	APC	C	3	Area 3	1,282	40	55,798	65	70	0	30	8/13/24	Cold Mill and Overlay	10/15/06
MARINE	3475	MARINE AVE	DENKER	HALLDALE	APC	C	3	Area 3	660	40	26,400	65	66	6	28	8/13/24	Cold Mill and Overlay	10/15/06
MARINE	3476	MARINE AVE	HALLDALE	NORMANDIE	APC	C	3	Area 3	630	42	26,460	66	62	9	29	8/13/24	Cold Mill and Overlay	10/15/06
MARINE	3480	MARINE AVE	NORMANDIE	BUDLONG	APC	C	2	Area 3	1,286	32	41,152	66	62	11	27	8/13/24	Overlay - AC Thin	10/15/06
MARINE	3482	MARINE AVE	BUDLONG	BERENDO	APC	C	2	Area 3	660	33	21,780	65	50	24	26	8/13/24	Overlay - AC Thin	10/15/06
MARINE	3484	MARINE AVE	BERENDO	END AC (70' W/ VERMONT)	AC	C	2	Area 3	486	33	16,038	68	67	0	33	8/13/24	Overlay - AC Thin	10/15/06
MARINE	3485	MARINE AVE	BEGIN PCC (70' W/ VERMONT)	VERMONT	PCC	C	2	0	70	32	2,240	71	31	48	21	8/13/24	New Construction - Initial	1/1/80
MARIPO	3490	MARIPOSA AVE	135 TH ST	137 TH ST	AC	C	2	Area 2	573	28	16,044	65	37	63	0	6/13/24	Surface Treatment - Slurry Seal	7/15/18
NW HAMP	3620	NEW HAMPSHIRE AVE	167 TH ST	168 TH ST	AC	C	2	Area 5	200	34	6,800	86	51	49	0	5/24/24	Cold Mill and Overlay	6/17/09
NW HAMP	3622	NEW HAMPSHIRE AVE	168 TH ST	170 TH ST	AC	C	2	Area 6	831	32	26,592	88	100	0	0	5/24/24	Cold Mill and Overlay	6/17/09
NW HAMP	3625	NEW HAMPSHIRE AVE	170 TH ST	END	AC	C	2	Area 6	690	32	22,080	55	51	49	0	5/24/24	Cold Mill and Overlay	6/17/09
RAYMA	3830	RAYMOND AVE	135 TH ST	137 TH ST	AC	C	2	Area 2	573	32	18,336	74	37	59	4	6/13/24	Surface Treatment - Slurry Seal	7/15/18
ST AND	4160	ST ANDREWS PL	ROSECRANS	145 TH ST	AC	C	2	Area 4	625	25	15,625	68	51	49	0	7/24/24	Cold Mill and Overlay	10/1/11
ST AND	4162	ST ANDREWS PL	145 TH ST	148 TH ST	AC	C	2	Area 4	1,095	25	27,375	75	74	26	0	7/24/24	Cold Mill and Overlay	10/1/11
ST AND	4164	ST ANDREWS PL	148 TH ST	MARINE	AC	C	2	Area 4	855	25	21,375	77	100	0	0	7/24/24	Cold Mill and Overlay	10/1/11
VAN BU	4280	VAN BUREN AVE	155 TH ST	MAGNOLIA	AC	C	2	Area 5	572	34	19,448	62	34	66	0	6/21/24	Cold Mill and Overlay	12/15/05
VAN NE	4289	VAN NESS AVE	EL SEGUNDO	END PCC	PCC	C	2	Area 1	265	32	10,405	76	35	46	19	8/5/24	New Construction - Initial	1/1/80
VAN NE	4290	VAN NESS AVE	BEGIN AC (265' S/ EL SEGUNDO)	132 ND ST	AAC	C	4	Area 1	1,085	56	66,810	86	100	0	0	5/31/24	Overlay - AC Structural	11/17/05
VAN NE	4295	VAN NESS AVE	132 ND ST	135 TH ST	AAC	C	4	Area 1	1,230	56	67,745	89	76	20	4	5/31/24	Overlay - AC Structural	11/17/05
VAN NE	4300	VAN NESS AVE	135 TH ST	139 TH ST	AC	C	4	Area 1	1,295	55	71,225	97	100	0	0	5/31/24	Overlay - AC Structural	7/9/22
VAN NE	4305	VAN NESS AVE	139 TH ST	ROSECRANS	AC	C	4	Area 1	1,285	55	70,675	94	43	0	57	5/31/24	New Construction - Initial	1/1/80
VAN NE	4310	VAN NESS AVE	ROSECRANS	147 TH ST	AC	C	4	Area 4	1,280	52	66,560	92	38	0	62	5/31/24	New Construction - Initial	1/1/80
VAN NE	4312	VAN NESS AVE	147 TH ST	MARINE	AC	C	4	Area 4	1,305	52	67,860	94	100	0	0	5/31/24	New Construction - Initial	1/1/80
VAN NE	4314	VAN NESS AVE	MARINE	154 TH ST	AC	C	4	Area 4	1,295	52	68,055	100	0	0	0	5/31/24	Overlay - AC Structural	1/21/24
VAN NE	4316	VAN NESS AVE	154 TH ST	156 TH ST	AAC	C	4	Area 4	660	52	165,776	100	0	0	0	5/31/24	Overlay - AC Structural	1/21/24

City of Gardena, CA
Pavement Condition Index (PCI) Report - All Streets

Sorted by Rank, Name Order (A-Z)

149 ST	860	149 th ST	SUTRO	SPINNING	AC	E	2	Area 4	1,220	30	36,600	80	49	24	27	7/18/24	Surface Treatment - Slurry Seal	8/26/24
149 ST	870	149 th ST	PARRON	WESTERN	AC	E	2	Area 4	1,693	26	44,018	77	36	59	5	7/24/24	Surface Treatment - Slurry Seal	8/26/24
149 ST	890	149 th ST	DENKER	HALLDALE	AC	E	2	Area 3	597	26	15,522	82	83	17	0	7/29/24	Cold Mill and Overlay	2/4/12
149 ST	900	149 th ST	NORMANDIE	HALMOND	AC	E	2	Area 3	597	34	20,298	78	63	37	0	7/30/24	Cold Mill and Overlay	6/30/09
149 ST	910	149 th ST	BUDLONG	BERENDO AV	AAC	E	2	Area 3	597	34	20,298	99	100	0	0	7/30/24	Overlay - AC Structural	8/10/21
149 ST	920	149 th ST	BERENDO AV	VERMONT AV	AC	E	2	Area 3	622	32	19,904	72	87	3	10	7/30/24	Cold Mill and Overlay	2/4/12
150 ST	930	150 th ST	DUBLIN	PURCHE	AC	E	2	Area 4	498	34	16,932	76	30	19	51	7/18/24	Surface Treatment - Slurry Seal	8/26/24
150 ST	940	150 th ST	GRAMERCY	END	AC	E	2	Area 4	199	26	5,174	84	78	22	0	7/24/24	Surface Treatment - Slurry Seal	8/26/24
150 ST	950	150 th ST	END- ANDREWS	WESTERN	AC	E	2	Area 4	946	26	24,596	84	80	0	20	7/24/24	Surface Treatment - Slurry Seal	8/26/24
150 ST	970	150 th ST	BUDLONG	BERENDO AV	AAC	E	2	Area 3	597	34	20,298	99	100	0	0	7/30/24	Overlay - AC Structural	8/10/21
152 ST	1000	152 nd ST	GRAMERCY	WESTERN	AC	E	2	Area 4	1,195	26	31,070	83	53	47	0	6/7/24	Surface Treatment - Sand Tar	3/21/24
152 ST	1010	152 nd ST	HARVARD	END	AC	E	2	Area 3	298	31	9,238	85	36	64	0	7/29/24	Cold Mill and Overlay	6/17/09
152 ST	1020	152 nd ST	DENKER	END	AC	E	2	Area 3	1,095	31	33,945	88	44	56	0	7/29/24	New Construction - Initial	1/1/80
152 ST	980	152 nd ST	ATKINSON	CASIMIR	AC	E	2	Area 4	1,022	36	36,792	73	82	18	0	6/20/24	Surface Treatment - Slurry Seal	8/26/24
152 ST	985	152 nd ST	CASIMIR	VAN NESS	AC	E	2	Area 4	1,305	36	46,980	74	81	16	3	6/20/24	Surface Treatment - Slurry Seal	8/26/24
152 ST	990	152 nd ST	HAAS AV	WILTON PL	AC	E	2	Area 4	747	34	25,398	82	43	49	8	6/20/24	Cold Mill and Overlay	6/17/09
153 ST	1030	153 rd ST	GRAMERCY	WESTERN	AC	E	2	Area 4	1,195	34	40,630	78	19	81	0	8/13/24	Surface Treatment - Slurry Seal	3/21/24
153 ST	1040	153 rd ST	WESTERN	DENKER	AC	E	2	Area 3	1,170	34	39,780	82	36	64	0	7/29/24	Cold Mill and Overlay	10/1/11
153 ST	1050	153 rd ST	DENKER	END	AC	E	2	Area 3	1,021	34	34,714	74	52	48	0	7/29/24	Cold Mill and Overlay	6/15/08
154 PL	1060	154 th PL	VAN NESS	CIMARRON	AC	E	2	Area 4	572	34	19,448	72	28	45	27	6/20/24	Surface Treatment - Slurry Seal	8/26/24
154 PL	1070	154 th PL	GRAMERCY	END	AC	E	2	Area 4	1,046	34	35,566	96	100	0	0	6/7/24	Cold Mill and Overlay - 2 Inches	10/1/11
154 PL	1080	154 th PL	WESTERN	DENKER	AC	E	2	Area 3	1,170	34	39,780	64	41	59	0	7/29/24	Cold Mill and Overlay	10/1/11
154 PL	1090	154 th PL	DENKER	END	AC	E	2	Area 3	498	32	16,930	65	31	69	0	7/29/24	Surface Treatment - Slurry Seal	6/1/20
154 ST	1100	154 th ST	CRANSHAW	MARIGOLD	AC	E	2	Area 4	915	36	32,940	79	100	0	0	6/20/24	Surface Treatment - Slurry Seal	8/26/24
154 ST	1102	154 th ST	MARIGOLD	PURCHE	AC	E	2	Area 4	820	38	31,160	80	100	0	0	6/20/24	Surface Treatment - Slurry Seal	8/26/24
154 ST	1104	154 th ST	PURCHE	VAN NESS	AC	E	2	Area 4	785	38	29,830	79	100	0	0	6/20/24	Surface Treatment - Slurry Seal	8/26/24
154 ST	1110	154 th ST	VAN NESS	GRAMERCY	AC	E	2	Area 4	1,220	34	41,480	76	55	32	13	6/7/24	Surface Treatment - Slurry Seal	8/26/24
154 ST	1120	154 th ST	GRAMERCY	WESTERN	AC	E	2	Area 4	1,195	34	40,630	71	31	68	1	6/7/24	Surface Treatment - Slurry Seal	3/21/24
154 ST	1130	154 th ST	WESTERN	DENKER	AC	E	2	Area 3	1,170	34	39,780	79	31	53	16	7/29/24	Cold Mill and Overlay	6/17/09
154 ST	1140	154 th ST	DENKER	END	AC	E	2	Area 3	722	34	25,428	60	27	73	0	7/29/24	Surface Treatment - Slurry Seal	6/3/20
155 CT	1150	155 th CT	MANHATTAN PL	END	AC	E	2	Area 4	227	32	7,264	63	59	41	0	6/7/24	Surface Treatment - Slurry Seal	8/26/24
155 ST	1160	155 th ST	ATKINSON	SPINNING	AC	E	2	Area 4	1,992	40	79,680	78	89	9	2	6/20/24	Surface Treatment - Slurry Seal	8/26/24
156 CT	1180	156 th CT	MANHATTAN PL	END	AC	E	2	Area 4	224	32	7,168	79	86	14	0	6/7/24	Cold Mill and Overlay	6/17/09
156 PL	1190	156 th PL	VAN BUREN AVE	EAST END	AC	E	2	Area 5	100	34	3,400	75	100	0	0	6/21/24	Cold Mill and Overlay	12/15/05
156 ST	1200	156 th ST	CRENSHAW	MARIGOLD	AC	E	2	Area 4	895	40	35,800	83	87	13	0	6/20/24	Surface Treatment - Slurry Seal	8/26/24
156 ST	1202	156 th ST	MARIGOLD	PURCHE	AC	E	2	Area 4	840	40	33,600	83	100	0	0	6/20/24	Surface Treatment - Slurry Seal	8/26/24
156 ST	1204	156 th ST	PURCHE	VAN NESS	AC	E	2	Area 4	790	40	30,205	83	64	36	0	6/20/24	Surface Treatment - Slurry Seal	8/26/24
156 ST	1220	156 th ST	VAN BUREN AVE	EAST END	AC	E	2	Area 5	185	34	6,290	79	53	47	0	6/21/24	Cold Mill and Overlay	12/15/05
157 ST	1230	157 th ST	ATKINSON	SPINNING	AC	E	2	Area 4	1,992	40	79,680	79	90	10	0	6/20/24	Surface Treatment - Slurry Seal	8/26/24
157 ST	1250	157 th ST	MANHATTAN PL	END	AAC	E	2	Area 4	200	34	6,800	100	0	0	0	8/26/24	Overlay - AC Structural	8/26/24
157 ST	1260	157 th ST	HALLDALE	BRIGHTON	AC	E	2	Area 5	323	32	10,336	98	100	0	0	6/28/24	New Construction - Initial	1/1/80
158 ST	1280	158 th ST	BUDLONG	END	AC	E	2	Area 5	572	33	18,876	62	30	70	0	6/21/24	Cold Mill and Overlay	8/4/09
159 ST	1290	159 th ST	ST ANDREWS PL	MANHATTAN PL	AAC	E	2	Area 5	498	34	16,932	97	100	0	0	7/24/24	Overlay - AC Structural	6/1/20
159 ST	1300	159 th ST	NORMANDIE	BUDLONG	AC	E	2	Area 5	1,021	33	33,693	66	63	5	32	6/21/24	Cold Mill and Overlay	8/4/09
159 ST	1310	159 th ST	BUDLONG	VERMONT	AAC	E	2	Area 5	1,245	36	44,820	92	100	0	0	6/21/24	Overlay - AC Structural	8/10/21
160 ST	1320	160 th ST	ST ANDREWS PL	MANHATTAN PL	AAC	E	2	Area 5	498	34	16,932	84	100	0	0	7/24/24	Overlay - AC Structural	8/10/21
160 ST	1330	160 th ST	HARVARD BLVD	LA SALLE AV	AC	E	2	Area 5	273	36	9,828	87	51	49	0	6/28/24	Cold Mill and Overlay	6/17/09
160 ST	1340	160 th ST	DENKER	NORMANDIE	AC	E	2	Area 5	1,419	36	51,084	77	90	10	0	6/28/24	Cold Mill and Overlay	2/4/12
160 ST	1350	160 th ST	NORMANDIE	BUDLONG	AC	E	2	Area 5	1,021	33	33,693	52	69	29	2	6/7/24	Cold Mill and Overlay	8/4/09
160 ST	1360	160 th ST	BUDLONG	ALLEY E/ BERENDO	AC	E	2	Area 5	946	36	34,056	77	98	0	2	6/21/24	Cold Mill and Overlay	8/4/09
161 ST	1370	161 st ST	GRAMERCY	ST. ANDREWS PL	AC	E	2	Area 5	473	34	16,082	66	47	0	53	7/24/24	Cold Mill and Overlay	6/17/09
162 ST	1450	162 nd ST	NORMANDIE	BUDLONG	AC	E	2	Area 5	1,071	36	38,556	76	52	44	4	5/24/24	Cold Mill and Overlay	10/1/11
162 ST	1460	162 nd ST	BUDLONG	BERENDO AV	AC	E	2	Area 5	622	33	20,526	74	55	31	14	5/24/24	Cold Mill and Overlay	10/1/11
163 ST	1470	163 rd ST	NORMANDIE	BUDLONG	AC	E	2	Area 5	1,071	33	35,343	75	34	45	21	6/21/24	New Construction - Initial	1/1/80
163 ST	1480	163 rd ST	BUDLONG	NEW HAMPSHIRE	AC	E	2	Area 5	940	37	34,780	43	22	78	0	6/21/24	Cold Mill and Overlay	6/17/09
163 ST	1481	163 rd ST	NEW HAMPSHIRE	VERMONT	PCC	E	2	Area 5	251	36	9,036	47	4	96	0	8/13/24	New Construction - Initial	1/1/80
165 PL	1510	165 th PL	WEST END	BERENDO AV	AC	E	2	Area 5	340	36	12,240	81	77	0	23	6/21/24	Cold Mill and Overlay	10/1/11
165 PL	1520	165 th PL	BERENDO AV	NEW HAMPSHIRE AV	AC	E	2	Area 5	325	36	11,700	77	64	36	0	6/21/24	Cold Mill and Overlay	10/1/11
166 TH	1560	166 th ST	NORMANDIE	BERENDO AV	AC	E	2	Area 5	1,899	16	30,834	56	22	77	1	6/21/24	Cold Mill and Overlay	8/4/09
166 TH	1565	166 th ST	BERENDO AV	NORMANDIE	AC	E	2	Area 5	1,899	16	33,634	59	28	69	3	6/21/24	Cold Mill and Overlay	8/4/09
167 TH	1570	167 th ST	BERENDO AV	NEW HAMPSHIRE	AC	E	2	Area 5	290	32	9,280	68	41	59	0	5/24/24	Cold Mill and Overlay	8/4/09
167 TH	1572	167 th ST	NEW HAMPSHIRE	VERMONT AV	AC	E	2	Area 5	278	32	8,896	69	49	51	0	5/24/24	Cold Mill and Overlay	8/4/09
168 ST	1580	168 th ST	WESTERN	DENKER	AC	E	2	Area 6	1,246	33	41,118	83	70	28	2	5/24/24	Cold Mill and Overlay	10/1/11
168 ST	1600	168 th ST	HALLDALE	END	AC	E	2	Area 6	274	34	10,825	81	100	0	0	6/28/24	Surface Treatment - Slurry Seal	3/21/24
169 PL	1610	169 th PL	WESTERN	DENKER	AC	E	2	Area 6	1,195	36	43,020	93	25	0	75	5/24/24	Surface Treatment - Slurry Seal	3/21/24
169 PL	1620	169 th PL	MARIPOSA	END	AC	E	2	Area 6	448	32	14,336	70	62	38	0	6/21/24	Cold Mill and Overlay	6/17/09
169 PL	1630	169 th PL	BRIGHTON	END	AC	E	2	Area 6	121	32	3,872	99	100	0	0	6/28/24	New Construction - Initial	1/1/80
169 ST	1640	169 th ST	DENKER	NORMANDIE	AC	E	2	Area 6	1,444	34	49,096	90	66	0	34	6/21/24	Cold Mill and Overlay	2/4/12
169 ST	1650	169 th ST	GRAMERCY	WESTERN	AC	E	2	Area 6	1,246	36	44,856	92	44	0	56	7/24/24	New Construction - Initial	1/1/80
170 ST	1660	170 th ST	DENKER	HALLDALE	AC	E	2	Area 6	655	33	21,615	89	74	26	0	6/28/24	Surface Treatment - Slurry Seal	3/21/24
170 ST	1665	170 th ST	HALLDALE	END	AC	E	2	Area 6	870	33	29,200	92	100	0	0	6/28/24	Surface Treatment - Slurry Seal	3/21/24
170 ST	1680	170 th ST	HARVARD	LASALLE	AC	E	2	Area 6	250	30	7,500	98	56	0	44	6/27/24	Cold Mill and Overlay	12/15/05
171 ST	1690	171 st ST	HALLDALE	BRIGHTON WAY	AC	E	2	Area 6	747	33	24,651	62	44	56	0	6/28/24	Cold Mill and Overlay	6/15/08

City of Gardena, CA
Pavement Condition Index (PCI) Report - All Streets

Sorted by Rank, Name Order (A-Z)

172 PL	1700	172 nd PL	HARVARD	DENKER	AC	E	2	Area 6	485	35	16,975	99	78	0	22	6/27/24	Cold Mill and Overlay	12/15/05
172 ST	1710	172 nd ST	HALLDALE	BRIGHTON WAY	AC	E	2	Area 6	821	32	26,272	43	41	59	0	6/28/24	Cold Mill and Overlay	6/15/08
173 ST	1720	173 rd ST	DALTON	BRIGHTON WAY	AC	E	2	Area 6	1,345	32	43,040	47	30	64	6	6/28/24	Cold Mill and Overlay	6/15/08
177 ST	1730	177 th ST	VERMONT	BUDLONG	AC	E	2	Area 6	1,100	35	38,500	93	65	35	0	6/27/24	New Construction - Initial	1/1/80
179 PL	1750	179 th PL	DENKER AVE	END	AC	E	2	Area 6	498	34	16,932	73	49	51	0	6/27/24	Cold Mill and Overlay	6/17/09
179 ST	1760	179 th ST	EVELYN AVE	NORMANDIE	AC	E	2	Area 6	922	34	31,348	91	4	96	0	6/27/24	Surface Treatment - Slurry Seal	3/21/24
180 ST	1770	180 th ST	WESTERN	DENKER	AC	E	2	Area 6	1,246	35	43,610	94	21	79	0	6/27/24	Surface Treatment - Slurry Seal	3/21/24
180 ST	1775	180 th ST	DENKER	EVELYN	AC	E	2	Area 6	646	34	21,964	88	78	22	0	6/27/24	Cold Mill and Overlay	8/4/10
180 ST	1780	180 th ST	EVELYN	BRIGHTON	AC	E	2	Area 6	782	34	26,588	86	53	32	15	6/27/24	Cold Mill and Overlay	8/4/10
ALMA	1810	ALMA AVE	135 TH ST	END	AC	E	2	Area 2	846	36	30,456	87	64	0	36	7/31/24	Cold Mill and Overlay	8/4/10
ARCTU	1820	ARCTURUS AVE	129 TH ST	132 ND ST	AC	E	2	Area 1	955	26	24,830	79	27	0	73	7/30/24	New Construction - Initial	1/1/80
ARCTU	1825	ARCTURUS AVE	132 ND ST	134 TH PL	AC	E	2	Area 1	975	26	25,350	86	67	0	33	7/30/24	New Construction - Initial	1/1/80
ARCTU	1830	ARCTURUS AVE	139 TH ST	139 TH ST	AC	E	2	Area 1	1,220	26	31,720	54	23	52	25	6/14/24	Cold Mill and Overlay	6/30/09
ARCTU	1840	ARCTURUS AVE	139 TH ST	141 ST ST	AAC	E	2	Area 1	747	26	19,422	74	21	0	79	6/14/24	Overlay - AC Structural	8/10/21
ARCTU	1850	ARCTURUS AVE	152 ND ST	154 TH ST	AC	E	2	Area 4	946	26	24,596	87	53	42	5	6/20/24	Surface Treatment - Slurry Seal	8/26/24
ARCTU	1860	ARCTURUS AVE	MANHATTAN BEACH	REDONDO BEACH BLVD	AAC	E	2	Area 4	1,494	34	50,796	100	0	0	0	8/26/24	Overlay - AC Structural	8/26/24
ARDATH	1870	ARDATH AVE	129 TH ST	132 ND ST	AAC	E	2	Area 1	985	32	31,520	100	0	0	0	6/7/24	Overlay - AC Structural	3/21/24
ARDATH	1875	ARDATH AVE	132 ND ST	134 TH PL	AAC	E	2	Area 1	993	32	31,776	100	0	0	0	6/7/24	Overlay - AC Structural	3/21/24
ARDATH	1880	ARDATH AVE	135 TH ST	139 TH ST	AAC	E	2	Area 1	1,302	32	41,664	99	100	0	0	6/7/24	Overlay - AC Structural	3/21/24
ARDATH	1885	ARDATH AVE	139 TH ST	141 ST ST	AAC	E	2	Area 1	635	32	21,220	100	0	0	0	6/7/24	Overlay - AC Structural	3/21/24
ARDATH	1890	ARDATH AVE	141 ST PL	ROSECRANS	AC	E	2	Area 1	249	32	7,968	57	30	70	0	6/14/24	Surface Treatment - Slurry Seal	6/1/20
ARDATH	1900	ARDATH AVE	152 ND ST	154 TH ST	AC	E	2	Area 4	946	36	34,056	86	100	0	0	6/20/24	Cold Mill and Overlay	8/4/09
ARDATH	1910	ARDATH AVE	MARIGOLD	REDONDO BEACH BLVD	AAC	E	2	Area 4	747	34	25,398	98	77	0	23	7/18/24	Overlay - AC Thin	7/15/18
ATKINS	1950	ATKINSON AVE	MARINE	154 TH ST	AC	E	2	Area 4	1,220	36	43,920	78	46	39	15	6/20/24	Surface Treatment - Slurry Seal	8/26/24
ATKINS	1960	ATKINSON AVE	154 TH ST	MANHATTAN BEACH BLVD	AC	E	2	Area 4	1,220	40	48,800	78	50	50	0	6/20/24	Surface Treatment - Slurry Seal	8/26/24
ATKINS	1970	ATKINSON AVE	END	REDONDO BEACH BLVD	AC	E	2	Area 4	1,095	34	37,230	83	69	31	0	7/18/24	Surface Treatment - Slurry Seal	8/26/24
AVER P	1980	AVERY PL	180 TH ST	END - NORTH	AC	E	2	Area 6	180	32	7,525	87	100	0	0	6/27/24	Cold Mill and Overlay	8/4/09
AVER P	1985	AVERY PL	180 TH ST	END - SOUTH	AC	E	2	Area 6	180	32	7,525	84	100	0	0	6/27/24	Cold Mill and Overlay	8/4/09
BEREND	1990	BERENDO AVE	CATALINA AV	132 ND ST	AC	E	2	Area 2	1,180	26	30,680	71	31	69	0	6/13/24	New Construction - Initial	1/1/80
BEREND	2000	BERENDO AVE	132 ND ST	133 RD ST	AC	E	2	Area 2	225	26	5,850	58	28	72	0	6/13/24	Cold Mill and Overlay	12/15/05
BEREND	2005	BERENDO AVE	133 RD ST	134 TH ST	AC	E	2	Area 2	642	28	17,976	53	27	73	0	6/13/24	Cold Mill and Overlay	12/15/05
BEREND	2010	BERENDO AVE	TETON ST	END	AC	E	2	Area 2	872	26	22,672	61	22	69	9	6/13/24	Surface Treatment - Slurry Seal	7/15/18
BEREND	2020	BERENDO AVE	ROSECRANS	148 TH ST	AC	E	2	Area 3	1,868	33	61,644	76	86	14	0	7/30/24	Cold Mill and Overlay	2/4/12
BEREND	2030	BERENDO AVE	148 TH ST	MARINE AVE	AC	E	2	Area 3	798	36	28,728	56	41	39	20	7/30/24	Cold Mill and Overlay	6/17/09
BEREND	2035	BERENDO AVE	MARINE AVE	REDONDO BEACH BLVD	AC	E	2	Area 3	770	34	26,180	52	34	49	17	7/30/24	Cold Mill and Overlay	6/17/09
BEREND	2040	BERENDO AVE	REDONDO BEACH BLVD	END	AC	E	2	Area 5	1,000	38	38,000	79	62	28	10	6/21/24	New Construction - Initial	1/1/80
BEREND	2050	BERENDO AVE	159 TH ST	END	AAC	E	2	Area 5	323	34	10,982	97	100	0	0	6/21/24	Overlay - AC Structural	8/10/21
BEREND	2060	BERENDO AVE	159 TH ST	161 ST ST	AC	E	2	Area 5	573	34	19,482	81	87	13	0	6/21/24	Cold Mill and Overlay	8/4/10
BEREND	2100	BERENDO AVE	CASSIDY ST	END	AC	E	2	Area 6	224	28	6,272	61	28	72	0	6/27/24	New Construction - Initial	1/1/80
BEREND	2110	BERENDO AVE	FELDER ST	END	AC	E	2	Area 6	160	30	4,800	84	100	0	0	6/27/24	Cold Mill and Overlay	8/4/09
BEREND	4685	BERENDO AVE	140TH PL	END	AAC	E	2	Area 2	199	35	9,125	88	100	0	0	5/31/24	Overlay - AC Structural	8/10/21
BRIT A	2120	BRIGHTON AVE	ROSECRANS	139 TH ST	AC	E	2	Area 2	1,220	30	36,600	69	25	75	0	7/30/24	Surface Treatment - Slurry Seal	7/15/18
BRIT A	2130	BRIGHTON AVE	157 TH ST	158 TH ST	AC	E	2	Area 5	470	30	14,100	87	15	71	14	6/28/24	New Construction - Initial	1/1/80
BRIT A	2135	BRIGHTON AVE	158 TH ST	162 ND ST	AC	E	2	Area 5	1,277	36	45,972	76	95	0	5	6/28/24	New Construction - Initial	1/1/80
BRIT A	2140	BRIGHTON AVE	GARDENA	166 TH ST	AC	E	2	Area 5	622	36	22,392	88	97	0	3	6/28/24	New Construction - Initial	1/1/80
BRIT A	2150	BRIGHTON AVE	166 TH ST	169 TH ST	AC	E	2	Area 6	623	32	19,936	88	53	47	0	6/28/24	Surface Treatment - Slurry Seal	3/21/24
BRIT A	2160	BRIGHTON AVE	169 TH ST	170 TH ST	AC	E	2	Area 6	623	32	19,936	99	100	0	0	6/28/24	Surface Treatment - Slurry Seal	3/21/24
BRIGHTW	2170	BRIGHTON WAY	170 TH ST	173 RD ST	AC	E	2	Area 6	772	33	25,476	43	27	73	0	6/28/24	Cold Mill and Overlay	6/15/08
BRIGHTW	2180	BRIGHTON WAY	END - SOUTH	END - NORTH	AC	E	2	Area 6	373	32	11,936	89	91	0	9	6/27/24	Cold Mill and Overlay	8/4/09
BRODWL	2190	BROADWELL AVE	CASSIDY ST	END	AC	E	2	Area 6	120	44	5,280	85	100	0	0	6/27/24	Cold Mill and Overlay	6/17/09
BRODWL	2200	BROADWELL AVE	FELDER ST	END	AC	E	2	Area 6	160	30	4,800	93	100	0	0	6/27/24	Cold Mill and Overlay	8/4/09
BUDLA	2270	BUDLONG AVE	155 TH ST	END	AC	E	2	Area 5	423	33	13,959	87	64	36	0	6/21/24	Cold Mill and Overlay	3/4/09
BUDLA	2290	BUDLONG AVE	168 TH ST	170 TH ST	AC	E	2	Area 6	800	34	27,200	94	44	56	0	6/21/24	New Construction - Initial	1/1/80
BUDLA	2300	BUDLONG AVE	CASSIDY ST	END	AC	E	2	Area 6	224	28	6,272	73	34	65	1	6/27/24	Cold Mill and Overlay	6/17/09
BUDLA	2310	BUDLONG AVE	177 TH ST (NB ONLY)	182 ND ST	AC	E	1	Area 6	1,425	20	28,500	57	8	86	6	6/27/24	Cold Mill and Overlay	8/4/09
BUDLA	2320	BUDLONG AVE	182 ND ST	ELECTIC ST	AAC	E	2	Area 6	240	40	9,600	97	100	0	0	6/27/24	Overlay - AC Structural	6/1/20
CASIM	2330	CASIMIR AVE	129 TH ST	132 ND ST	AC	E	2	Area 1	955	26	24,830	54	19	57	24	7/30/24	Cold Mill and Overlay	2/4/13
CASIM	2335	CASIMIR AVE	132 ND ST	134 TH PL	AC	E	2	Area 1	975	26	25,350	84	61	18	21	7/30/24	Cold Mill and Overlay	2/4/13
CASIM	2340	CASIMIR AVE	135 TH ST	139 TH ST	AC	E	2	Area 1	1,220	26	31,720	58	25	45	30	6/14/24	Cold Mill and Overlay	6/30/09
CASIM	2350	CASIMIR AVE	139 TH ST	END	AC	E	2	Area 1	598	26	15,548	54	26	52	22	6/14/24	Cold Mill and Overlay	6/30/09
CASIM	2360	CASIMIR AVE	MARINE	154 TH ST	AC	E	2	Area 4	1,220	36	43,920	77	47	39	14	6/20/24	Surface Treatment - Slurry Seal	8/26/24
CASIM	2370	CASIMIR AVE	MARIGOLD	CATALINA	AC	E	2	Area 4	523	34	17,782	98	76	0	24	7/18/24	New Construction - Initial	1/1/80
CASSID	2380	CASSIDY AVE	NORMANDIE	CATALINA	AC	E	2	Area 6	1,346	32	43,072	47	62	36	2	6/27/24	Cold Mill and Overlay	8/4/09
CASSID	2381	CASSIDY AVE	CATALINA	VERMONT	AC	E	2	Area 6	1,040	32	33,280	73	25	75	0	6/27/24	Cold Mill and Overlay	8/4/09
CATALI	2390	CATALINA AVE	132 ND ST	END	AC	E	2	Area 2	1,344	28	37,632	92	82	0	18	6/13/24	New Construction - Initial	1/1/80
CATALI	2400	CATALINA AVE	133 RD ST	135 TH ST	AC	E	2	Area 2	872	34	29,648	79	51	49	0	7/31/24	Cold Mill and Overlay	12/15/05
CATALI	2410	CATALINA AVE	TETON ST	END	AC	E	2	Area 2	872	26	22,672	83	61	39	0	6/13/24	Surface Treatment - Slurry Seal	7/15/18
CATALI	2420	CATALINA AVE	145 TH ST	148 TH ST	AC	E	2	Area 3	1,000	33	33,000	50	37	63	0	7/30/24	Cold Mill and Overlay	6/15/08
CATALI	2430	CATALINA AVE	REDONDO BEACH BLVD	155 TH ST	AAC	E	2	Area 5	573	34	19,482	93	87	0	13	6/21/24	Overlay - AC Structural	8/10/21
CATALI	2440	CATALINA AVE	168 TH ST	END	AC	E	2	Area 6	650	34	22,100	60	25	75	0	6/21/24	Cold Mill and Overlay	6/17/09
CATALI	2450	CATALINA AVE	170 TH ST	END	AC	E	2	Area 6	500	34	17,000	95	100	0	0	6/21/24	Surface Treatment - Slurry Seal	3/21/24
CATALI	2460	CATALINA AVE	CASSIDY ST	END	AC	E	2	Area 6	224	28	6,272	88	35	65	0	6/27/24	Cold Mill and Overlay	6/17/09
CHANER	2470	CHANERA AVE	ARDATH AV	END	AC	E	2	Area 4	498	34	16,932	98	84	0	16	7/18/24	New Construction - Initial	1/1/80

City of Gardena, CA
Pavement Condition Index (PCI) Report - All Streets

Sorted by Rank, Name Order (A-Z)

CHANER	2480	CHANERA AVE	152 ND ST	154 TH ST	AC	E	2	Area 4	946	26	24,596	87	54	43	3	6/20/24	Surface Treatment - Slurry Seal	8/26/24
CIMARR	2490	CIMARRON AVE	EL SEGUNDO	132 ND ST	AC	E	2	Area 1	1,245	26	32,370	93	59	35	6	6/7/24	New Construction - Initial	1/1/80
CIMARR	2500	CIMARRON AVE	135 TH ST	139 TH ST	AAC	E	2	Area 1	1,245	40	49,800	97	85	0	15	6/7/24	Overlay - AC Thin	7/15/18
CIMARR	2510	CIMARRON AVE	MARINE	154 TH ST	AC	E	2	Area 4	897	32	28,704	87	45	41	14	6/20/24	Cold Mill and Overlay	6/17/09
CIMARR	2520	CIMARRON AVE	154 TH PL	156 TH ST	AC	E	2	Area 4	573	32	18,336	73	53	45	2	6/20/24	Surface Treatment - Slurry Seal	8/26/24
CIMARW	2530	CIMARRON WAY	154 TH ST	154 TH PL	AC	E	2	Area 4	240	30	7,200	78	100	0	0	6/20/24	Surface Treatment - Slurry Seal	8/26/24
CURT P	2590	CURT PL	180 TH ST	END- NORTH	AC	E	2	Area 6	180	32	7,260	82	67	0	33	6/27/24	Cold Mill and Overlay	8/4/09
CURT P	2595	CURT PL	180 TH ST	END- SOUTH	AC	E	2	Area 6	180	32	7,260	88	94	0	6	6/27/24	Cold Mill and Overlay	8/4/09
DALESI	2600	DALESIDE AVE	129 TH ST	132 ND ST	AC	E	2	Area 1	946	26	24,596	91	37	0	63	6/7/24	New Construction - Initial	1/1/80
DALTON	2610	DALTON AVE	158 TH ST	162 ND ST	AC	E	2	Area 5	1,245	36	44,820	78	31	0	69	6/28/24	Cold Mill and Overlay	8/4/09
DALTON	2620	DALTON AVE	162 ND ST	166 TH ST	AC	E	2	Area 5	1,195	36	43,020	65	66	5	29	6/28/24	New Construction - Initial	1/1/80
DALTON	2630	DALTON AVE	166 TH ST	170 TH ST	AC	E	2	Area 6	1,245	34	42,330	56	25	54	21	6/28/24	Cold Mill and Overlay	8/4/09
DALTON	2640	DALTON AVE	170 TH ST	ARTESIA	AC	E	2	Area 6	1,245	34	42,330	92	83	0	17	6/28/24	New Construction - Initial	1/1/80
DALTON	2650	DALTON AVE	180 TH ST	END	AC	E	2	Area 6	370	34	12,580	76	100	0	0	6/27/24	Cold Mill and Overlay	12/15/05
DALT P	2660	DALTON PL	180 TH ST	END	AC	E	2	Area 6	300	34	10,200	73	78	0	22	6/27/24	Cold Mill and Overlay	9/10/07
DAPHNE	2670	DAPHNE AVE	129 TH ST	132 ND ST	AC	E	2	Area 1	897	26	23,322	75	39	61	0	7/30/24	Cold Mill and Overlay	8/4/10
DAPHNE	2680	DAPHNE AVE	134TH PL	N END	AAC	E	2	Area 1	185	26	4,810	100	0	0	0	6/7/24	Overlay - AC Structural	3/21/24
DAPHNE	2690	DAPHNE AVE	135 TH ST	139 TH ST	AC	E	2	Area 1	1,286	26	33,436	67	52	48	0	6/14/24	Cold Mill and Overlay	6/30/09
DAPHNE	2695	DAPHNE AVE	141 ST ST	141 ST ST	AC	E	2	Area 1	765	26	20,790	52	19	71	10	6/14/24	Cold Mill and Overlay	6/30/09
DAPHNE	2700	DAPHNE AVE	144 TH ST	147 TH ST	AC	E	2	Area 4	697	30	20,910	87	77	23	0	7/18/24	Surface Treatment - Slurry Seal	6/1/20
DAPHNE	2710	DAPHNE AVE	147 TH ST	149 TH ST	AC	E	2	Area 4	622	30	18,660	85	70	30	0	7/18/24	Cold Mill and Overlay	6/15/08
DAPHNE	2720	DAPHNE AVE	MARINE	END	AC	E	2	Area 4	622	26	16,172	85	76	19	5	7/18/24	Surface Treatment - Slurry Seal	8/26/24
DAPHNE	2730	DAPHNE AVE	152 ND ST	154 TH ST	AC	E	2	Area 4	946	26	24,596	79	43	57	0	6/20/24	Surface Treatment - Slurry Seal	8/26/24
DEANNA	4675	DEANNA CT	141ST ST	END	AC	E	2	Area 2	96	35	4,406	96	100	0	0	5/31/24	New Construction - Initial	1/1/80
DENKER	2790	DENKER AVE	178 TH ST	182 ND ST	AC	E	2	Area 6	1,245	34	42,330	68	35	65	0	6/27/24	Cold Mill and Overlay	12/15/05
DUBLIN	2800	DUBLIN AVE	144 TH ST	147 TH ST	AC	E	2	Area 4	697	26	18,122	67	43	57	0	7/18/24	Surface Treatment - Slurry Seal	6/1/20
DUBLIN	2810	DUBLIN AVE	147 TH ST	MARINE	AC	E	2	Area 4	1,254	30	37,620	67	28	40	32	7/18/24	Surface Treatment - Slurry Seal	8/26/24
ELSG FR	2860	EL SEGUNDO BLVD FRONTAGE	WEST END	PURCHE AVE	AAC	E	2	Area 1	1,565	25	41,530	62	25	34	41	7/30/24	Overlay - AC Thin	6/15/08
ELSG FR	2861	EL SEGUNDO BLVD FRONTAGE	PURCHE	EAST END	AAC	E	2	Area 1	585	25	16,987	55	27	0	73	7/30/24	Overlay - AC Thin	6/15/08
Electr	2870	ELECTRIC ST	VERMONT	WEST END	AC	E	1	Area 6	2,622	10	26,220	67	27	16	57	6/27/24	Cold Mill and Overlay	8/4/09
EVELYN	2880	EVELYN AVE	178 TH ST	182 ND ST	AC	E	2	Area 6	1,246	33	41,118	97	0	0	100	6/27/24	Surface Treatment - Slurry Seal	3/21/24
FELDER	2890	FELDER ST	BUDLONG	RUMBOLD	AC	E	2	Area 6	996	28	27,888	90	94	0	6	6/27/24	Cold Mill and Overlay	8/4/09
GRAMER	2940	GRAMERCY PL	162 ND ST	166 TH ST	AC	E	2	Area 5	1,195	34	40,630	58	24	49	27	7/24/24	Cold Mill and Overlay	6/17/09
GRAMER	2950	GRAMERCY PL	129 TH ST	132 ND ST	AC	E	2	Area 1	917	26	23,842	54	36	64	0	6/13/24	Cold Mill and Overlay	8/4/09
GRAMER	2955	GRAMERCY PL	132 ND ST	134 TH PL	AC	E	2	Area 1	1,003	26	26,078	72	51	49	0	6/13/24	Cold Mill and Overlay	8/4/09
GRAMER	2960	GRAMERCY PL	135 TH ST	139 TH ST	AC	E	2	Area 1	1,220	40	48,800	91	100	0	0	6/7/24	New Construction - Initial	1/1/80
GRAMER	2990	GRAMERCY PL	REDONDO BEACH BLVD	161 ST ST	AAC	E	2	Area 5	946	34	32,164	95	88	0	12	7/24/24	Overlay - AC Thin	7/15/18
HAAS A	3000	HAAS AVE	129 TH ST	132 ND ST	AC	E	2	Area 1	946	26	24,596	89	56	0	44	6/7/24	Overlay - AC Structural	6/1/20
HAAS A	3010	HAAS AVE	144 TH ST	147 TH ST	AC	E	2	Area 4	697	26	18,122	73	65	11	24	7/24/24	Surface Treatment - Slurry Seal	8/26/24
HAAS A	3020	HAAS AVE	152 ND ST	154 TH ST	AC	E	2	Area 4	622	34	21,148	84	42	58	0	6/20/24	Cold Mill and Overlay	6/17/09
HAAS A	3030	HAAS AVE	154 TH PL	156 TH ST	AC	E	2	Area 4	572	34	19,448	81	78	14	8	6/20/24	Surface Treatment - Slurry Seal	8/26/24
HALLDA	3040	HALLDALE AVE	EL SEGUNDO	132 ND ST	AAC	E	2	Area 2	1,351	56	75,656	99	100	0	0	7/30/24	Overlay - AC Structural	7/21/23
HALLDA	3042	HALLDALE AVE	132 ND ST	134 TH ST	AAC	E	2	Area 2	685	56	38,360	99	100	0	0	7/30/24	Overlay - AC Structural	7/21/23
HALLDA	3044	HALLDALE AVE	134 TH ST	135 TH ST	AAC	E	2	Area 2	545	56	30,520	99	100	0	0	7/30/24	Overlay - AC Structural	7/21/23
HALLDA	3070	HALLDALE AVE	MARINE	153 RD ST	AC	E	2	Area 3	623	33	20,559	94	61	39	0	7/29/24	New Construction - Initial	1/1/80
HALLDA	3080	HALLDALE AVE	157 TH ST	158 TH ST	AC	E	2	Area 5	466	30	15,480	90	24	0	76	6/28/24	Cold Mill and Overlay	2/4/12
HALLDA	3085	HALLDALE AVE	158 TH ST	162 ND ST	AC	E	2	Area 5	1,276	36	45,936	78	100	0	0	6/28/24	Cold Mill and Overlay	2/4/12
HALLDA	3090	HALLDALE AVE	GARDENA	166 TH ST	AC	E	2	Area 5	622	36	22,392	90	97	0	3	6/28/24	Surface Treatment - Slurry Seal	7/15/18
HALLDA	3100	HALLDALE AVE	166 TH ST	169 TH ST	AC	E	2	Area 6	623	33	20,559	88	79	21	0	6/28/24	Cold Mill and Overlay	8/4/09
HALLDA	3105	HALLDALE AVE	169 TH ST	170 TH ST	AC	E	2	Area 6	628	33	20,724	90	58	42	0	6/28/24	Surface Treatment - Slurry Seal	3/21/24
HALLDA	3110	HALLDALE AVE	170 TH ST	173 RD ST	AAC	E	2	Area 3	830	32	26,560	98	100	0	0	6/28/24	Overlay - AC Structural	6/1/20
HARW B	3120	HARVARD BLVD	MARINE	154 TH ST	AC	E	2	Area 3	1,220	34	41,480	66	25	75	0	7/29/24	Cold Mill and Overlay	6/17/09
HARW B	3130	HARVARD BLVD	END	154 TH ST	AC	E	2	Area 3	473	33	15,609	75	69	31	0	7/29/24	Cold Mill and Overlay	10/1/11
HARW B	3140	HARVARD BLVD	158 TH ST	162 ND ST	AC	E	2	Area 5	1,245	33	41,085	81	66	34	0	6/28/24	Cold Mill and Overlay	6/17/09
HARW B	3150	HARVARD BLVD	GARDENA	166 TH ST	AAC	E	2	Area 5	573	37	21,201	94	18	82	0	6/28/24	Overlay - AC Thin	7/15/18
HARW B	3160	HARVARD BLVD	168 TH ST	169 TH PL	AC	E	2	Area 6	573	26	14,898	75	31	15	54	6/27/24	Cold Mill and Overlay	8/4/09
HARW B	3170	HARVARD BLVD	170 TH ST	172 ND PL	AC	E	2	Area 6	700	41	28,700	98	49	0	51	6/27/24	Cold Mill and Overlay	12/15/05
HARW B	3175	HARVARD BLVD	178 TH ST	180 TH ST	AC	E	2	Area 6	590	34	20,060	67	38	62	0	6/27/24	Cold Mill and Overlay	12/15/05
HARW B	3180	HARVARD BLVD	180 TH ST	182 ND ST	AC	E	2	Area 6	635	34	21,590	51	22	78	0	6/27/24	Cold Mill and Overlay	12/15/05
HARV P	3190	HARVARD PL	139 TH ST	END	AAC	E	2	Area 2	398	30	11,940	94	100	0	0	5/31/24	Overlay - AC Thin	7/15/18
HOBART	3200	HOBART BLVD	ROSECRANS	141 ST ST	AC	E	2	Area 2	605	30	18,150	79	18	0	82	8/6/24	New Construction - Initial	1/1/80
HOBART	3210	HOBART BLVD	162 ND ST	END	AC	E	2	Area 5	150	30	4,500	48	33	66	1	6/28/24	Cold Mill and Overlay	12/15/05
HOBART	3220	HOBART BLVD	166 TH ST	169 TH PL	AC	E	2	Area 6	947	34	32,198	76	14	47	39	6/27/24	Cold Mill and Overlay	6/17/09
HOBART	3230	HOBART BLVD	178 TH ST	180 TH ST	AC	E	2	Area 6	590	34	20,060	53	27	64	9	6/27/24	Cold Mill and Overlay	12/15/05
HOBART	3235	HOBART BLVD	180 TH ST	182 ND ST	AC	E	2	Area 6	635	34	21,590	33	12	81	7	6/27/24	Cold Mill and Overlay	12/15/05
HOBART	3240	HOBART BLVD	GARDENA	SOUTH END	AC	E	2	Area 5	330	21	6,930	83	33	45	22	6/28/24	New Construction - Initial	1/1/80
KANSAS	3250	KANSAS AVE	133 RD ST	134 TH PL	AC	E	2	Area 2	573	28	16,044	73	53	47	0	7/31/24	Surface Treatment - Slurry Seal	7/15/18
KINGSL	3260	KINGSLEY DR	ROSECRANS	END	AAC	E	2	Area 2	398	36	14,328	91	47	24	29	6/14/24	Overlay - AC Thin	7/15/18
KINGSL	3270	KINGSLEY DR	147 TH ST	MARINE	AC	E	2	Area 3	996	26	25,896	83	100	0	0	7/29/24	Cold Mill and Overlay - 2 Inches	2/4/12
KOMOR	3280	KOMORI CR	170 TH ST	END	AC	E	2	Area 6	348	32	11,136	88	62	21	17	6/21/24	Cold Mill and Overlay	6/17/09
LASALL	3310	LA SALLE AVE	158 TH ST	162 ND ST	AC	E	2	Area 5	1,245	34	42,330	80	36	64	0	6/28/24	Cold Mill and Overlay	8/4/09
LASALL	3320	LA SALLE AVE	GARDENA	166 TH ST	AC	E	2	Area 5	573	37	21,201	81	19	0	81	6/28/24	New Construction - Initial	1/1/80
LASALL	3330	LA SALLE AVE	168 TH ST	169 TH PL	AC	E	2	Area 6	573	34	19,482	72	69	0	31	6/27/24	Cold Mill and Overlay	12/15/05

City of Gardena, CA
Pavement Condition Index (PCI) Report - All Streets

Sorted by Rank, Name Order (A-Z)

LASALL	3340	LA SALLE AVE	169 TH PL		AC	E	2	Area 6	1,000	34	34,000	98	76	0	24	6/27/24	Cold Mill and Overlay	12/15/05
LASALL	3345	LA SALLE AVE	178 TH ST		AC	E	2	Area 6	590	34	20,060	72	54	41	5	6/27/24	Cold Mill and Overlay	12/15/05
LASALL	3350	LA SALLE AVE	180 TH ST		AC	E	2	Area 6	635	34	21,590	35	18	82	0	6/27/24	Cold Mill and Overlay	12/15/05
MANH P	3390	MANHATAN PL	129 TH ST		AC	E	2	Area 1	950	32	31,300	42	28	72	0	6/13/24	Cold Mill and Overlay	6/30/09
MANH P	3395	MANHATAN PL	132 ND ST		AC	E	2	Area 1	1,045	32	34,340	46	29	71	0	6/13/24	Cold Mill and Overlay	6/30/09
MANH P	3400	MANHATAN PL	154 TH ST		AC	E	2	Area 4	996	34	33,864	80	58	38	4	6/7/24	Surface Treatment - Slurry Seal	8/26/24
MANH P	3410	MANHATAN PL	REDONDO BEACH BLVD		AC	E	2	Area 5	1,499	32	47,968	65	39	28	33	7/24/24	Cold Mill and Overlay	6/17/09
MANH P	3412	MANHATAN PL	162 ND ST		AC	E	2	Area 5	615	34	20,910	67	33	14	53	7/24/24	Cold Mill and Overlay	6/17/09
MANH P	3414	MANHATAN PL	GARDENA BLVD		AC	E	2	Area 5	625	32	20,000	67	43	0	57	7/24/24	Cold Mill and Overlay	6/17/09
MARIGO	3420	MARIGOLD AVE	147 TH ST		AAC	E	2	Area 4	1,245	30	37,350	98	100	0	0	7/18/24	Overlay - AC Structural	6/1/20
MARIGO	3430	MARIGOLD AVE	154 TH ST		AC	E	2	Area 4	1,220	40	48,800	76	65	33	2	6/20/24	Surface Treatment - Slurry Seal	8/26/24
MARIGO	3440	MARIGOLD AVE	MANHATTAN BEACH		AAC	E	2	Area 4	871	33	28,743	100	0	0	0	8/26/24	Overlay - AC Structural	8/26/24
MARIPO	3500	MARIPOSA AVE	139 TH ST		AC	E	2	Area 2	498	33	16,434	70	43	45	12	7/30/24	New Construction - Initial	1/1/80
MARIPO	3510	MARIPOSA AVE	141 ST ST		AAC	E	2	Area 2	274	32	8,768	80	10	88	2	5/31/24	Overlay - AC Thin	7/15/18
MARIPO	3520	MARIPOSA AVE	MARINE AV		AC	E	2	Area 3	622	21	13,062	76	75	0	25	6/21/24	New Construction - Initial	1/1/80
MARIPO	3530	MARIPOSA AVE	168 TH ST		AC	E	2	Area 6	800	32	25,600	58	52	48	0	6/21/24	Cold Mill and Overlay	8/4/09
MARIPO	4695	MARIPOSA AVE	147TH ST		AC	E	2	Area 3	189	32	7,632	83	100	0	0	7/30/24	New Construction - Initial	1/1/80
MAYFLR	3540	MAYFLOWER CR	168 TH ST		AC	E	2	Area 6	500	36	18,000	86	100	0	0	6/21/24	Surface Treatment - Slurry Seal	7/15/18
MILLER	3550	MILLER AVE	147 TH ST		AAC	E	2	Area 4	1,220	30	36,600	100	0	0	0	8/26/24	Overlay - AC Structural	8/26/24
NWHAMP	3560	NEW HAMPSHIRE AVE	133 RD ST		AC	E	2	Area 2	872	34	29,648	85	100	0	0	7/31/24	Surface Treatment - Slurry Seal	7/15/18
NWHAMP	3570	NEW HAMPSHIRE AVE	155 TH ST		AAC	E	2	Area 5	323	34	10,982	92	71	0	29	6/21/24	Overlay - AC Structural	8/10/21
NWHAMP	3580	NEW HAMPSHIRE AVE	163 RD ST		PCC	E	2	Area 5	330	44	14,520	49	13	87	0	8/13/24	New Construction - Initial	1/1/80
NWHAMP	3590	NEW HAMPSHIRE AVE	164 TH ST		APC	E	2	Area 5	335	44	14,740	81	80	20	0	6/21/24	New Construction - Initial	1/1/80
NWHAMP	3600	NEW HAMPSHIRE AVE	GARDENA		APC	E	2	Area 5	390	44	17,160	77	46	54	0	6/21/24	Cold Mill and Overlay	10/1/11
NWHAMP	3610	NEW HAMPSHIRE AVE	RAIL ROAD		APC	E	2	Area 5	185	44	8,140	64	81	7	12	5/24/24	Cold Mill and Overlay	6/15/08
NUANU	3720	NUANU DR	REDONDO BEACH BLVD		AC	E	2	Area 5	400	40	16,000	73	80	20	0	8/12/24	Cold Mill and Overlay	8/4/09
PARRON	3730	PARRON DR	147 TH ST		AC	E	2	Area 4	1,095	34	37,230	93	92	0	8	6/7/24	New Construction - Initial	1/1/80
PARRON	3740	PARRON DR	152 ND ST		AC	E	2	Area 4	622	34	21,148	72	36	64	0	6/20/24	Surface Treatment - Slurry Seal	8/26/24
PARRON	3750	PARRON DR	END - 156 TH		AAC	E	2	Area 4	598	34	20,332	100	0	0	0	8/26/24	Overlay - AC Structural	8/26/24
PURCHE	3760	PURCHE AVE	EL SEGUNDO		AC	E	2	Area 1	330	32	10,560	47	16	67	17	7/30/24	Cold Mill and Overlay	6/30/09
PURCHE	3765	PURCHE AVE	129 TH ST		AC	E	2	Area 1	951	26	24,726	50	16	65	19	7/30/24	Cold Mill and Overlay	6/30/09
PURCHE	3766	PURCHE AVE	132 ND ST		AC	E	2	Area 1	974	26	29,285	40	32	68	0	7/30/24	Cold Mill and Overlay	6/30/09
PURCHE	3770	PURCHE AVE	135 TH ST		AC	E	2	Area 1	2,515	26	65,390	55	31	57	12	6/14/24	Cold Mill and Overlay	6/30/09
PURCHE	3780	PURCHE AVE	144 TH ST		AC	E	2	Area 4	697	26	18,122	82	42	58	0	7/18/24	Surface Treatment - Slurry Seal	6/1/20
PURCHE	3790	PURCHE AVE	147 TH ST		AC	E	2	Area 4	664	30	19,920	76	43	9	48	7/18/24	Surface Treatment - Slurry Seal	8/26/24
PURCHE	3800	PURCHE AVE	149 TH ST		AAC	E	2	Area 4	332	30	9,960	100	0	0	0	8/26/24	Overlay - AC Structural	8/26/24
PURCHE	3810	PURCHE AVE	152 ND ST		AC	E	2	Area 4	946	26	24,596	84	54	42	4	6/20/24	Surface Treatment - Slurry Seal	8/26/24
PURCHE	3820	PURCHE AVE	MANHATTAN BEACH BLVD		AC	E	2	Area 4	1,195	40	47,800	78	50	47	3	6/20/24	Surface Treatment - Slurry Seal	8/26/24
RAYM A	3840	RAYMOND AVE	140 TH ST		AC	E	2	Area 2	290	35	10,150	97	100	0	0	5/31/24	Cold Mill and Overlay	12/15/05
RAYM A	3850	RAYMOND AVE	141 ST PL		AC	E	2	Area 2	283	35	9,905	97	100	0	0	5/31/24	Cold Mill and Overlay	9/10/07
RAYM A	3860	RAYMOND AVE	144 TH ST		AC	E	2	Area 3	320	22	8,200	74	32	29	39	7/30/24	Cold Mill and Overlay	2/4/12
RAYM A	3862	RAYMOND AVE	145 TH PL		AC	E	2	Area 3	180	32	5,760	80	66	0	34	7/30/24	Cold Mill and Overlay	2/4/12
RAYM A	3864	RAYMOND AVE	145 TH PL		AC	E	2	Area 3	968	32	30,976	75	97	0	3	7/30/24	Cold Mill and Overlay	2/4/12
RAYM A	3865	RAYMOND AVE	149 TH ST		AC	E	2	Area 3	820	22	18,540	73	92	8	0	7/30/24	Cold Mill and Overlay	2/4/12
RAYM A	3870	RAYMOND AVE	REDONDO BEACH BLVD		AC	E	2	Area 3	850	34	28,900	53	23	65	12	7/30/24	Cold Mill and Overlay	6/17/09
RAYM A	3880	RAYMOND AVE	MAGNOLIA AV		AC	E	2	Area 5	622	34	21,148	84	83	17	0	6/21/24	Surface Treatment - Slurry Seal	7/15/18
RAYM A	3890	RAYMOND AVE	164 TH ST		AC	E	2	Area 5	250	32	8,000	78	82	18	0	6/21/24	Cold Mill and Overlay	6/17/09
RAYM A	3900	RAYMOND AVE	168 TH ST		AAC	E	2	Area 6	800	34	27,200	94	100	0	0	6/21/24	Overlay - AC Structural	6/1/20
RAYM P	3910	RAYMOND PL	170 TH ST		AAC	E	2	Area 6	800	34	27,200	96	100	0	0	6/21/24	Overlay - AC Structural	6/1/20
RAYM P	3920	RAYMOND PL	170 TH ST		AC	E	2	Area 6	722	34	24,548	73	18	82	0	6/21/24	Cold Mill and Overlay	6/17/09
REDOND FR	4700	REDONDO BEACH BLVD FRONTAGE	WEST END (W/ ATKINSON)		AAC	E	2	Area 4	1,442	26	37,492	100	0	0	0	8/26/24	Overlay - AC Structural	8/26/24
ROSECR FR	4710	ROSECRANS AVE (FRONTAGE)	END (600' E/ ARDATH AVE)		AC	E	2	Area 1	1,057	25	28,400	64	62	21	17	6/14/24	New Construction - Initial	1/1/80
ROXTON	4010	ROXTON AVE	144 TH ST		AC	E	2	Area 4	697	26	18,122	87	100	0	0	7/18/24	Surface Treatment - Slurry Seal	6/1/20
ROXTON	4020	ROXTON AVE	147 TH ST		AC	E	2	Area 4	996	30	29,880	73	34	23	43	7/18/24	Surface Treatment - Slurry Seal	8/26/24
RUMBOL	4030	RUMBOLD ST	BUDLONG		AC	E	2	Area 6	796	28	22,288	87	100	0	0	6/27/24	Cold Mill and Overlay	8/4/09
RUTHEL	4040	RUTHELEN ST	129 TH ST		AC	E	2	Area 1	921	26	23,946	41	30	70	0	6/13/24	Cold Mill and Overlay	8/4/09
RUTHEL	4045	RUTHELEN ST	132 ND ST		AC	E	2	Area 1	1,008	26	26,208	77	31	65	4	6/13/24	Cold Mill and Overlay	8/4/09
RUTHEL	4050	RUTHELEN ST	154 TH PL		AAC	E	2	Area 4	1,245	34	42,330	83	81	18	1	6/7/24	Overlay - AC Structural	8/10/21
S PARK	4060	SOUTH PARK LN	170 TH ST		AC	E	2	Area 6	946	23	21,758	61	22	57	21	6/21/24	New Construction - Initial	1/1/80
SPINNI	4070	SPINNING AVE	132 ND ST		AC	E	2	Area 1	985	26	26,510	93	50	39	11	6/7/24	New Construction - Initial	1/1/80
SPINNI	4075	SPINNING AVE	132 ND ST		AC	E	2	Area 1	990	26	29,195	95	83	0	17	6/7/24	New Construction - Initial	1/1/80
SPINNI	4080	SPINNING AVE	135 TH ST		AC	E	2	Area 1	1,220	26	31,720	52	29	61	10	6/14/24	Cold Mill and Overlay	6/30/09
SPINNI	4090	SPINNING AVE	139 TH ST		AC	E	2	Area 1	772	26	20,072	45	26	74	0	6/14/24	Cold Mill and Overlay	6/30/09
SPINNI	4100	SPINNING AVE	144 TH ST		AC	E	2	Area 4	697	30	20,910	88	100	0	0	7/18/24	Surface Treatment - Slurry Seal	6/1/20
SPINNI	4110	SPINNING AVE	147 TH ST		AC	E	2	Area 4	1,220	30	36,600	77	37	26	37	7/18/24	Surface Treatment - Slurry Seal	8/26/24
SPINNI	4120	SPINNING AVE	152 ND ST		AC	E	2	Area 4	946	26	24,596	62	30	70	0	6/20/24	Surface Treatment - Slurry Seal	8/26/24
SPINNI	4130	SPINNING AVE	154 TH ST		AC	E	2	Area 4	1,195	40	47,800	85	100	0	0	6/20/24	Surface Treatment - Slurry Seal	8/26/24
ST AND	4140	ST ANDREWS PL	132 ND ST		AAC	E	2	Area 1	916	26	23,816	94	90	0	10	6/13/24	Overlay - AC Structural	6/1/20
ST AND	4145	ST ANDREWS PL	132 ND ST		AAC	E	2	Area 1	1,004	26	26,104	97	79	0	21	6/13/24	Overlay - AC Structural	8/10/21
ST AND	4150	ST ANDREWS PL	135 TH ST		AC	E	2	Area 1	598	36	21,528	78	97	3	0	7/30/24	Cold Mill and Overlay	8/4/10
ST AND	4170	ST ANDREWS PL	MARINE		AC	E	2	Area 4	1,280	34	43,520	85	79	18	3	6/7/24	Surface Treatment - Slurry Seal	3/21/24
ST AND	4175	ST ANDREWS PL	154 TH PL		AAC	E	2	Area 4	1,196	34	40,664	100	0	0	0	8/26/24	Overlay - AC Structural	8/26/24
ST AND	4180	ST ANDREWS PL	REDONDO BEACH BLVD		AC	E	2	Area 5	315	36	11,340	69	71	29	0	7/24/24	Cold Mill and Overlay	8/4/10

City of Gardena, CA
Pavement Condition Index (PCI) Report - All Streets

Sorted by Rank, Name Order (A-Z)

ST AND	4190	ST ANDREWS PL	159 TH ST	161 ST ST	AC	E	2	Area 5	548	33	18,084	95	100	0	0	7/24/24	New Construction - Initial	1/1/80
ST AND	4200	ST ANDREWS PL	162 ND ST	166 TH ST	AC	E	2	Area 5	1,243	33	41,019	68	33	7	60	7/24/24	Cold Mill and Overlay	6/17/09
ST AND	4201	ST ANDREWS PL	161 ST ST	162 ND ST	AC	E	2	Area 5	305	35	11,575	42	5	67	28	7/24/24	Cold Mill and Overlay	6/17/09
STEVEN	4210	STEVENS ST	170 TH ST	END	AC	E	2	Area 6	622	32	19,904	84	52	44	4	6/21/24	Cold Mill and Overlay	6/17/09
SUTRO	4220	SUTRO ST	147 TH ST	MARINE	AC	E	2	Area 4	1,220	30	36,600	70	54	13	33	7/18/24	Surface Treatment - Slurry Seal	8/26/24
TETON	4230	TETON ST	BUDLONG	BERENDO AV	AC	E	2	Area 2	525	28	14,700	77	38	62	0	6/13/24	Surface Treatment - Slurry Seal	7/15/18
VALMYR	4240	VALMEYER AVE	CASSIDY ST	END	AC	E	2	Area 6	224	32	7,168	93	80	0	20	6/27/24	Cold Mill and Overlay	6/17/09
VAN BU	4250	VAN BUREN AVE	137 TH ST	BUDLONG	AC	E	2	Area 2	597	33	19,701	69	31	69	0	6/13/24	Surface Treatment - Slurry Seal	7/15/18
VAN BU	4260	VAN BUREN AVE	137 TH ST	END	AC	E	2	Area 2	200	33	6,600	49	23	77	0	6/13/24	Surface Treatment - Slurry Seal	7/15/18
VAN BU	4270	VAN BUREN AVE	147 TH ST	MARINE	AC	E	2	Area 3	1,170	31	36,270	81	100	0	0	7/30/24	Cold Mill and Overlay	8/4/10
VAN BURCT	4680	VAN BUREN CT	141ST PL	END	AC	E	2	Area 2	96	35	4,360	97	100	0	0	5/31/24	New Construction - Initial	1/1/80
WADKIN	4440	WADKINS AVE	ROSECRANS	147 TH ST	AC	E	2	Area 4	1,220	26	31,720	71	23	77	0	7/18/24	Surface Treatment - Slurry Seal	6/1/20
WILKI	4492	WILKIE AVE	129 TH ST	132 ND ST	AC	E	2	Area 1	951	26	24,726	88	84	0	16	6/7/24	New Construction - Initial	1/1/80
WILKI	4555	WILKIE AVE	132 ND ST	134 TH PL	AC	E	2	Area 1	971	26	25,246	84	85	15	0	6/7/24	New Construction - Initial	1/1/80
WILKI	4560	WILKIE AVE	135 TH ST	139 TH ST	AC	E	2	Area 1	1,220	26	31,720	92	42	0	58	6/14/24	New Construction - Initial	1/1/80
WILKI	4570	WILKIE AVE	139 TH ST	END	AC	E	2	Area 1	597	26	15,522	64	30	43	27	6/14/24	Cold Mill and Overlay	6/30/09
WILKI	4580	WILKIE AVE	143 RD ST	144 TH ST	AC	E	2	Area 4	316	26	8,216	78	57	43	0	7/18/24	Surface Treatment - Slurry Seal	6/1/20
WILKI	4590	WILKIE AVE	152 ND ST	154 TH ST	AC	E	2	Area 4	946	26	24,596	89	100	0	0	6/20/24	Cold Mill and Overlay	8/4/09
WILTON	4600	WILTON PL	EL SEGUNDO	135 TH ST	AC	E	2	Area 1	2,491	32	79,712	90	45	55	0	6/13/24	Cold Mill and Overlay	2/4/13
WILTON	4610	WILTON PL	152 ND ST	154 TH ST	AC	E	2	Area 4	622	34	21,148	81	37	63	0	6/20/24	Cold Mill and Overlay	6/17/09
WILTON	4620	WILTON PL	END-156 TH ST	END	AC	E	2	Area 4	972	34	33,048	95	80	0	20	6/20/24	New Construction - Initial	1/1/80
									57.5		9,614,869							

City of Gardena, CA
Pavement Condition Index (PCI) Report - All Streets

Sorted by Rank, PCI Order (0-100)

BranchID	Sec ID	Name	From	To	Surface Type	Rank	Lanes	Zone	L	W	Area	PCI	PCI Pct Climate	PCI Pct Load	PCI Pct Other	Insp. Date	Work Type	Work Date	
Arterials																			
VERMON	4430	VERMONT AVE (SB ONLY)	S/S WATER CHANNEL (S/ CASSIDY ST)	182ND ST	AC	A	2	~	1,464	40	56,250	36	29	62	9	8/6/24	Cold Mill and Overlay - 2 Inches	5/3/10	
VERMON	4385	VERMONT AVE (SB ONLY)	BEGIN PCC (70' N/ 161ST ST)	END PCC (25' S/ 161ST ST)	PCC	A	3	~	132	40	7,020	45	2	81	17	8/6/24	New Construction - Initial	1/1/80	
CRENSH	2570	CRENSHAW BLVD (NB ONLY)	BEGIN AC 90' N/ ROSECRANS	END AC 265' S/ 135TH ST	AC	A	3	~	2,230	36	79,760	46	15	78	7	8/5/24	New Construction - Initial	1/1/80	
ELSEGU	2848	EL SEGUNDO BLVD (EB ONLY)	BUDLONG	BEGIN PCC (120' W/ VERMONT)	APC	A	3	~	1,215	36	43,740	54	25	75	0	8/5/24	Cold Mill and Overlay	6/1/08	
CRENSH	2565	CRENSHAW BLVD (NB ONLY)	ROSECRANS	END PCC 90' N/ ROSECRANS	PCC	A	3	~	136	30	5,225	55	19	79	2	8/5/24	New Construction - Initial	1/1/80	
NORMAN	3630	NORMANDIE AVE	177 TH ST	ARTESIA BLVD	AC	A	4	~	865	50	43,250	55	46	49	5	8/5/24	Cold Mill and Overlay - 2 Inches	10/1/13	
WESTER	4468	WESTERN AVE	BEGIN PCC	135 TH ST	PCC	A	4	~	305	32	19,828	60	16	59	25	8/19/24	New Construction - Initial	1/1/80	
NORMAN	3640	NORMANDIE AVE	REDONDO BEACH BLVD	155 TH ST	AC	A	2	~	480	55	26,400	61	16	64	20	8/12/24	New Construction - Initial	1/1/80	
CRENSH	2575	CRENSHAW BLVD (NB ONLY)	BEGIN PCC 265' S/ 135TH ST	135TH ST	PCC	A	3	~	265	36	10,545	62	21	64	15	8/5/24	New Construction - Initial	1/1/80	
WESTER	4510	WESTERN AVE	BEGIN PCC (310' W/ REDONDO BEACH BLVD)	REDONDO BEACH BLVD	PCC	A	4	~	315	80	18,395	66	18	55	27	8/6/24	New Construction - Initial	1/1/80	
CRENSH	2580	CRENSHAW BLVD (NB ONLY)	LACFC EASEMENT (13127 CRENSHAW)	END AC 265' S/ EL SEGUNDO BLVD	AC	A	3	~	998	30	36,125	66	21	57	22	7/31/24	New Construction - Initial	1/1/80	
CRENSH	2585	CRENSHAW BLVD (NB ONLY)	BEGIN PCC 265' S/ EL SEGUNDO BLVD	EL SEGUNDO BLVD	PCC	A	3	~	310	48	14,880	67	26	27	47	7/31/24	New Construction - Initial	1/1/80	
REDOND	3950	REDONDO BEACH BLVD	BEGIN AC (300' E/ WESTERN AVE)	DENKER	AC	A	4	~	1,090	68	83,770	68	94	6	0	8/12/24	Cold Mill and Overlay - 2 Inches	2/4/14	
REDOND	3952	REDONDO BEACH BLVD	DENKER	NUANU	AC	A	4	~	660	68	45,395	68	80	20	0	8/12/24	Cold Mill and Overlay - 2 Inches	2/4/14	
ROSECR	4644	ROSECRANS AVE	NORMANDIE	END PCC 85' W/ NORMANDIE	PCC	A	3	~	87	31	2,860	68	9	0	91	6/14/24	New Construction - Initial	1/1/80	
REDOND	3959	REDONDO BEACH BLVD	BEGIN AC (295' E/ BUDLONG)	END AC (270' W/ VERMONT AVE)	AC	A	4	~	655	68	54,966	68	49	45	6	8/12/24	New Construction - Initial	1/1/80	
ROSECR	4630	ROSECRANS AVE	VERMONT	END PCC W/ VERMONT	PCC	A	3	~	78	34	2,867	68	42	26	32	6/14/24	New Construction - Initial	1/1/80	
REDOND	3934	REDONDO BEACH BLVD	VAN NESS	END PCC (325' E/ VAN NESS)	PCC	A	5	~	325	76	17,490	68	25	52	23	8/12/24	New Construction - Initial	1/1/80	
CRENSH	2544	CRENSHAW BLVD (NB ONLY)	BEGIN PCC 260' S/ MANHATTAN BEACH	N/S MANHATTAN BEACH BLVD	PCC	A	3	~	370	30	14,225	68	27	34	39	8/5/24	New Construction - Initial	1/1/80	
ROSECR	4642	ROSECRANS AVE	PCC 245' E/ NORMANDIE	NORMANDIE	PCC	A	3	~	243	33	10,065	69	45	6	49	6/14/24	New Construction - Initial	1/1/80	
REDOND	3932	REDONDO BEACH BLVD	BEGIN PCC (325' W/ VAN NESS)	VAN NESS	PCC	A	4	~	355	76	17,270	69	29	58	13	8/12/24	New Construction - Initial	1/1/80	
REDOND	3945	REDONDO BEACH BLVD	WESTERN AVE	END PCC (300' E/ WESTERN AVE)	PCC	A	4	~	300	74	14,060	70	12	53	35	8/12/24	New Construction - Initial	1/1/80	
VERMON	4360	VERMONT AVE (SB ONLY)	BEGIN PCC (260' N/ MARINE AVE)	END PCC (90' S/ MARINE AVE)	PCC	A	3	~	400	40	16,000	70	20	52	28	8/5/24	New Construction - Initial	1/1/80	
ELSEGU	2830	EL SEGUNDO BLVD (EB ONLY)	WESTERN	NORMANDIE	APC	A	3	~	2,560	36	92,160	71	30	59	11	8/5/24	Cold Mill and Overlay	6/1/08	
VERMON	4370	VERMONT AVE (SB ONLY)	BEGIN PCC 285' N/ REDONDO BEACH BLVD	END PCC 110' S/ REDONDO BEACH BLVD	PCC	A	3	~	475	46	28,021	71	33	43	24	8/6/24	New Construction - Initial	1/1/80	
ROSECR	4006	ROSECRANS AVE	PCC 260' W/ VERMONT	VERMONT	PCC	A	3	~	265	42	11,420	72	44	21	35	6/14/24	New Construction - Initial	1/1/80	
ELSEGU	2850	EL SEGUNDO BLVD (EB ONLY)	PCC 120' W/ VERMONT	VERMONT	PCC	A	3	~	117	36	4,212	72	95	0	5	8/5/24	New Construction - Initial	1/1/80	
REDOND	3925	REDONDO BEACH BLVD	CRENSHAW	END PCC (160' E/ CRENSHAW)	PCC	A	5	~	162	75	9,475	72	38	32	30	8/12/24	New Construction - Initial	1/1/80	
ROSECR	3999	ROSECRANS AVE	NORMANDIE	END PCC 80' E/ NORMANDIE	PCC	A	3	~	110	31	3,725	73	48	0	52	6/14/24	New Construction - Initial	1/1/80	
VERMON	4330	VERMONT AVE (SB ONLY)	EL SEGUNDO BLVD	132ND ST	AC	A	3	~	1,399	42	62,955	73	72	28	0	8/5/24	Cold Mill and Overlay - 2 Inches	10/1/11	
VERMON	4380	VERMONT AVE (SB ONLY)	MAGNOLIA	END AC (70' N/ 161ST ST)	AC	A	3	~	1,236	48	59,835	73	30	69	1	8/6/24	Cold Mill and Overlay - 2 Inches	10/1/14	
WESTER	4460	WESTERN AVE	BEGIN AC (335' S/ EL SEGUNDO)	132 ND ST	AC	A	4	~	1,018	76	85,025	73	70	25	5	8/6/24	Cold Mill and Overlay - 2 Inches	10/21/09	
REDOND	3939	REDONDO BEACH BLVD	GRAMERCY PL	285' E/ VAN NESS	PCC	A	1	~	1,085	6	6,510	73	21	32	47	8/12/24	New Construction - Initial	1/1/80	
REDOND	3930	REDONDO BEACH BLVD	BEGIN AC (160' E/ CRENSHAW)	END AC (325' W/ VAN NESS)	AC	A	5	~	2,265	76	178,160	74	32	50	18	8/12/24	Cold Mill and Overlay - 2 Inches	2/4/14	
ELSEGU	2819	EL SEGUNDO BLVD (EB ONLY)	CRENSHAW	END PCC 210' E/ CRENSHAW	PCC	A	3	~	255	35	8,925	74	54	23	23	7/31/24	New Construction - Initial	1/1/80	
ELSEGU	2824	EL SEGUNDO BLVD (EB ONLY)	BEGIN PCC (290' W/ VAN NESS AVE)	END PCC (70' E/ VAN NESS AVE)	PCC	A	3	~	415	36	14,940	74	52	27	21	8/5/24	New Construction - Initial	1/1/80	
ROSECR	3998	ROSECRANS AVE	PCC 225' W/ NORMANDIE	NORMANDIE	PCC	A	3	~	240	31	10,190	74	52	9	39	6/14/24	New Construction - Initial	1/1/80	
WESTER	4531	WESTERN AVE	162 ND ST	158 TH ST	PCC	A	1	~	1,340	6	8,040	74	22	72	6	8/13/24	New Construction - Initial	1/1/80	
REDOND	3956	REDONDO BEACH BLVD	BEGIN AC (310' E/ NORMANDIE AVE)	END AC (310' W/ BUDLONG AVE)	AC	A	4	~	635	70	64,428	74	50	50	0	8/12/24	Cold Mill and Overlay - 2 Inches	2/4/14	
REDOND	3955	REDONDO BEACH BLVD	BEGIN PCC (350' W/ NORMANDIE AVE)	END PCC (310' E/ NORMANDIE AVE)	PCC	A	6	~	695	75	37,005	74	37	19	44	8/12/24	New Construction - Initial	1/1/80	
VERMON	4350	VERMONT AVE (SB ONLY)	BEGIN PCC (285' N/ ROSECRANS AVE)	END PCC (130' S/ ROSECRANS AVE)	PCC	A	3	~	510	50	30,465	75	29	43	28	8/5/24	New Construction - Initial	1/1/80	
ELSEGU	2825	EL SEGUNDO BLVD (EB ONLY)	END PCC (70' E/ VAN NESS AVE)	WESTERN	APC	A	3	~	2,492	36	89,712	75	44	49	7	7/31/24	Cold Mill and Overlay	6/1/08	
CRENSH	2540	CRENSHAW BLVD (NB ONLY)	REDONDO BEACH BLVD	END PCC (120' N/ REDONDO BEACH BLVD)	PCC	A	3	~	180	32	8,725	75	29	27	44	8/5/24	New Construction - Initial	1/1/80	
REDOND	3954	REDONDO BEACH BLVD	NUANU	BEGIN PCC (325' W/ NORMANDIE AVE)	AC	A	4	~	448	68	39,426	75	87	13	0	8/12/24	Cold Mill and Overlay - 2 Inches	2/4/14	
WESTER	4500	WESTERN AVE	MARINE	153 RD ST	AC	A	4	~	665	70	46,550	75	33	39	28	8/6/24	Cold Mill and Overlay - 2 Inches	10/21/09	
WESTER	4542	WESTERN AVE	169 TH PL	166 TH ST	PCC	A	1	~	940	6	5,640	75	30	53	17	8/13/24	New Construction - Initial	1/1/80	
WESTER	453202	WESTERN AVE	240' S/ GARDENA BLVD	162 ND ST	PCC	A	1	~	898	6	5,388	75	35	54	11	8/13/24	New Construction - Initial	6/7/21	
REDOND	3944	REDONDO BEACH BLVD	BEGIN PCC 310' W/ WESTERN AVE)	WESTERN AVE	PCC	A	4	~	310	70	15,121	76	25	36	39	8/12/24	New Construction - Initial	1/1/80	
REDOND	3933	REDONDO BEACH BLVD	65' W/ VAN NESS	280' W/ VAN NESS	PCC	A	1	~	215	6	1,290	76	27	45	28	8/12/24	New Construction - Initial	1/1/80	
WESTER	4502	WESTERN AVE	153 RD ST	END AC (310' N/ REDONDO BEACH BLVD)	AC	A	4	~	1,216	70	85,120	76	41	26	33	8/6/24	Cold Mill and Overlay - 2 Inches	10/21/09	
ELSEGU	2840	EL SEGUNDO BLVD (EB ONLY)	NORMANDIE	END PCC (235' E/ NORMANDIE)	PCC	A	3	~	315	36	11,340	76	24	41	35	8/5/24	New Construction - Initial	1/1/80	
REDOND	3940	REDONDO BEACH BLVD	BEGIN AC (325' E/ VAN NESS)	GRAMERCY PL	AC	A	4	~	1,080	70	83,740	77	69	11	20	8/12/24	Cold Mill and Overlay - 2 Inches	2/4/14	
ELSEGU	2845	EL SEGUNDO BLVD (EB ONLY)	END PCC (235' E/ NORMANDIE)	BUDLONG	APC	A	3	~	955	36	34,880	77	42	57	1	8/5/24	Cold Mill and Overlay	6/1/08	
REDOND	3960	REDONDO BEACH BLVD	END AC (270' W/ VERMONT AVE)	VERMONT AVE	PCC	A	4	~	270	80	14,045	77	24	38	38	8/12/24	New Construction - Initial	1/1/80	
VERMON	4365	VERMONT AVE (SB ONLY)	BEGIN AC (90' S/ MARINE AVE)	END AC (285' N/ REDONDO BEACH BLVD)	AC	A	3	~	307	33	10,131	77	78	22	0	8/5/24	Cold Mill and Overlay - 2 Inches	10/1/14	
WESTER	4465	WESTERN AVE	132 ND ST	END AC	AC	A	4	~	925	76	78,725	77	68	32	0	8/6/24	Cold Mill and Overlay - 2 Inches	10/21/09	
ROSECR	4655	ROSECRANS AVE	WESTERN	GRAMERCY	AC	A	3	~	1,320	31	42,837	77	29	0	71	6/14/24	New Construction - Initial	1/1/80	
WESTER	4480	WESTERN AVE	139 TH ST	ROSECRANS	AC	A	4	~	1,287	72	92,185	77	37	46	17	8/6/24	Cold Mill and Overlay - 2 Inches	10/21/09	
ROSECR	4660	ROSECRANS AVE	GRAMERCY	VAN NESS	AC	A	3	~	1,320	31	49,440	78	28	40	32	6/14/24	New Construction - Initial	1/1/80	
VERMON	4375	VERMONT AVE (SB ONLY)	BEGIN AC 110' S/ REDONDO BEACH BLVD	MAGNOLIA	AC	A	3	~	1,175	48	55,145	78	43	56	1	8/6/24	Cold Mill and Overlay - 2 Inches	10/1/14	
WESTER	4459	WESTERN AVE	EL SEGUNDO	END PCC	PCC	A	4	~	335	37	17,070	78	30	24	46	8/6/24	New Construction - Initial	1/1/80	
WESTER	4469	WESTERN AVE	135 TH ST	END PCC	PCC	A	4	~	290	40	17,880	78	33	26	41	8/6/24	New Construction - Initial	1/1/80	
NORMAN	3680	NORMANDIE AVE	MARINE	ROSECRANS	AC	A	4	~	3,316	56	185,696	79	69	1	30	7/31/24	Cold Mill and Overlay - 2 Inches	10/1/14	
WESTER	453402	WESTERN AVE	85' S/ 165 TH PL	165 TH PL	PCC														

City of Gardena, CA
Pavement Condition Index (PCI) Report - All Streets

Sorted by Rank, PCI Order (0-100)

REDOND	395602	REDONDO BEACH BLVD	55' E/ NORMANDIE AVE	310' W/ BUDLONG	PCC	A	1	~	875	6	5,250	80	17	60	23	8/12/24	New Construction - Initial	1/1/80
ROSECR	4000	ROSECRANS AVE	END PCC 80' E/ NORMANDIE	BUDLONG	AC	A	3	~	1,205	30	38,910	81	38	47	15	6/14/24	Cold Mill and Overlay - 2 Inches	2/4/15
REDOND	395401	REDONDO BEACH BLVD	80' W/ NORMANDIE	NUANU DR	PCC	A	1	~	675	6	4,050	81	39	60	1	8/12/24	New Construction - Initial	1/1/80
REDOND	395601	REDONDO BEACH BLVD	85' W/ BUDLONG	310' E/ NORMANDIE	PCC	A	1	~	860	6	5,160	81	65	17	18	8/12/24	New Construction - Initial	1/1/80
ROSECR	4665	ROSECRANS AVE	VAN NESS	PURCHE	AC	A	3	~	850	31	30,615	81	34	14	52	6/14/24	New Construction - Initial	1/1/80
WESTER	4519	WESTERN AVE	115' S/ REDONDO BEACH BLVD	158 TH ST	PCC	A	1	~	240	6	1,440	81	68	32	0	8/6/24	New Construction - Initial	1/1/80
REDOND	3942	REDONDO BEACH BLVD	GRAMERCY PL	BEGIN PCC (310' W/ WESTERN AVE)	AC	A	4	~	1,048	68	77,029	82	91	9	0	8/12/24	Cold Mill and Overlay - 2 Inches	2/4/14
REDOND	3951	REDONDO BEACH BLVD	NUANU	DENKER	PCC	A	1	~	665	6	3,990	82	38	51	11	8/12/24	New Construction - Initial	1/1/80
REDOND	3943	REDONDO BEACH BLVD	GRAMERCY PL	310' W/ WESTERN	PCC	A	1	~	1,055	6	6,330	83	40	52	8	8/12/24	New Construction - Initial	1/1/80
VERMON	4390	VERMONT AVE (SB ONLY)	161ST ST	164TH ST	AC	A	3	~	930	41	39,668	83	58	25	17	5/24/24	Cold Mill and Overlay - 2 Inches	10/1/14
REDOND	3948	REDONDO BEACH BLVD	DENKER	300' E/ WESTERN AVE	PCC	A	1	~	1,099	6	6,594	83	42	46	12	8/12/24	New Construction - Initial	6/7/21
VERMON	4420	VERMONT AVE (SB ONLY)	ARTESIA BLVD	N/S WATER CHANNEL (S/ CASSIDY ST)	AC	A	2	~	485	30	15,945	83	100	0	0	8/6/24	New Construction - Initial	1/1/80
WESTER	4539	WESTERN AVE	320' S/ 169 TH PL	ARTESIA BLVD	PCC	A	1	~	1,275	6	7,650	83	28	68	4	8/6/24	New Construction - Initial	1/1/80
ROSECR	3975	ROSECRANS AVE	PURCHE	VAN NESS	APC	A	3	~	850	31	31,350	83	89	11	0	6/14/24	Cold Mill and Overlay - 2 Inches	10/1/14
REDOND	3949	REDONDO BEACH BLVD	70' E/ WESTERN AVE	DENKER	PCC	A	1	~	1,330	6	7,980	84	45	27	28	8/12/24	New Construction - Initial	1/1/80
ROSECR	3980	ROSECRANS AVE	VAN NESS	GRAMERCY	AC	A	3	~	1,320	31	45,375	84	65	6	29	6/14/24	Cold Mill and Overlay - 2 Inches	10/1/14
ROSECR	3985	ROSECRANS AVE	GRAMERCY	WESTERN	AC	A	3	~	1,320	31	45,240	84	54	17	29	6/14/24	Cold Mill and Overlay - 2 Inches	10/1/14
REDOND	395901	REDONDO BEACH BLVD	85' W/ VERMONT	295' E/ BUDLONG	PCC	A	1	~	835	6	5,010	84	40	52	8	8/12/24	New Construction - Initial	1/1/80
REDOND	395902	REDONDO BEACH BLVD	75' E/ BUDLONG	270' W/ VERMONT AVE	PCC	A	1	~	840	6	5,040	85	28	53	19	8/12/24	New Construction - Initial	1/1/80
REDOND	3941	REDONDO BEACH BLVD	75' W/ WESTERN AVE	GRAMERCY PL	PCC	A	1	~	1,287	6	7,722	85	43	33	24	8/12/24	New Construction - Initial	1/1/80
ROSECR	4005	ROSECRANS AVE	BUDLONG	PCC 260' W/ VERMONT	AC	A	3	~	950	30	32,140	85	38	62	0	6/14/24	Cold Mill and Overlay - 2 Inches	2/4/15
ELSEGU	2820	EL SEGUNDO BLVD (EB ONLY)	END PCC 210' E/ CRENSHAW	WILKIE AVE	APC	A	3	~	830	36	29,880	85	75	21	4	7/31/24	Cold Mill and Overlay	6/1/08
REDOND	3953	REDONDO BEACH BLVD	DENKER	NUANU	PCC	A	1	~	660	6	3,960	85	51	49	0	8/12/24	New Construction - Initial	1/1/80
ROSECR	4645	ROSECRANS AVE	END PCC 85' W/ NORMANDIE	DENKER	AC	A	3	~	1,207	31	45,340	86	80	17	3	6/14/24	New Construction - Initial	1/1/80
WESTER	4529	WESTERN AVE	158 TH ST	162 ND ST	PCC	A	1	~	1,290	6	7,740	86	35	64	1	8/6/24	New Construction - Initial	1/1/80
WESTER	4490	WESTERN AVE	ROSECRANS	147 TH ST	AC	A	4	~	1,450	70	101,500	86	59	39	2	8/6/24	Cold Mill and Overlay - 2 Inches	10/21/09
NORMAN	3690	NORMANDIE AVE	ROSECRANS	139 TH ST	AC	A	4	~	1,320	55	72,600	86	79	0	21	7/31/24	Cold Mill and Overlay - 2 Inches	11/1/14
WESTER	4520	WESTERN AVE	REDONDO BEACH BLVD	END PCC (158 TH ST)	PCC	A	4	~	317	40	17,510	86	52	6	42	8/6/24	New Construction - Initial	1/1/80
ELSEGU	2822	EL SEGUNDO BLVD (EB ONLY)	WILKIE AVE	PCC 290' W/ VAN NESS AVE	APC	A	3	~	1,240	36	44,640	87	99	1	0	7/31/24	Cold Mill and Overlay	6/1/08
WESTER	453201	WESTERN AVE	162 ND ST	140' S/ GARDENA BLVD	PCC	A	1	~	798	6	4,788	87	32	47	21	8/6/24	New Construction - Initial	1/1/80
ROSECR	3990	ROSECRANS AVE	WESTERN	DENKER	AC	A	3	~	1,295	31	45,615	87	46	44	10	6/14/24	Cold Mill and Overlay - 2 Inches	10/1/14
CRENSH	2542	CRENSHAW BLVD (NB ONLY)	BEGIN AC 120' N/ REDONDO BEACH BLVD	END AC 260' S/ MANHATTAN BEACH BLVD	AAC	A	3	~	1,161	37	42,957	87	53	18	29	8/5/24	Overlay - AC Structural	6/3/19
WESTER	4489	WESTERN AVE	146 TH ST	147 TH ST	PCC	A	1	~	415	6	2,490	87	39	56	5	8/6/24	New Construction - Initial	1/1/80
WESTER	4501	WESTERN AVE	153 RD ST	310' N/ REDONDO BEACH BLVD	PCC	A	1	~	1,216	6	7,296	87	30	69	1	8/6/24	New Construction - Initial	1/1/80
ROSECR	4650	ROSECRANS AVE	DENKER	WESTERN	AC	A	3	~	1,286	31	47,777	87	43	16	41	6/14/24	New Construction - Initial	1/1/80
WESTER	4541	WESTERN AVE	ARTESIA BLVD	169 TH PL	PCC	A	1	~	1,595	6	9,570	88	37	63	0	8/6/24	New Construction - Initial	1/1/80
WESTER	4495	WESTERN AVE	147 TH ST	MARINE	AC	A	4	~	1,185	70	82,950	88	74	22	4	8/6/24	Cold Mill and Overlay - 2 Inches	10/21/09
NORMAN	3710	NORMANDIE AVE	135 TH ST	EL SEGUNDO BLVD	AC	A	4	~	2,644	55	145,240	88	70	5	25	7/31/24	Cold Mill and Overlay - 2 Inches	10/1/14
NORMAN	3700	NORMANDIE AVE	139 TH ST	135 TH ST	AC	A	4	~	1,320	55	72,600	88	69	24	7	7/31/24	Cold Mill and Overlay - 2 Inches	10/1/14
WESTER	4499	WESTERN AVE	MARINE	153 RD ST	PCC	A	1	~	665	6	3,990	88	73	27	0	8/6/24	New Construction - Initial	1/1/80
WESTER	4494	WESTERN AVE	147 TH ST	MARINE	PCC	A	1	~	1,185	6	7,110	89	38	62	0	8/6/24	New Construction - Initial	1/1/80
REDOND	395402	REDONDO BEACH BLVD	NUANU	325' W/ NORMANDIE	PCC	A	1	~	445	6	2,670	89	47	23	30	8/12/24	New Construction - Initial	1/1/80
ROSECR	4635	ROSECRANS AVE	END PCC	BUDLONG	AC	A	3	~	1,140	31	40,672	89	46	45	9	6/14/24	New Construction - Initial	1/1/80
ROSECR	3970	ROSECRANS AVE	CRENSHAW	PURCHE	APC	A	3	~	1,782	31	57,789	90	27	44	29	6/14/24	Cold Mill and Overlay - 2 Inches	10/1/14
WESTER	4538	WESTERN AVE	166 TH ST	169 TH PL	PCC	A	1	~	935	6	5,610	90	47	53	0	8/6/24	New Construction - Initial	1/1/80
NORMAN	3650	NORMANDIE AVE	ARTESIA BLVD	166 TH ST	AAC	A	4	~	2,682	57	152,874	91	30	12	58	5/24/24	Overlay - AC Structural	6/1/20
CRENSH	2555	CRENSHAW BLVD (NB ONLY)	MARINE	147TH ST	AAC	A	3	~	1,330	38	50,540	91	97	0	3	6/7/24	Overlay - AC Structural	6/3/19
CRENSH	2545	CRENSHAW BLVD (NB ONLY)	N/S MANHATTAN BEACH BLVD	154TH ST	AAC	A	3	~	1,258	38	47,804	91	91	9	0	8/5/24	Overlay - AC Structural	6/3/19
CRENSH	2550	CRENSHAW BLVD (NB ONLY)	154TH ST	MARINE	AAC	A	3	~	1,326	38	50,388	91	89	11	0	8/5/24	Overlay - AC Structural	6/3/19
ROSECR	3995	ROSECRANS AVE	DENKER	PCC 225' W/ NORMANDIE	AC	A	3	~	1,054	31	37,310	91	100	0	0	6/14/24	Cold Mill and Overlay - 2 Inches	10/1/14
WESTER	4503	WESTERN AVE	100' N/ REDONDO BEACH BLVD	154 TH ST	PCC	A	1	~	1,110	6	6,660	91	87	12	1	8/13/24	New Construction - Initial	1/1/80
CRENSH	2560	CRENSHAW BLVD (NB ONLY)	147TH ST	ROSECRANS	AAC	A	3	~	1,285	36	42,255	92	100	0	0	6/7/24	Overlay - AC Structural	6/3/19
ROSECR	4670	ROSECRANS AVE	PURCHE	CRENSHAW	AC	A	3	~	1,735	31	55,830	93	40	53	7	6/14/24	New Construction - Initial	1/1/80
ROSECR	4640	ROSECRANS AVE	BUDLONG	PCC 245' E/ NORMANDIE	AC	A	3	~	1,046	31	37,160	93	79	0	21	6/14/24	New Construction - Initial	1/1/80
NORMAN	3660	NORMANDIE AVE	166 TH ST	REDONDO BEACH BLVD	AAC	A	4	~	4,353	54	235,062	94	58	0	42	5/24/24	Overlay - AC Structural	6/1/20
WESTER	4534	WESTERN AVE	GARDENA BLVD	166 TH ST	AC	A	4	~	665	60	39,900	95	100	0	0	8/6/24	Cold Mill and Overlay - 2 Inches	10/1/14
VERMON	4395	VERMONT AVE (SB ONLY)	164TH ST	GARDENA BLVD	AC	A	2	~	360	33	11,175	95	100	0	0	8/6/24	New Construction - Initial	1/1/80
WESTER	4540	WESTERN AVE	166 TH ST	ARTESIA	AC	A	4	~	2,515	64	160,960	98	100	0	0	5/24/24	Cold Mill and Overlay	1/28/15
VERMON	4410	VERMONT AVE (SB ONLY)	170TH ST	ARTESIA	AAC	A	2	~	1,385	33	52,155	99	100	0	0	8/6/24	Overlay - AC Structural	11/21/23
WESTER	4530	WESTERN AVE	BEGIN AC (158 TH ST)	162 ND ST	AC	A	4	~	1,368	65	95,573	99	100	0	0	8/6/24	Cold Mill and Overlay - 2 Inches	10/1/14
VERMON	4405	VERMONT AVE (SB ONLY)	168TH ST	170TH ST	AAC	A	2	~	868	30	26,040	99	100	0	0	8/6/24	Overlay - AC Structural	11/21/23
WESTER	4532	WESTERN AVE	162 ND ST	GARDENA BLVD	AC	A	4	~	660	64	42,240	99	100	0	0	8/6/24	Cold Mill and Overlay - 2 Inches	10/1/14
ARTESI	1935	ARTESIA BLVD	VERMONT	NORMANDIE	AAC	A	4	~	2,385	56	146,995	100	0	0	0	8/26/24	Overlay - AC Structural	8/26/24
ARTESI	1925	ARTESIA BLVD	DALTON	NORMANDIE	AAC	A	3	~	1,445	34	74,235	100	0	0	0	8/26/24	Overlay - AC Structural	8/26/24
ARTESI	1940	ARTESIA BLVD	DALTON	MARUKAI	AAC	A	3	~	1,025	34	43,010	100	0	0	0	8/26/24	Overlay - AC Structural	8/26/24
ARTESI	1938	ARTESIA BLVD	NORMANDIE	DALTON	AAC	A	3	~	1,445	42	69,195	100	0	0	0	8/26/24	Overlay - AC Structural	8/26/24
ARTESI	1930	ARTESIA BLVD	NORMANDIE	VERMONT	AAC	A	4	~	2,385									

City of Gardena, CA
Pavement Condition Index (PCI) Report - All Streets

Sorted by Rank, PCI Order (0-100)

Collectors										26.8		5,866,177									
164ST	1490	164 th ST	NORMANDIE	NEW HAMPSHIRE	PCC	C	2	Area 5	2,140	42	89,880	29	14	83	3	8/13/24	New Construction - Initial	1/1/80			
132 ST	160	132 nd ST	VAN NESS	CIMARRON	AC	C	2	Area 1	800	32	25,600	46	23	76	1	6/7/24	Cold Mill and Overlay	12/15/05			
HALLDA	3060	HALLDALE AVE	ROSECRANS	145 TH ST	AC	C	2	Area 3	526	32	16,832	46	33	57	10	7/29/24	Surface Treatment - Slurry Seal	7/15/18			
132 ST	170	132 nd ST	WILTON	MANHATTAN	AC	C	2	Area 1	978	32	31,296	50	28	64	8	6/13/24	New Construction - Initial	1/1/80			
WADKIN	4450	WADKINS AVE	MARINE	147 TH ST	AC	C	2	Area 4	1,220	30	36,600	53	34	47	19	7/18/24	Cold Mill and Overlay	6/15/08			
NWHAMP	3625	NEW HAMPSHIRE AVE	170 TH ST	END	AC	C	2	Area 6	690	32	22,080	55	51	49	0	5/24/24	Cold Mill and Overlay	6/17/09			
168 ST	1594	168 th ST	RAYMOND AVE	BERENDO	AC	C	2	Area 6	750	34	25,500	58	46	53	1	5/24/24	Cold Mill and Overlay	10/1/11			
146 ST	750	146 th ST	WESTERN	DENKER	AC	C	2	Area 3	1,220	36	43,920	59	31	62	7	7/29/24	New Construction - Initial	1/1/80			
162 ST	1420	162 nd ST	CITY LIMIT, GRAMERCY	WESTERN AV	AC	C	2	Area 5	1,256	60	75,960	60	36	41	23	7/24/24	Cold Mill and Overlay	6/17/09			
132 ST	175	132 nd ST	MANHATTAN	WESTERN	AC	C	2	Area 1	392	32	12,544	61	28	72	0	6/13/24	New Construction - Initial	1/1/80			
168 ST	1590	168 th ST	NORMANDIE	RAYMOND AVE	AC	C	2	Area 6	1,193	32	38,176	61	51	48	1	5/24/24	Cold Mill and Overlay	10/1/11			
VAN BU	4280	VAN BUREN AVE	155 TH ST	MAGNOLIA	AC	C	2	Area 5	572	34	19,448	62	34	66	0	6/21/24	Cold Mill and Overlay	12/15/05			
HALLDA	3062	HALLDALE AVE	145 TH ST	147 TH ST	AC	C	2	Area 3	970	26	28,782	62	31	69	0	7/29/24	Surface Treatment - Slurry Seal	7/15/18			
145 ST	690	145 th ST	DENKER	NORMANDIE	AC	C	2	Area 3	1,220	30	36,600	64	49	51	0	7/29/24	Cold Mill and Overlay	10/1/11			
MARINE	3482	MARINE AVE	BUDLONG	BERENDO	APC	C	2	Area 3	660	33	21,780	65	50	24	26	8/13/24	Overlay - AC Thin	10/15/06			
BUDLA	2260	BUDLONG AVE	REDONDO BEACH BLVD	155 TH ST	AC	C	2	Area 5	572	36	20,592	65	20	70	10	6/21/24	Cold Mill and Overlay	3/4/09			
MARINE	3475	MARINE AVE	DENKER	HALLDALE	APC	C	3	Area 3	660	40	26,400	65	66	6	28	8/13/24	Cold Mill and Overlay	10/15/06			
157 ST	1240	157 th ST	VAN NESS	GRAMERCY	AC	C	2	Area 4	1,195	32	38,240	65	35	65	0	6/20/24	Cold Mill and Overlay	8/4/09			
MARINE	3470	MARINE AVE	WESTERN	DENKER	APC	C	3	Area 3	1,282	40	55,798	65	70	0	30	8/13/24	Cold Mill and Overlay	10/15/06			
MARIPO	3490	MARIPOSA AVE	135 TH ST	137 TH ST	AC	C	2	Area 2	573	28	16,044	65	37	63	0	6/13/24	Surface Treatment - Slurry Seal	7/15/18			
MARINE	3476	MARINE AVE	HALLDALE	NORMANDIE	APC	C	3	Area 3	630	42	26,640	66	62	9	29	8/13/24	Cold Mill and Overlay	10/15/06			
MARINE	3480	MARINE AVE	NORMANDIE	BUDLONG	APC	C	2	Area 3	1,286	32	41,152	66	62	11	27	8/13/24	Overlay - AC Thin	10/15/06			
HALLDA	3064	HALLDALE AVE	147 TH ST	MARINE	AC	C	2	Area 3	1,080	26	28,330	67	40	60	0	7/29/24	Surface Treatment - Slurry Seal	7/15/18			
145 ST	670	145 th ST	GRAMERCY	WESTERN	AC	C	2	Area 4	1,195	26	31,070	68	53	43	4	7/24/24	New Construction - Initial	1/1/80			
147 ST	780	147 th ST	CRENSHAW	DUBLIN	AC	C	2	Area 4	1,275	41	52,275	68	35	65	0	7/24/24	Surface Treatment - Slurry Seal	6/1/20			
MARINE	3484	MARINE AVE	BERENDO	END AC (70' W/ VERMONT)	APC	C	2	Area 3	486	33	16,038	68	67	0	33	8/13/24	Overlay - AC Thin	10/15/06			
ST AND	4160	ST ANDREWS PL	ROSECRANS	145 TH ST	AC	C	2	Area 4	625	25	15,625	68	51	49	0	7/24/24	Cold Mill and Overlay	10/1/11			
145 ST	680	145 th ST	WESTERN	DENKER	AC	C	2	Area 3	1,220	24	29,280	68	72	9	19	7/29/24	Cold Mill and Overlay - 2 Inches	2/4/12			
144 ST	620	144 th ST	WESTERN	DENKER	AC	C	2	Area 3	1,220	25	30,500	69	45	42	13	7/29/24	Cold Mill and Overlay - 2 Inches	2/1/12			
168 ST	1596	168 th ST	BERENDO	VERMONT	AC	C	2	Area 6	620	34	21,080	69	47	41	12	5/24/24	Cold Mill and Overlay	10/1/11			
BEREND	2080	BERENDO AVE	GARDENA	168 TH ST	AC	C	2	Area 5	868	38	33,820	69	40	60	0	5/24/24	Cold Mill and Overlay	2/4/09			
166 TH	1550	166 th ST	WESTERN (CONCRETE)	NORMANDIE	PCC	C	2	Area 5	2,740	50	137,000	69	43	36	21	8/13/24	New Construction - Initial	1/1/80			
GRAMER	2985	GRAMERCY PL	156 TH ST	REDONDO BEACH BLVD	AC	C	2	Area 4	735	33	24,255	69	69	31	0	7/24/24	Cold Mill and Overlay	4/23/08			
BEREND	2070	BERENDO AVE	162 ND ST	GARDENA	AC	C	2	Area 5	921	32	29,472	69	50	50	0	5/24/24	Cold Mill and Overlay	6/17/09			
147 ST	785	147 th ST	DUBLIN	VAN NESS	AC	C	2	Area 4	1,290	41	52,890	70	38	62	0	7/24/24	Surface Treatment - Slurry Seal	6/1/20			
GRAMER	2982	GRAMERCY PL	154 TH ST	156 TH ST	AC	C	2	Area 4	975	34	33,150	70	49	47	4	7/24/24	Cold Mill and Overlay	4/23/08			
DENKER	2750	DENKER AVE	MARINE	REDONDO BEACH BLVD	AC	C	2	Area 3	1,593	34	54,162	70	49	51	0	7/29/24	Cold Mill and Overlay	10/1/11			
BEREND	2090	BERENDO AVE	168 TH ST	170 TH ST	AC	C	2	Area 6	832	34	28,288	71	43	48	9	5/24/24	Cold Mill and Overlay	6/17/09			
DENKER	2740	DENKER AVE	ROSECRANS	146 TH ST	AC	C	2	Area 3	1,028	24	25,472	71	55	45	0	7/29/24	Cold Mill and Overlay - 2 Inches	10/1/11			
VAN NE	4320	VAN NESS AVE	BEGIN PCC (300' N/ REDONDO BEACH)	REDONDO BEACH BLVD	PCC	C	4	Area 4	302	72	15,225	71	16	57	27	8/12/24	New Construction - Initial	1/1/80			
MARINE	3485	MARINE AVE	BEGIN PCC (70' W/ VERMONT)	VERMONT	PCC	C	2	0	70	32	2,240	71	31	48	21	8/13/24	New Construction - Initial	1/1/80			
135 ST	300	135 th ST	CRENSHAW	WATER CHANNEL	PCC	C	4	Area 1	145	58	7,295	72	27	11	62	7/31/24	New Construction - Initial	1/1/80			
139 ST	440	139 th ST	WESTERN	NORMANDIE	AC	C	2	Area 2	2,532	36	91,152	72	24	68	8	5/31/24	New Construction - Initial	1/1/80			
DENKER	2785	DENKER AVE	170 TH ST	ARTESIA	AC	C	2	Area 6	1,275	34	43,350	73	22	64	14	6/27/24	Cold Mill and Overlay	10/1/11			
LASALL	3300	LA SALLE AVE	REDONDO BEACH BLVD	158 TH ST	AC	C	2	Area 5	697	33	23,001	73	89	11	0	6/28/24	Cold Mill and Overlay	2/4/12			
BUDLA	2280	BUDLONG AVE	MAGNOLIA AV	161 ST ST	AC	C	2	Area 5	1,290	35	45,150	73	55	40	5	5/24/24	Cold Mill and Overlay	3/4/09			
MANHAT	3384	MANHATAN BEACH BLVD	VAN NESS	END PCC (95' W/ VAN NESS)	PCC	C	2	Area 4	95	28	3,040	74	59	0	41	7/18/24	New Construction - Initial	1/1/80			
149 ST	880	149 th ST	WESTERN	DENKER	AC	C	2	Area 3	1,220	24	29,280	74	88	12	0	7/29/24	Cold Mill and Overlay	10/1/11			
RAYM A	3830	RAYMOND AVE	135 TH ST	137 TH ST	AC	C	2	Area 2	573	32	18,336	74	37	59	4	6/13/24	Surface Treatment - Slurry Seal	7/15/18			
135 ST	320	135 th ST	WESTERN	NORMANDIE	AC	C	4	Area 2	2,650	56	148,400	74	31	25	44	7/31/24	Cold Mill and Overlay	10/21/09			
146 ST	740	146 th ST	GRAMERCY	WESTERN	AC	C	2	Area 4	1,195	26	31,070	74	84	16	0	7/24/24	Cold Mill and Overlay	10/1/11			
ST AND	4162	ST ANDREWS PL	145 TH ST	148 TH ST	AC	C	2	Area 4	1,095	25	27,375	75	74	26	0	7/24/24	Cold Mill and Overlay	10/1/11			
MARINE	3450	MARINE AVE	CRENSHAW	CASIMIR	APC	C	4	Area 4	1,245	52	65,720	76	63	0	37	8/13/24	Cold Mill and Overlay	2/4/13			
MAGNOL	3370	MAGNOLIA AVE	BUDLONG	VERMONT	AC	C	2	Area 5	1,246	33	41,118	76	42	58	0	6/21/24	New Construction - Initial	1/1/80			
VAN NE	4289	VAN NESS AVE	EL SEGUNDO	END PCC	PCC	C	2	Area 1	265	32	10,405	76	35	46	19	8/5/24	New Construction - Initial	1/1/80			
132 ST	190	132 nd ST	NORMANDIE	BUDLONG	AC	C	2	Area 2	1,120	56	62,720	76	50	48	2	6/13/24	Surface Treatment - Slurry Seal	7/15/18			
178 ST	1745	178 th ST	EVELYN	NORMANDIE	AC	C	2	Area 6	1,018	36	36,648	76	47	46	7	6/27/24	Cold Mill and Overlay	2/4/13			
182 ST	1790	182 nd ST	CITY LIMITS (1328 W 182ND ST)	BUDLONG	AC	C	2	Area 6	935	56	55,220	76	92	8	0	6/27/24	Cold Mill and Overlay - 2 Inches	10/1/11			
BEREND	2095	BERENDO AVE	170 TH ST	END	AC	C	2	Area 6	465	34	15,810	76	45	43	12	5/24/24	Surface Treatment - Slurry Seal	3/21/24			
135 ST	330	135 th ST	NORMANDIE	BUDLONG	AC	C	4	Area 2	1,210	60	72,600	76	33	29	38	7/31/24	Cold Mill and Overlay	10/21/09			
MARINE	3455	MARINE AVE	CASIMIR	VAN NESS	APC	C	4	Area 4	1,315	52	72,180	77	57	1	42	8/13/24	Cold Mill and Overlay	2/4/13			
BUDLA	2286	BUDLONG AVE	164 TH ST	GARDENA BLVD	AC	C	2	Area 5	268	40	10,720	77	83	17	0	6/21/24	Cold Mill and Overlay	3/4/09			
ST AND	4164	ST ANDREWS PL	148 TH ST	MARINE	AC	C	2	Area 4	855	25	21,375	77	100	0	0	7/24/24	Cold Mill and Overlay	10/1/11			

City of Gardena, CA
Pavement Condition Index (PCI) Report - All Streets

Sorted by Rank, PCI Order (0-100)

182 ST	1795	182 nd ST	BUDLONG	VERMONT	AC	C	2	Area 6	1,372	56	77,610	81	70	14	16	6/27/24	Cold Mill and Overlay - 2 Inches	10/1/11
MARINE	3465	MARINE AVE	GRAMERCY	WESTERN	APC	C	4	Area 4	1,282	52	66,664	81	70	0	30	8/13/24	Cold Mill and Overlay	2/4/13
178 ST	1742	178 th ST	LA SALLE	EVELYN	AC	C	2	Area 6	1,015	36	34,895	81	82	11	7	6/27/24	Cold Mill and Overlay	2/4/13
DENKER	2780	DENKER AVE	166 TH ST	170 TH ST	AC	C	2	Area 6	1,298	34	44,132	81	43	0	57	6/27/24	Surface Treatment - Slurry Seal	3/21/24
164ST	1492	164 th ST	NEW HAMPSHIRE	VERMONT	AC	C	2	Area 5	300	42	13,030	82	100	0	0	6/21/24	New Construction - Initial	1/1/80
MANHAT	3387	MANHATAN BEACH BLVD	BEGIN PCC (260' E/ CRENSHAW)	CRENSHAW	PCC	C	2	Area 4	300	32	11,585	82	34	31	35	7/18/24	New Construction - Initial	1/1/80
135 ST	310	135 th ST	VAN NESS	WESTERN	AC	C	4	Area 1	2,615	56	146,440	82	45	51	4	7/31/24	Cold Mill and Overlay	10/21/09
135 ST	305	135 th ST	ARCTURUS	VAN NESS	AC	C	4	Area 1	1,095	56	61,320	82	77	23	0	7/31/24	Cold Mill and Overlay	10/21/09
150 ST	960	150 th ST	WESTERN	HARVARD BLVD	AC	C	2	Area 3	597	24	14,328	82	100	0	0	7/29/24	Surface Treatment - Slurry Seal	7/15/18
BUDLA	2210	BUDLONG AVE	EL SEGUNDO	132 ND ST	AAC	C	2	Area 2	1,355	32	43,360	82	34	64	2	6/13/24	Overlay - AC Structural	7/21/23
BUDLA	2285	BUDLONG AVE	161 ST ST	164 TH ST	AC	C	2	Area 5	945	36	34,020	83	69	29	2	6/21/24	Cold Mill and Overlay	3/4/09
HALLDA	3050	HALLDALE AVE	ROSECRANS	139 TH ST	AAC	C	2	Area 2	1,220	28	34,160	83	20	80	0	7/30/24	Overlay - AC Thin	7/15/18
135 ST	335	135 th ST	BUDLONG	VERMONT	AC	C	4	Area 2	1,330	60	79,800	83	50	15	35	7/31/24	Cold Mill and Overlay	10/21/09
MANHAT	3385	MANHATAN BEACH BLVD	BEGIN AC (95' W/ VAN NESS)	ARCTURUS	AC	C	2	Area 4	1,005	28	29,835	83	34	66	0	7/18/24	Cold Mill and Overlay	10/1/14
LASALL	3290	LA SALLE AVE	147 TH ST	MARINE	AC	C	2	Area 3	996	26	25,896	83	84	16	0	7/29/24	Surface Treatment - Slurry Seal	7/15/18
GRAMER	2972	GRAMERCY PL	147 TH ST	149 TH ST	AC	C	2	Area 4	560	34	19,040	83	100	0	0	7/24/24	Cold Mill and Overlay	10/1/11
147 ST	810	147 th ST	DENKER	HALLDALE	AC	C	2	Area 3	597	26	15,522	84	77	23	0	7/29/24	Surface Treatment - Slurry Seal	7/15/18
147 ST	800	147 th ST	WESTERN	DENKER	AC	C	2	Area 3	1,220	30	36,600	85	71	29	0	7/29/24	Cold Mill and Overlay	10/1/11
MANHAT	3383	MANHATAN BEACH BLVD	BEGIN PCC (270' W/ VAN NESS)	VAN NESS	PCC	C	2	Area 4	272	36	9,975	85	31	16	53	7/18/24	New Construction - Initial	1/1/80
132 ST	150	132 nd ST	ARDATH AV	ARCTURUS	AAC	C	2	Area 1	735	32	23,520	85	48	0	52	6/7/24	Overlay - AC Structural	6/1/20
DENKER	2744	DENKER AVE	149 TH ST	MARINE	AC	C	2	Area 3	725	26	18,850	85	81	19	0	7/29/24	Cold Mill and Overlay - 2 Inches	10/1/11
BUDLA	2220	BUDLONG AVE	139 TH ST	ROSECRANS	AAC	C	2	Area 2	1,285	32	40,770	85	49	51	0	6/13/24	Overlay - AC Structural	7/21/23
DENKER	2742	DENKER AVE	146 TH ST	149 TH ST	AC	C	2	Area 3	836	26	21,986	86	83	17	0	7/29/24	Cold Mill and Overlay - 2 Inches	10/1/11
VAN NE	4290	VAN NESS AVE	BEGIN AC (265' S/ EL SEGUNDO)	132 ND ST	AAC	C	4	Area 1	1,085	56	66,810	86	100	0	0	5/31/24	Overlay - AC Structural	11/17/05
NWHAMP	3620	NEW HAMPSHIRE AVE	167 TH ST	168 TH ST	AC	C	2	Area 5	200	34	6,800	86	51	49	0	5/24/24	Cold Mill and Overlay	6/17/09
HARW B	3110	HARVARD BLVD	147TH ST	MARINE	AC	C	2	Area 3	996	31	30,876	87	78	22	0	7/29/24	Cold Mill and Overlay	2/4/12
MANHAT	3380	MANHATAN BEACH BLVD	CRENSHAW	END PCC (85' E/ CRENSHAW)	PCC	C	2	Area 4	125	30	4,995	87	89	0	11	7/18/24	New Construction - Initial	1/1/80
158 ST	1270	158 th ST	WESTERN	DENKER	AC	C	2	Area 5	1,390	37	51,430	87	31	19	50	6/7/24	Cold Mill and Overlay - 2 Inches	1/28/15
GRAMER	2974	GRAMERCY PL	149 TH ST	MARINE	AC	C	2	Area 4	600	32	19,200	88	84	16	0	7/24/24	Cold Mill and Overlay	10/1/11
NWHAMP	3622	NEW HAMPSHIRE AVE	168 TH ST	170 TH ST	AC	C	2	Area 6	831	32	26,592	88	100	0	0	5/24/24	Cold Mill and Overlay	6/17/09
VAN NE	4295	VAN NESS AVE	132 ND ST	135 TH ST	AAC	C	4	Area 1	1,230	56	67,745	89	76	20	4	5/31/24	Overlay - AC Structural	11/17/05
MANHAT	3386	MANHATAN BEACH BLVD	ARCTURUS	END AC (260' E/ CRENSHAW)	AC	C	2	Area 4	1,205	28	36,358	90	58	42	0	7/18/24	Cold Mill and Overlay	10/1/14
MANHAT	3381	MANHATAN BEACH BLVD	BEGIN AC (85' E/ CRENSHAW)	ARCTURUS	AC	C	2	Area 4	1,385	28	44,320	90	55	45	0	7/18/24	Cold Mill and Overlay	10/1/14
DENKER	2760	DENKER AVE	158 TH ST	162 ND ST	AC	C	2	Area 5	1,245	34	42,330	90	68	21	11	6/28/24	Cold Mill and Overlay	10/1/11
DENKER	2770	DENKER AVE	162 ND ST	166 TH ST	AC	C	2	Area 5	1,195	34	40,630	91	32	0	68	6/28/24	Cold Mill and Overlay	10/1/11
156 ST	1210	156 th ST	VAN NESS	GRAMERCY	AC	C	2	Area 4	1,195	32	38,240	91	43	0	57	6/20/24	New Construction - Initial	1/1/80
BUDLA	2215	BUDLONG AVE	132 ND ST	135 TH ST	AAC	C	2	Area 2	1,236	32	39,552	91	70	30	0	6/13/24	Overlay - AC Structural	7/21/23
MANHAT	3382	MANHATAN BEACH BLVD	ARCTURUS	END AC (270' E/ VAN NESS)	AC	C	2	Area 4	825	28	27,690	91	100	0	0	7/18/24	Cold Mill and Overlay	10/1/14
146 ST	760	146 th ST	DENKER	NORMANDIE	AAC	C	2	Area 3	1,220	30	36,600	91	100	0	0	7/29/24	Overlay - AC Structural	8/10/21
132 ST	152	132 nd ST	ARCTURUS	SPINNING	AC	C	2	Area 1	730	32	23,610	92	100	0	0	6/7/24	Overlay - AC Structural	6/1/20
139 ST	450	139 th ST	NORMANDIE	BUDLONG	AC	C	2	Area 2	1,266	36	45,576	92	57	30	13	5/31/24	New Construction - Initial	1/1/80
158 ST	1275	158 th ST	DENKER	NORMANDIE	AC	C	2	Area 5	1,485	37	54,945	92	65	35	0	6/7/24	Cold Mill and Overlay - 2 Inches	1/28/15
VAN NE	4310	VAN NESS AVE	ROSECRANS	147 TH ST	AC	C	4	Area 4	1,280	52	66,560	92	38	0	62	5/31/24	New Construction - Initial	1/1/80
166 TH	1540	166 th ST	GRAMERCY	WESTERN	APC	C	2	Area 5	1,295	40	51,800	93	36	0	64	5/31/24	Overlay - AC Thin	7/15/18
132 ST	180	132 nd ST	WESTERN	HALLDALE	AC	C	2	Area 2	1,982	56	110,992	93	66	34	0	6/13/24	New Construction - Initial	1/1/80
GARDEN	2900	GARDENA BLVD	NORMANDIE	BERENDO AV	APC	C	2	Area 5	1,915	56	107,240	93	70	30	0	5/24/24	Cold Mill and Overlay	1/28/15
141 ST	550	141st ST	BUDLONG	END	AAC	C	2	Area 2	648	33	22,775	94	100	0	0	5/31/24	Overlay - AC Structural	8/10/21
VAN NE	4312	VAN NESS AVE	147 TH ST	MARINE	AC	C	4	Area 4	1,305	52	67,860	94	100	0	0	5/31/24	New Construction - Initial	1/1/80
GRAMER	2980	GRAMERCY PL	MARINE	154 TH ST	AC	C	2	Area 4	970	34	32,980	94	69	31	0	7/24/24	Surface Treatment - Slurry Seal	3/21/24
VAN NE	4305	VAN NESS AVE	139 TH ST	ROSECRANS	AC	C	4	Area 1	1,285	55	70,675	94	43	0	57	5/31/24	New Construction - Initial	1/1/80
GARDEN	2920	GARDENA BLVD	GRAMERCY	WESTERN	APC	C	2	Area 5	1,246	42	52,332	94	100	0	0	6/28/24	Cold Mill and Overlay	1/28/15
139 ST	430	139 th ST	VAN NESS	WESTERN	AAC	C	2	Area 1	2,470	46	113,620	95	74	0	26	5/31/24	Overlay - AC Structural	7/9/22
132 ST	185	132 nd ST	HALLDALE	NORMANDIE	AC	C	2	Area 2	521	56	29,176	95	100	0	0	6/13/24	New Construction - Initial	1/1/80
161 ST	1400	161 st ST	BUDLONG	VERMONT	AAC	C	2	Area 5	1,171	36	42,156	95	85	0	15	5/24/24	Overlay - AC Thin	7/15/18
141 ST	560	141st ST	END	VERMONT	AC	C	2	Area 2	174	33	6,414	96	100	0	0	8/5/24	Cold Mill and Overlay	1/11/11
132 ST	154	132 nd ST	SPINNING	VAN NESS	AAC	C	2	Area 1	240	32	7,200	96	100	0	0	6/7/24	Overlay - AC Structural	6/1/20
141 PL	500	141 st PL	NORMANDIE	BUDLONG	AC	C	2	Area 2	1,220	32	39,040	96	87	0	13	5/31/24	Overlay - AC Thin	7/15/18
161 ST	1380	161 st ST	NORMANDIE	BUDLONG	AC	C	2	Area 5	1,105	35	38,675	96	100	0	0	5/24/24	New Construction - Initial	1/1/80
BUDLA	2250	BUDLONG AVE	MARINE	REDONDO BEACH BLVD	AAC	C	2	Area 3	800	32	25,600	96	13	0	87	6/13/24	Overlay - AC Structural	7/21/23
GARDEN	2910	GARDENA BLVD	BERENDO AV	VERMONT AV	AC	C	2	Area 5	655	50	32,750	97	100	0	0	5/24/24	Cold Mill and Overlay	1/28/15
VAN NE	4300	VAN NESS AVE	135 TH ST	139 TH ST	AAC	C	4	Area 1	1,295	55	71,225	97	100	0	0	5/31/24	Overlay - AC Structural	7/9/22
BUDLA	2230	BUDLONG AVE	ROSECRANS	146 TH ST	AAC	C	2	Area 3	1,180	32	37,760	97	20	0	80	6/13/24	Overlay - AC Structural	7/21/23
170 ST	1678	170 th ST	NEW HAMPSHIRE	VERMONT	AAC	C	2	Area 6	315	36	11,340	99	100	0	0	5/24/24	Overlay - AC Structural	3/21/23
170 ST	1675	170 th ST	RAYMOND AVE	NEW HAMPSHIRE	AAC	C	2	Area 6	1,090	34	37,060	99	100	0	0	5/24/24	Overlay - AC Structural	3/21/23
170 ST	1670	170 th ST	NORMANDIE	RAYMOND AVE	AAC	C	2	Area 6	1,045	34	35,530	99	100	0	0	5/24/24	Overlay - AC Structural	3/21/23
BUDLA	2218	BUDLONG AVE	135 TH ST	139 TH ST	AAC	C	2	Area 2	1,301	32	41,882	100	100	0	0	6/13/24	Overlay - AC Structural	7/21/23
BUDLA	2240	BUDLONG AVE	146 TH ST	MARINE AVE	AAC	C	2	Area 3	1,330	34	45,220	100	100	0	0	6/13/24	Overlay - AC Structural	7/21/23
139 ST	425	139 th ST	PURCHE	VAN NESS	APC	C	2	Area 1	814	32	26,048	100	0	0	0	6/7/24	Overlay - AC Structural	3/21/24
139 ST	420	139 th ST	ARDATH AV	PURCHE	AC	C	2	Area 1	1,002	32	32,064	100	0	0	0	6/7/24	Overlay - AC Structural	3/21/24
162 ST	1430	162 nd ST	WESTERN	DENKER	APC	C	2	Area 5	1,325	60	79,500	100	0	0	0	6/28/24	Overlay - AC Structural	3/21/24
162 ST	1440	162 nd ST	DENKER (AC)	NORMANDIE	APC	C	2	Area 5	1,325	60	79,500	100	0	0	0	6/28/24	Overlay - AC Structural	3/21/24
GARDEN	2930	GARDENA BLVD	DENKER	DENKER	AAC	C	2	Area 5	1,400	36	51,900	100	0	0	0	6/28/24	Overlay - AC Structural	3/21/24
GARDEN	2932	GARDENA BLVD	DENKER	NORMANDIE	AAC	C	2	Area 5	1,394	36	50,184	100	0	0	0	6/28/24	Overlay - AC Structural	3/21/24

City of Gardena, CA
Pavement Condition Index (PCI) Report - All Streets

Sorted by Rank, PCI Order (0-100)

158 ST	1280	158 th ST	BUDLONG	END	AC	E	2	Area 5	572	33	18,876	62	30	70	0	6/21/24	Cold Mill and Overlay	8/4/09
155 CT	1150	155 th CT	MANHATTAN PL	END	AC	E	2	Area 4	227	32	7,264	63	59	41	0	6/7/24	Surface Treatment - Slurry Seal	8/26/24
154 PL	1080	154 th PL	WESTERN	DENKER	AC	E	2	Area 3	1,170	34	39,780	64	41	59	0	7/29/24	Cold Mill and Overlay	10/1/11
NW HAMP	3610	NEW HAMPSHIRE AVE	RAIL ROAD	167 TH ST	APC	E	2	Area 5	185	44	8,140	64	81	7	12	5/24/24	Cold Mill and Overlay	6/15/08
ROSECR FR	4710	ROSECRANS AVE (FRONTAGE)	END (600' E/ ARDATH AVE)	WEST CDS	AC	E	2	Area 1	1,057	25	28,400	64	62	21	17	6/14/24	New Construction - Initial	1/1/80
WILKI	4570	WILKIE AVE	139 TH ST	END	AC	E	2	Area 1	597	26	15,522	64	30	43	27	6/14/24	Cold Mill and Overlay	6/30/09
DALTONA	2620	DALTON AVE	162 ND ST	166 TH ST	AC	E	2	Area 5	1,195	36	43,020	65	66	5	29	6/28/24	New Construction - Initial	1/1/80
134 PL	250	134 th PL	CATALINA	NEW HAMPSHIRE	AC	E	2	Area 2	697	26	18,122	65	36	64	0	7/31/24	Surface Treatment - Slurry Seal	7/15/18
154 PL	1090	154 th PL	DENKER	END	AC	E	2	Area 3	498	32	16,930	65	31	69	0	7/29/24	Surface Treatment - Slurry Seal	6/1/20
MANH P	3410	MANHATAN PL	REDONDO BEACH BLVD	162 ND ST	AC	E	2	Area 5	1,499	32	47,968	65	39	28	33	7/24/24	Cold Mill and Overlay	6/17/09
HARW B	3120	HARVARD BLVD	MARINE	154 TH ST	AC	E	2	Area 3	1,220	34	41,480	66	25	75	0	7/29/24	Cold Mill and Overlay	6/17/09
159 ST	1300	159 th ST	NORMANDIE	BUDLONG	AC	E	2	Area 5	1,021	33	33,693	66	63	5	32	6/21/24	Cold Mill and Overlay	8/4/09
134 PL	230	134 th PL	ARDATH	WEST END	AC	E	2	Area 1	437	26	14,118	66	37	63	0	6/7/24	Surface Treatment - Slurry Seal	7/15/18
161 ST	1370	161 st ST	GRAMERCY	ST. ANDREWS PL	AC	E	2	Area 5	473	34	16,082	66	47	0	53	7/24/24	Cold Mill and Overlay	6/17/09
MANH P	3412	MANHATAN PL	162 ND ST	GARDENA BLVD	AC	E	2	Area 5	615	34	20,910	67	33	14	53	7/24/24	Cold Mill and Overlay	6/17/09
Electr	2870	ELECTRIC ST	VERMONT	WEST END	AC	E	1	Area 6	2,622	10	26,220	67	27	16	57	6/27/24	Cold Mill and Overlay	8/4/09
DUBLIN	2810	DUBLIN AVE	147 TH ST	MARINE	AC	E	2	Area 4	1,254	30	37,620	67	28	40	32	7/18/24	Surface Treatment - Slurry Seal	8/26/24
MANH P	3414	MANHATAN PL	GARDENA BLVD	166 TH ST	AC	E	2	Area 5	625	32	20,000	67	43	0	57	7/24/24	Cold Mill and Overlay	6/17/09
DAPHNE	2690	DAPHNE AVE	135 TH ST	AC	E	2	Area 1	1,286	26	33,436	67	52	48	0	6/14/24	Cold Mill and Overlay	6/30/09	
DUBLIN	2800	DUBLIN AVE	144 TH ST	147 TH ST	AC	E	2	Area 4	697	26	18,122	67	43	57	0	7/18/24	Surface Treatment - Slurry Seal	6/1/20
HARW B	3175	HARVARD BLVD	178 TH ST	180 TH ST	AC	E	2	Area 6	590	34	20,060	67	38	62	0	6/27/24	Cold Mill and Overlay	12/15/05
DENKER	2790	DENKER AVE	178 TH ST	182 ND ST	AC	E	2	Area 6	1,245	34	42,330	68	35	65	0	6/27/24	Cold Mill and Overlay	12/15/05
148 ST	850	148 th ST	CATALINA	BERENDO AV	AC	E	2	Area 3	298	32	9,536	68	57	43	0	7/30/24	Cold Mill and Overlay	6/15/08
167 TH	1570	167 th ST	BERENDO AV	NEW HAMPSHIRE	AC	E	2	Area 5	290	32	9,280	68	41	59	0	5/24/24	Cold Mill and Overlay	8/4/09
ST AND	4200	ST ANDREWS PL	162 ND ST	166 TH ST	AC	E	2	Area 5	1,243	33	41,019	68	33	7	60	7/24/24	Cold Mill and Overlay	6/17/09
145 ST	660	145 th ST	HAAS AV	GRAMERCY	AC	E	2	Area 4	921	26	23,946	69	38	60	2	7/24/24	Surface Treatment - Slurry Seal	8/26/24
167 TH	1572	167 th ST	NEW HAMPSHIRE	VERMONT AV	AC	E	2	Area 5	278	32	8,896	69	49	51	0	5/24/24	Cold Mill and Overlay	8/4/09
VAN BU	4250	VAN BUREN AVE	137 TH ST	BUDLONG	AC	E	2	Area 2	597	33	19,701	69	31	69	0	6/13/24	Surface Treatment - Slurry Seal	7/15/18
BRIT A	2120	BRIGHTON AVE	ROSECRANS	139 TH ST	AC	E	2	Area 2	1,220	30	36,600	69	25	75	0	7/30/24	Surface Treatment - Slurry Seal	7/15/18
ST AND	4180	ST ANDREWS PL	REDONDO BEACH BLVD	END	AC	E	2	Area 5	315	36	11,340	69	71	29	0	7/24/24	Cold Mill and Overlay	8/4/10
169 PL	1620	169 th PL	MARIPOSA	END	AC	E	2	Area 6	448	32	14,336	70	62	38	0	6/21/24	Cold Mill and Overlay	6/17/09
MARIPO	3500	MARIPOSA AVE	139 TH ST	END	AC	E	2	Area 2	498	33	16,434	70	43	45	12	7/30/24	New Construction - Initial	1/1/80
SUTRO	4220	SUTRO ST	147 TH ST	MARINE	AC	E	2	Area 4	1,220	30	36,600	70	54	13	33	7/18/24	Surface Treatment - Slurry Seal	8/26/24
141 PL	490	141 st PL	FLOOD CHANNEL (END)	PURCH	AC	E	2	Area 1	1,420	32	44,418	71	22	47	31	6/14/24	Cold Mill and Overlay	8/4/10
138 ST	390	138 th ST	BUDLONG	BERENDO AV	AC	E	2	Area 2	525	28	14,700	71	36	64	0	6/13/24	Surface Treatment - Slurry Seal	7/15/18
154 ST	1120	154 th ST	GRAMERCY	WESTERN	AC	E	2	Area 4	1,195	34	40,630	71	31	68	1	6/7/24	Surface Treatment - Slurry Seal	3/21/24
WADKIN	4440	WADKINS AVE	ROSECRANS	147 TH ST	AC	E	2	Area 4	1,220	26	31,720	71	23	77	0	7/18/24	Surface Treatment - Slurry Seal	6/1/20
BEREND	1990	BERENDO AVE	CATALINA AV	132 ND ST	AC	E	2	Area 2	1,180	26	30,680	71	31	69	0	6/13/24	New Construction - Initial	1/1/80
LASALL	3345	LA SALLE AVE	178 TH ST	180 TH ST	AC	E	2	Area 6	590	34	20,060	72	54	41	5	6/27/24	Cold Mill and Overlay	12/15/05
136 ST	342	136 th ST	Begin PCC	END	PCC	E	2	Area 1	116	26	5,710	72	7	78	15	7/31/24	New Construction - Initial	1/1/80
140 ST	470	140 th ST	ARDATH AV	END	AC	E	2	Area 1	436	26	11,336	72	51	24	25	5/31/24	Cold Mill and Overlay	6/30/09
LASALL	3330	LA SALLE AVE	168 TH ST	169 TH PL	AC	E	2	Area 6	573	34	19,482	72	69	0	31	6/27/24	Cold Mill and Overlay	12/15/05
PARRON	3740	PARRON DR	152 ND ST	154 TH ST	AC	E	2	Area 4	622	34	21,148	72	36	64	0	6/20/24	Surface Treatment - Slurry Seal	8/26/24
154 PL	1060	154 th PL	VAN NESS	CIMARRON	AC	E	2	Area 4	572	34	19,448	72	28	45	27	6/20/24	Surface Treatment - Slurry Seal	8/26/24
149 ST	920	149 th ST	BERENDO AV	VERMONT AV	AC	E	2	Area 3	622	32	19,904	72	87	3	10	7/30/24	Cold Mill and Overlay	2/4/12
GRAMER	2955	GRAMERCY PL	132 ND ST	134 TH PL	AC	E	2	Area 1	1,003	26	26,078	72	51	49	0	6/13/24	Cold Mill and Overlay	8/4/09
152 ST	980	152 nd ST	ATKINSON	CASIMIR	AC	E	2	Area 4	1,022	36	36,792	73	82	18	0	6/20/24	Surface Treatment - Slurry Seal	8/26/24
CIMARR	2520	CIMARRON AVE	154 TH PL	156 TH ST	AC	E	2	Area 4	573	32	18,336	73	53	45	2	6/20/24	Surface Treatment - Slurry Seal	8/26/24
HAAS A	3010	HAAS AVE	144 TH ST	147 TH ST	AC	E	2	Area 4	697	26	18,122	73	65	11	24	7/24/24	Surface Treatment - Slurry Seal	8/26/24
RAYM A	3865	RAYMOND AVE	149 TH ST	MARINE	AC	E	2	Area 3	820	22	18,540	73	92	8	0	7/30/24	Cold Mill and Overlay	2/4/12
RAYM P	3920	RAYMOND PL	170 TH ST	END	AC	E	2	Area 6	722	34	24,548	73	18	82	0	6/21/24	Cold Mill and Overlay	6/17/09
NUANU	3720	NUANU DR	REDONDO BEACH BLVD	END	AC	E	2	Area 5	400	40	16,000	73	80	20	0	8/12/24	Cold Mill and Overlay	8/4/09
CASSID	2381	CASSIDY AVE	CATALINA	VERMONT	AC	E	2	Area 6	1,040	32	33,280	73	25	75	0	6/27/24	Cold Mill and Overlay	8/4/09
ROXTON	4020	ROXTON AVE	147 TH ST	150 TH ST	AC	E	2	Area 4	996	30	29,880	73	34	23	43	7/18/24	Surface Treatment - Slurry Seal	8/26/24
179 PL	1750	179 th PL	DENKER AVE	END	AC	E	2	Area 6	498	34	16,932	73	49	51	0	6/27/24	Cold Mill and Overlay	6/17/09
DALT P	2660	DALTON PL	180 TH ST	END	AC	E	2	Area 6	300	34	10,200	73	78	0	22	6/27/24	Cold Mill and Overlay	9/10/07
141 ST	520	141st ST	ARCTURUS	PURCHE	AAC	E	2	Area 1	230	26	6,898	73	23	0	77	6/14/24	Overlay - AC Structural	5/19/21
BUDL A	2300	BUDLONG AVE	CASSIDY ST	END	AC	E	2	Area 6	224	28	6,272	73	34	65	1	6/27/24	Cold Mill and Overlay	6/17/09
KANSAS	3250	KANSAS AVE	133 RD ST	134 TH PL	AC	E	2	Area 2	573	28	16,044	73	53	47	0	7/31/24	Surface Treatment - Slurry Seal	7/15/18
152 ST	985	152 nd ST	CASIMIR	VAN NESS	AC	E	2	Area 4	1,305	36	46,980	74	81	16	3	6/20/24	Surface Treatment - Slurry Seal	8/26/24
RAYM A	3860	RAYMOND AVE	144 TH ST	144 TH PL	AC	E	2	Area 3	320	22	8,200	74	32	29	39	7/30/24	Cold Mill and Overlay	2/4/12
153 ST	1050	153 rd ST	DENKER	END	AC	E	2	Area 3	1,021	34	34,714	74	52	48	0	7/29/24	Cold Mill and Overlay	6/15/08
162 ST	1460	162 nd ST	BUDLONG	BERENDO AV	AC	E	2	Area 5	622	33	20,526	74	55	31	14	5/24/24	Cold Mill and Overlay	10/1/11
ARCTU	1840	ARCTURUS AVE	139 TH ST	141 ST ST	AAC	E	2	Area 1	747	26	19,422	74	21	0	79	6/14/24	Overlay - AC Structural	8/10/21
163 ST	1470	163 rd ST	NORMANDIE	BUDLONG	AC	E	2	Area 5	1,071	33	35,343	75	34	45	21	6/21/24	New Construction - Initial	1/1/80
DAPHNE	2670	DAPHNE AVE	129 TH ST	132 ND ST	AC	E	2	Area 1	897	26	23,322	75	39	61	0	7/30/24	Cold Mill and Overlay	8/4/10
HARW B	3160	HARVARD BLVD	168 TH ST	169 TH PL	AC	E	2	Area 6	573	26	14,898	75	31	15	54	6/27/24	Cold Mill and Overlay	8/4/09
HARW B	3130	HARVARD BLVD	154 TH ST	END	AC	E	2	Area 3	473	33	15,609	75	69	31	0	7/29/24	Cold Mill and Overlay	10/1/11
RAYM A	3864	RAYMOND AVE	145 TH PL	149 TH ST	AC	E	2	Area 3	968	32	30,976	75	97	0	3	7/30/24	Cold Mill and Overlay	2/4/12
134 ST	280	134 th ST	NORMANDIE	BUDLONG	AC	E	2	Area 2	1,120	36	40,320	75	64	36	0	7/30/24	Surface Treatment - Slurry Seal	7/15/18
141 ST	565	141st ST	WESTERN	HOBART	AC	E	2	Area 2	301	25	7,525	75	42	0	58	8/6/24	New Construction - Initial	1/1/80
145 ST	650	145 th ST	WADKINS	DUBLIN	AC	E	2	Area 4	896	26	23,296	75	37	63	0	7/18/24	Surface Treatment - Slurry Seal	6/1/20
156 PL	1190	156 th PL	VAN BUREN AVE	EAST END	AC	E	2	Area 5	100	34	3,400	75	100	0	0	6/21/24	Cold Mill and Overlay	12/15/05

City of Gardena, CA
Pavement Condition Index (PCI) Report - All Streets

Sorted by Rank, PCI Order (0-100)

154 ST	1110	154 th ST	VAN NESS	GRAMERCY	AC	E	2	Area 4	1,220	34	41,480	76	55	32	13	6/7/24	Surface Treatment - Slurry Seal	8/26/24
MARIGO	3430	MARIGOLD AVE	154 TH ST	MANHATTAN BEACH BLVD	AC	E	2	Area 4	1,220	40	48,800	76	65	33	2	6/20/24	Surface Treatment - Slurry Seal	8/26/24
PURCHE	3790	PURCHE AVE	147 TH ST	149TH ST	AC	E	2	Area 4	664	30	19,920	76	43	9	48	7/18/24	Surface Treatment - Slurry Seal	8/26/24
BRIT A	2135	BRIGHTON AVE	158 TH ST	162 ND ST	AC	E	2	Area 5	1,277	36	45,972	76	95	0	5	6/28/24	New Construction - Initial	1/1/80
BEREND	2020	BERENDO AVE	ROSECRANS	148 TH ST	AC	E	2	Area 3	1,868	33	61,644	76	86	14	0	7/30/24	Cold Mill and Overlay	2/4/12
HOBART	3220	HOBART BLVD	166 TH ST	169 TH PL	AC	E	2	Area 6	947	34	32,198	76	14	47	39	6/27/24	Cold Mill and Overlay	6/17/09
146 ST	730	146 th ST	HAAS AV	GRAMERCY	AC	E	2	Area 4	921	26	23,946	76	52	48	0	7/24/24	Surface Treatment - Slurry Seal	8/26/24
150 ST	930	150 th ST	DUBLIN	PURCHE	AC	E	2	Area 4	498	34	16,932	76	30	19	51	7/18/24	Surface Treatment - Slurry Seal	8/26/24
DALTONA	2650	DALTON AVE	180 TH ST	END	AC	E	2	Area 6	370	34	12,580	76	100	0	0	6/27/24	Cold Mill and Overlay	12/15/05
162 ST	1450	162 nd ST	NORMANDIE	BUDLONG	AC	E	2	Area 5	1,071	36	38,556	76	52	44	4	5/24/24	Cold Mill and Overlay	10/1/11
MARIPO	3520	MARIPOSA AVE	MARINE AV	END	AC	E	2	Area 3	622	21	13,062	76	75	0	25	6/21/24	New Construction - Initial	1/1/80
CASIM	2360	CASIMIR AVE	MARINE	154 TH ST	AC	E	2	Area 4	1,220	36	43,920	77	47	39	14	6/20/24	Surface Treatment - Slurry Seal	8/26/24
TETON	4230	TETON ST	BUDLONG	BERENDO AV	AC	E	2	Area 2	525	28	14,700	77	38	62	0	6/13/24	Surface Treatment - Slurry Seal	7/15/18
149 ST	870	149 th ST	PARRON	WESTERN	AC	E	2	Area 4	1,693	26	44,018	77	36	59	5	7/24/24	Surface Treatment - Slurry Seal	8/26/24
NWHAMP	3600	NEW HAMPSHIRE AVE	GARDENA	RAIL RD	APC	E	2	Area 5	390	44	17,160	77	46	54	0	6/21/24	Cold Mill and Overlay	10/1/11
RUTHEL	4045	RUTHELEN ST	132 ND ST	134 TH PL	AC	E	2	Area 1	1,008	26	26,208	77	31	65	4	6/13/24	Cold Mill and Overlay	8/4/09
SPINNI	4110	SPINNING AVE	147 TH ST	MARINE	AC	E	2	Area 4	1,220	30	36,600	77	37	26	37	7/18/24	Surface Treatment - Slurry Seal	8/26/24
147 ST	790	147 th ST	PARRON	WESTERN	AC	E	2	Area 4	1,743	32	55,776	77	44	56	0	7/24/24	Surface Treatment - Slurry Seal	8/26/24
160 ST	1360	160 th ST	BUDLONG	ALLEY E/ BERENDO	AC	E	2	Area 5	946	36	34,056	77	98	0	2	6/21/24	Cold Mill and Overlay	8/4/09
160 ST	1340	160 th ST	DENKER	NORMANDIE	AC	E	2	Area 5	1,419	36	51,084	77	90	10	0	6/28/24	Cold Mill and Overlay	2/4/12
165 PL	1520	165 th PL	BERENDO AV	NEW HAMPSHIRE AV	AC	E	2	Area 5	325	36	11,700	77	64	36	0	6/21/24	Cold Mill and Overlay	10/1/11
ATKINS	1950	ATKINSON AVE	MARINE	154 TH ST	AC	E	2	Area 4	1,220	36	43,920	78	46	39	15	6/20/24	Surface Treatment - Slurry Seal	8/26/24
HALLDA	3095	HALLDALE AVE	158 TH ST	162 ND ST	AC	E	2	Area 5	1,276	36	45,936	78	100	0	0	6/28/24	Cold Mill and Overlay	2/4/12
149 ST	900	149 th ST	NORMANDIE	RAYMOND	AC	E	2	Area 3	597	34	20,298	78	63	37	0	7/30/24	Cold Mill and Overlay	6/30/09
WILKI	4580	WILKIE AVE	143 RD ST	144 TH ST	AC	E	2	Area 4	316	26	8,216	78	57	43	0	7/18/24	Surface Treatment - Slurry Seal	6/1/20
147 ST	820	147 th ST	MARIPOSA	VAN BUREN	AC	E	2	Area 3	622	32	19,904	78	100	0	0	7/30/24	Cold Mill and Overlay	2/4/12
ATKINS	1960	ATKINSON AVE	154 TH ST	MANHATTAN BEACH BLVD	AC	E	2	Area 4	1,220	40	48,800	78	50	50	0	6/20/24	Surface Treatment - Slurry Seal	8/26/24
CIMARW	2530	CIMARRON WAY	154 TH ST	154 TH PL	AC	E	2	Area 4	240	30	7,200	78	100	0	0	6/20/24	Surface Treatment - Slurry Seal	8/26/24
DALTONA	2610	DALTON AVE	158 TH ST	162 ND ST	AC	E	2	Area 5	1,245	36	44,820	78	31	0	69	6/28/24	Cold Mill and Overlay	8/4/09
ST AND	4150	ST ANDREWS PL	135 TH ST	END	AC	E	2	Area 1	598	36	21,528	78	97	3	0	7/30/24	Cold Mill and Overlay	8/4/10
146 ST	770	146 th ST	END-RAYMOND	BUDLONG	AC	E	2	Area 3	996	33	32,868	78	97	0	3	7/30/24	New Construction - Initial	1/1/80
RAYM A	3890	RAYMOND AVE	164 TH ST	GARDENA	AC	E	2	Area 5	250	32	8,000	78	82	18	0	6/21/24	Cold Mill and Overlay	6/17/09
153 ST	1030	153 rd ST	GRAMERCY	WESTERN	AC	E	2	Area 4	1,195	34	40,630	78	19	81	0	8/13/24	Surface Treatment - Slurry Seal	3/21/24
155 ST	1160	155 th ST	ATKINSON	SPINNING	AC	E	2	Area 4	1,992	40	79,680	78	89	9	2	6/20/24	Surface Treatment - Slurry Seal	8/26/24
PURCHE	3820	PURCHE AVE	154 TH ST	MANHATTAN BEACH BLVD	AC	E	2	Area 4	1,195	40	47,800	78	50	47	3	6/20/24	Surface Treatment - Slurry Seal	8/26/24
144 ST	590	144 th ST	CRENSHAW	VAN NESS	AAC	E	2	Area 4	2,656	32	84,992	79	30	70	0	7/18/24	Surface Treatment - Slurry Seal	6/1/20
156 ST	1220	156 th ST	VAN BUREN AVE	EAST END	AC	E	2	Area 5	185	34	6,290	79	53	47	0	6/21/24	Cold Mill and Overlay	12/15/05
CATALI	2400	CATALINA AVE	133 RD ST	135 TH ST	AC	E	2	Area 2	872	34	29,648	79	51	49	0	7/31/24	Cold Mill and Overlay	12/15/05
154 ST	1130	154 th ST	WESTERN	DENKER	AC	E	2	Area 3	1,170	34	39,780	79	31	53	16	7/29/24	Cold Mill and Overlay	6/17/09
156 CT	1180	156 th CT	MANHATTAN PL	END	AC	E	2	Area 4	224	32	7,168	79	86	14	0	6/7/24	Cold Mill and Overlay	6/17/09
154 ST	1100	154 th ST	CRANSHAW	MARIGOLD	AC	E	2	Area 4	915	36	32,940	79	100	0	0	6/20/24	Surface Treatment - Slurry Seal	8/26/24
154 ST	1104	154 th ST	PURCHE	VAN NESS	AC	E	2	Area 4	785	38	29,830	79	100	0	0	6/20/24	Surface Treatment - Slurry Seal	8/26/24
ARCTU	1820	ARCTURUS AVE	129 TH ST	132 ND ST	AC	E	2	Area 1	955	26	24,830	79	27	0	73	7/30/24	New Construction - Initial	1/1/80
DAPHNE	2730	DAPHNE AVE	152 ND ST	154 TH ST	AC	E	2	Area 4	946	26	24,596	79	43	57	0	6/20/24	Surface Treatment - Slurry Seal	8/26/24
HOBART	3200	HOBART BLVD	ROSECRANS	141 ST ST	AC	E	2	Area 2	605	30	18,150	79	18	0	82	8/6/24	New Construction - Initial	1/1/80
157 ST	1230	157 th ST	ATKINSON	SPINNING	AC	E	2	Area 4	1,992	40	79,680	79	90	10	0	6/20/24	Surface Treatment - Slurry Seal	8/26/24
BEREND	2040	BERENDO AVE	REDONDO BEACH BLVD	END	AC	E	2	Area 5	1,000	38	38,000	79	62	28	10	6/21/24	New Construction - Initial	1/1/80
MANH P	3400	MANHATAN PL	154 TH ST	REDONDO BEACH BLVD	AC	E	2	Area 4	996	34	33,864	80	58	38	4	6/7/24	Surface Treatment - Slurry Seal	8/26/24
148 ST	830	148 th ST	GRAMERCY	WESTERN	AC	E	2	Area 4	1,195	26	31,070	80	78	16	6	7/24/24	Surface Treatment - Slurry Seal	8/26/24
154 ST	1102	154 th ST	MARIGOLD	PURCHE	AC	E	2	Area 4	820	38	31,160	80	100	0	0	6/20/24	Surface Treatment - Slurry Seal	8/26/24
RAYM A	3862	RAYMOND AVE	145 TH PL	NORTH END	AC	E	2	Area 3	180	32	5,760	80	66	0	34	7/30/24	Cold Mill and Overlay	2/4/12
137 ST	370	137 th ST	NORMANDIE	VAN BUREN CT	AC	E	2	Area 2	921	25	23,025	80	52	48	0	6/13/24	Surface Treatment - Slurry Seal	7/15/18
MARIPO	3510	MARIPOSA AVE	141 ST ST	141 ST ST	AAC	E	2	Area 2	274	32	8,768	80	10	88	2	5/31/24	Overlay - AC Thin	7/15/18
149 ST	860	149 th ST	SUTRO	SPINNING	AC	E	2	Area 4	1,220	30	36,600	80	49	24	27	7/18/24	Surface Treatment - Slurry Seal	8/26/24
LASALL	3310	LA SALLE AVE	158 TH ST	162 ND ST	AC	E	2	Area 5	1,245	34	42,330	80	36	64	0	6/28/24	Cold Mill and Overlay	8/4/09
146 ST	720	146 th ST	WADKINS	DUBLIN	AC	E	2	Area 4	896	26	23,296	81	36	64	0	7/18/24	Surface Treatment - Slurry Seal	6/1/20
165 PL	1510	165 th PL	WEST END	BERENDO AV	AC	E	2	Area 5	340	36	12,240	81	77	0	23	6/21/24	Cold Mill and Overlay	10/1/11
NWHAMP	3590	NEW HAMPSHIRE AVE	164 TH ST	GARDENA BLVD	APC	E	2	Area 5	335	44	14,740	81	80	20	0	6/21/24	New Construction - Initial	1/1/80
VAN BU	4270	VAN BUREN AVE	147 TH ST	MARINE	AC	E	2	Area 3	1,170	31	36,270	81	100	0	0	7/30/24	Cold Mill and Overlay	8/4/10
136 ST	340	136 th ST	ARDATH AV	PCC	AC	E	2	Area 1	255	26	7,030	81	27	0	73	5/31/24	New Construction - Initial	1/1/80
WILTON	4610	WILTON PL	152 ND ST	154 TH ST	AC	E	2	Area 4	622	34	21,148	81	37	63	0	6/20/24	Cold Mill and Overlay	6/17/09
HARW B	3140	HARVARD BLVD	158 TH ST	162 ND ST	AC	E	2	Area 5	1,245	33	41,085	81	66	34	0	6/28/24	Cold Mill and Overlay	6/17/09
LASALL	3320	LA SALLE AVE	GARDENA	166 TH ST	AC	E	2	Area 5	573	37	21,201	81	19	0	81	6/28/24	New Construction - Initial	1/1/80
BEREND	2060	BERENDO AVE	159 TH ST	161 ST ST	AC	E	2	Area 5	573	34	19,482	81	87	13	0	6/21/24	Cold Mill and Overlay	8/4/10
168 ST	1600	168 th ST	HALLDALE	END	AC	E	2	Area 6	274	34	10,825	81	100	0	0	6/28/24	Surface Treatment - Slurry Seal	3/21/24
HAAS A	3030	HAAS AVE	154 TH PL	156 TH ST	AC	E	2	Area 4	572	34	19,448	81	78	14	8	6/20/24	Surface Treatment - Slurry Seal	8/26/24
149 ST	890	149 th ST	DENKER	HALLDALE	AC	E	2	Area 3	597	26	15,522	82	83	17	0	7/29/24	Cold Mill and Overlay	2/4/12
153 ST	1040	153 rd ST	WESTERN	DENKER	AC	E	2	Area 3	1,170	34	39,780	82	36	64	0	7/29/24	Cold Mill and Overlay	10/1/11
PURCHE	3780	PURCHE AVE	144 TH ST	147 TH ST	AC	E	2	Area 4	697	26	18,122	82	42	58	0	7/18/24	Surface Treatment - Slurry Seal	6/1/20
152 ST	990	152 nd ST	HAAS AV	WILTON PL	AC	E	2	Area 4	747	34	25,398	82	43	49	8	6/20/24	Cold Mill and Overlay	6/17/09
CURT P	2590	CURT PL	180 TH ST	END - NORTH	AC	E	2	Area 6	180	32	7,260	82	67	0	33	6/27/24	Cold Mill and Overlay	8/4/09
ATKINS	1970	ATKINSON AVE	END	REDONDO BEACH BLVD	AC	E	2	Area 4	1,095	34	37,230	83	69	31	0	7/1/24	Surface Treatment - Slurry Seal	8/26/24
HOBART	3240	HOBART BLVD	GARDENA	SOUTH END	AC	E	2	Area 5	330	21	6,930	83	33	45	22	6/28/24	New Construction - Initial	1/1/80

City of Gardena, CA
Pavement Condition Index (PCI) Report - All Streets

Sorted by Rank, PCI Order (0-100)

156 ST	1202	156 th ST	MARIGOLD	PURCHE	AC	E	2	Area 4	840	40	33,600	83	100	0	0	6/20/24	Surface Treatment - Slurry Seal	8/26/24
156 ST	1200	156 th ST	CRENSHAW	MARIGOLD	AC	E	2	Area 4	895	40	35,800	83	87	13	0	6/20/24	Surface Treatment - Slurry Seal	8/26/24
CATALI	2410	CATALINA AVE	TETON ST	END	AC	E	2	Area 2	872	26	22,672	83	61	39	0	6/13/24	Surface Treatment - Slurry Seal	7/15/18
MARIPO	4695	MARIPOSA AVE	147TH ST	END	AC	E	2	Area 3	189	32	7,632	83	100	0	0	7/30/24	New Construction - Initial	1/1/80
156 ST	1204	156 th ST	PURCHE	VAN NESS	AC	E	2	Area 4	790	40	30,205	83	64	36	0	6/20/24	Surface Treatment - Slurry Seal	8/26/24
168 ST	1580	168 th ST	WESTERN	DENKER	AC	E	2	Area 6	1,246	33	41,118	83	70	28	2	5/24/24	Cold Mill and Overlay	10/1/11
KINGSGL	3270	KINGSLEY DR	147 TH ST	MARINE	AC	E	2	Area 3	996	26	25,896	83	100	0	0	7/29/24	Cold Mill and Overlay - 2 Inches	2/4/12
RUTHEL	4050	RUTHELEN ST	154 TH PL	REDONDO BEACH BLVD	AAC	E	2	Area 4	1,245	34	42,330	83	81	18	1	6/7/24	Overlay - AC Structural	8/10/21
152 ST	1000	152 nd ST	GRAMERCY	WESTERN	AC	E	2	Area 4	1,195	26	31,070	83	53	47	0	6/7/24	Surface Treatment - Sand Tar	3/21/24
PURCHE	3810	PURCHE AVE	152 ND ST	154 TH ST	AC	E	2	Area 4	946	26	24,596	84	54	42	4	6/20/24	Surface Treatment - Slurry Seal	8/26/24
148 ST	840	148 th ST	NORMANDIE	END	AC	E	2	Area 3	298	26	7,748	84	100	0	0	7/30/24	New Construction - Initial	1/1/80
BEREND	2110	BERENDO AVE	FELDER ST	END	AC	E	2	Area 6	160	30	4,800	84	100	0	0	6/27/24	Cold Mill and Overlay	8/4/09
RAYM A	3880	RAYMOND AVE	MAGNOLIA AV	END	AC	E	2	Area 5	622	34	21,148	84	83	17	0	6/21/24	Surface Treatment - Slurry Seal	7/15/18
150 ST	940	150 th ST	GRAMERCY	END	AC	E	2	Area 4	199	26	5,174	84	78	22	0	7/24/24	Surface Treatment - Slurry Seal	8/26/24
HAAS A	3020	HAAS AVE	152 ND ST	154 TH ST	AC	E	2	Area 4	622	34	21,148	84	42	58	0	6/20/24	Cold Mill and Overlay	6/17/09
CASIM	2335	CASIMIR AVE	132 ND ST	134 TH PL	AC	E	2	Area 1	975	26	25,350	84	61	18	21	7/30/24	Cold Mill and Overlay	2/4/13
WILKI	4555	WILKIE AVE	132 ND ST	134 TH PL	AC	E	2	Area 1	971	26	25,246	84	85	15	0	6/7/24	New Construction - Initial	1/1/80
AVER P	1985	AVERY PL	180 TH ST	END - SOUTH	AC	E	2	Area 6	180	32	7,525	84	100	0	0	6/27/24	Cold Mill and Overlay	8/4/09
150 ST	950	150 th ST	END- ANDREWS	WESTERN	AC	E	2	Area 4	946	26	24,596	84	80	0	20	7/24/24	Surface Treatment - Slurry Seal	8/26/24
160 ST	1320	160 th ST	ST ANDREWS PL	MANHATTAN PL	AAC	E	2	Area 5	498	34	16,932	84	100	0	0	7/24/24	Overlay - AC Structural	8/10/21
STEVEN	4210	STEVENS ST	END	170 TH ST	AC	E	2	Area 6	622	32	19,904	84	52	44	4	6/21/24	Cold Mill and Overlay	6/17/09
DAPHNE	2710	DAPHNE AVE	147 TH ST	149 TH ST	AC	E	2	Area 4	622	30	18,660	85	70	30	0	7/18/24	Cold Mill and Overlay	6/15/08
129 ST	20	129 th ST	ARDATH AV	SPINNING	AC	E	2	Area 1	2,017	32	65,444	85	21	16	63	6/7/24	Cold Mill and Overlay	6/30/09
134 PL	240	134 th PL	WILTON	MANHATTAN BEACH BLVD	AC	E	2	Area 1	996	32	31,872	85	24	76	0	6/13/24	New Construction - Initial	1/1/80
BRODWL	2190	BROADWELL AVE	CASSIDY ST	END	AC	E	2	Area 6	120	44	5,280	85	100	0	0	6/27/24	Cold Mill and Overlay	6/17/09
SPINNI	4130	SPINNING AVE	154 TH ST	MANHATTAN BEACH BLVD	AC	E	2	Area 4	1,195	40	47,800	85	100	0	0	6/20/24	Surface Treatment - Slurry Seal	8/26/24
NWHAMP	3560	NEW HAMPSHIRE AVE	133 RD ST	135 TH ST	AC	E	2	Area 2	872	34	29,648	85	100	0	0	7/31/24	Surface Treatment - Slurry Seal	7/15/18
152 ST	1010	152 nd ST	HARVARD	END	AC	E	2	Area 3	298	31	9,238	85	36	64	0	7/29/24	Cold Mill and Overlay	6/17/09
DAPHNE	2720	DAPHNE AVE	MARINE	END	AC	E	2	Area 4	622	26	16,172	85	76	19	5	7/18/24	Surface Treatment - Slurry Seal	8/26/24
ST AND	4170	ST ANDREWS PL	MARINE	154 TH PL	AC	E	2	Area 4	1,280	34	43,520	85	79	18	3	6/7/24	Surface Treatment - Slurry Seal	3/21/24
145 PL	640	145 th PL	NORMANDIE	END	AC	E	2	Area 3	1,021	33	33,693	86	78	22	0	7/30/24	Cold Mill and Overlay	6/30/09
180 ST	1780	180 th ST	EVELYN	BRIGHTON	AC	E	2	Area 6	782	34	26,588	86	53	32	15	6/27/24	Cold Mill and Overlay	8/4/10
ARCTU	1825	ARCTURUS AVE	132 ND ST	134 TH PL	AC	E	2	Area 1	975	26	25,350	86	67	0	33	7/30/24	New Construction - Initial	1/1/80
MAYFLR	3540	MAYFLOWER CR	168 TH ST	END	AC	E	2	Area 6	500	36	18,000	86	100	0	0	6/21/24	Surface Treatment - Slurry Seal	7/15/18
ARDATH	1900	ARDATH AVE	152 ND ST	154 TH ST	AC	E	2	Area 4	946	36	34,056	86	100	0	0	6/20/24	Cold Mill and Overlay	8/4/09
ARCTU	1850	ARCTURUS AVE	152 ND ST	154 TH ST	AC	E	2	Area 4	946	26	24,596	87	53	42	5	6/20/24	Surface Treatment - Slurry Seal	8/26/24
ROXTON	4010	ROXTON AVE	144 TH ST	147 TH ST	AC	E	2	Area 4	697	26	18,122	87	100	0	0	7/18/24	Surface Treatment - Slurry Seal	6/1/20
160 ST	1330	160 th ST	HARVARD BLVD	LA SALLE AV	AC	E	2	Area 5	273	36	9,828	87	51	49	0	6/28/24	Cold Mill and Overlay	6/17/09
CHANER	2480	CHANERA AVE	152 ND ST	154 TH ST	AC	E	2	Area 4	946	26	24,596	87	54	43	3	6/20/24	Surface Treatment - Slurry Seal	8/26/24
130 ST	90	130 th ST	BERENDO AV	VERMONT AV	AC	E	2	Area 2	722	26	18,772	87	27	73	0	6/13/24	New Construction - Initial	1/1/80
AVER P	1980	AVERY PL	180 TH ST	END - NORTH	AC	E	2	Area 6	180	32	7,525	87	100	0	0	6/27/24	Cold Mill and Overlay	8/4/09
DAPHNE	2700	DAPHNE AVE	144 TH ST	147 TH ST	AC	E	2	Area 4	697	30	20,910	87	77	23	0	7/18/24	Surface Treatment - Slurry Seal	6/1/20
CIMARR	2510	CIMARRON AVE	MARINE	154 TH ST	AC	E	2	Area 4	897	32	28,704	87	45	41	14	6/20/24	Cold Mill and Overlay	6/17/09
BRIT A	2130	BRIGHTON AVE	157 TH ST	158 TH ST	AC	E	2	Area 5	470	30	14,100	87	15	71	14	6/28/24	New Construction - Initial	1/1/80
BUOLA	2270	BUDLONG AVE	155 TH ST	END	AC	E	2	Area 5	423	33	13,959	87	64	36	0	6/21/24	Cold Mill and Overlay	3/4/09
ALMA	1810	ALMA AVE	135 TH ST	END	AC	E	2	Area 2	846	36	30,456	87	64	0	36	7/31/24	Cold Mill and Overlay	8/4/10
RUMBOL	4030	RUMBOLD ST	BUDLONG	FELDER ST	AC	E	2	Area 6	796	28	22,288	87	100	0	0	6/27/24	Cold Mill and Overlay	8/4/09
BRIT A	2140	BRIGHTON AVE	GARDENA	166 TH ST	AC	E	2	Area 5	622	36	22,392	88	97	0	3	6/28/24	New Construction - Initial	1/1/80
KOMOR	3280	KOMORI CR	END	170 TH ST	AC	E	2	Area 6	348	32	11,136	88	62	21	17	6/21/24	Cold Mill and Overlay	6/17/09
HALLDA	3100	HALLDALE AVE	166 TH ST	169 TH ST	AC	E	2	Area 6	623	33	20,559	88	79	21	0	6/28/24	Cold Mill and Overlay	8/4/09
BRIT A	2150	BRIGHTON AVE	166 TH ST	169 TH ST	AC	E	2	Area 6	623	32	19,936	88	53	47	0	6/28/24	Surface Treatment - Slurry Seal	3/21/24
BEREND	4685	BERENDO AVE	140TH PL	END	AAC	E	2	Area 2	199	35	9,125	88	100	0	0	5/31/24	Overlay - AC Structural	8/10/21
CURT P	2595	CURT PL	180 TH ST	END - SOUTH	AC	E	2	Area 6	180	32	7,260	88	94	0	6	6/27/24	Cold Mill and Overlay	8/4/09
SPINNI	4100	SPINNING AVE	144 TH ST	147 TH ST	AC	E	2	Area 4	697	30	20,910	88	100	0	0	7/18/24	Surface Treatment - Slurry Seal	6/1/20
180 ST	1775	180 th ST	DENKER	EVELYN	AC	E	2	Area 6	646	34	21,964	88	78	22	0	6/27/24	Cold Mill and Overlay	8/4/10
152 ST	1020	152 nd ST	DENKER	END	AC	E	2	Area 3	1,095	31	33,945	88	44	56	0	7/29/24	New Construction - Initial	1/1/80
WILKI	4492	WILKIE AVE	129 TH ST	132 ND ST	AC	E	2	Area 1	951	26	24,726	88	84	0	16	6/7/24	New Construction - Initial	1/1/80
CATALI	2460	CATALINA AVE	CASSIDY ST	END	AC	E	2	Area 6	224	28	6,272	88	35	65	0	6/27/24	Cold Mill and Overlay	6/17/09
BRIGHTW	2180	BRIGHTON WAY	END - SOUTH	END - NORTH	AC	E	2	Area 6	373	32	11,936	89	91	0	9	6/27/24	Cold Mill and Overlay	8/4/09
WILKI	4590	WILKIE AVE	152 ND ST	154 TH ST	AC	E	2	Area 4	946	26	24,596	89	100	0	0	6/20/24	Cold Mill and Overlay	8/4/09
HAAS A	3000	HAAS AVE	129 TH ST	132 ND ST	AAC	E	2	Area 1	946	26	24,596	89	56	0	44	6/7/24	Overlay - AC Structural	6/1/20
132 ST	130	132 nd ST	ARDATH AV	PAVEMENT CHANGE	AC	E	2	Area 1	326	26	7,995	89	36	0	64	6/7/24	New Construction - Initial	1/1/80
170 ST	1660	170 th ST	DENKER	HALLDALE	AC	E	2	Area 6	655	33	21,615	89	74	26	0	6/28/24	Surface Treatment - Slurry Seal	3/21/24
FELDER	2890	FELDER ST	BUDLONG	RUMBOLD	AC	E	2	Area 6	996	28	27,888	90	94	0	6	6/27/24	Cold Mill and Overlay	8/4/09
169 ST	1640	169 th ST	DENKER	NORMANDIE	AC	E	2	Area 6	1,444	34	49,096	90	66	0	34	6/21/24	Cold Mill and Overlay	2/4/12
HALLDA	3080	HALLDALE AVE	157 TH ST	158 TH ST	AC	E	2	Area 5	466	30	15,480	90	24	0	76	6/28/24	Cold Mill and Overlay	2/4/12
WILTON	4600	WILTON PL	EL SEGUNDO	135 TH ST	AC	E	2	Area 1	2,491	32	79,712	90	45	55	0	6/13/24	Cold Mill and Overlay	2/4/13
139 ST	410	139 th ST	ARDATH AV	END	AAC	E	2	Area 1	436	26	11,336	90	70	0	30	5/31/24	Overlay - AC Structural	3/12/24
HALLDA	3105	HALLDALE AVE	169 TH ST	170 TH ST	AC	E	2	Area 6	628	33	20,724	90	58	42	0	6/28/24	Surface Treatment - Slurry Seal	3/21/24
HALLDA	3090	HALLDALE AVE	GARDENA	166 TH ST	AC	E	2	Area 5	622	36	22,392	90	97	0	3	6/28/24	Surface Treatment - Slurry Seal	7/15/18
134 PL	232	134 th PL	ARDATH	VAN NESS	AC	E	2	Area 1	1,775	32	57,850	90	100	0	0	6/7/24	Surface Treatment - Slurry Seal	7/15/18
179 ST	1760	179 th ST	NORMANDIE	EVELYN AVE	AC	E	2	Area 6	922	34	31,348	91	4	96	0	6/27/24	Surface Treatment - Slurry Seal	3/21/24
KINGSL	3260	KINGSLEY DR	ROSECRANS	END	AAC	E	2	Area 2	398	36	14,328	91	47	24	29	6/14/24	Overlay - AC Thin	7/15/18

City of Gardena, CA
Pavement Condition Index (PCI) Report - All Streets

Sorted by Rank, PCI Order (0-100)

131 ST	110	131 st ST	BERENDO AV	VERMONT AV	AC	E	2	Area 2	722	26	18,772	91	56	0	44	6/13/24	New Construction - Initial	1/1/80
144 PL	4690	144 th PL	RAYMOND AVE	END	AC	E	2	Area 3	422	35	15,496	91	73	0	27	7/30/24	New Construction - Initial	1/1/80
DALESI	2600	DALESDIE AVE	129 TH ST	132 ND ST	AC	E	2	Area 1	946	26	24,596	91	37	0	63	6/7/24	New Construction - Initial	1/1/80
138 ST	380	138 th ST	ARDATH AV	END	AAC	E	2	Area 1	436	26	11,336	91	25	0	75	5/31/24	Overlay - AC Structural	8/10/21
130 ST	70	130 th ST	WESTERN	HALLDALE	AC	E	2	Area 2	1,982	36	71,352	91	68	29	3	7/31/24	New Construction - Initial	1/1/80
130 ST	75	130 th ST	HALLDALE	NORMANDIE	AC	E	2	Area 2	521	36	18,225	91	91	0	9	7/31/24	New Construction - Initial	1/1/80
GRAMER	2960	GRAMERCY PL	135 TH ST	139 TH ST	AC	E	2	Area 1	1,220	40	48,800	91	100	0	0	6/7/24	New Construction - Initial	1/1/80
130 ST	80	130 th ST	NORMANDIE	BUDLONG	AC	E	2	Area 2	1,120	36	40,320	92	100	0	0	7/31/24	New Construction - Initial	1/1/80
170 ST	1665	170 th ST	HALLDALE	END	AC	E	2	Area 6	870	33	29,200	92	100	0	0	6/28/24	Surface Treatment - Slurry Seal	3/21/24
WILKI	4560	WILKIE AVE	135 TH ST	139 TH ST	AC	E	2	Area 1	1,220	26	31,720	92	42	0	58	6/14/24	New Construction - Initial	1/1/80
DALINA	2640	DALTON AVE	170 TH ST	ARTESIA	AC	E	2	Area 6	1,245	34	42,330	92	83	0	17	6/28/24	New Construction - Initial	1/1/80
NWHAMP	3570	NEW HAMPSHIRE AVE	155 TH ST	END	AAC	E	2	Area 5	323	34	10,982	92	71	0	29	6/21/24	Overlay - AC Structural	8/10/21
159 ST	1310	159 th ST	BUDLONG	VERMONT	AAC	E	2	Area 5	1,245	36	44,820	92	100	0	0	6/21/24	Overlay - AC Structural	8/10/21
169 ST	1650	169 th ST	GRAMERCY	WESTERN	AC	E	2	Area 6	1,246	36	44,856	92	44	0	56	7/24/24	New Construction - Initial	1/1/80
CATALI	2390	CATALINA AVE	132 ND ST	END	AC	E	2	Area 2	1,344	28	37,632	92	82	0	18	6/13/24	New Construction - Initial	1/1/80
134 ST	270	134 th ST	WESTERN	HALLDALE	AC	E	2	Area 2	1,982	36	71,352	93	77	0	23	7/30/24	New Construction - Initial	1/1/80
140PL	460	140 th PL	BUDLONG	BERENDO	AAC	E	2	Area 2	525	32	17,700	93	100	0	0	5/31/24	Overlay - AC Structural	8/10/21
132 ST	200	132 nd ST	BUDLONG	VERMONT	AAC	E	2	Area 2	1,295	34	44,030	93	100	0	0	6/13/24	Overlay - AC Structural	8/10/21
177 ST	1730	177 th ST	VERMONT	BUDLONG	AC	E	2	Area 6	1,100	35	38,500	93	65	35	0	6/27/24	New Construction - Initial	1/1/80
PARRON	3730	PARRON DR	147 TH ST	MARINE	AC	E	2	Area 4	1,095	34	37,230	93	92	0	8	6/7/24	New Construction - Initial	1/1/80
137 ST	360	137 th ST	WESTERN	END	AC	E	2	Area 1	374	32	13,880	93	100	0	0	7/30/24	Cold Mill and Overlay	8/4/10
BROWDL	2200	BROADWELL AVE	FELDER ST	END	AC	E	2	Area 6	160	30	4,800	93	100	0	0	6/27/24	Cold Mill and Overlay	8/4/09
SPINNI	4070	SPINNING AVE	129 TH ST	132 ND ST	AC	E	2	Area 1	985	26	26,510	93	50	39	11	6/7/24	New Construction - Initial	1/1/80
169 PL	1610	169 th PL	WESTERN	DENKER	AC	E	2	Area 6	1,195	36	43,020	93	25	0	75	5/24/24	Surface Treatment - Slurry Seal	3/21/24
CATALI	2430	CATALINA AVE	REDONDO BEACH BLVD	155 TH ST	AAC	E	2	Area 5	573	34	19,482	93	87	0	13	6/21/24	Overlay - AC Structural	8/10/21
CIMARR	2490	CIMARRON AVE	EL SEGUNDO	132 ND ST	AC	E	2	Area 1	1,245	26	32,370	93	59	35	6	6/7/24	New Construction - Initial	1/1/80
VALMYR	4240	VALMEYER AVE	CASSIDY ST	END	AC	E	2	Area 6	224	32	7,168	93	80	0	20	6/27/24	Cold Mill and Overlay	6/17/09
HARV P	3190	HARVARD PL	139 TH ST	END	AAC	E	2	Area 2	398	30	11,940	94	100	0	0	5/31/24	Overlay - AC Thin	7/15/18
180 ST	1770	180 th ST	WESTERN	DENKER	AC	E	2	Area 6	1,246	35	43,610	94	21	79	0	6/27/24	Surface Treatment - Slurry Seal	3/21/24
140 ST	480	140 th ST	END- RAYMOND AVE	END	AC	E	2	Area 2	597	32	19,104	94	94	0	6	5/31/24	Cold Mill and Overlay	12/15/05
HALLDA	3070	HALLDALE AVE	MARINE	153 RD ST	AC	E	2	Area 3	623	33	20,559	94	61	39	0	7/29/24	New Construction - Initial	1/1/80
RAYM A	3900	RAYMOND AVE	168 TH ST	170 TH ST	AAC	E	2	Area 6	800	34	27,200	94	100	0	0	6/21/24	Overlay - AC Structural	6/1/20
BUDL A	2290	BUDLONG AVE	168 TH ST	170 TH ST	AC	E	2	Area 6	800	34	27,200	94	44	56	0	6/21/24	New Construction - Initial	1/1/80
HARW B	3150	HARVARD BLVD	GARDENA	166 TH ST	AAC	E	2	Area 5	573	37	21,201	94	18	82	0	6/28/24	Overlay - AC Thin	7/15/18
ST AND	4140	ST ANDREWS PL	129 TH ST	132 ND ST	AAC	E	2	Area 1	916	26	23,816	94	90	0	10	6/13/24	Overlay - AC Structural	6/1/20
137 ST	350	137 th ST	ARDATH AV	END	AAC	E	2	Area 1	436	26	11,336	94	74	0	26	5/31/24	Overlay - AC Structural	6/1/20
134 PL	234	134 th PL	VAN NESS	EAST END	AC	E	2	Area 1	850	26	24,105	95	100	0	0	7/30/24	Surface Treatment - Slurry Seal	7/15/18
ST AND	4190	ST ANDREWS PL	161 ST ST	END	AC	E	2	Area 5	548	33	18,084	95	100	0	0	7/24/24	New Construction - Initial	1/1/80
SPINNI	4075	SPINNING AVE	132 ND ST	134 TH PL	AC	E	2	Area 1	990	26	29,195	95	83	0	17	6/7/24	New Construction - Initial	1/1/80
GRAMER	2990	GRAMERCY PL	REDONDO BEACH BLVD	161 ST ST	AAC	E	2	Area 5	946	34	32,164	95	88	0	12	7/24/24	Overlay - AC Thin	7/15/18
WILTON	4620	WILTON PL	END-156 TH ST	END	AC	E	2	Area 4	972	34	33,048	95	80	0	20	6/20/24	New Construction - Initial	1/1/80
CATALI	2450	CATALINA AVE	170 TH ST	END	AC	E	2	Area 6	500	34	17,000	95	100	0	0	6/21/24	Surface Treatment - Slurry Seal	3/21/24
154 PL	1070	154 th PL	GRAMERCY	END	AC	E	2	Area 4	1,046	34	35,564	96	100	0	0	6/7/24	Cold Mill and Overlay - 2 inches	10/1/11
129 ST	30	129 th ST	HAAS AV	CIMARRON	AC	E	2	Area 1	448	32	15,236	96	90	0	10	6/7/24	New Construction - Initial	1/1/80
DEANNA	4675	DEANNA CT	141ST ST	END	AC	E	2	Area 2	96	35	4,406	96	100	0	0	5/31/24	New Construction - Initial	1/1/80
RAYM P	3910	RAYMOND PL	168 TH ST	170 TH ST	AAC	E	2	Area 6	800	34	27,200	96	100	0	0	6/21/24	Overlay - AC Structural	6/1/20
VAN BURCT	4680	VAN BUREN CT	141ST PL	END	AC	E	2	Area 2	96	35	4,360	97	100	0	0	5/31/24	New Construction - Initial	1/1/80
134 ST	275	134 th ST	HALLDALE	NORMANDIE	AC	E	2	Area 2	521	36	18,756	97	100	0	0	7/30/24	New Construction - Initial	1/1/80
159 ST	1290	159 th ST	ST ANDREWS PL	MANHATTAN PL	AAC	E	2	Area 5	498	34	16,932	97	100	0	0	7/24/24	Overlay - AC Structural	6/1/20
BEREND	2050	BERENDO AVE	159 TH ST	END	AAC	E	2	Area 5	323	34	10,982	97	100	0	0	6/21/24	Overlay - AC Structural	8/10/21
CIMARR	2500	CIMARRON AVE	135 TH ST	139 TH ST	AC	E	2	Area 1	1,245	40	49,800	97	85	0	15	6/7/24	Overlay - AC Thin	7/15/18
ST AND	4145	ST ANDREWS PL	132 ND ST	134TH ST	AAC	E	2	Area 1	1,004	26	26,104	97	79	0	21	6/13/24	Overlay - AC Structural	8/10/21
141 ST	540	141st ST	NORMANDIE	BUDLONG	AAC	E	2	Area 2	1,265	26	32,890	97	0	0	100	5/31/24	Overlay - AC Thin	7/15/18
146 PL	710	146 th PL	VAN NESS	GRAMERCY	AC	E	2	Area 4	1,270	32	40,640	97	98	0	2	5/31/24	Overlay - AC Thin	7/15/18
EVELYN	2880	EVELYN AVE	178 TH ST	182 ND ST	AC	E	2	Area 6	1,246	33	41,118	97	0	0	100	6/27/24	Surface Treatment - Slurry Seal	3/21/24
RAYM A	3850	RAYMOND AVE	141 ST ST	141 ST PL	AC	E	2	Area 2	283	35	9,905	97	100	0	0	5/31/24	Cold Mill and Overlay	9/10/07
RAYM A	3840	RAYMOND AVE	140 TH ST	141 ST ST	AC	E	2	Area 2	290	35	10,150	97	100	0	0	5/31/24	Cold Mill and Overlay	12/15/05
BUDL A	2320	BUDLONG AVE	182 ND ST	ELECTIC ST	AAC	E	2	Area 6	240	40	9,600	97	100	0	0	6/27/24	Overlay - AC Structural	6/1/20
157 ST	1260	157 th ST	HALLDALE	BRIGHTON	AC	E	2	Area 5	323	32	10,336	98	100	0	0	6/28/24	New Construction - Initial	1/1/80
HARW B	3170	HARVARD BLVD	170 TH ST	172 ND PL	AC	E	2	Area 6	700	41	28,700	98	49	0	51	6/27/24	Cold Mill and Overlay	12/15/05
MARIGO	3420	MARIGOLD AVE	147 TH ST	MARINE	AAC	E	2	Area 4	1,245	30	37,350	98	100	0	0	7/18/24	Overlay - AC Structural	6/1/20
170 ST	1680	170 th ST	HARVARD	LASALLE	AC	E	2	Area 6	250	30	7,500	98	56	0	44	6/27/24	Cold Mill and Overlay	12/15/05
CASIM	2370	CASIMIR AVE	MARIGOLD	END	AC	E	2	Area 4	523	34	17,782	98	76	0	24	7/18/24	New Construction - Initial	1/1/80
CHANER	2470	CHANERA AVE	ARDATH AV	END	AC	E	2	Area 4	498	34	16,932	98	84	0	16	7/18/24	New Construction - Initial	1/1/80
LASALL	3340	LA SALLE AVE	169 TH PL	172 ND PL	AC	E	2	Area 6	1,000	34	34,000	98	76	0	24	6/27/24	Cold Mill and Overlay	12/15/05
HALLDA	3110	HALLDALE AVE	170 TH ST	173 RD ST	AAC	E	2	Area 3	830	32	26,560	98	100	0	0	6/28/24	Overlay - AC Structural	6/1/20
ARDATH	1910	ARDATH AVE	MARIGOLD	REDONDO BEACH BLVD	AAC	E	2	Area 4	747	34	25,398	98	77	0	23	7/18/24	Overlay - AC Thin	7/15/18
172 PL	1700	172 nd PL	HARVARD	DENKER	AC	E	2	Area 6	485	35	16,975	99	78	0	22	6/27/24	Cold Mill and Overlay	12/15/05
169 PL	1630	169 th PL	BRIGHTON	END	AC	E	2	Area 6	121	32	3,872	99	100	0	0	6/28/24	New Construction - Initial	1/1/80
ARDATH	1880	ARDATH AVE	135 TH ST	139 TH ST	AAC	E	2	Area 1	1,302	32	41,664	99	100	0	0	6/7/24	Overlay - AC Structural	3/21/24
BRIT A	2160	BRIGHTON AVE	169 TH ST	170 TH ST	AC	E	2	Area 6	623	32	19,936	99	100	0	0	6/28/24	Surface Treatment - Slurry Seal	3/21/24
HALLDA	3042	HALLDALE AVE	132 ND ST	134 TH ST	AC	E	2	Area 2	685	56	38,360	99	100	0	0	7/30/24	Overlay - AC Structural	7/21/23
HALLDA	3044	HALLDALE AVE	134 TH ST	135 TH ST	AAC	E	2	Area 2	545	56	30,520	99	100	0	0	7/30/24	Overlay - AC Structural	7/21/23

City of Gardena, CA
Pavement Condition Index (PCI) Report - All Streets

Sorted by Rank, PCI Order (0-100)

HALLDA	3040	HALLDALE AVE	EL SEGUNDO	132 ND ST	AAC	E	2	Area 2	1,351	56	75,656	99	100	0	0	7/30/24	Overlay - AC Structural	7/21/23
149 ST	910	149 th ST	BUDLONG	BERENDO AV	AAC	E	2	Area 3	597	34	20,298	99	100	0	0	7/30/24	Overlay - AC Structural	8/10/21
150 ST	970	150 th ST	BUDLONG	BERENDO AV	AAC	E	2	Area 3	597	34	20,298	99	100	0	0	7/30/24	Overlay - AC Structural	8/10/21
129 PL	5	129 th PL	ARDATH AV	END	AAC	E	2	Area 1	431	26	14,100	100	0	0	0	6/7/24	Overlay - AC Structural	3/21/24
129 ST	50	129 th ST	BUDLONG	CATALINA	AAC	E	2	Area 2	423	26	10,998	100	0	0	0	6/13/24	New Construction - Initial	1/1/80
132 PL	120	132 nd PL	ARDATH AV	END	AAC	E	2	Area 1	436	26	13,950	100	0	0	0	6/7/24	Overlay - AC Structural	3/21/24
135 PL	290	135 th PL	ARDATH AV	END	AAC	E	2	Area 1	436	26	12,595	100	0	0	0	6/7/24	Overlay - AC Structural	3/21/24
141 ST	510	141st ST	ARDATH AV	END	AAC	E	2	Area 1	436	26	11,336	100	0	0	0	5/31/24	Overlay - AC Structural	3/21/24
144 ST	600	144 th ST	VAN NESS	GRAMERCY	AAC	E	2	Area 4	1,270	32	40,640	100	0	0	0	8/26/24	Overlay - AC Structural	8/26/24
157 ST	1250	157 th ST	MANHATTAN PL	END	AAC	E	2	Area 4	200	34	6,800	100	0	0	0	8/26/24	Overlay - AC Structural	8/26/24
ARCTU	1860	ARCTURUS AVE	MANHATTAN BEACH	REDONDO BEACH BLVD	AAC	E	2	Area 4	1,494	34	50,796	100	0	0	0	8/26/24	Overlay - AC Structural	8/26/24
ARDATH	1870	ARDATH AVE	129 TH ST	132 ND ST	AAC	E	2	Area 1	985	32	31,520	100	0	0	0	6/7/24	Overlay - AC Structural	3/21/24
ARDATH	1875	ARDATH AVE	132 ND ST	134 TH PL	AAC	E	2	Area 1	993	32	31,776	100	0	0	0	6/7/24	Overlay - AC Structural	3/21/24
ARDATH	1885	ARDATH AVE	139 TH ST	141 ST ST	AAC	E	2	Area 1	635	32	21,220	100	0	0	0	6/7/24	Overlay - AC Structural	3/21/24
DAPHNE	2680	DAPHNE AVE	134TH PL	N END	AAC	E	2	Area 1	185	26	4,810	100	0	0	0	6/7/24	Overlay - AC Structural	3/21/24
MARIGO	3440	MARIGOLD AVE	MANHATTAN BEACH	ARCTURUS	AAC	E	2	Area 4	871	33	28,743	100	0	0	0	8/26/24	Overlay - AC Structural	8/26/24
MILLER	3550	MILLER AVE	147 TH ST	MARINE	AAC	E	2	Area 4	1,220	30	36,600	100	0	0	0	8/26/24	Overlay - AC Structural	8/26/24
PARRON	3750	PARRON DR	END - 156 TH	END	AAC	E	2	Area 4	598	34	20,332	100	0	0	0	8/26/24	Overlay - AC Structural	8/26/24
PURCHE	3800	PURCHE AVE	149 TH ST	150 TH ST	AAC	E	2	Area 4	332	30	9,960	100	0	0	0	8/26/24	Overlay - AC Structural	8/26/24
REDOND FR	4700	REDONDO BEACH BLVD FRONTAGE	WEST END (W/ ATKINSON)	EAST END	AAC	E	2	Area 4	1,442	26	37,492	100	0	0	0	8/26/24	Overlay - AC Structural	8/26/24
ST AND	4175	ST ANDREWS PL	154 TH PL	RUTHELEN ST	AAC	E	2	Area 4	1,196	34	40,664	100	0	0	0	8/26/24	Overlay - AC Structural	8/26/24
									57.5		9,614,869							

SECTION IV
FORECAST MAINTENANCE / REHABILITATION (FMR) REPORT

A. Actual Budget, Five Year Plan (2024-2029)

A. FORECAST MAINTENANCE & REHABILITATION (FMR) REPORT

Listed in chronological order by plan year, rank (Arterial & Collector/Local) then alphabetically by street name, this report presents the year and action corresponding to the next scheduled work activity for each segment within the pavement network.

ACTUAL / PROJECTED BUDGET – The Actual budget was generated for the City to demonstrate how the \$48.3 Million/5yr budget allocation performs against the current citywide conditions.

In general sections are chosen first and foremost on available budget; secondly, the square footage of each section plays a large factor. The software initially chooses the draft sections that will increase PCI, sustain PCI or slow PCI deterioration within the budgeted timeframe. Additionally, the types of distress, extents of distress and severities of distress (high, medium, low) also determine how sections are/can be selected.

****All multi-year budget projections include an annual 4% unit cost inflation rate for the term of the budget forecast, as well as a 30% contingency on material costs which typically cover additional project costs for contract administration, design, construction management.***

The City of Gardena makes all final decisions on what pavement sections are scheduled for improvement and within which fiscal year.

City of Gardena, CA
Forecast Maintenance / Rehabilitation (FMR) Report - FY 2024-2029

Sorted by Rank, FY, Name Order (A-Z)

FY	BranchID	Sec ID	Name	From	To	Surface Type	Rank	Lanes	Zone	L	W	Area	PCI	PCI Pct Climate	PCI Pct Load	PCI Pct Other	Maint. Type	Total \$
Arterials																		
2024-25	ARTESI	1920	ARTESIA BLVD	WESTERN	MARUKAI	AC	A	3	~	625	33	24,798	62	41	59	0	AC Grind-Overlay	
2024-25	ARTESI	1922	ARTESIA BLVD	MARUKAI	DALTON	AC	A	3	~	1,025	33	40,798	68	48	51	1	AC Grind-Overlay	
2024-25	ARTESI	1925	ARTESIA BLVD	DALTON	NORMANDIE	AC	A	3	~	1,445	34	74,235	65	38	45	17	AC Grind-Overlay	
2024-25	ARTESI	1930	ARTESIA BLVD	NORMANDIE	VERMONT	AC	A	4	~	2,385	61	148,525	69	57	43	0	AC Grind-Overlay	
2024-25	NORMAN	3630	NORMANDIE AVE	177 TH ST	ARTESIA BLVD	AC	A	4	~	865	50	43,250	55	46	49	5	AC Grind-Overlay	
2024-25	REDOND	3930	REDONDO BEACH BLVD	BEGIN AC (160' E/ CRENSHAW)	END AC (325' W/ VAN NESS)	AC	A	5	~	2,265	76	178,160	74	32	50	18	AC Grind-Overlay	
2024-25	VERMON	4330	VERMONT AVE (SB ONLY)	EL SEGUNDO BLVD	132ND ST	AC	A	3	~	1,399	42	62,955	73	72	28	0	AC Grind-Overlay	
2024-25	VERMON	4430	VERMONT AVE (SB ONLY)	S/S WATER CHANNEL (S/ CASSIDY ST)	182ND ST	AC	A	2	~	1,464	40	56,250	36	29	62	9	AC Grind-Overlay	
2024-25	VERMON	4335	VERMONT AVE (SB ONLY)	132ND ST	135TH ST	AC	A	3	~	1,262	41	51,742	79	71	29	0	AC Grind-Overlay	
2025-26	CRENSH	2565	CRENSHAW BLVD (NB ONLY)	ROSECRANS	END PCC 90' N/ ROSECRANS	PCC	A	3	~	136	30	5,225	55	19	79	2	PCC Repair	
2025-26	CRENSH	2570	CRENSHAW BLVD (NB ONLY)	BEGIN AC 90' N/ ROSECRANS	END AC 265' S/ 135TH ST	AC	A	3	~	2,230	36	79,760	46	15	78	7	AC Grind-Overlay	
2025-26	CRENSH	2575	CRENSHAW BLVD (NB ONLY)	BEGIN PCC 265' S/ 135TH ST	135TH ST	PCC	A	3	~	265	36	10,545	62	21	64	15	PCC Repair	
2025-26	CRENSH	2580	CRENSHAW BLVD (NB ONLY)	LACFC EASEMENT (13127 CRENSHAW)	END AC 265' S/ EL SEGUNDO BLVD	AC	A	3	~	998	30	36,125	66	21	57	22	AC Grind-Overlay	
2025-26	CRENSH	2585	CRENSHAW BLVD (NB ONLY)	BEGIN PCC 265' S/ EL SEGUNDO BLVD	EL SEGUNDO BLVD	PCC	A	3	~	310	48	14,880	67	26	27	47	PCC Repair	
2025-26	REDOND	3940	REDONDO BEACH BLVD	BEGIN AC (325' E/ VAN NESS)	GRAMERCY PL	AC	A	4	~	1,080	70	83,740	77	69	11	20	AC Grind-Overlay	
2025-26	REDOND	3942	REDONDO BEACH BLVD	GRAMERCY PL	BEGIN PCC (310' W/ WESTERN AVE)	AC	A	4	~	1,048	68	77,029	82	91	9	0	AC Grind-Overlay	
2025-26	REDOND	3950	REDONDO BEACH BLVD	BEGIN AC (300' E/ WESTERN AVE)	DENKER	AC	A	4	~	1,090	68	83,770	68	94	6	0	AC Grind-Overlay	
2025-26	REDOND	3952	REDONDO BEACH BLVD	DENKER	NUANU	AC	A	4	~	660	68	45,395	68	80	20	0	AC Grind-Overlay	
2025-26	WESTER	4490	WESTERN AVE	ROSECRANS	147 TH ST	AC	A	4	~	1,450	70	101,500	86	59	39	2	Type II Slurry	
2025-26	WESTER	4495	WESTERN AVE	147 TH ST	MARINE	AC	A	4	~	1,185	70	82,950	88	74	22	4	Type II Slurry	
2025-26	WESTER	4500	WESTERN AVE	MARINE	153 RD ST	AC	A	4	~	665	70	46,550	75	33	39	28	Type II Slurry	
2025-26	WESTER	4502	WESTERN AVE	153 RD ST	END AC (310' N/ REDONDO BEACH BLVD)	AC	A	4	~	1,216	70	85,120	76	41	26	33	Type II Slurry	
2025-26	WESTER	4489	WESTERN AVE	146 TH ST	147 TH ST	PCC	A	1	~	415	6	2,490	87	39	56	5	PCC Repair	
2025-26	WESTER	4494	WESTERN AVE	147 TH ST	MARINE	PCC	A	1	~	1,185	6	7,110	89	38	62	0	PCC Repair	
2025-26	WESTER	4499	WESTERN AVE	MARINE	153 RD ST	PCC	A	1	~	665	6	3,990	88	73	27	0	PCC Repair	
2025-26	WESTER	4501	WESTERN AVE	153 RD ST	310' N/ REDONDO BEACH BLVD	PCC	A	1	~	1,216	6	7,296	87	30	69	1	PCC Repair	
2025-26	WESTER	4503	WESTERN AVE	100' N/ REDONDO BEACH BLVD	154 TH ST	PCC	A	1	~	1,110	6	6,660	91	87	12	1	PCC Repair	
2025-26	WESTER	4510	WESTERN AVE	BEGIN PCC (310' N/ REDONDO BEACH BLVD)	REDONDO BEACH BLVD	PCC	A	4	~	315	80	18,395	66	18	55	27	PCC Repair	
\$19,911,300																		
2026-27	REDOND	3954	REDONDO BEACH BLVD	NUANU	BEGIN PCC (325' W/ NORMANDIE AVE)	AC	A	4	~	448	68	39,426	75	87	13	0	AC Grind-Overlay	\$261,000
2026-27	REDOND	3956	REDONDO BEACH BLVD	BEGIN AC (310' E/ NORMANDIE AVE)	END AC (310' W/ BUDLONG AVE)	AC	A	4	~	635	70	64,428	74	50	0	0	AC Grind-Overlay	\$426,513
2026-27	REDOND	3959	REDONDO BEACH BLVD	BEGIN AC (295' E/ BUDLONG)	END AC (270' W/ VERMONT AVE)	AC	A	4	~	655	68	54,966	68	49	45	6	AC Grind-Overlay	\$363,875
\$1,051,388																		
2027-28	ARTESI	1935	ARTESIA BLVD	VERMONT	NORMANDIE	AC	A	4	~	2,385	56	146,995	68	59	41	0	AC Grind-Overlay	\$1,002,506
2027-28	ARTESI	1938	ARTESIA BLVD	NORMANDIE	DALTON	AC	A	3	~	1,445	42	69,195	72	59	27	14	Type II Slurry	\$67,119
2027-28	ARTESI	1940	ARTESIA BLVD	MARUKAI	MARUKAI	AC	A	3	~	1,025	34	43,010	69	39	61	0	AC Grind-Overlay	\$293,328
2027-28	ARTESI	1945	ARTESIA BLVD	MARUKAI	WESTERN	AC	A	3	~	625	34	28,495	79	54	41	5	Type II Slurry	\$27,640
2027-28	ELSEGU	2820	EL SEGUNDO BLVD (EB ONLY)	END PCC 210' E/ CRENSHAW	WILKIE AVE	APC	A	3	~	830	36	29,880	85	75	21	4	Type II Slurry	\$28,984
2027-28	ELSEGU	2825	EL SEGUNDO BLVD (EB ONLY)	END PCC (70' E/ VAN NESS AVE)	WESTERN	APC	A	3	~	2,492	36	89,712	75	44	49	7	Type II Slurry	\$87,021
2027-28	ELSEGU	2830	EL SEGUNDO BLVD (EB ONLY)	WESTERN	NORMANDIE	APC	A	3	~	2,560	36	92,160	71	30	59	11	AC Grind-Overlay	\$628,531
2027-28	ELSEGU	2845	EL SEGUNDO BLVD (EB ONLY)	END PCC (235' E/ NORMANDIE)	BUDLONG	APC	A	3	~	955	36	34,380	77	42	57	1	Type II Slurry	\$33,349
2027-28	ELSEGU	2848	EL SEGUNDO BLVD (EB ONLY)	BUDLONG	BEGIN PCC (120' W/ VERMONT)	APC	A	3	~	1,215	36	43,740	54	25	75	0	AC Grind-Overlay	\$298,307
\$2,466,784																		
2028-29	NORMAN	3640	NORMANDIE AVE	REDONDO BEACH BLVD	155 TH ST	AC	A	2	~	480	55	26,400	61	16	64	20	AC Grind-Overlay	\$185,328
2028-29	NORMAN	3670	NORMANDIE AVE	REDONDO BEACH BLVD	MARINE	AC	A	4	~	1,191	53	63,123	80	68	3	29	Type II Slurry	\$63,123
2028-29	NORMAN	3680	NORMANDIE AVE	MARINE	ROSECRANS	AC	A	4	~	3,316	56	185,696	79	69	1	30	Type II Slurry	\$185,696
2028-29	NORMAN	3690	NORMANDIE AVE	ROSECRANS	139 TH ST	AC	A	4	~	1,320	55	72,600	86	79	0	21	Type II Slurry	\$72,600
2028-29	ROSECR	3975	ROSECRANS AVE	PURCHE	VAN NESS	APC	A	3	~	850	31	31,350	83	89	11	0	Type II Slurry	\$31,350
2028-29	ROSECR	3980	ROSECRANS AVE	VAN NESS	GRAMERCY	AC	A	3	~	1,320	31	45,375	84	65	6	29	Type II Slurry	\$45,375
2028-29	ROSECR	3985	ROSECRANS AVE	GRAMERCY	WESTERN	AC	A	3	~	1,320	31	45,240	84	54	17	29	Type II Slurry	\$45,240
2028-29	ROSECR	4000	ROSECRANS AVE	END PCC 80' E/ NORMANDIE	BUDLONG	AC	A	3	~	1,205	30	38,910	81	38	47	15	Type II Slurry	\$38,910
2028-29	ROSECR	4005	ROSECRANS AVE	BUDLONG	PCC 260' W/ VERMONT	AC	A	3	~	950	30	32,140	85	38	62	0	Type II Slurry	\$32,140
2028-29	ROSECR	4645	ROSECRANS AVE	END PCC 85' W/ NORMANDIE	DENKER	AC	A	3	~	1,207	31	45,340	86	80	17	3	Type II Slurry	\$45,340
2028-29	ROSECR	4655	ROSECRANS AVE	WESTERN	GRAMERCY	AC	A	3	~	1,320	31	42,837	77	29	0	71	Type II Slurry	\$42,837
2028-29	ROSECR	4660	ROSECRANS AVE	GRAMERCY	VAN NESS	AC	A	3	~	1,320	31	49,440	78	28	40	32	Type II Slurry	\$49,440
2028-29	ROSECR	4665	ROSECRANS AVE	VAN NESS	PURCHE	AC	A	3	~	850	31	30,615	81	34	14	52	Type II Slurry	\$30,615
2028-29	VERMON	4355	VERMONT AVE (SB ONLY)	BEGIN AC (130' S/ ROSECRANS AVE)	END AC (260' N/ MARINE AVE)	AC	A	3	~	2,180	41	91,418	80	100	0	0	Type II Slurry	\$91,418
2028-29	VERMON	4365	VERMONT AVE (SB ONLY)	BEGIN AC (90' S/ MARINE AVE)	END AC (285' N/ REDONDO BEACH BLVD)	AC	A	3	~	307	33	10,131	77	78	22	0	Type II Slurry	\$10,131
2028-29	VERMON	4375	VERMONT AVE (SB ONLY)	BEGIN AC (110' S/ REDONDO BEACH BLVD)	MAGNOLIA	AC	A	3	~	1,175	48	55,145	78	43	56	1	Type II Slurry	\$55,145
2028-29	VERMON	4380	VERMONT AVE (SB ONLY)	MAGNOLIA	END AC (70' N/ 161ST ST)	AC	A	3	~	1,236	48	59,835	73	30	69	1	Type II Slurry	\$59,835
2028-29	VERMON	4390	VERMONT AVE (SB ONLY)	161ST ST	164TH ST	AC	A	3	~	930	41	39,668	83	58	25	17	Type II Slurry	\$39,668
2028-29	VERMON	4420	VERMONT AVE (SB ONLY)	ARTESIA BLVD	N/S WATER CHANNEL (S/ CASSIDY ST)	AC	A	2	~	485	30	15,945	83	100	0	0	Type II Slurry	\$15,945
2028-29	WESTER	4460	WESTERN AVE	BEGIN AC (335' S/ EL SEGUNDO)	132 ND ST	AC	A	4	~	1,018	76	85,025	73	70	25	5	Type II Slurry	\$85,025
2028-29	WESTER	4465	WESTERN AVE	132 ND ST	END AC	AC	A	4	~	925	76	78,725	77	68	32	0	Type II Slurry	\$78,725
2028-29	WESTER	4470	WESTERN AVE	END PCC	139 TH ST	AC	A	4	~	1,035	75	84,280	79	75	25	0	Type II Slurry	\$84,280
2028-29	WESTER	4480	WESTERN AVE	139 TH ST	ROSECRANS	AC	A	4	~	1,287	72	92,185	77	37	46	17	Type II Slurry	\$92,185
\$1,480,351																		

FY 2024-26 includes multiple Arterial sections over the next two years

City of Gardena, CA
Forecast Maintenance / Rehabilitation (FMR) Report - FY 2024-2029

Sorted by Rank, FY, Name Order (A-Z)

Collectors																	
2024-25	132 ST	170	132 nd ST	WILTON	MANHATTAN	AC	C	2	Area 1	978	32	31,296	50	28	64	8	AC Grind-Overlay
2024-25	132 ST	175	132 nd ST	MANHATTAN	WESTERN	AC	C	2	Area 1	392	32	12,544	61	28	72	0	AC Grind-Overlay
2024-25	135 ST	320	135 th ST	WESTERN	NORMANDIE	AC	C	4	Area 2	2,650	56	148,400	74	31	25	44	Type II Slurry
2024-25	135 ST	330	135 th ST	NORMANDIE	BUDLONG	AC	C	4	Area 2	1,210	60	72,600	76	33	29	38	Type II Slurry
2024-25	145 ST	670	145 th ST	GRAMERCY	WESTERN	AC	C	2	Area 4	1,195	26	31,070	68	53	43	4	AC Grind-Overlay
2024-25	166 TH	1550	166 th ST	WESTERN (CONCRETE)	NORMANDIE	PCC	C	2	Area 5	2,740	50	137,000	69	43	36	21	PCC Repair
2024-25	MARINE	3470	MARINE AVE	WESTERN	DENKER	APC	C	3	Area 3	1,282	40	55,798	65	70	0	30	AC Grind-Overlay
2024-25	MARINE	3475	MARINE AVE	DENKER	HALLDALE	APC	C	3	Area 3	660	40	26,400	65	66	6	28	AC Grind-Overlay
2024-25	MARINE	3476	MARINE AVE	HALLDALE	NORMANDIE	APC	C	3	Area 3	630	42	26,460	66	62	9	29	AC Grind-Overlay
2024-25	MARINE	3480	MARINE AVE	NORMANDIE	BUDLONG	APC	C	2	Area 3	1,286	32	41,152	66	62	11	27	AC Grind-Overlay
2024-25	MARINE	3482	MARINE AVE	BUDLONG	BERENDO	APC	C	2	Area 3	660	33	21,780	65	50	24	26	AC Grind-Overlay
2024-25	MARINE	3484	MARINE AVE	BERENDO	END AC (70' W/ VERMONT)	APC	C	2	Area 3	486	33	16,038	68	67	0	33	AC Grind-Overlay
2025-26	132 ST	160	132 nd ST	VAN NESS	CIMARRON	AC	C	2	Area 1	800	32	25,600	46	23	76	1	AC Grind-Overlay
2025-26	135 ST	300	135 th ST	CRENSHAW	WATER CHANNEL	PCC	C	4	Area 1	145	58	7,295	72	27	11	62	PCC Repair
2025-26	135 ST	302	135 th ST	WATER CHANNEL	ARCTURUS	AC	C	4	Area 1	1,240	56	67,940	80	81	18	1	Type II Slurry
2025-26	135 ST	305	135 th ST	ARCTURUS	VAN NESS	AC	C	4	Area 1	1,095	56	61,320	82	77	23	0	Type II Slurry
2025-26	135 ST	310	135 th ST	VAN NESS	WESTERN	AC	C	4	Area 1	2,615	56	146,440	82	45	51	4	Type II Slurry
2025-26	MARINE	3485	MARINE AVE	BEGIN PCC (70' W/ VERMONT)	VERMONT	PCC	C	2	Area 1	70	32	2,240	71	31	48	21	PCC Repair
2025-26	VAN NE	4289	VAN NESS AVE	EL SEGUNDO	END PCC	PCC	C	2	Area 1	265	32	10,405	76	35	46	19	PCC Repair
2025-26	VAN NE	4290	VAN NESS AVE	BEGIN AC (265' S/ EL SEGUNDO)	132 ND ST	AAC	C	4	Area 1	1,085	56	66,810	86	100	0	0	Type II Slurry
\$1,500,000																	
2026-27	168 ST	1590	168 th ST	NORMANDIE	RAYMOND AVE	AC	C	2	Area 6	1,193	32	38,176	61	51	48	1	AC Grind-Overlay
2026-27	168 ST	1594	168 th ST	RAYMOND AVE	BERENDO	AC	C	2	Area 6	750	34	25,500	58	46	53	1	AC Grind-Overlay
2026-27	168 ST	1596	168 th ST	BERENDO	VERMONT	AC	C	2	Area 6	620	34	21,080	69	47	41	12	Type II Slurry
2026-27	178 ST	1740	178 th ST	WESTERN	LA SALLE	AC	C	2	Area 6	940	27	25,380	81	92	0	8	Type II Slurry
2026-27	178 ST	1742	178 th ST	LA SALLE	EVELYN	AC	C	2	Area 6	1,015	36	34,895	81	82	11	7	Type II Slurry
2026-27	178 ST	1745	178 th ST	EVELYN	NORMANDIE	AC	C	2	Area 6	1,018	36	36,648	76	47	46	7	Type II Slurry
2026-27	182 ST	1790	182 nd ST	CITY LIMITS (1328 W 182ND ST)	BUDLONG	AC	C	2	Area 6	935	56	55,220	76	92	8	0	Type II Slurry
2026-27	182 ST	1795	182 nd ST	BUDLONG	VERMONT	AC	C	2	Area 6	1,372	56	77,610	81	70	14	16	Type II Slurry
2026-27	BEREND	2090	BERENDO AVE	168 TH ST	170 TH ST	AC	C	2	Area 6	832	34	28,288	71	43	48	9	Type II Slurry
2026-27	DENKER	2785	DENKER AVE	170 TH ST	ARTESIA	AC	C	2	Area 6	1,275	34	43,350	73	22	64	14	AC Grind-Overlay
2026-27	NWHAMP	3625	NEW HAMPSHIRE AVE	170 TH ST	END	AC	C	2	Area 6	690	32	22,080	55	51	49	0	AC Grind-Overlay
\$1,117,055																	
2027-28	132 ST	190	132 nd ST	NORMANDIE	BUDLONG	AC	C	2	Area 2	1,120	56	62,720	76	50	48	2	Type II Slurry
2027-28	135 ST	335	135 th ST	BUDLONG	VERMONT	AC	C	4	Area 2	1,330	60	79,800	83	50	15	35	Type II Slurry
2027-28	139 ST	440	139 th ST	WESTERN	NORMANDIE	AC	C	2	Area 2	2,532	36	91,152	72	24	68	8	AC Grind-Overlay
2027-28	HALLDA	3050	HALLDALE AVE	ROSECRANS	139 TH ST	AAC	C	2	Area 2	1,220	28	34,160	83	20	80	0	Type II Slurry
2027-28	MARIPO	3490	MARIPOSA AVE	135 TH ST	137 TH ST	AC	C	2	Area 2	573	28	16,044	65	37	63	0	AC Grind-Overlay
2027-28	RAYM A	3830	RAYMOND AVE	135 TH ST	137 TH ST	AC	C	2	Area 2	573	32	18,336	74	37	59	4	Type II Slurry
\$920,242																	
2028-29	144 ST	620	144 th ST	WESTERN	DENKER	AC	C	2	Area 3	1,220	25	30,500	69	45	42	13	Type II Slurry
2028-29	145 ST	680	145 th ST	WESTERN	DENKER	AC	C	2	Area 3	1,220	24	29,280	68	72	9	19	AC Grind-Overlay
2028-29	145 ST	690	145 th ST	DENKER	NORMANDIE	AC	C	2	Area 3	1,220	30	36,600	64	49	51	0	AC Grind-Overlay
2028-29	146 ST	750	146 th ST	WESTERN	DENKER	AC	C	2	Area 3	1,220	36	43,920	59	31	62	7	AC Grind-Overlay
2028-29	147 ST	800	147 th ST	WESTERN	DENKER	AC	C	2	Area 3	1,220	30	36,600	85	71	29	0	Type II Slurry
2028-29	147 ST	810	147 th ST	DENKER	HALLDALE	AC	C	2	Area 3	597	26	15,522	84	77	23	0	Type II Slurry
2028-29	149 ST	880	149 th ST	WESTERN	DENKER	AC	C	2	Area 3	1,220	24	29,280	74	88	12	0	Type II Slurry
2028-29	150 ST	960	150 th ST	WESTERN	HARVARD BLVD	AC	C	2	Area 3	597	24	14,328	82	100	0	0	Type II Slurry
2028-29	DENKER	2740	DENKER AVE	ROSECRANS	146 TH ST	AC	C	2	Area 3	1,028	24	25,472	71	55	45	0	Type II Slurry
2028-29	DENKER	2742	DENKER AVE	149 TH ST	149 TH ST	AC	C	2	Area 3	836	26	21,986	86	83	17	0	Type II Slurry
2028-29	DENKER	2744	DENKER AVE	149 TH ST	MARINE	AC	C	2	Area 3	725	26	18,850	85	81	19	0	Type II Slurry
2028-29	DENKER	2750	DENKER AVE	MARINE	REDONDO BEACH BLVD	AC	C	2	Area 3	1,593	34	54,162	70	49	51	0	Type II Slurry
2028-29	HALLDA	3060	HALLDALE AVE	ROSECRANS	145 TH ST	AC	C	2	Area 3	526	32	16,832	46	33	57	10	AC Grind-Overlay
2028-29	HALLDA	3062	HALLDALE AVE	145 TH ST	147 TH ST	AC	C	2	Area 3	970	26	28,782	62	31	69	0	AC Grind-Overlay
2028-29	HALLDA	3064	HALLDALE AVE	147 TH ST	MARINE	AC	C	2	Area 3	1,080	26	28,330	67	40	60	0	AC Grind-Overlay
2028-29	LASALL	3290	LA SALLE AVE	147 TH ST	MARINE	AC	C	2	Area 3	996	26	25,896	83	84	16	0	Type II Slurry
\$25,896																	
\$1,562,479																	
Locals																	
2024-25	129 ST	10	129 th ST	ARDATH AV	END	AC	E	2	Area 1	436	26	14,100	45	32	49	19	AC Grind-Overlay
2024-25	129 ST	20	129 th ST	ARDATH AV	SPINNING	AC	E	2	Area 1	2,017	32	65,444	85	21	16	63	Type II Slurry
2024-25	129 ST	40	129 th ST	WILTON	MANHATTAN BEACH BLVD	AC	E	2	Area 1	946	32	31,172	47	25	75	0	AC Grind-Overlay
2024-25	130 ST	60	130 th ST	ARDATH AV	END	AC	E	2	Area 1	436	26	11,336	60	28	45	27	AC Grind-Overlay
2024-25	131 ST	100	131 st ST	ARDATH AV	END	AC	E	2	Area 1	436	26	13,950	60	31	44	25	AC Grind-Overlay
2024-25	132 ST	140	132 nd ST	PCC W/ ARDATH	WEST END	PCC	E	2	Area 1	110	60	5,755	12	9	70	21	PCC Recon
2024-25	133 ST	210	133 rd ST	ARDATH AV	END	AC	E	2	Area 1	436	26	13,950	54	27	49	24	AC Grind-Overlay
2024-25	134 PL	230	134 th PL	ARDATH	WEST END	AC	E	2	Area 1	437	26	14,118	66	37	63	0	AC Grind-Overlay
2024-25	134 PL	240	134 th PL	WILTON	MANHATTAN BEACH BLVD	AC	E	2	Area 1	996	32	31,872	85	24	76	0	Type II Slurry

FY 2024-26 includes multiple Collector sections over the next two years

City of Gardena, CA
Forecast Maintenance / Rehabilitation (FMR) Report - FY 2024-2029

Sorted by Rank, FY, Name Order (A-Z)

2024-25	134 ST	260	134 th ST	ARDATH AV	END	AC	E	2	Area 1	436	26	11,336	59	44	35	21	AC Grind-Overlay	FY 2024-25 includes multiple Local sections over the next year	
2024-25	136 ST	340	136 th ST	ARDATH AV	PCC	AC	E	2	Area 1	255	26	7,030	81	27	0	73	Type II Slurry		
2024-25	136 ST	342	136 th ST	Begin PCC	END	PCC	E	2	Area 1	116	26	5,710	72	7	78	15	PCC Repair		
2024-25	139 PL	400	139 th PL	ARDATH AV	END	AC	E	2	Area 1	436	26	11,336	50	20	65	15	AC Grind-Overlay		
2024-25	140 ST	470	140 th ST	ARDATH AV	END	AC	E	2	Area 1	436	26	11,336	72	51	24	25	Type II Slurry		
2024-25	141 PL	490	141 st PL	FLOOD CHANNEL (END)	PURCHE	AC	E	2	Area 1	1,420	32	44,418	71	22	47	31	Type II Slurry		
2024-25	141 ST	520	141st ST	ARCTURUS	PURCHE	AC	E	2	Area 1	230	26	6,898	73	23	0	77	Type II Slurry		
2024-25	141 ST	525	141st ST	DAPHNE	PURCHE	AC	E	2	Area 1	230	26	6,880	58	16	84	0	AC Grind-Overlay		
2024-25	ARCTU	1820	ARCTURUS AVE	129 TH ST	132 ND ST	AC	E	2	Area 1	955	26	24,830	79	27	0	73	Type II Slurry		
2024-25	ARCTU	1825	ARCTURUS AVE	132 ND ST	134 TH PL	AC	E	2	Area 1	975	26	25,350	86	67	0	33	Type II Slurry		
2024-25	ARCTU	1830	ARCTURUS AVE	135 TH ST	139 TH ST	AC	E	2	Area 1	1,220	26	31,720	54	23	52	25	AC Grind-Overlay		
2024-25	CASIM	2330	CASIMIR AVE	129 TH ST	132 ND ST	AC	E	2	Area 1	955	26	24,830	54	19	57	24	AC Grind-Overlay		
2024-25	CASIM	2335	CASIMIR AVE	132 ND ST	134 TH PL	AC	E	2	Area 1	975	26	25,350	84	61	18	21	Type II Slurry		
2024-25	CASIM	2340	CASIMIR AVE	135 TH ST	139 TH ST	AC	E	2	Area 1	1,220	26	31,720	58	25	45	30	AC Grind-Overlay		
2024-25	CASIM	2350	CASIMIR AVE	139 TH ST	END	AC	E	2	Area 1	598	26	15,548	54	26	52	22	AC Grind-Overlay		
2024-25	DAPHNE	2670	DAPHNE AVE	129 TH ST	132 ND ST	AC	E	2	Area 1	897	26	23,322	75	39	61	0	Type II Slurry		
2024-25	DAPHNE	2690	DAPHNE AVE	135 TH ST	139 TH ST	AC	E	2	Area 1	1,286	26	33,436	67	52	48	0	Type II Slurry		
2024-25	DAPHNE	2695	DAPHNE AVE	139 TH ST	141 ST ST	AC	E	2	Area 1	765	26	20,790	52	19	71	10	AC Grind-Overlay		
2024-25	ELSG FR	2860	EL SEGUNDO BLVD FRONTAGE	WEST END	PURCHE AVE	AAC	E	2	Area 1	1,565	25	41,530	62	25	34	41	AC Grind-Overlay		
2024-25	ELSG FR	2861	EL SEGUNDO BLVD FRONTAGE	PURCHE	PURCHE	AAC	E	2	Area 1	585	25	16,987	55	27	0	73	AC Grind-Overlay		
2024-25	GRAMER	2950	GRAMERCY PL	129 TH ST	132 ND ST	AC	E	2	Area 1	917	26	23,842	54	36	64	0	AC Grind-Overlay		
2024-25	GRAMER	2955	GRAMERCY PL	132 ND ST	134 TH PL	AC	E	2	Area 1	1,003	26	26,078	72	51	49	0	Type II Slurry		
2024-25	MANH P	3390	MANHATAN PL	129 TH ST	132 ND ST	AC	E	2	Area 1	950	32	31,300	42	28	72	0	AC Grind-Overlay		
2024-25	MANH P	3395	MANHATAN PL	132 ND ST	134 TH ST	AC	E	2	Area 1	1,045	32	34,340	46	29	71	0	AC Grind-Overlay		
2024-25	PURCHE	3760	PURCHE AVE	EL SEGUNDO	129 TH ST	AC	E	2	Area 1	330	32	10,560	47	16	67	17	AC Grind-Overlay		
2024-25	PURCHE	3765	PURCHE AVE	129 TH ST	132 ND ST	AC	E	2	Area 1	951	26	24,726	50	16	65	19	AC Grind-Overlay		
2024-25	PURCHE	3766	PURCHE AVE	132 ND ST	134 TH ST	AC	E	2	Area 1	974	26	29,285	40	32	68	0	AC Grind-Overlay		
2024-25	PURCHE	3770	PURCHE AVE	135 TH ST	ROSECRANS	AC	E	2	Area 1	2,515	26	65,390	55	31	57	12	AC Grind-Overlay		
2024-25	ROSECR FR	4710	ROSECRANS AVE (FRONTAGE)	END (600' E/ ARDATH AVE)	WEST CDS	AC	E	2	Area 1	1,057	25	28,400	64	62	21	17	AC Grind-Overlay		
2024-25	RUTHEL	4040	RUTHELEN ST	129 TH ST	132 ND ST	AC	E	2	Area 1	921	26	23,946	41	30	70	0	AC Grind-Overlay		
2024-25	RUTHEL	4045	RUTHELEN ST	134 TH PL	134 TH PL	AC	E	2	Area 1	1,008	26	26,208	77	31	65	4	Type II Slurry		
2024-25	SPINNI	4080	SPINNING AVE	135 TH ST	139 TH ST	AC	E	2	Area 1	1,220	26	31,720	52	29	61	10	AC Grind-Overlay		
2024-25	SPINNI	4090	SPINNING AVE	139 TH ST	END	AC	E	2	Area 1	772	26	20,072	45	26	74	0	AC Grind-Overlay		
2024-25	ST AND	4150	ST ANDREWS PL	135 TH ST	END	AC	E	2	Area 1	598	36	21,528	78	97	3	0	Type II Slurry		
2024-25	WILKI	4555	WILKIE AVE	132 ND ST	134 TH PL	AC	E	2	Area 1	971	26	25,246	84	85	15	0	Type II Slurry		
2024-25	WILKI	4570	WILKIE AVE	139 TH ST	END	AC	E	2	Area 1	597	26	15,522	64	30	43	27	AC Grind-Overlay		
																			\$4,868,100
2025-26	145 ST	660	145 th ST	HAAS AV	GRAMERCY	AC	E	2	Area 4	921	26	23,946	69	38	60	2	Type II Slurry		\$16,283
2025-26	146 ST	730	146 th ST	HAAS AV	GRAMERCY	AC	E	2	Area 4	921	26	23,946	76	52	48	0	Type II Slurry		\$16,283
2025-26	147 ST	790	147 th ST	PARRON	WESTERN	AC	E	2	Area 4	1,743	32	55,776	77	44	56	0	Type II Slurry		\$37,928
2025-26	148 ST	830	148 th ST	GRAMERCY	WESTERN	AC	E	2	Area 4	1,195	26	31,070	80	78	16	6	Type II Slurry		\$21,128
2025-26	149 ST	860	149 th ST	SUTRO	SPINNING	AC	E	2	Area 4	1,220	30	36,600	80	49	24	27	Type II Slurry		\$24,888
2025-26	149 ST	870	149 th ST	PARRON	WESTERN	AC	E	2	Area 4	1,693	26	44,018	77	36	59	5	Type II Slurry		\$29,932
2025-26	150 ST	930	150 th ST	DUBLIN	PURCHE	AC	E	2	Area 4	498	34	16,932	76	30	19	51	Type II Slurry		\$11,514
2025-26	152 ST	980	152 nd ST	ATKINSON	CASIMIR	AC	E	2	Area 4	1,022	36	36,792	73	82	18	0	Type II Slurry		\$25,019
2025-26	152 ST	985	152 nd ST	CASIMIR	VAN NESS	AC	E	2	Area 4	1,305	36	46,980	74	81	16	3	Type II Slurry		\$31,946
2025-26	154 PL	1060	154 th PL	VAN NESS	CIMARRON	AC	E	2	Area 4	572	34	19,448	72	28	45	27	Type II Slurry		\$13,225
2025-26	154 ST	1100	154 th ST	CRANSHAW	MARIGOLD	AC	E	2	Area 4	915	36	32,940	79	100	0	0	Type II Slurry		\$22,399
2025-26	154 ST	1102	154 th ST	MARIGOLD	PURCHE	AC	E	2	Area 4	820	38	31,160	80	100	0	0	Type II Slurry		\$21,189
2025-26	154 ST	1104	154 th ST	PURCHE	VAN NESS	AC	E	2	Area 4	785	38	29,830	79	100	0	0	Type II Slurry		\$20,284
2025-26	154 ST	1110	154 th ST	VAN NESS	GRAMERCY	AC	E	2	Area 4	1,220	34	41,480	76	55	32	13	Type II Slurry	\$28,206	
2025-26	155 ST	1160	155 th ST	ATKINSON	SPINNING	AC	E	2	Area 4	1,992	40	79,680	78	89	9	2	Type II Slurry	\$54,182	
2025-26	157 ST	1230	157 th ST	ATKINSON	SPINNING	AC	E	2	Area 4	1,992	40	79,680	79	90	10	0	Type II Slurry	\$54,182	
2025-26	157 ST	1250	157 th ST	MANHATTAN PL	END	AC	E	2	Area 4	200	34	6,800	52	16	71	13	AC Grind-Overlay	\$31,144	
2025-26	ARCTU	1860	ARCTURUS AVE	MANHATTAN BEACH	REDONDO BEACH BLVD	AC	E	2	Area 4	1,494	34	50,796	54	27	48	25	AC Grind-Overlay	\$232,646	
2025-26	ATKINS	1950	ATKINSON AVE	MARINE	154 TH ST	AC	E	2	Area 4	1,220	36	43,920	78	46	39	15	Type II Slurry	\$29,866	
2025-26	ATKINS	1960	ATKINSON AVE	MARINE	MANHATTAN BEACH BLVD	AC	E	2	Area 4	1,220	40	48,800	78	50	50	0	Type II Slurry	\$33,184	
2025-26	CASIM	2360	CASIMIR AVE	MARINE	154 TH ST	AC	E	2	Area 4	1,220	36	43,920	77	47	39	14	Type II Slurry	\$29,866	
2025-26	CASSID	2380	CASSIDY AVE	NORMANDIE	CATALINA	AC	E	2	Area 6	1,346	32	43,072	47	62	36	2	AC Grind-Overlay	\$197,270	
2025-26	CASSID	2381	CASSIDY AVE	CATALINA	VERMONT	AC	E	2	Area 6	1,040	32	33,280	73	25	75	0	Type II Slurry	\$22,630	
2025-26	CIMARR	2520	CIMARRON AVE	154 TH PL	156 TH ST	AC	E	2	Area 4	573	32	18,336	73	53	45	2	Type II Slurry	\$12,468	
2025-26	CIMARW	2530	CIMARRON WAY	154 TH PL	154 TH PL	AC	E	2	Area 4	240	30	7,200	78	100	0	0	Type II Slurry	\$4,896	
2025-26	DAPHNE	2730	DAPHNE AVE	152 ND ST	154 TH ST	AC	E	2	Area 4	946	26	24,596	79	43	57	0	Type II Slurry	\$16,725	
2025-26	DUBLIN	2810	DUBLIN AVE	147 TH ST	MARINE	AC	E	2	Area 4	1,254	30	37,620	67	28	40	32	Type II Slurry	\$25,582	
2025-26	HAAS A	3010	HAAS AVE	144 TH ST	147 TH ST	AC	E	2	Area 4	697	26	18,122	73	65	11	24	Type II Slurry	\$12,323	
2025-26	HAAS A	3030	HAAS AVE	154 TH PL	156 TH ST	AC	E	2	Area 4	572	34	19,448	81	78	14	8	Type II Slurry	\$13,225	
2025-26	MANH P	3400	MANHATAN PL	154 TH ST	REDONDO BEACH BLVD	AC	E	2	Area 4	996	34	33,864	80	58	38	4	Type II Slurry	\$23,028	
2025-26	MARIGO	3430	MARIGOLD AVE	154 TH ST	MANHATTAN BEACH BLVD	AC	E	2	Area 4	1,220	40	48,800	76	65	33	2	Type II Slurry	\$33,184	
2025-26	MARIGO	3440	MARIGOLD AVE	MANHATTAN BEACH	ARCTURUS	AC	E	2	Area 4	871	33	28,743	51	12	63	25	AC Grind-Overlay	\$131,643	
2025-26	MILLER	3550	MILLER AVE	147 TH ST	MARINE	AC	E	2	Area 4	1,220	30	36,600	59	25	51	24	AC Grind-Overlay	\$167,628	

City of Gardena, CA
Forecast Maintenance / Rehabilitation (FMR) Report - FY 2024-2029

Sorted by Rank, FY, Name Order (A-Z)

2025-26	PARRON	3740	PARRON DR	152 ND ST	154 TH ST	AC	E	2	Area 4	622	34	21,148	72	36	64	0	Type II Slurry	\$14,381
2025-26	PARRON	3750	PARRON DR	END - 156 TH	END	AC	E	2	Area 4	598	34	20,332	55	36	64	0	AC Grind-Overlay	\$93,121
2025-26	PURCHE	3790	PURCHE AVE	147 TH ST	149TH ST	AC	E	2	Area 4	664	30	19,920	76	43	9	48	Type II Slurry	\$13,546
2025-26	PURCHE	3800	PURCHE AVE	149 TH ST	150 TH ST	AC	E	2	Area 4	332	30	9,960	55	35	41	24	AC Grind-Overlay	\$45,617
2025-26	PURCHE	3820	PURCHE AVE	154 TH ST	MANHATTAN BEACH BLVD	AC	E	2	Area 4	1,195	40	47,800	78	50	47	3	Type II Slurry	\$32,504
2025-26	REDOND FR	4700	REDONDO BEACH BLVD FRONTAGE	WEST END (W/ ATKINSON)	EAST END	AC	E	2	Area 4	1,442	26	37,492	61	10	54	36	AC Grind-Overlay	\$171,713
2025-26	ROXTON	4020	ROXTON AVE	147 TH ST	150 TH ST	AC	E	2	Area 4	996	30	29,880	73	34	23	43	Type II Slurry	\$20,318
2025-26	SPINNI	4110	SPINNING AVE	147 TH ST	MARINE	AC	E	2	Area 4	1,220	30	36,600	77	37	26	37	Type II Slurry	\$24,888
2025-26	SUTRO	4220	SUTRO ST	147 TH ST	MARINE	AC	E	2	Area 4	1,220	30	36,600	70	54	13	33	Type II Slurry	\$24,888
																		\$1,886,871
2026-27	168 ST	1580	168 th ST	WESTERN	DENKER	AC	E	2	Area 6	1,246	33	41,118	83	70	28	2	Type II Slurry	\$28,783
2026-27	169 PL	1620	169 th PL	MARIPOSA	END	AC	E	2	Area 6	448	32	14,336	70	62	38	0	Type II Slurry	\$10,035
2026-27	171 ST	1690	171 st ST	HALLDALE	BRIGHTON WAY	AC	E	2	Area 6	747	33	24,651	62	44	56	0	AC Grind-Overlay	\$116,106
2026-27	172 ST	1710	172 rd ST	HALLDALE	BRIGHTON WAY	AC	E	2	Area 6	821	32	26,272	43	41	59	0	AC Grind-Overlay	\$123,741
2026-27	173 ST	1720	173 rd ST	DALTON	BRIGHTON WAY	AC	E	2	Area 6	1,345	32	43,040	47	30	64	6	AC Grind-Overlay	\$202,718
2026-27	179 PL	1750	179 th PL	DENKER AVE	END	AC	E	2	Area 6	498	34	16,932	73	49	51	0	Type II Slurry	\$11,852
2026-27	180 ST	1780	180 th ST	EVELYN	BRIGHTON	AC	E	2	Area 6	782	34	26,588	86	53	32	15	Type II Slurry	\$18,612
2026-27	AVER P	1985	AVERY PL	180 TH ST	END - SOUTH	AC	E	2	Area 6	180	32	7,525	84	100	0	0	Type II Slurry	\$5,268
2026-27	BEREND	2100	BERENDO AVE	CASSIDY ST	END	AC	E	2	Area 6	224	28	6,272	61	28	72	0	AC Grind-Overlay	\$29,541
2026-27	BEREND	2110	BERENDO AVE	FELDER ST	END	AC	E	2	Area 6	160	30	4,800	84	100	0	0	Type II Slurry	\$3,360
2026-27	BRIGTW	2170	BRIGHTON WAY	170 TH ST	173 RD ST	AC	E	2	Area 6	772	33	25,476	43	27	73	0	AC Grind-Overlay	\$119,992
2026-27	BRODWL	2190	BROADWELL AVE	CASSIDY ST	END	AC	E	2	Area 6	120	44	5,280	85	100	0	0	Type II Slurry	\$3,696
2026-27	BUDLA	2300	BUDLONG AVE	CASSIDY ST	END	AC	E	2	Area 6	224	28	6,272	73	34	65	1	Type II Slurry	\$4,390
2026-27	BUDLA	2310	BUDLONG AVE	177 TH ST (NB ONLY)	182 ND ST	AC	E	1	Area 6	1,425	20	28,500	57	8	86	6	AC Grind-Overlay	\$134,235
2026-27	CATALI	2440	CATALINA AVE	168 TH ST	END	AC	E	2	Area 6	650	34	22,100	60	25	75	0	AC Grind-Overlay	\$104,091
2026-27	CURT P	2590	CURT PL	180 TH ST	END - NORTH	AC	E	2	Area 6	180	32	7,260	82	67	0	33	Type II Slurry	\$5,082
2026-27	DALTA	2630	DALTON AVE	166 TH ST	170 TH ST	AC	E	2	Area 6	1,245	34	42,330	56	25	54	21	AC Grind-Overlay	\$199,374
2026-27	DALTA	2650	DALTON AVE	180 TH ST	END	AC	E	2	Area 6	370	34	12,580	76	100	0	0	Type II Slurry	\$8,806
2026-27	DALT P	2660	DALTON PL	180 TH ST	END	AC	E	2	Area 6	300	34	10,200	73	78	0	22	Type II Slurry	\$7,140
2026-27	DENKER	2790	DENKER AVE	178 TH ST	182 ND ST	AC	E	2	Area 6	1,245	34	42,330	68	35	65	0	Type II Slurry	\$29,631
2026-27	Electr	2870	ELECTRIC ST	VERMONT	WEST END	AC	E	1	Area 6	2,622	10	26,220	67	27	16	57	Type II Slurry	\$18,354
2026-27	HARW B	3160	HARVARD BLVD	168 TH ST	169 TH PL	AC	E	2	Area 6	573	26	14,898	75	31	15	54	Type II Slurry	\$10,429
2026-27	HARW B	3175	HARVARD BLVD	178 TH ST	180 TH ST	AC	E	2	Area 6	590	34	20,060	67	38	62	0	Type II Slurry	\$14,042
2026-27	HARW B	3180	HARVARD BLVD	180 TH ST	182 ND ST	AC	E	2	Area 6	635	34	21,590	51	22	78	0	AC Grind-Overlay	\$101,689
2026-27	HOBART	3220	HOBART BLVD	166 TH ST	169 TH PL	AC	E	2	Area 6	947	34	32,198	76	14	47	39	Type II Slurry	\$22,539
2026-27	HOBART	3230	HOBART BLVD	178 TH ST	180 TH ST	AC	E	2	Area 6	590	34	20,060	53	27	64	9	AC Grind-Overlay	\$94,483
2026-27	HOBART	3235	HOBART BLVD	180 TH ST	182 ND ST	AC	E	2	Area 6	635	34	21,590	33	12	81	7	AC Grind-Overlay	\$101,689
2026-27	LASALL	3330	LA SALLE AVE	168 TH ST	169 TH PL	AC	E	2	Area 6	573	34	19,482	72	69	0	31	Type II Slurry	\$13,637
2026-27	LASALL	3345	LA SALLE AVE	178 TH ST	180 TH ST	AC	E	2	Area 6	590	34	20,060	72	54	41	5	Type II Slurry	\$14,042
2026-27	LASALL	3350	LA SALLE AVE	180 TH ST	182 ND ST	AC	E	2	Area 6	635	34	21,590	35	18	82	0	AC Grind-Overlay	\$101,689
2026-27	MARIPO	3530	MARIPOSA AVE	168 TH ST	170 TH ST	AC	E	2	Area 6	800	32	25,600	58	52	48	0	AC Grind-Overlay	\$120,576
2026-27	MAYFLR	3540	MAYFLOWER CR	168 TH ST	END	AC	E	2	Area 6	500	36	18,000	86	100	0	0	Type II Slurry	\$12,600
2026-27	RAYM P	3920	RAYMOND PL	170 TH ST	END	AC	E	2	Area 6	722	34	24,548	73	18	82	0	Type II Slurry	\$17,184
2026-27	S PARK	4060	SOUTH PARK LN	170 TH ST	END	AC	E	2	Area 6	946	23	21,758	61	22	57	21	AC Grind-Overlay	\$102,480
2026-27	STEVEN	4210	STEVENS ST	170 TH ST	END	AC	E	2	Area 6	622	32	19,904	84	52	44	4	Type II Slurry	\$13,933
																		\$1,925,818
2027-28	133 ST	220	133 rd ST	BUDLONG	VERMONT	AC	E	2	Area 2	1,271	34	43,214	57	39	49	12	AC Grind-Overlay	\$209,588
2027-28	134 PL	250	134 th PL	CATALINA	NEW HAMPSHIRE	AC	E	2	Area 2	697	26	18,122	65	36	64	0	AC Grind-Overlay	\$87,892
2027-28	134 ST	280	134 th ST	NORMANDIE	BUDLONG	AC	E	2	Area 2	1,120	36	40,320	75	64	36	0	Type II Slurry	\$29,030
2027-28	137 ST	370	137 th ST	NORMANDIE	VAN BUREN CT	AC	E	2	Area 2	921	25	23,025	80	52	48	0	Type II Slurry	\$16,578
2027-28	138 ST	390	138 th ST	BUDLONG	BERENDO AV	AC	E	2	Area 2	525	28	14,700	71	36	64	0	Type II Slurry	\$10,584
2027-28	141 ST	530	141st ST	HALLDALE	NORMANDIE	AC	E	2	Area 2	615	32	19,680	55	7	93	0	AC Grind-Overlay	\$95,448
2027-28	141 ST	565	141st ST	WESTERN	HOBART	AC	E	2	Area 2	301	25	7,525	75	42	0	58	Type II Slurry	\$5,418
2027-28	160 ST	1350	160 th ST	NORMANDIE	BUDLONG	AC	E	2	Area 5	1,021	33	33,693	52	69	29	2	AC Grind-Overlay	\$163,411
2027-28	163 ST	1480	163 rd ST	BUDLONG	NEW HAMPSHIRE	AC	E	2	Area 5	940	37	34,780	43	22	78	0	AC Grind-Overlay	\$168,683
2027-28	163 ST	1481	163 rd ST	NEW HAMPSHIRE	VERMONT	PCC	E	2	Area 5	251	36	9,036	47	4	96	0	PCC Repair	\$54,216
2027-28	BEREND	1990	BERENDO AVE	CATALINA AV	132 ND ST	AC	E	2	Area 2	1,180	26	30,680	71	31	69	0	Type II Slurry	\$22,090
2027-28	BEREND	2000	BERENDO AVE	132 ND ST	133 RD ST	AC	E	2	Area 2	225	26	5,850	58	28	72	0	AC Grind-Overlay	\$28,373
2027-28	BEREND	2005	BERENDO AVE	133 RD ST	134 TH ST	AC	E	2	Area 2	642	28	17,976	53	27	73	0	AC Grind-Overlay	\$87,184
2027-28	BEREND	2010	BERENDO AVE	TETON ST	END	AC	E	2	Area 2	872	26	22,672	61	22	69	9	AC Grind-Overlay	\$109,959
2027-28	BRIT A	2120	BRIGHTON AVE	ROSECRANS	139 TH ST	AC	E	2	Area 2	1,220	30	36,600	69	25	75	0	Type II Slurry	\$26,352
2027-28	CATALI	2400	CATALINA AVE	133 RD ST	135 TH ST	AC	E	2	Area 2	872	34	29,648	79	51	49	0	Type II Slurry	\$21,347
2027-28	CATALI	2410	CATALINA AVE	TETON ST	END	AC	E	2	Area 2	872	26	22,672	83	61	39	0	Type II Slurry	\$16,324
2027-28	HOBART	3200	HOBART BLVD	ROSECRANS	141 ST ST	AC	E	2	Area 2	605	30	18,150	79	18	0	82	Type II Slurry	\$13,068
2027-28	HOBART	3210	HOBART BLVD	162 ND ST	END	AC	E	2	Area 5	150	30	4,500	48	33	66	1	AC Grind-Overlay	\$21,825
2027-28	KANSAS	3250	KANSAS AVE	133 RD ST	134 TH PL	AC	E	2	Area 2	573	28	16,044	73	53	47	0	Type II Slurry	\$11,552
2027-28	MARIPO	3500	MARIPOSA AVE	139 TH ST	END	AC	E	2	Area 2	498	33	16,434	70	43	45	12	Type II Slurry	\$11,832
2027-28	MARIPO	3510	MARIPOSA AVE	141 ST ST	141 ST PL	AAC	E	2	Area 2	274	32	8,768	80	10	88	2	Type II Slurry	\$6,313
2027-28	NWHAMP	3560	NEW HAMPSHIRE AVE	133 RD ST	135 TH ST	AC	E	2	Area 2	872	34	29,648	85	100	0	0	Type II Slurry	\$21,347
2027-28	NWHAMP	3580	NEW HAMPSHIRE AVE	163 RD ST	164 TH ST	PCC	E	2	Area 5	330	44	14,520	49	13	87	0	PCC Repair	\$87,120

City of Gardena, CA
Forecast Maintenance / Rehabilitation (FMR) Report - FY 2024-2029

Sorted by Rank, FY, Name Order (A-Z)

2027-28	ST AND	4201	ST ANDREWS PL	161 ST ST	162 ND ST	AC	E	2	Area 5	305	35	11,575	42	5	67	28	AC Grind-Overlay	\$56,139
2027-28	TETON	4230	TETON ST	BUDLONG	BERENDO AV	AC	E	2	Area 2	525	28	14,700	77	38	62	0	Type II Slurry	\$10,584
2027-28	VAN BU	4250	VAN BUREN AVE	137 TH ST	BUDLONG	AC	E	2	Area 2	597	33	19,701	69	31	69	0	Type II Slurry	\$14,185
2027-28	VAN BU	4260	VAN BUREN AVE	137 TH ST	END	AC	E	2	Area 2	200	33	6,600	49	23	77	0	AC Grind-Overlay	\$32,010
																		\$1,438,450
2028-29	144 ST	630	144 th ST	BUDLONG	END	AC	E	2	Area 3	821	32	26,272	52	44	56	0	AC Grind-Overlay	\$131,360
2028-29	145 PL	640	145 th PL	NORMANDIE	END	AC	E	2	Area 3	1,021	33	33,693	86	78	22	0	Type II Slurry	\$24,933
2028-29	145 ST	700	145 th ST	CATALINA	BERENDO AV	AC	E	2	Area 3	298	34	10,132	50	34	66	0	AC Grind-Overlay	\$50,660
2028-29	146 ST	770	146 th ST	END-RAYMOND	BUDLONG	AC	E	2	Area 3	996	33	32,868	78	97	0	3	Type II Slurry	\$24,322
2028-29	147 ST	820	147 th ST	MARIPOSA	VAN BUREN	AC	E	2	Area 3	622	32	19,904	78	100	0	0	Type II Slurry	\$14,729
2028-29	148 ST	840	148 th ST	NORMANDIE	END	AC	E	2	Area 3	298	26	7,748	84	100	0	0	Type II Slurry	\$5,734
2028-29	148 ST	850	148 th ST	CATALINA	BERENDO AV	AC	E	2	Area 3	298	32	9,536	68	57	43	0	Type II Slurry	\$7,057
2028-29	149 ST	890	149 th ST	DENKER	HALLDALE	AC	E	2	Area 3	597	26	15,522	82	83	17	0	Type II Slurry	\$11,486
2028-29	149 ST	900	149 th ST	NORMANDIE	RAYMOND	AC	E	2	Area 3	597	34	20,298	78	63	37	0	Type II Slurry	\$15,021
2028-29	149 ST	920	149 th ST	BERENDO AV	VERMONT AV	AC	E	2	Area 3	622	32	19,904	72	87	3	10	Type II Slurry	\$14,729
2028-29	152 ST	1010	152 nd ST	HARVARD	END	AC	E	2	Area 3	298	31	9,238	85	36	64	0	Type II Slurry	\$6,836
2028-29	153 ST	1040	153 rd ST	WESTERN	DENKER	AC	E	2	Area 3	1,170	34	39,780	82	36	64	0	Type II Slurry	\$29,437
2028-29	153 ST	1050	153 rd ST	DENKER	END	AC	E	2	Area 3	1,021	34	34,714	74	52	48	0	Type II Slurry	\$25,688
2028-29	154 PL	1080	154 th PL	WESTERN	DENKER	AC	E	2	Area 3	1,170	34	39,780	64	41	59	0	AC Grind-Overlay	\$198,900
2028-29	154 ST	1130	154 th ST	WESTERN	DENKER	AC	E	2	Area 3	1,170	34	39,780	79	31	53	16	Type II Slurry	\$29,437
2028-29	158 ST	1280	158 th ST	BUDLONG	END	AC	E	2	Area 5	572	33	18,876	62	30	70	0	AC Grind-Overlay	\$94,380
2028-29	159 ST	1300	159 th ST	NORMANDIE	BUDLONG	AC	E	2	Area 5	1,021	33	33,693	66	63	5	32	Cape Seal	\$84,233
2028-29	161 ST	1370	161 st ST	GRAMERCY	ST. ANDREWS PL	AC	E	2	Area 5	473	34	16,082	66	47	0	53	AC Grind-Overlay	\$80,410
2028-29	166 TH	1560	166 th ST	NORMANDIE	BERENDO AV	AC	E	2	Area 5	1,899	16	30,834	56	22	77	1	AC Grind-Overlay	\$154,170
2028-29	166 TH	1565	166 th ST	BERENDO AV	NORMANDIE	AC	E	2	Area 5	1,899	16	33,634	59	28	69	3	AC Grind-Overlay	\$168,170
2028-29	BEREND	2020	BERENDO AVE	ROSECRANS	148 TH ST	AC	E	2	Area 3	1,868	33	61,644	76	86	14	0	Type II Slurry	\$45,617
2028-29	BEREND	2030	BERENDO AVE	148 TH ST	MARINE AVE	AC	E	2	Area 3	798	36	28,728	56	41	39	20	AC Grind-Overlay	\$143,640
2028-29	BEREND	2035	BERENDO AVE	MARINE AVE	REDONDO BEACH BLVD	AC	E	2	Area 3	770	34	26,180	52	34	49	17	AC Grind-Overlay	\$130,900
2028-29	CATALI	2420	CATALINA AVE	145 TH ST	148 TH ST	AC	E	2	Area 3	1,000	33	33,000	50	37	63	0	AC Grind-Overlay	\$165,000
2028-29	DALTONA	2620	DALTON AVE	162 ND ST	166 TH ST	AC	E	2	Area 5	1,195	36	43,020	65	66	5	29	Cape Seal	\$107,550
2028-29	GRAMER	2940	GRAMERCY PL	162 ND ST	166 TH ST	AC	E	2	Area 5	1,195	34	40,630	58	24	49	27	AC Grind-Overlay	\$203,150
2028-29	HARW B	3120	HARVARD BLVD	MARINE	154 TH ST	AC	E	2	Area 3	1,220	34	41,480	66	25	75	0	AC Grind-Overlay	\$207,400
2028-29	HARW B	3130	HARVARD BLVD	END	154 TH ST	AC	E	2	Area 3	473	33	15,609	75	69	31	0	Type II Slurry	\$11,551
2028-29	KINGSL	3270	KINGSLEY DR	147 TH ST	MARINE	AC	E	2	Area 3	996	26	25,896	83	100	0	0	Type II Slurry	\$19,163
2028-29	MANH P	3410	MANHATAN PL	REDONDO BEACH BLVD	162 ND ST	AC	E	2	Area 5	1,499	32	47,968	65	39	28	33	AC Grind-Overlay	\$239,840
2028-29	MARIPO	3520	MARIPOSA AVE	MARINE AV	END	AC	E	2	Area 3	622	21	13,062	76	75	0	25	Type II Slurry	\$9,666
2028-29	MARIPO	4695	MARIPOSA AVE	147TH ST	END	AC	E	2	Area 3	189	32	7,632	83	100	0	0	Type II Slurry	\$5,648
2028-29	NWHAMP	3610	NEW HAMPSHIRE AVE	RAIL ROAD	167 TH ST	APC	E	2	Area 5	185	44	8,140	64	81	7	12	Cape Seal	\$20,350
2028-29	RAYM A	3860	RAYMOND AVE	144 TH ST	144 TH PL	AC	E	2	Area 3	320	22	8,200	74	32	29	39	Type II Slurry	\$6,068
2028-29	RAYM A	3862	RAYMOND AVE	145 TH PL	NORTH END	AC	E	2	Area 3	180	32	5,760	80	66	0	34	Type II Slurry	\$4,262
2028-29	RAYM A	3864	RAYMOND AVE	145 TH PL	149 TH ST	AC	E	2	Area 3	968	32	30,976	75	97	0	3	Type II Slurry	\$22,922
2028-29	RAYM A	3865	RAYMOND AVE	149 TH ST	MARINE	AC	E	2	Area 3	820	22	18,540	73	92	8	0	Type II Slurry	\$13,720
2028-29	RAYM A	3870	RAYMOND AVE	MARINE	REDONDO BEACH BLVD	AC	E	2	Area 3	850	34	28,900	53	23	65	12	AC Grind-Overlay	\$144,500
2028-29	VAN BU	4270	VAN BUREN AVE	147 TH ST	MARINE	AC	E	2	Area 3	1,170	31	36,270	81	100	0	0	Type II Slurry	\$26,840
																		\$2,699,477